

THE CUBES at MESA GATEWAY BUILDINGS A and B

Northeast Corner of Germann and Crismon Roads

SITE PLAN REVIEW (SPR)
SPECIAL USE PERMIT (SUP)
AND DESIGN REVIEW (DR)

Case No. ZON21-00049

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THE CUBES at MESA GATEWAY
BUILDINGS A and B

DEVELOPMENT TEAM



On Behalf of



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I. Project Overview

A. Proposed Project & Existing Property

CRG is a leading national developer of high-quality, successful industrial projects and the Owner and Developer of the roughly 264-acre planned, multi-building industrial development known as the *Cubes at Mesa Gateway*. This application and associated documents encompass roughly 37.52 acres, known as “Buildings A and B,” and represent the second project within the larger development. The project proposes two multi-tenant industrial use buildings and associated site improvements. Each building will provide approximately 270,000 sq. ft. of floor area. Specifically, this application requests Site Plan Review (SPR), a Special Use Permit (SUP) related to parking standards, and Design Review (DR).

The *Cubes at Mesa Gateway* consists of roughly 264-acres located east of Crismon Road, between Pecos Road and Germann Road in the City of Mesa, Assessor Parcel No. 304-63-006V (the “Property”). See Aerial Map attached at **TAB A**. The Property is ideally located for the planned development, situated just southeast of the Mesa Gateway Airport and with easy access to the State Route 24 (Gateway Freeway) and the Loop 202 Freeway (Santan Freeway).

The Property is already appropriately zoned General Industrial (GI). See Zoning Map attached at **TAB B**. The Property has a General Plan designation of *Employment* and is located within the Airfield Overlay (AF) District. The Property is also within the Mesa Gateway Strategic Development Plan, which designates this area as the Logistics and Commerce District. Additionally, the Property is within a designated Opportunity Zone – the Gateway Area Opportunity Zone. See General Plan and associated maps attached at **TAB C**.

All of the above stated designations support and encourage the proposed development. The proposal is consistent with the designations. Specifically, they encourage heavy and light industrial uses as well as business park uses compatible with activities associated with the Mesa Gateway Airport. For years, the City of Mesa has envisioned this area for large employment and industrial uses including “mega projects” which develop over large land assemblages and employ large quantities of skilled individuals. The *Cubes at Mesa Gateway* will be a major contributor to the realization of that vision.

C. Relationship to Adjacent Properties

The Property is bound by Pecos Road to the North, Germann Road to the South, Crismon Road to the West and Merrill Road to the East. The majority of the Property surrounding the Property is zoned and planned for industrial uses. Specifically:

- North: Pecos Road. IND-2 zoned property within Maricopa County.
- South: Germann Road. EMP-B zoned property within the Town of Queen Creek.
- West: Crismon Road. LI and AG zoned property within the City of Mesa.
- East: Merrill Road. GI zoned property within the City of Mesa.

D. Zoning History

In 1990, as part of a larger 3,300-acre +/- annexation effort, the Property was annexed into the City of Mesa via the adoption of **Ordinance No. 2473**. Shortly thereafter, zoning was established for the 3,300-acres including the Property, via the adoption of **Ordinance No. 2496** (Case No. Z90-007).

In 1996, as part of a larger rezoning case for 320-acres of land, the Property was rezoned from R1-43 and R1-43-AF to M-2 and M-2 AF via the adoption of **Ordinance No. 3245** (Case No. Z96-67). The City has since updated the Zoning Ordinance and re-named the M-2 Zoning District as GI Zoning District.

E. Site Information

1) Site Development Data:

Site Data is recorded on Exhibit C1.0 Site Plan; the site area is approximately 37.52 Acres (Building A site: 19.34 Ac; Building B site: 18.18 Ac). The project includes 539,000 sq. ft. of new building construction and will include four street entrances – two each for automobile and trucking entry and exiting. The buildings will be multi-tenant mixed-use occupancies including office and warehouse storage.

2) Site Access:

Two (2) site entrances are planned from Crismon Road and two (2) are planned from Pecos Road. On Pecos Road, the west entrance is centered on Building A and is the main automobile and public entrance for Building A. The east entrance is a secondary truck traffic entry and exit and provides secondary exits for automobile traffic. On Crismon Road, the south entry is the main automobile and public entrance. The north entrance is the main truck

traffic entry and exit and provides secondary exits for automobile traffic. Gated controlled entry into the trucking operations areas is organized inside the site allowing free circulation of automobile traffic around the site to any street entrance.

3) Site Circulation:

Internal circulation of automobiles is limited to the public parking lots surrounding the development perimeter. Access to trucking and operations areas is controlled by card-access gates on the east and west ends of the truck operations dock areas. Emergency responder access to the gated truck operations areas will be provided by security system monitoring and communications equipment. A shared two-way drive is provided on the center boundary between the two sites. The drive allows truck traffic to circulate freely between the two buildings without re-entering the public roads.

4) Parking and Trailer Storage:

The site includes the following parking quantities:

- Automobiles: 562 spaces.
Building A: 275 spaces
Building B: 286 spaces
- Trailer Parking: 130 spaces: 62 spaces for each building.

A Special Use Permit for Parking Reduction is being requested for this project. See SUP application documents for details.

5) Landscaping:

Low maintenance, drought tolerant plants will be utilized in the project landscaping with all landscaped areas to receive a covering of decomposed granite. Care was taken to create visual interest with the planting by selecting trees and shrubs with different color blooms that will accent the building. A 100-foot-wide transmission line easement runs along the Crismon Road street frontage, so plants were selected for these areas from the SRP approved plant list. The screen wall along the north and west parking lots will have a pattern created by integrating a secondary block that is a distinct color and texture than the field masonry. There will also be 9' breaks in the wall that align to the parking islands behind. Taller shrubs will be planted within this gap to maintain screening while breaking up the length of the façade.

The storm water conveyance channels located on the west, north, and east boundaries will have some trees and shrubs at the high end of the channel to provide buffering to the adjacent parcels. There is a small detention basin

located at the north-west corner of the property which will hold off-site stormwater. This basin will receive a covering of a mix of different color and sized gravels/aggregates to differentiate them from the adjacent decomposed granite coverings and provide a variety of surface colors.

The amenity patios along the north, west, and east sides of the buildings will have decorative planting adjacent to provide shade and buffering. Bike parking is conveniently located near the main entries and is spaced out in several locations along the north and south sidewalks collecting pedestrians and cyclists from the parking lots. All automobile parking lots are supported by a collector sidewalk. Connections to the public sidewalks at the streets are provided at the southwest corner to Crismon Road, and at both entries from Pecos Road. Lane crossings are provided by colored asphalt with a stamped texture.

6) Stormwater Design

Retention of the 100-year frequency, 2-hour duration storm event is required. On-site private catch basins will collect and convey stormwater to the retention facilities. For this project a below ground retention piping system will provide for storage of the flood volume. Discharge of the retained volume will be provided via dry wells due to the lack of existing drainage infrastructure in the area. Dry wells will be sized per the Maricopa County Drainage Design Manual. The underground piping system has also been sized to accommodate retention of the adjacent public right-of-way stormwater runoff. The retention systems will be specific to each individual lot/building and their respective public road frontages. Retention design shall be in conformance with the Engineering & Design Standards dated 2021 for the City of Mesa.

II. Special Use Permit Request and Justification

A. Parking Reduction SUP

As recommended by City Staff at the Pre-Submittal meeting on May 11, 2021, the Applicant is requesting a reduction in required amount of parking provided. City of Mesa Ordinance Table 11-32-3.A notes the following parking ratios:

- 75% of Floor Area - 1 space per 500 square feet.
- 25% of Floor Area - 1 space per 375 square feet.

This ratio would be inappropriate for the proposed building use. It would also create a large and wasteful expanse of asphalt surface parking spaces which would go unused. For this, and other reasons provided herein, the Applicant is requesting a reduction to the following proposed ratios which yield required parking as noted:

For each Building

- 75% of Floor Area – 1 space per 2,150 square feet.
202,125 sq. ft. @ 1 space per 2,150 sq. ft. = **95 spaces required.**
- 25% of Floor Area – 1 space per 375 square feet (no change requested)
67,375 sq. ft. @ 1 space per 375 sq. ft. = **180 spaces required.**

Total spaces required as proposed = 275 spaces per building, or 550 total.

The proposed design provides 275 spaces at Building A, and 286 spaces at Building B, for a total of 561 spaces.

The project adheres to the Special Use Permit criteria for the justification of reduced parking noted in Ordinance Section 11-32-6-A, as discussed below:

- 1) Special Conditions - including but not limited to the nature of the proposed operation; proximity to frequent transit service; transportation characteristics of persons residing, working, or visiting the site – exist that will reduce parking demand at this site.

Response: The nature of the proposed operation is expected to be a mix of warehousing and office uses, having minimal staffing requirements in comparison to the large square foot area of the proposed building. The majority of the building area will be used for storage having a lower employee density and the parking reduction requested is aimed at providing an adequate amount of parking for the lightly staffed warehousing function. The proposed design provides compliance with the expected percentage of office use and the required parking ratio.

- 2) The use will adequately be served by the proposed parking.

Response: The use will be adequately served by the proposed parking provided in the design. The design provides 180 spaces for office area occupancy as stipulated in the Municipal Zoning Ordinance. This leaves 95 spaces available to serve the lightly occupied storage areas anticipated. The requested parking ratio for storage areas is also consistent with other successful, large-scale industrial projects.

- 3) The parking demand will not exceed the capacity of or have a detrimental impact on any on-street parking in the surrounding area.

Response: The criteria will not require any on street or offsite parking. 180 spaces are provided at each building to support office occupancy equivalent to 25% of the building floor area. While this is the required percentage for Shell Buildings per the MZO, the office area occupancy is projected to be less than this for the market being served and the users the building will attract.

III. Adherence with Site Plan Review (SPR) Criteria

The project has been designed to adhere to the Site Plan Review (SPR) criteria specifically noted in Ordinance Section 11-69-5.A - Review Criteria as follows:

- A. The project is consistent with and conforms to the adopted General Plan and any applicable sub-area or neighborhood area plans (except no analysis of the use if it is permitted in the zoning district on the property), is consistent with the development standards of this Ordinance, and is consistent with and meets the intent of any applicable design guidelines.

Response: The project complies with this requirement. The Property has a General Plan designation of *Employment* and is located within the Mesa Gateway Strategic Development Plan, which designates the site as Logistics and Commerce District. The project is in keeping with the Employment designation, which the General Plan notes as "large areas devoted primarily to industrial, office, warehousing and related uses." Employment areas also provide for a wide range of employment opportunities in high-quality settings. The project provides all this. The only development standard being modified is parking which, as noted in the previous section, is fully justified. The project also complies with the applicable design guidelines as noted in this narrative.

- B. The project is consistent with all conditions of approval imposed on the property whether by ordinance, resolution or otherwise.

Response: The project complies with all conditions imposed on the Property. The design also responds to the review comments provided by the Planning Division in its Pre-Submittal Review, document titled "1st Review Consolidated Comments, dated May 11, 2021

- C. The overall design of the project, including but not limited to the site layout, architecture of the buildings or structures, scale, massing, exterior design, landscaping, lighting, and signage, will enhance the appearance and features of the site and surrounding natural and built environment.

Response: The project design responds to specific comments on Building Elevations regarding the building architecture offered by the Planning Division, numbered 5.a through 5.f, excepting item "e". See Section IV.C below.

- D. The site plan is appropriate to the function of the project and will provide a suitable environment for occupants, visitors, and the general community.

Response: The site design presents a “state of the art” office and warehousing development. Compliance with MZO site and landscape design requirements, and City of Mesa Quality Development Design Guidelines provides a professional and suitable environment. See also the points outlined in item E below.

- E. Project details, colors, materials, and landscaping are internally consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design.

Response: The project fully complies with this requirement by providing details, colors, materials, and landscaping which are internally consistent and integrated in a manner visually consistent with the architectural design. Specifically:

- Project design details comply with the requirements of MZO Section 11-7-3.B Site Planning and Design Standards.
- Character and Image: The surrounding sites are primarily undeveloped. The project design sets a high standard for establishing an architecture that features varied building massing; interest in composition, color and pattern; safe and functional site lighting; and varied building materials that include masonry, colored and textured concrete, and aluminum and glass openings and entrances.
- Employee and Visitor Amenities: Common open space is provided in the publicly accessible environments fronting both Pecos Road and Crismon Road at Building A, and in the interior public parking environment supporting Building B. Approximately 8,225 sq. ft. of amenity plaza area is provided at each building to support the public and employee amenities. The building entrance plaza at each corner provides 2,100 sq. ft. of patio and entry space featuring site furnishings for outdoor tables, benches and planters. The central entry plaza at Building A provides an additional 2,790 sq. ft. of open and shaded amenity space. Amenity patio spaces located along the building end walls provides 1,230 sq. ft. of outdoor dining area with tables, umbrellas, and bench seating for each building. These areas are bordered by landscape planting beds. This is a generous area to support the anticipated building employee and visitor population. The MZO requires Common Open Space to be provided equaling 1% of the building area, or approximately 2,700 sq. ft. The proposed design exceeds this requirement while providing generous outdoor amenity space for the public and employees.

- F. The project is compatible with neighboring development by avoiding big differences in building scale and character between developments on adjoining

lots in the same zoning district and providing a harmonious transition in scale and character between different districts.

Response: The neighboring sites are presently agricultural in use, and do not feature any buildings developed to the current municipal standards. The first building of this development, the recently approved Mesa Building C, established many successful architectural and landscape design strategies that were approved by Mesa in Design Review. These design strategies have also been implemented in Buildings A and B. The project design will set a good and compliant precedent for future development by implementing the MZO and Municipal Quality Development Design Guidelines. The design is also compatible with the previously submitted project for Building C, the first project in the Mesa at Gateway development.

- G. The project contributes to the creation of a visually interesting built environment that includes a variety of building styles and designs with well-articulated structures that present well designed building facades, rooflines, and building heights within a unifying context that encourages increased pedestrian activity and promotes compatibility among neighboring land uses within the same or different districts.

Response: The project design complies with this requirement. See responses to item E preceding. The design presents a modern style of architecture featuring a facade with varied parapet heights, recessed planes, and patterns of color, texture, material, and openings. Pedestrians arrive at entries that are scaled down with eyebrow canopies, landscaping, and glassy storefront entries. All facades feature wall mounted lighting (directed downward for dark-sky compliance) to provide a softly illuminated and welcoming building during evening times. The focal design elements at the building corners employ special façade lighting to illuminate the accent color and metal cornices and eyebrow canopies. Canopies for entry and shade provide down-lighting as well, to help create focal arrival points for the public.

- H. The streetscapes, including street trees, lighting, and pedestrian furniture, are consistent with the character of activity centers, commercial districts, and nearby residential neighborhoods.

Response: The nearby areas are undeveloped agricultural uses. However, the project design presents a streetscape that is fully compliant with the landscaping and development standards as defined by the MZO and Municipal Quality Development Design Guidelines. In areas accessible to the public, parking, sidewalks, landscaping, lighting, and the façade design of the building all contribute to the creation of a high-quality commercial business environment.

- I. Street frontages are attractive and interesting for pedestrians and provide for greater safety by allowing for surveillance of the street by people inside buildings and elsewhere.

Response: The building facades fronting both Pecos and Crismon Road features varied scale, changes in massing and façade height, varied colors, textures and patterns, accent lighting, and 12-foot-tall storefront window systems serving office and entrance areas.

- J. The proposed landscaping plan is suitable for the type of project and site conditions and will improve the appearance of the community by enhancing the building and site design; and the landscape plan incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with Mesa's climate.

Response: The landscape design features native desert plants and appropriate trees, shrubs, and ground cover materials to accentuate the natural environment. The plants require minimal irrigation beyond establishment, and as native varieties should thrive with naturally occurring rainfall. Parking areas are screened with patterned masonry walls and landscape trees and shrubs. See also Section 1.D.5) preceding.

IV. Adherence with Design Review (DR) Criteria

A. Design Review Criteria

The project has been designed to adhere to the Design Review (DR) criteria specifically noted in Ordinance Section 11-71-6.A - Review Criteria.

- 1) The project is consistent with the applicable goals, objectives and policies of the general plan and any applicable sub-area or neighborhood area plans; all of the development standards of this ordinance; other adopted Council policies, as may be applicable; and any specific conditions of approval placed on the zoning of the property.

Response: The project is consistent with the Employment designations, the Airfield Overlay (AF) designation and the Mesa Gateway Strategic Development Plan designation. The project consolidates a large area of land for the provision of a large-scale industrial and employment use. The project also adheres to all of the development standards of the existing zoning designation, including the requested reduction to reduce required parking, which adheres to the ordinance SUP provisions for such a request.

- 2) The overall design of the project including its scale, massing, site plan, exterior design, and landscaping will enhance the appearance and features of the project site, the street type, and surrounding natural and built environment.

Response: The design of Buildings A and B will greatly enhance the appearance of this area which is planned for more large-scale industrial and employment uses. The project is in keeping with the existing and anticipated built environment.

- 3) The overall design will create a distinctive and appealing community by providing architectural interest in areas visible from streets, sidewalks, and public areas.

Response: The design creates lively amenity patios in public access areas that include attractive landscaping, shading, and site furnishings for seating, outdoor meeting, and outdoor dining. Materials used at entries introduce texture and human scale elements, and include textured colored masonry, aluminum and glass storefront window systems, and high-quality aluminum canopies with integral lighting. Entries and amenity areas are served throughout the site by sidewalks and foundation landscaping areas.

- 4) The project site plan is appropriate to the function of the project and will provide a suitable environment for occupants, visitors, and the general community.

Response: See Section III.D and E above.

- 5) Project details, colors, materials, and landscaping, are internally consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design and creates a safe, attractive and inviting environment at the ground floor of buildings on sides used by the public

Response: See item 3 above in this section. See Section III.E preceding.

- 6) The project is compatible with neighboring development by avoiding big differences in building scale and character between developments on adjoining lots in the same zoning district and providing a harmonious transition in scale and character between different districts.

Response: See Section III.F preceding.

- 7) The project contributes to the creation of a visually interesting built environment that includes a variety of building styles and designs with well-articulated structures that present well designed building facades on all sides, rooflines, and building heights within a unifying context that encourages increased pedestrian activity and promotes compatibility among neighboring land uses within the same or different districts.

Response: The project design complies with this requirement. See Section III responses to items E, F, and G preceding.

- 8) The project creates visual variety and relief in building and avoids a large-scale, bulky, or box-like appearance.

Response: The design presents a modern style of architecture featuring a facade with varied parapet heights, recessed planes, and patterns of color, texture, material, lighting, and openings. The building mass is organized into smaller scale groups of compositional elements. However, while some elements repeat to establish a rhythm and order in the building mass, the color, pattern, and placement of openings vary within in each grouped mass element. Monotony is avoided, and visual

interest is maintained without creating disorder through the principal of “same but different” employed in the composition.

- 9) The streetscapes, including street trees, lighting, and pedestrian furniture, are consistent with the character of activity centers, commercial districts and nearby residential neighborhoods.

Response: See Section III.H preceding.

- 10) Street frontages are attractive and interesting for pedestrians and provide for greater safety by allowing for surveillance of the street by people inside buildings and elsewhere.

Response: See Sections I.D.(5) and III.J preceding.

- 11) The proposed landscaping plan is suitable for the type of project and site conditions and will improve the appearance of the community by enhancing the building and site design; and the landscape plan incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with Mesa’s climate.

Response: See Section III.J preceding.

- 12) The project has been designed to be energy efficient including, but not limited to, building siting, and landscape design. The project also mitigates the effects of solar exposure for users and pedestrians. For purposes of this criterion, buildings that meet environmental standards such as LEED™, Green Globes, or equivalent third-party certification are considered to be energy efficient.

Response: The building is designed to meet or exceed the requirements of the International Energy Conservation Code. Solar exposure for building occupants and visitors is managed through landscape shading, shade canopies, eyebrow canopies at building entries, and site furnishings featuring shade umbrellas. Also, the 12-foot-high base of the façade is designed using darker materials and colors which limits reflected sunlight and glare for approaching pedestrians and passers-by. Insulated glazing is dark grey tinted and does not feature any reflective coating on the outer pane. This reduces glare from glass surfaces and adds to the shading coefficient provided to openings in the building exterior.

B. Quality Development Design Compliance

The City of Mesa has implemented the Quality Development Design Guidelines as a collection of aspirational documents that will establish policy, emphasize high quality development, create a common vision for quality development in Mesa and promote innovation and flexibility for development projects. Chapter 7 of this document provides specific policy recommendation for Industrial buildings. This project is responsive to those policy aspirations as follows:

SITE DESIGN

1. Building Placement and Orientation

The building is set back generously from the street and site boundaries, so that the very large building area proposed is appropriately buffered from the street environment and neighboring sites. The facades requiring staging of functional dock operations are located in a central trucking operations court, facing an internal lot boundary shared between the two buildings. Dock operations areas are further screened from public view with an 8-foot-high masonry wall at the ends of the truck docks, and a 6-foot-high masonry wall for the remainder of the enclosures. The dock facades support drive-in doors allowing the user to have functional access to the operations areas adjacent to the building in the truck court. The public street environment is created along both Pecos and Crismon Roads. The building architecture features special materials and compositional elements to establish the building corners as the primary entry points, which are supported by a large amenity area and an eyebrow shade canopy (see description below). Potential secondary tenant entries are developed at the center of each building, and feature freestanding shade canopies and a protective eyebrow canopy over the entry doors. These areas also provide ideal outdoor dining spaces that are separate from the building entries and so offer diversity of use to tenants and the public. The architecture also includes compositional features and recessed areas to help manage the long façade and break it down into reasonable massing, and to stage open amenity patio and landscape islands featuring shaded seating and landscaping.

2. Parking Loading and Vehicular Access

Public and employee parking is organized around the perimeter of the two building sites. Parking bays are kept small, well below the 200-car threshold outlined in the MZO. The lots are landscaped and screened

according to all municipal guidelines and provide 562 total parking spaces, including ADA required accessible spaces.

A loading dock area is organized between the two buildings, centered on the shared property boundary between Site A and B. Trucking traffic into the operations areas is secured by night-gates with card access systems and detect-to-exit sensor controls. The entrance drives provide off-street truck stacking for trucks to eliminate truck overflow onto either Pecos or Crismon Road. Multitenant occupancy typically generates a light and dispersed truck traffic pattern. A shared two-way drive is provided between the buildings, eliminating the need for trucks to exit and re-enter the site to arrive at any assigned dock position.

Automobile traffic may enter and exit the site at any entrance, although dedicated automobile entries are provided to serve each building. Trucking traffic will enter the site at designated entrances on either Pecos or Crismon Road and will exit the site primarily at these same entrances. Truck circulation is two-way through the truck docks. Trucks may exit the operations area through either the east or west gates and proceed to a convenient site entrance on either Pecos or Crismon Road using the center two-way drive as needed.

3. Landscaping and Shading

The landscape design is described in items I.D.9) and III.J preceding. Landscape planning supports amenity open space areas, screens parking, provides natural perimeter development and buffering of the project site, all as indicated in MZO and Mesa Quality Development Design Guidelines. Foundation planting area is provided at the base of the west façade and around the western building corners outside of the screened dock areas. Shading is provided at public open areas by a combination of constructed shade canopies, trees, and site furnishings that include shade umbrellas. Shading will also be provided by the building mass during morning hours.

4. Exterior Lighting

The site is lit using a combination of façade mounted lighting equipment, canopy downlighting, and pole mounted area lighting equipment. Fixtures provide dark-sky cutoff control of illumination. A photometric plan is provided to indicate locations of light and light levels at the ground plane.

ARCHITECTURAL DESIGN

1. Building Description:

Architectural Design

The building façade is designed to create three-dimensional interest and to convey an appropriately scaled composition of forms and surfaces. The building form includes recessed planes and overlapped concrete building panels having various parapet heights to break up the building scale and avoid monumentality. The length of the building is segmented into smaller sections by recessed vertical planes along the street facades, and by vertical sections of accent colors along the loading dock and operations area facades. Windows, lighting, material texture, and color blocks are used to create variation and interest in the composition. To enhance the material quality of the building, textured concrete masonry veneer is included at the building base where entries are developed, and at façade recesses featuring amenity patio areas.

The architecture is compatible with the forms and materials employed in the Cubes at Mesa Gateway Industrial Park. A four-color scheme is designed to pattern the large façade surfaces. White and medium gray surfaces are predominant, with dark gray surfaces incorporated in the entry areas and at the base of facades. Split-faced concrete masonry veneer is provided in a coordinating charcoal grey color adjacent to entries and amenity patios. This adds texture and material quality to reinforce human scale where visitors and employees are circulating closest to the facade. An accent red color is associated with the main entries at the building corners and at the middle entrance and amenity area. Parapet heights are set high enough to fully screen anticipated rooftop mechanical equipment.

The building facades at entrance areas are expressed with a 2-foot-deep metal panel eyebrow canopy detail. The eyebrow canopy is situated at 12 feet high and coordinates with tall storefront entrance window openings serving the office area. Storefront framing systems feature tinted insulating glass to provide window openings into office area spaces. High windows above office areas are glazed with black spandrel glass, or with vision glass where they open into warehouse areas, enhancing daylight and time-of-day awareness for employees. All window and storefront frames are dark-bronze/black anodized aluminum.

Elsewhere in the warehouse areas, clerestory windows are included in the composition to enliven the facades and provide daylight in these spaces. Perimeter lighting fixtures are building mounted on the façade and include accent lighting at entrances, general illumination of the dock and operations areas, and required exit lighting at egress doors. Special façade lighting is

provided at the corner accent areas to focus light and attention on the accent color and metal canopy and cornice elements.

Exterior Material and Systems:

The building exterior wall is constructed of site cast concrete tilt-up load bearing wall panels. Steel columns set on concrete foundations support the roof structure which consists of steel girders, beams and joists with a prefinished white primed steel roof deck. The roof system on the metal deck includes rigid insulation boards and a single-ply TPO roof membrane. Window openings will be constructed with an aluminum storefront framing system glazed with tinted insulating glass units and having an anodized finish in dark bronze / black color.

C. Alternative Design Criteria Adherence

Per Ordinance Section 11-6-3.B.7, “Conditions may exist where strict compliance to Site Planning and Design Standards of this Chapter are impractical or impossible...” Such conditions exist in the implementation of this project. Specifically,

- Ordinance Section 11-7-3.B.2.a.i, which requires that publicly visible facades (viewed from rights-of-way or private property), may not have blank, uninterrupted wall lengths exceeding 50 feet without including at least two (2) of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines, or an equivalent element that subdivides the wall into human scale proportions.
- Ordinance Section 11-7-3.B.5.a, which requires that facades shall incorporate at least three different and distinct materials.
- Ordinance Section 11-7-3.B.5.b, which requires no more than 50% of the total façade may be covered within one (1) single material.

Wall Articulation – Ordinance Section 11-7-3.B.2.a.i

The façade design features the following elements noted in the ordinance language: changes in plane, changes in texture, and windows. We propose that the following additional elements be considered as “equivalent elements” that are consistent with the nature of concrete industrial buildings: façade reveals and patterns of color. Taken as a whole composition and including the patterned colors proposed the façades comply with the 50-foot limitation for the arrangement of features. The design presents a well-proportioned and scaled composition that is consistent with other industrial buildings in the Mesa region.

Facade Materials – 3 Distinct Materials Required - Ordinance Section 11-7-3.B.5.a

By virtue of the construction type (tilt-up construction) and the functional use (large, manufacturing and industrial tenants) strict adherence to all Design Standards is not practical. The public facing facades present building entrances, amenity areas, and potential diverse interior uses that support the introduction of varied materials such as masonry veneer, glazed aluminum storefront entrances, and windows. These facades comply with the three-material minimum rule. The dock facades however do not support this approach due to the uniformity of industrial functional requirements. We request that the three-material rule be waived for the dock areas, while acknowledging that the design still presents a varied composition of colored patterns, clerestory windows, varied parapet heights, dock overhead doors, and dock equipment which serve to add compositional elements, functional as they may be.

Facade Materials – Single Material Limited to 50% - Ordinance Section 11-7-3.B.5.b

By virtue of the construction type (tilt-up construction) and the functional use (large, manufacturing and industrial tenants) strict adherence to all Design Standards is not practical. Specifically, per Ordinance Section 11-7-3, not more than 50% of the total facade may be covered within one (1) single material. This standard is an impossibility for a series of large, concrete, tilt-up construction buildings. The building structural perimeter is composed entirely of concrete except for openings for doorways, glazing, loading doors, etc. Any alternative materials would need to be “veneered;” applied as an exterior finish on top of the structural concrete panels. On such large building, with single elevations running in excess of 300 to 900 feet long, 50% veneer coverage is both cost-prohibitive and counter to the preferred aesthetic appeal or context of the area.

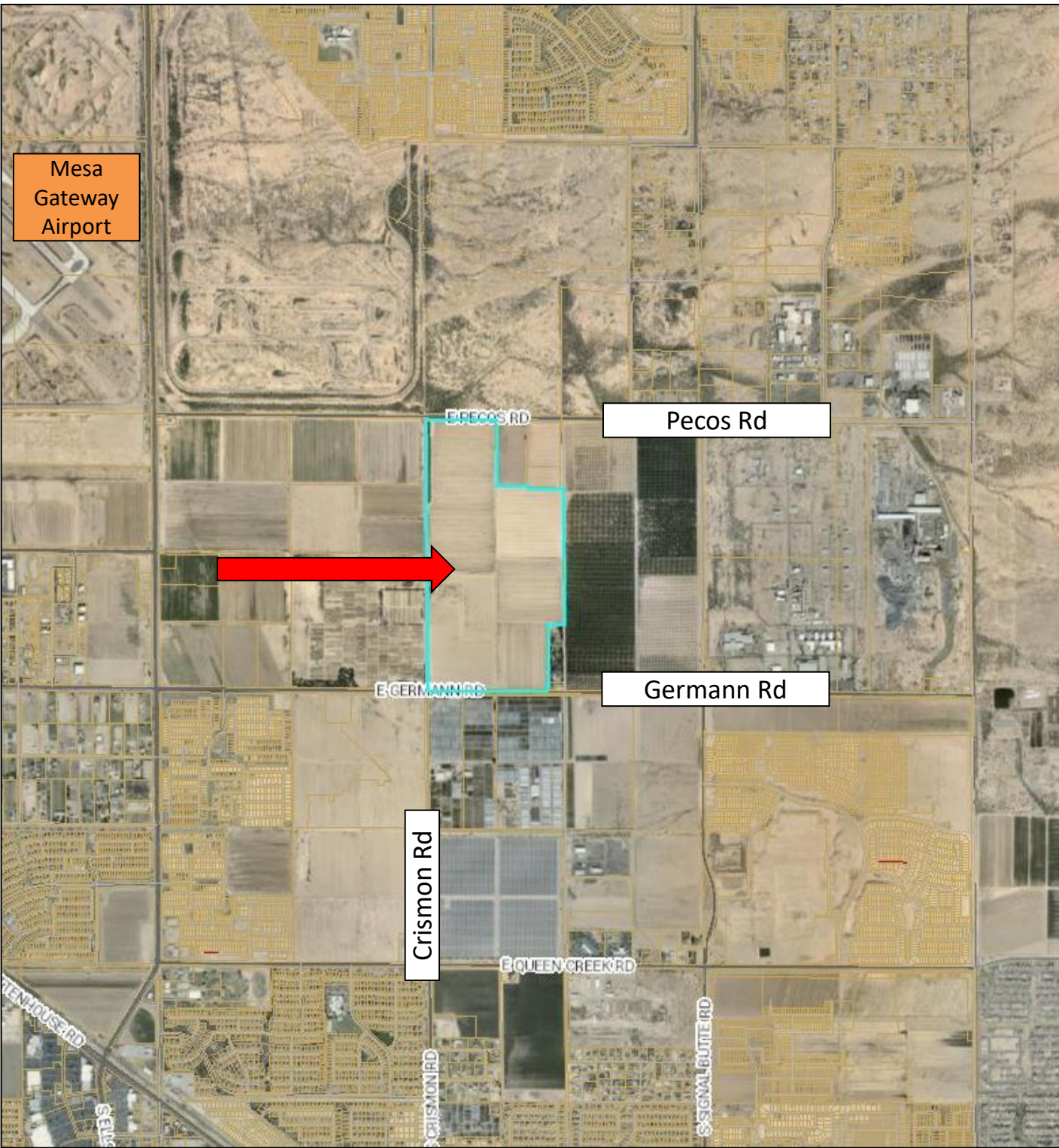
Nonetheless, the team has worked diligently to provide an acceptable alternative design solution that meets the intent of the Ordinance while providing a more appropriate design for the ultimate project and use. The design strategy presents a modern style of architecture featuring a facade with varied parapet heights, recessed planes, and patterns of color, texture, material, lighting, and openings. The building mass is organized into smaller scale groups of compositional elements. However, while some elements repeat to establish a rhythm and order in the building mass, the color, pattern, and placement of openings vary within in each grouped mass element. Monotony is avoided, and visual interest is maintained without creating disorder through the principal of “same but different” employed in the composition. Accent materials include textured concrete, split faced integrally colored concrete masonry veneer, metal panel cornices and canopies, and metal and glass storefront window systems, all

in addition to smooth concrete surfaces that feature three painted colors of off-white and grey and an accent red special coating.

As required by the Alternative Compliance requirements, the proposed alternative design for this project is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and meets or exceeds the design objectives as described in the City's General Plan.

Tab A

Aerial Map



NEC of Germann and Crismon



Aerial Map



Boundary of 264-
acre *Cubes at Mesa
Gateway* project

37-acre
"Building A and
Building B"
applications

Pecos Rd

Germann Rd

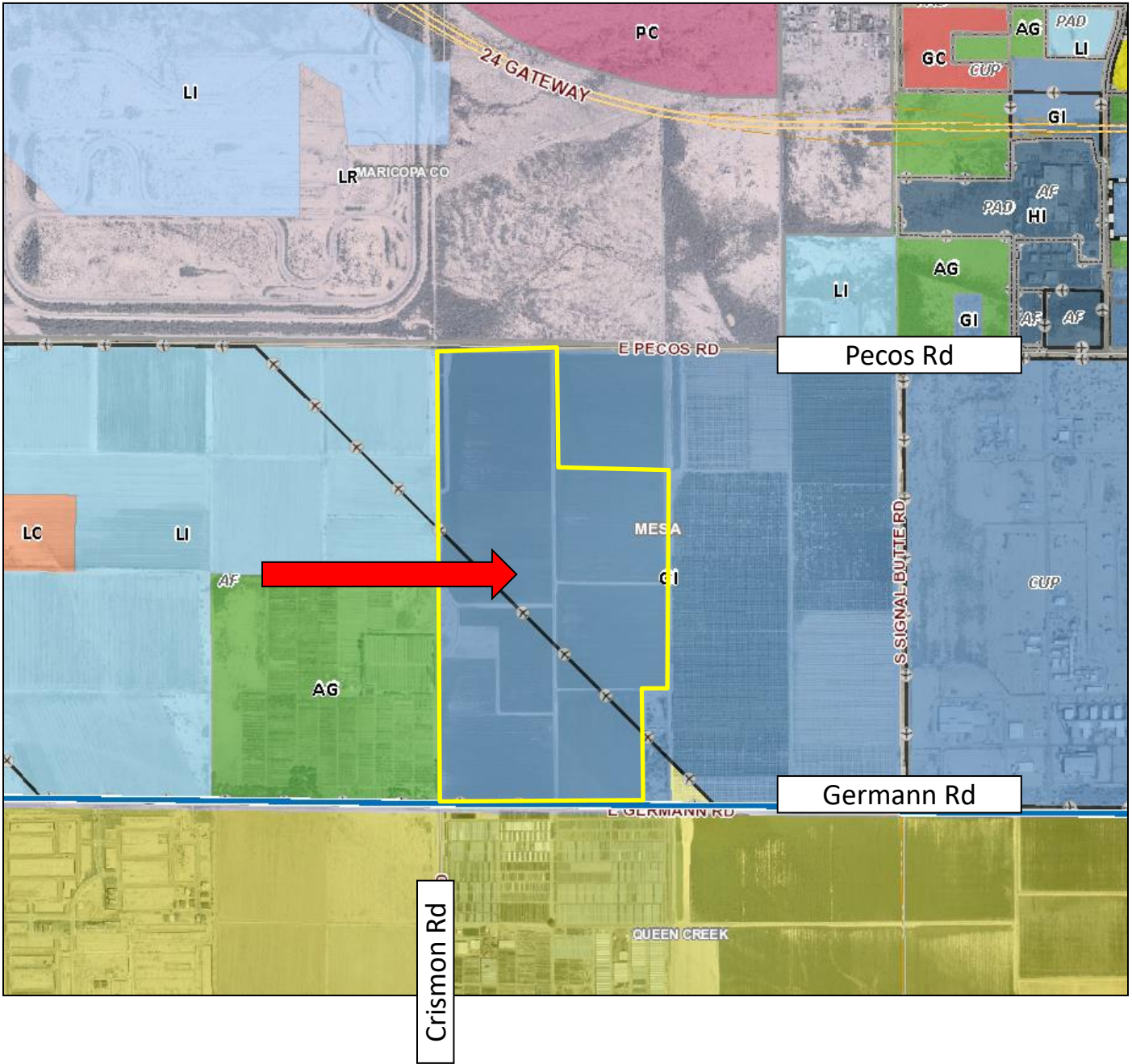
Crismon Rd



NEC of Germann and Crismon

Tab B

Zoning Map = GI

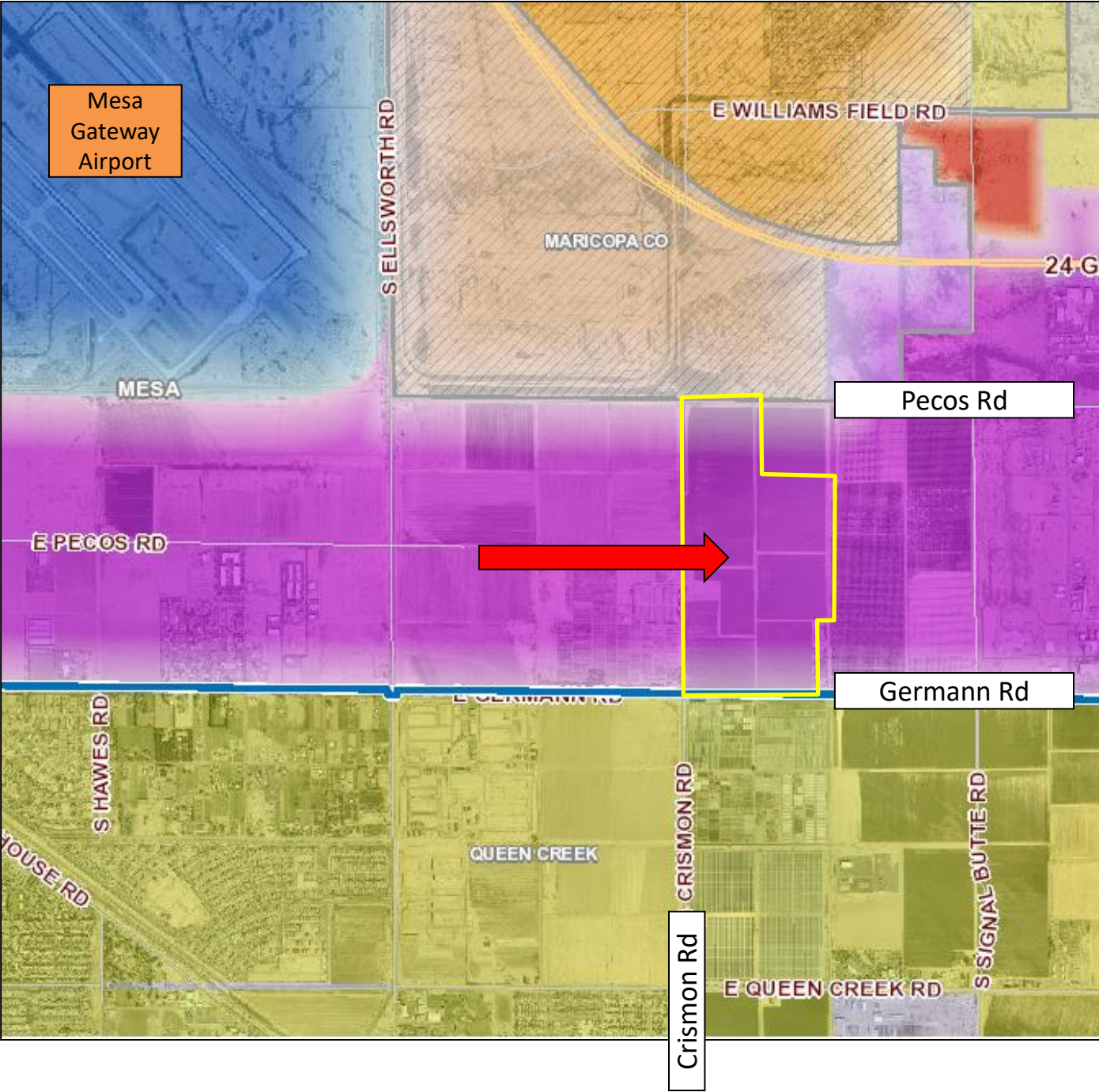


NEC of Germann and Crismon



Tab C

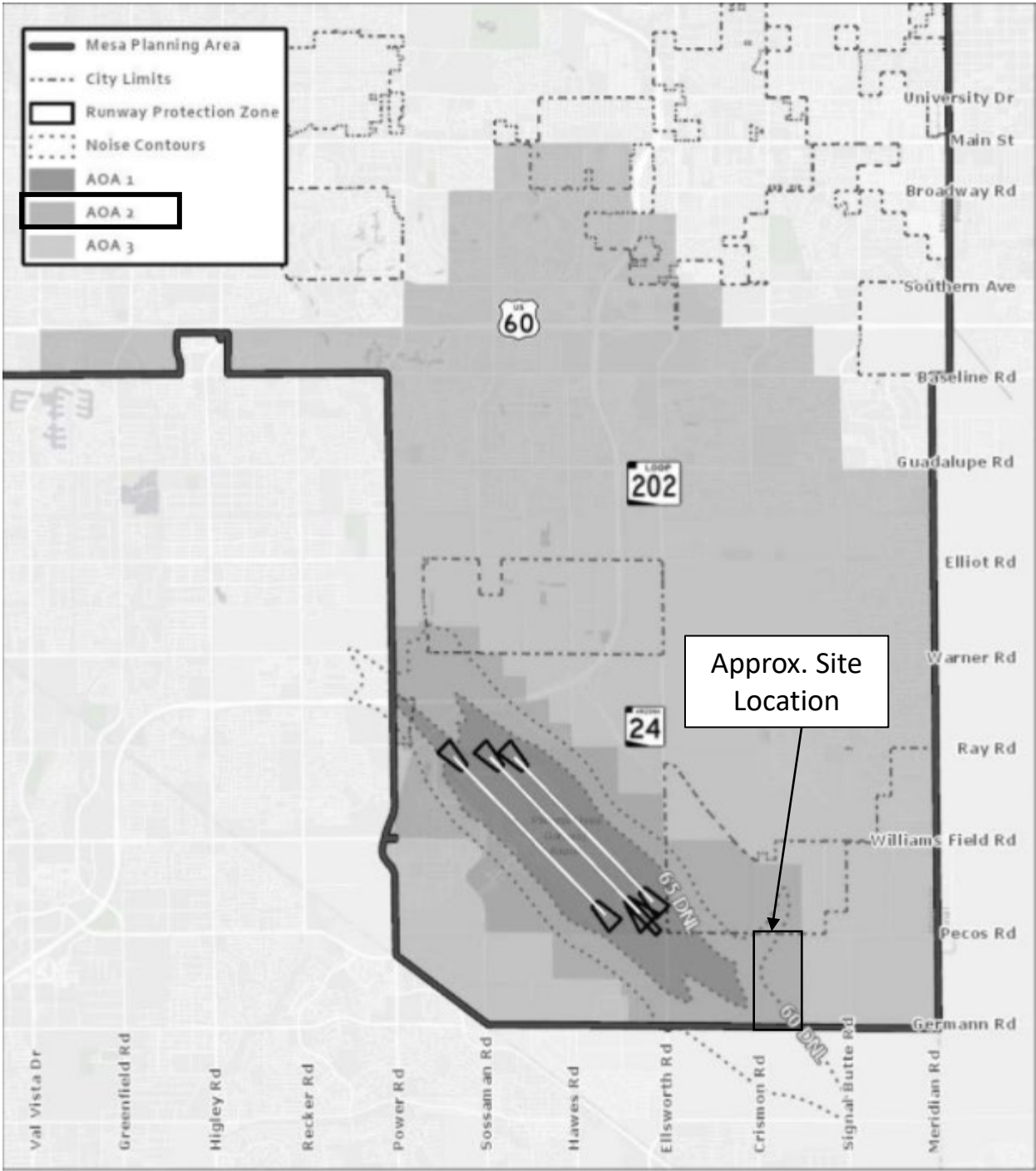
General Plan Map = Employment



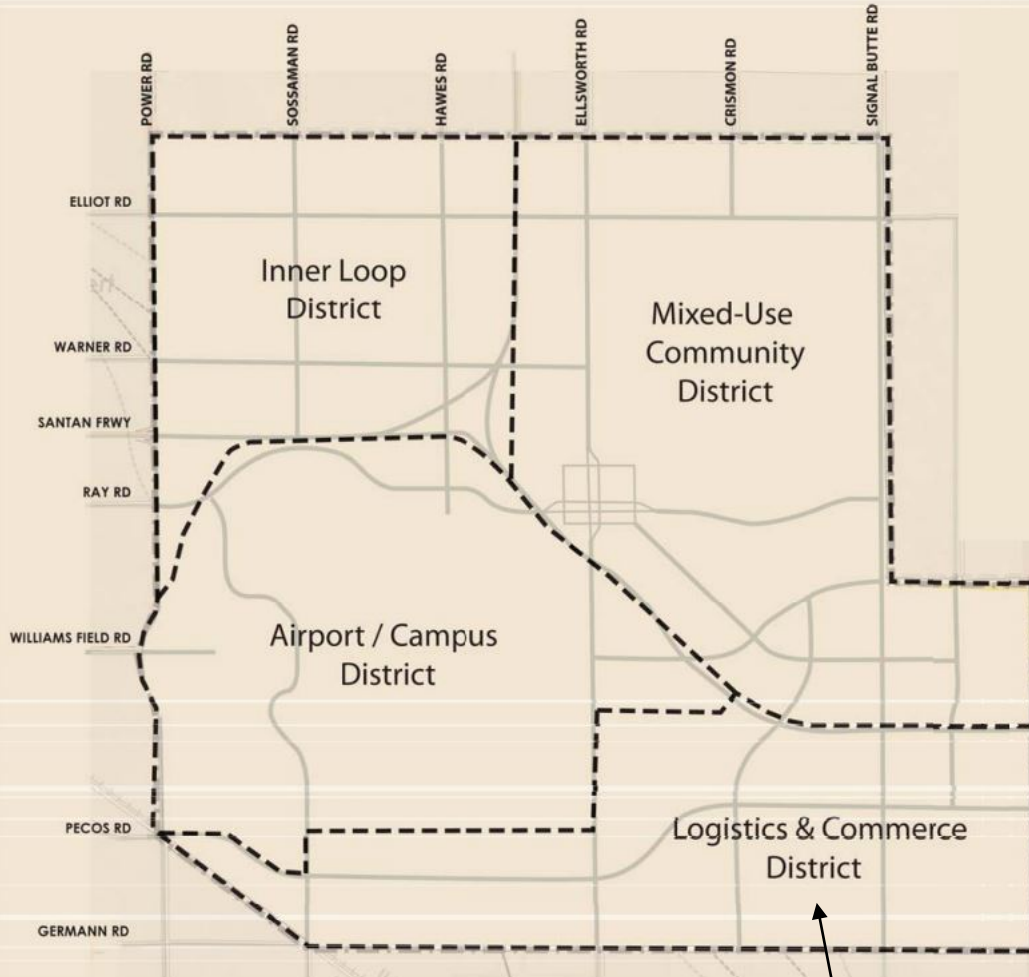
NEC of Germann and Crismon



Airfield Overlay District (AF): Airport Overflight Area Two (AOA 2)



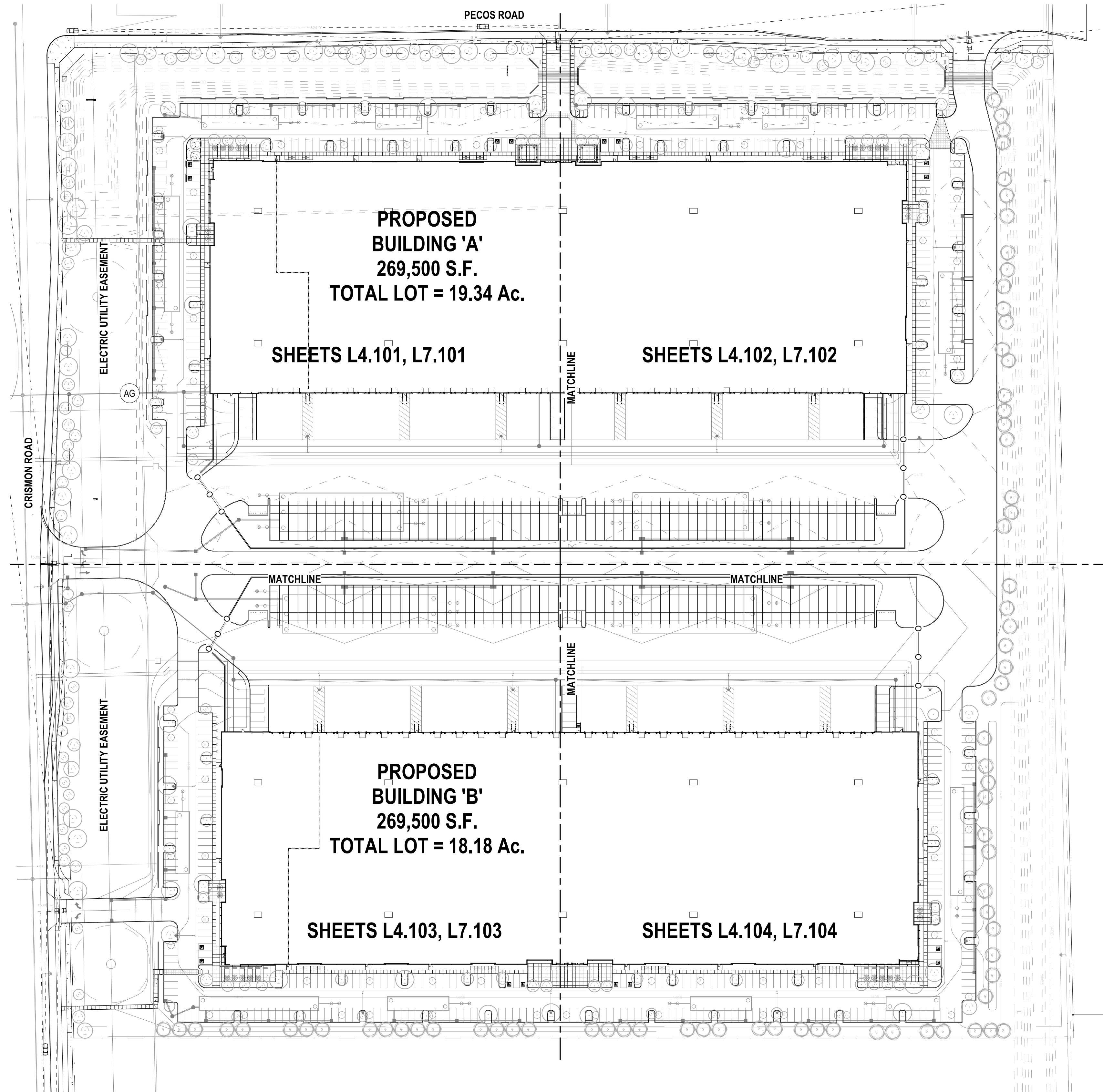
Mesa Gateway Strategic Development Plan: Logistics & Commerce District



Note: Roadways shown are preliminary and subject to change based on future study and approval by the City of Mesa.

FRAMEWORK MAP

Approximate Site Location



1 SITE REFERENCE PLAN
 1" = 80'-0"

GENERAL SITE NOTES

1. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL LAWS, CODE, ORDINANCES, RULES AND REGULATIONS OF ALL GOVERNING AGENCIES. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.
2. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY AND ALL CONFLICTS WITH WORK RELATED TO THE HARDSCAPE AND LANDSCAPE FEATURES PRIOR TO INSTALLATION OF THE UTILITIES IN ORDER TO MAINTAIN THE HIGHEST LEVEL OF DESIGN INTENT OF THE HARDSCAPE AND LANDSCAPE FEATURES.
3. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR SUCH PORTIONS OF THE WORK.
4. COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.
5. THE CONTRACTOR SHALL PROVIDE COMPLETE PROJECT SYSTEMS AND COMPONENTS AND COMPLY WITH ALL REQUIREMENTS INDICATED ON THE PROJECT DOCUMENTS.
6. THE CONTRACTOR SHALL COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS AND SYSTEMS PRESENT OR PROVIDED BY THE OWNER.
7. VERIFY LOCATIONS OF ALL BUILDINGS, WALLS, EXISTING STRUCTURES, PIPES, ELECTRICAL AND ALL ELEMENTS AFFECTING LANDSCAPE SCOPE OF WORK WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. INFORMATION IN LANDSCAPE ARCHITECTURE PACKAGE IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND ENGINEERING INFORMATION. ADDITIONAL UTILITIES AND SITE ELEMENTS MAY EXIST WHICH ARE NOT SHOWN HEREIN.
8. VERIFY LOCATION OF ALL ADJACENT AND BELOW-GRADE ELECTRICAL, PLUMBING, DATA, CONDUIT, PIPING, DRAINAGE STRUCTURES AND OTHER UTILITY CONNECTIONS WITH THE APPROPRIATE AS-BUILT OR ENGINEERING DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THIS VERIFICATION AND THE PROTECTION OF THESE ELEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING THE EXECUTION OF THE WORK.
9. THE CONTRACTOR SHALL HAVE ALL BELOW-GRADE UTILITY AND SLEEVING WORK INSPECTED AND APPROVED PRIOR TO BEGINNING HARDSCAPE LAYOUT/MARKING/STAKING AND CONSTRUCTION.
10. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS TO COORDINATE SERVICE ROUTING OF ALL UTILITIES INCLUDING BUT NOT LIMITED TO WATER, GAS, TELEPHONE, ELECTRICAL, STORM, SEWER, AND IRRIGATION WITH THE OWNER AND TO AVOID CONFLICTS WITH HARDSCAPE AND LANDSCAPE FEATURES. ALL CONSTRUCTION MUST COMPLY WITH THE PROJECT SPECIFICATIONS AND NOT INTERFERE WITH BUILDING ELEMENTS TO BE PRESERVED.
11. ALL MATERIAL SHALL BE NEW, UNUSED AND TO THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.
12. PERFORM THE WORK AT THE PROJECT SITE DURING HOURS SPECIFIED BY THE OWNER.
13. ANY DAMAGE INCURRED DURING THE EXECUTION OF CONSTRUCTION TO EXISTING TREES OR STRUCTURES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
14. THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ALL WALLS, PAVEMENTS, AND OTHER SURFACES PRIOR TO FINAL INSPECTION.
15. REFERENCE TO SCALE IS FOR FULL-SIZE DRAWINGS. DIMENSIONS SHOWN ON DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE FROM DRAWINGS.
16. THE CONTRACTOR IS RESPONSIBLE FOR ACCURATE HORIZONTAL AND VERTICAL ALIGNMENT AND PREPARATION OF LAYOUT/MARKING/STAKING. THE CONTRACTOR IS REQUIRED TO PERFORM CONSTRUCTION LAYOUT/MARKING/STAKING AND SET ELEVATIONS FOR THE FORM WORK PRIOR TO INSPECTION BY THE ARCHITECT FOR APPROVAL.
17. ALL BUILDINGS, WALLS, COLUMNS, STRUCTURES, AND ANY VERTICAL ELEMENTS THAT ABUT CONCRETE PAVING ARE TO HAVE EXPANSION JOINT AS DETAILED HEREWITH.
18. ALL FORM WORK SHALL BE APPROVED FOR GEOMETRY AND GRADES BY THE ARCHITECT PRIOR TO INSTALLATION OF PAVEMENT, PLANTERS OR WALLS.
19. ALL ANGLES TO BE 90 DEGREES AND ALL LINES OF PAVING TO BE PARALLEL UNLESS OTHERWISE NOTED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS.
20. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTES.
21. "SIMILAR" OR "SIM" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.
22. "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE E NOTED SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS SHALL BE PROVIDED.
23. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH OF FACES OF MATERIALS IN STRAIGHT, TRUE, AND PLUMB RELATION TO ADJACENT MATERIALS.
24. TAKE ALL DIMENSIONS FROM FACE OF FIXED OBJECTS, WALL, OR BUILDING OR TO CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED. ALL DIMENSIONS CALLED OUT AS "EQUAL" ARE EQUIDISTANT MEASUREMENTS TO DESIGNATED CENTERLINE(S).
25. ALL LANDSCAPE DIMENSIONS TAKEN TO CENTERLINE OF BUILDING COLUMN SHALL MEAN THE FIRST ROW OF COLUMNS CLOSEST TO THE FACE OF THE BUILDING. SEE ARCHITECTURAL AND AS-BUILT DRAWINGS FOR CORRESPONDING COLUMN LINES.
26. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, WORK LIKE, FACE OF BUILDING, FACE OF WALL, OR CENTERLINE.
27. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE ENGINEERING AND AS-BUILT DRAWINGS FOR COLUMN GRID, CENTERLINES, BUILDING FACES, AND BENCHMARKS.
28. SEE DRAWINGS FOR DIMENSION OF SITE ELEMENTS. NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
29. IF DIMENSIONS VARY BY 1' OR MORE, CONTACT THE ARCHITECT FOR REVIEW AND CONFIRMATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
30. FINISH ELEVATIONS ARE INDICATED TO THE FACE OF PAVEMENT OR FINISHED GRADE OF SOIL AS APPLICABLE, UNLESS OTHERWISE NOTED.

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CUBES AT MESA - BUILDING A
 E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
 SITE REFERENCE PLAN

DRAWING NO.
L1.000

Job # 20.005838

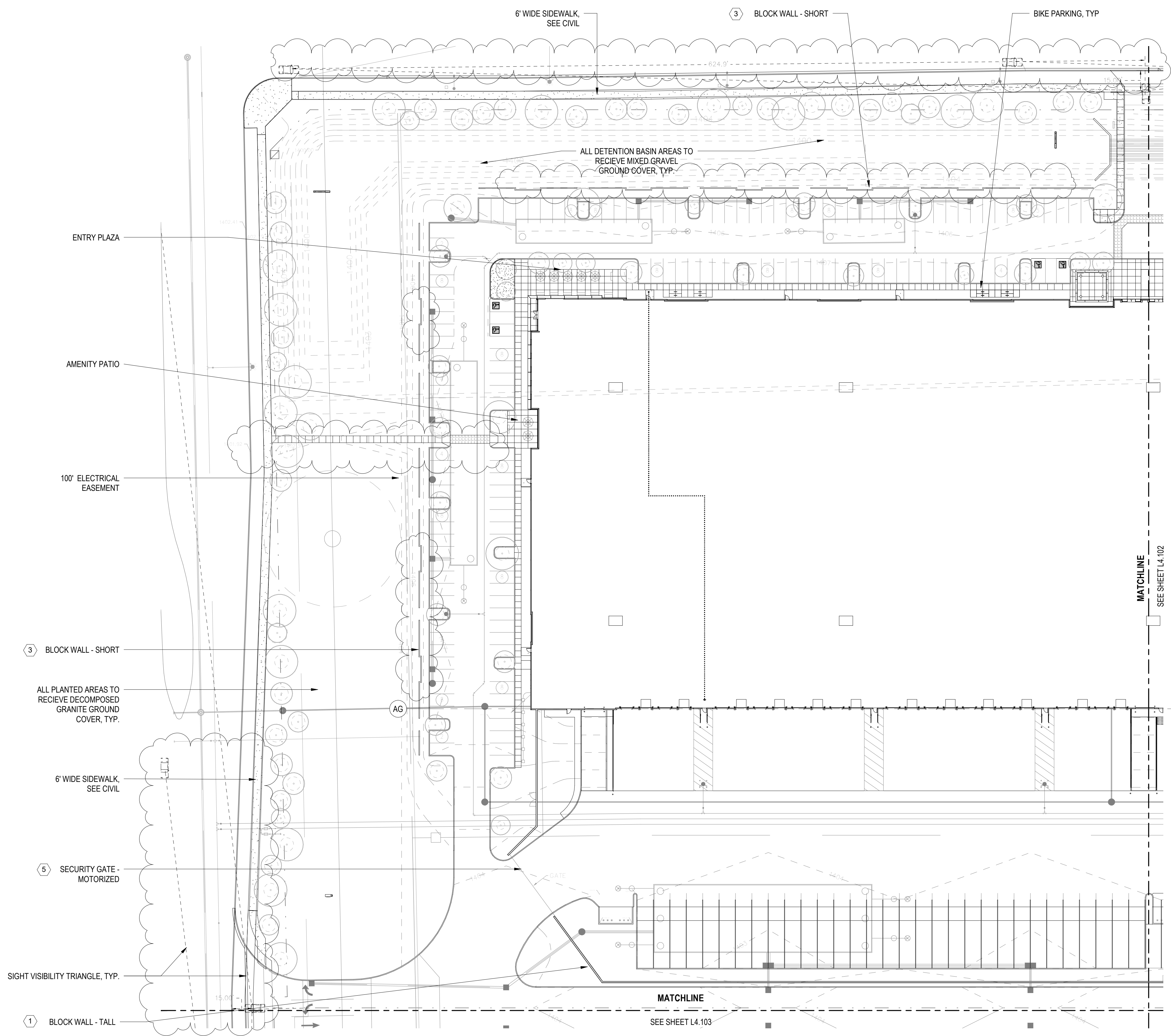
SHEET NOTES

DESCRIPTION	DETAIL
1. CONCRETE BLOCK WALL - TALL	B2 / L4.301
2. CONCRETE BLOCK WALL - OFFSET	- / -
3. CONCRETE BLOCK WALL - SHORT	B1 / L4.301
4. SECURITY FENCE	SEE SPECS
5. SECURITY GATE - MOTORIZED	E1 / L4.302
6. SECURITY GATE	SEE SPECS

NOTE:
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FENCING AND NON-MECHANICAL GATES. SEE SPECS FOR REQUIREMENTS.

LEGEND

SYMBOL	DESCRIPTION	DETAIL
	CONCRETE WALK	SEE CIVIL
	DETENTION BASIN WITH GRAVEL	C4 / L4.301
	DECOMPOSED GRANITE	E4 / L4.301



1 SITE PLAN - AREA A
L4.101 1" = 40'-0"

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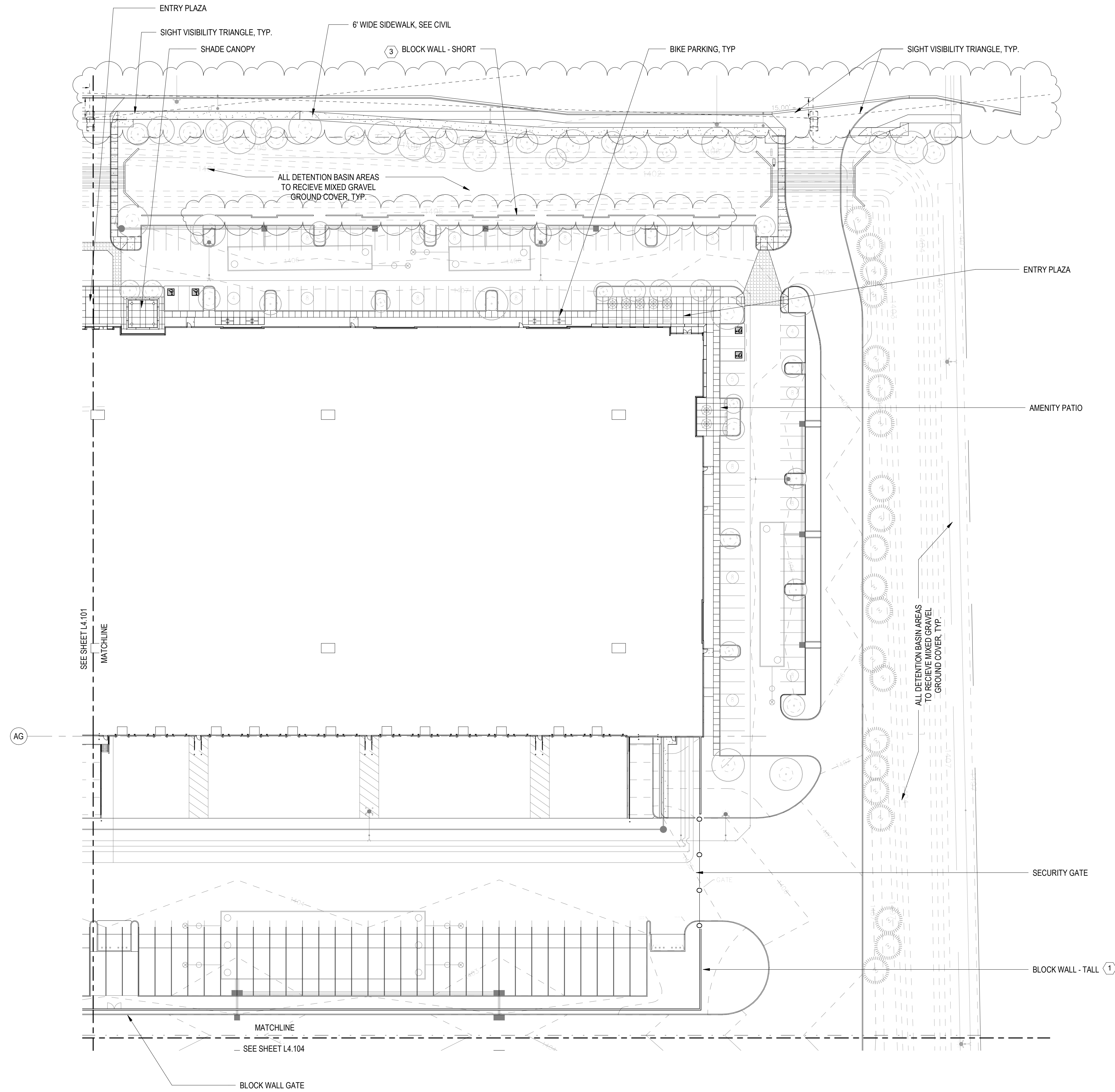
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DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
SITE PLAN - AREA A

DRAWING NO.
L4.101

Job # 20.005838



SHEET NOTES

DESCRIPTION	DETAIL
1. CONCRETE BLOCK WALL - TALL	B2 / L4.301
2. CONCRETE BLOCK WALL - OFFSET	- / -
3. CONCRETE BLOCK WALL - SHORT	B1 / L4.301
4. SECURITY FENCE	SEE SPECS
5. SECURITY GATE - MOTORIZED	E1 / L4.302
6. SECURITY GATE	SEE SPECS

NOTE:
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FENCING AND NON-MECHANICAL GATES. SEE SPECS FOR REQUIREMENTS.

LEGEND

SYMBOL	DESCRIPTION	DETAIL
[Pattern]	CONCRETE WALK	SEE CIVIL
[Pattern]	DETENTION BASIN WITH GRAVEL	C4 / L4.301
[Pattern]	DECOMPOSED GRANITE	E4 / L4.301

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DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
SITE PLAN - AREA B

DRAWING NO.
L4.102

Job # 20.005838

4/22/2022 11:28:46 AM

1 SITE PLAN - AREA B
L4.102 1" = 40'-0"

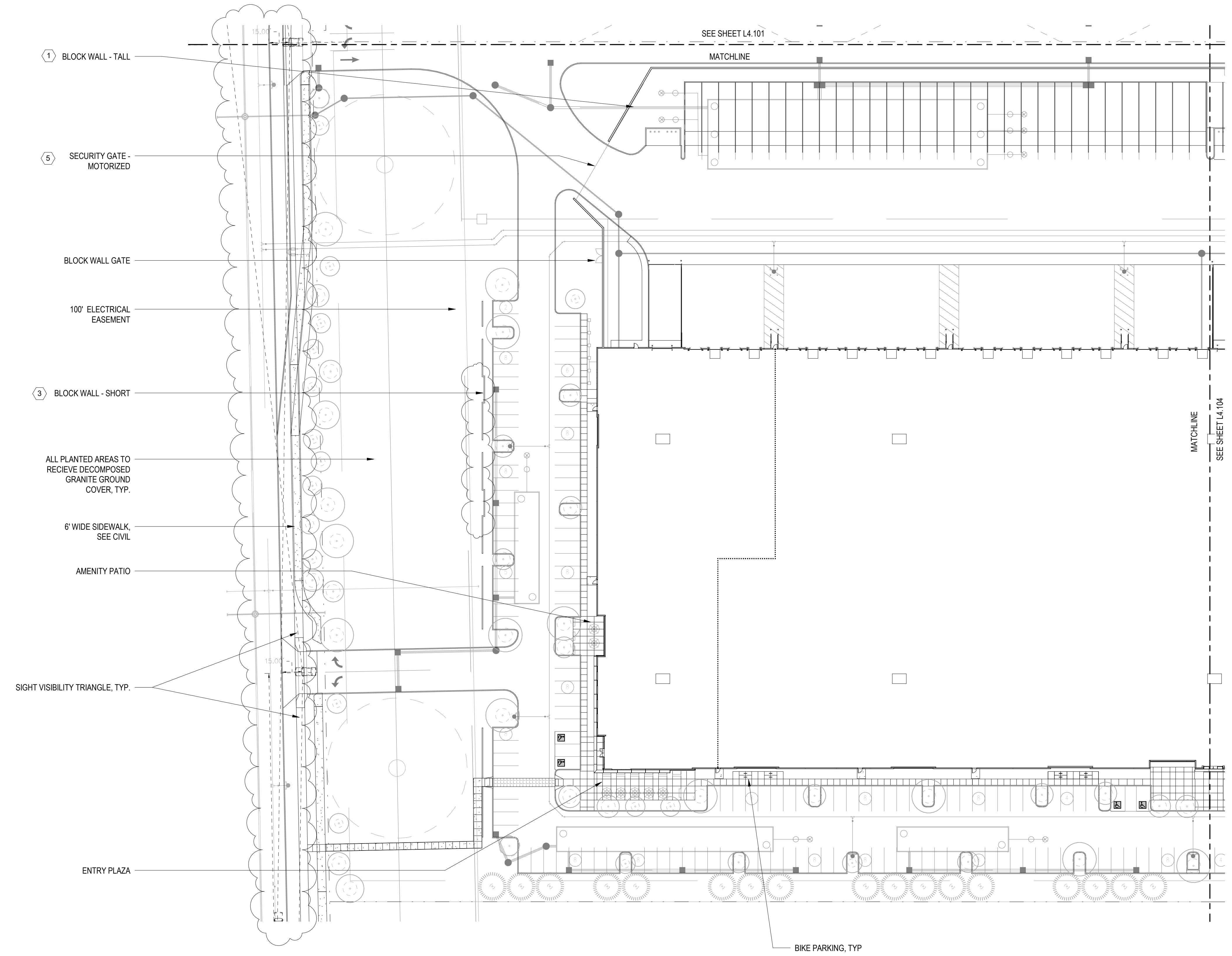
SHEET NOTES

DESCRIPTION	DETAIL
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2. CONCRETE BLOCK WALL - OFFSET	- / -
3. CONCRETE BLOCK WALL - SHORT	B1 / L4.301
4. SECURITY FENCE	SEE SPECS
5. SECURITY GATE - MOTORIZED	E1 / L4.302
6. SECURITY GATE	SEE SPECS

NOTE:
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FENCING AND NON-MECHANICAL GATES. SEE SPECS FOR REQUIREMENTS.

LEGEND

SYMBOL	DESCRIPTION	DETAIL
	CONCRETE WALK	SEE CIVIL
	DETENTION BASIN WITH GRAVEL	C4 / L4.301
	DECOMPOSED GRANITE	E4 / L4.301



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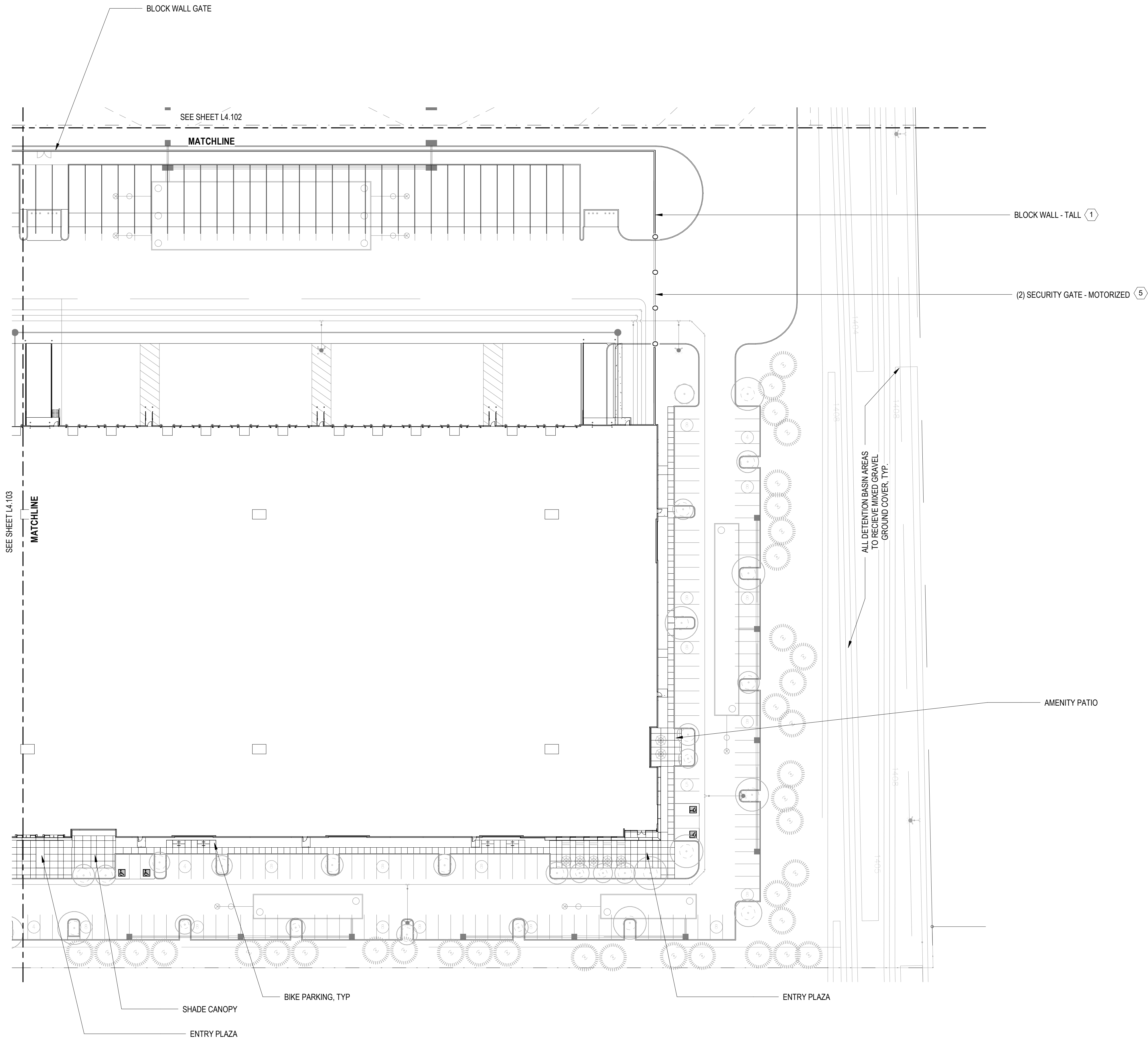
CUBES AT MESA - BUILDING B
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DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
SITE PLAN - AREA C

DRAWING NO.
L4.103

Job # 20.005838



SHEET NOTES

DESCRIPTION	DETAIL
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2. CONCRETE BLOCK WALL - OFFSET	- / -
3. CONCRETE BLOCK WALL - SHORT	B1 / L4.301
4. SECURITY FENCE	SEE SPECS
5. SECURITY GATE - MOTORIZED	E1 / L4.302
6. SECURITY GATE	SEE SPECS

NOTE:
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FENCING AND NON-MECHANICAL GATES. SEE SPECS FOR REQUIREMENTS.

LEGEND

SYMBOL	DESCRIPTION	DETAIL
[Pattern]	CONCRETE WALK	SEE CIVIL
[Pattern]	DETENTION BASIN WITH GRAVEL	C4 / L4.301
[Pattern]	DECOMPOSED GRANITE	E4 / L4.301

1 SITE PLAN - AREA D
L4.104
1" = 40'-0"

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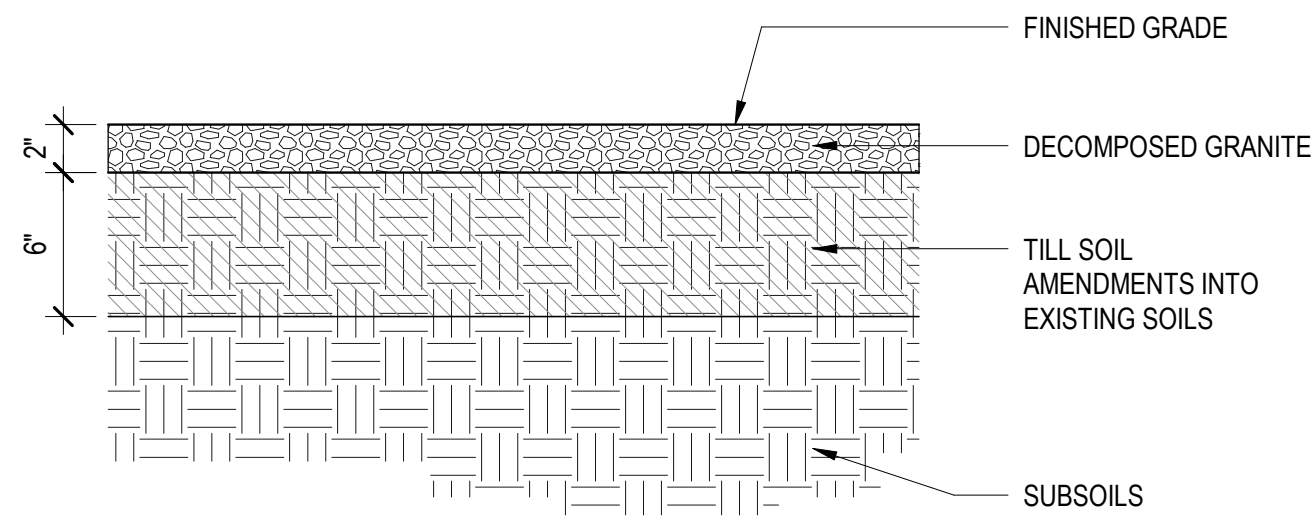
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E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
SITE PLAN - AREA D

DRAWING NO.
L4.104

Job # 20.005838



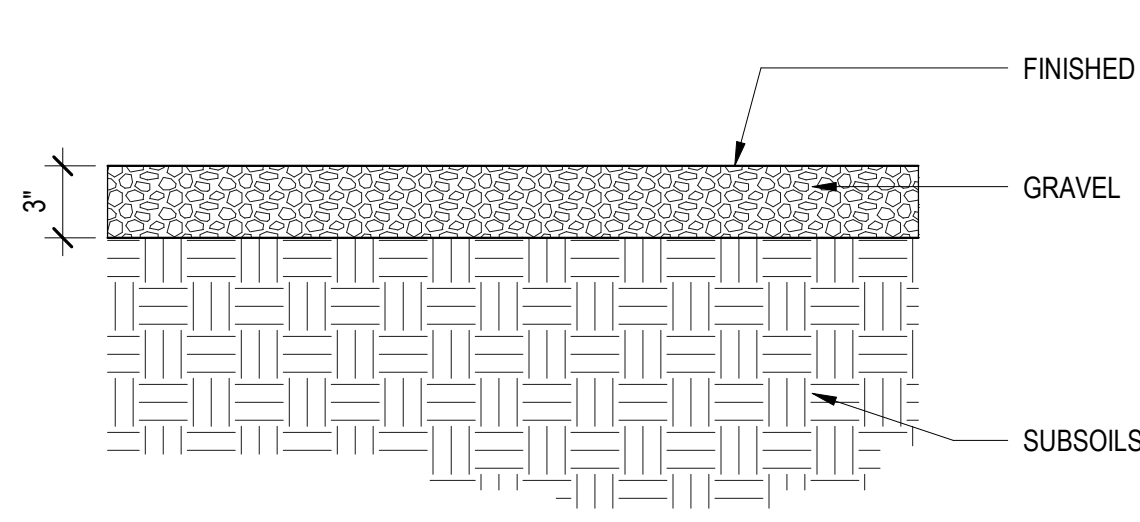
FINISHED GRADE
 DECOMPOSED GRANITE
 TILL SOIL AMENDMENTS INTO EXISTING SOILS
 SUBSOILS

DECOMPOSED GRANITE BASIS OF DESIGN:
 COLOR: TANNER GOLD. TO BE APPROVED BY LANDSCAPE ARCHITECT

1) GRANITE EXPRESS, 5332 E MAIN ST., MESA AZ 85205. TELEPHONE: 480-354-6809. HTTP://WWW.GRANITEEXPRESS.COM/
 2) PIONEER SAND, 1636 E. DEER VALLEY RD., PHOENIX, AZ 85024. TEL: (623) 869-7400. HTTPS://WWW.PIONEERSAND.COM/
 3) OR APPROVED EQUAL

E4 TYPICAL SOIL PROFILE - PLANTING WITH DECOMPOSED GRANITE

L4.301 1 1/2" = 1'-0"



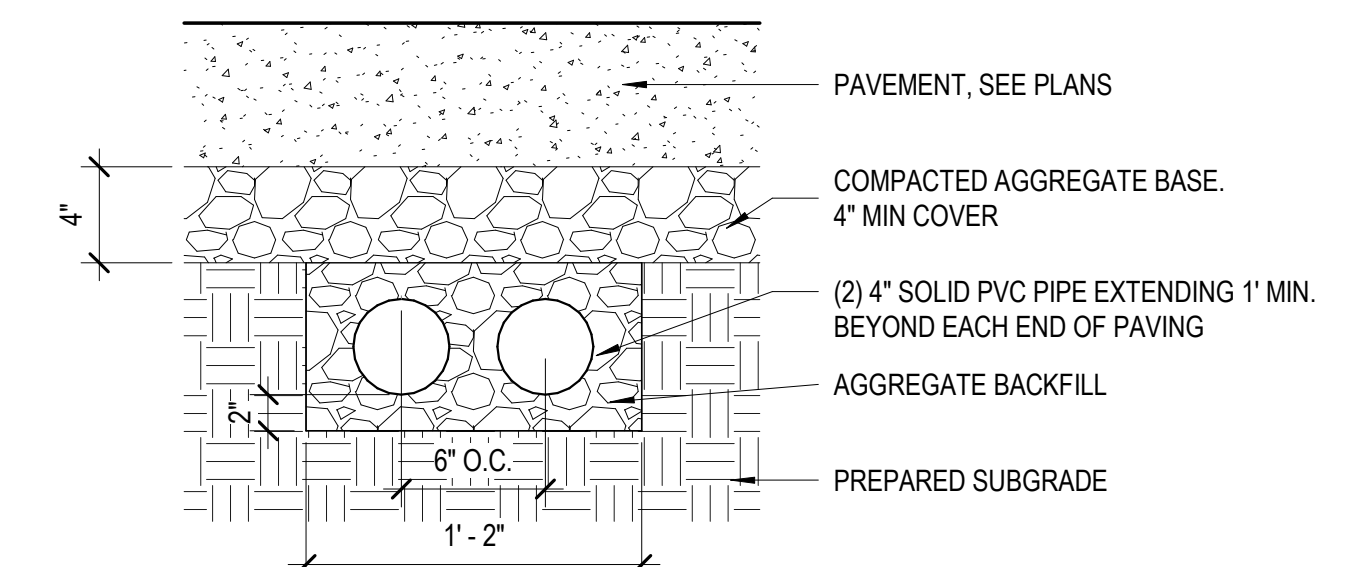
FINISHED GRADE
 GRAVEL
 SUBSOILS

COLOR: MIX OF THREE COLORS AND VARIED SIZES. TO BE APPROVED BY LANDSCAPE ARCHITECT

GRAVEL BASIS OF DESIGN:
 1) GRANITE EXPRESS, 5332 E MAIN ST., MESA AZ 85205. TELEPHONE: 480-354-6809. HTTP://WWW.GRANITEEXPRESS.COM/
 2) PIONEER SAND, 1636 E. DEER VALLEY RD., PHOENIX, AZ 85024. TEL: (623) 869-7400. HTTPS://WWW.PIONEERSAND.COM/
 3) OR APPROVED EQUAL

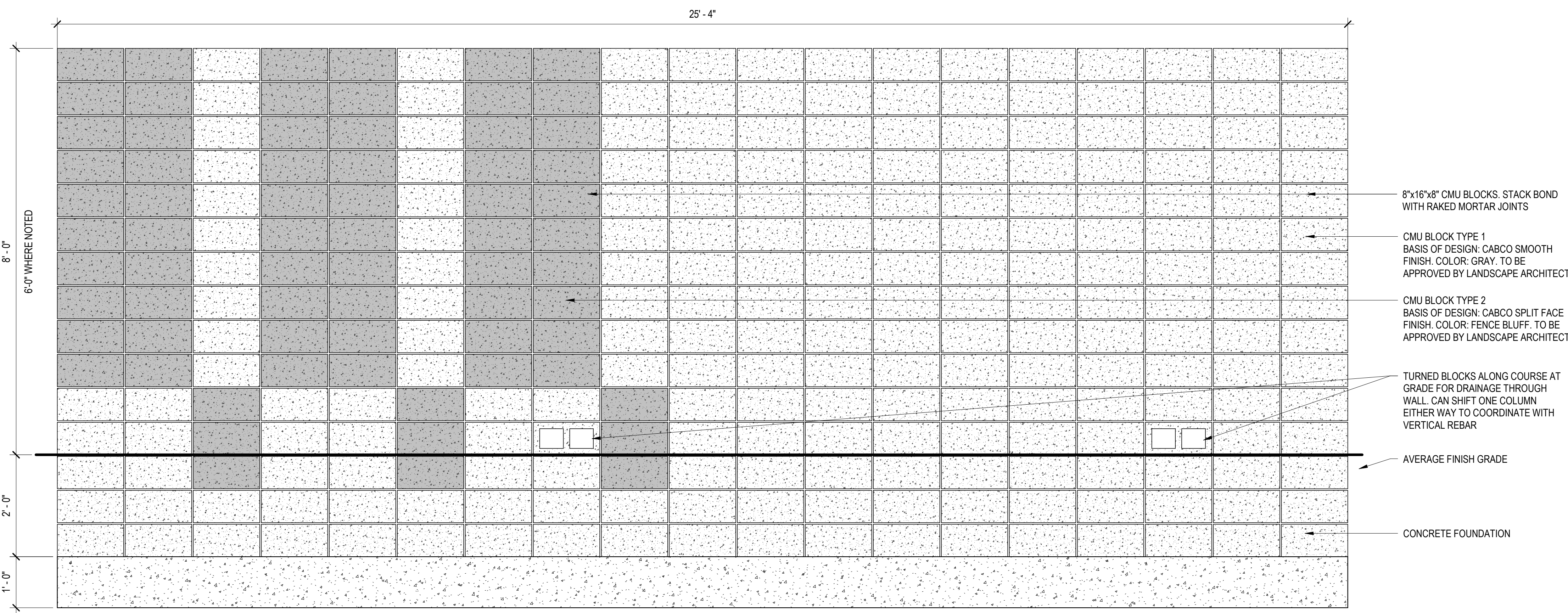
C4 TYPICAL SOIL PROFILE - DETENTION BASIN WITH GRAVEL

L4.301 1 1/2" = 1'-0"



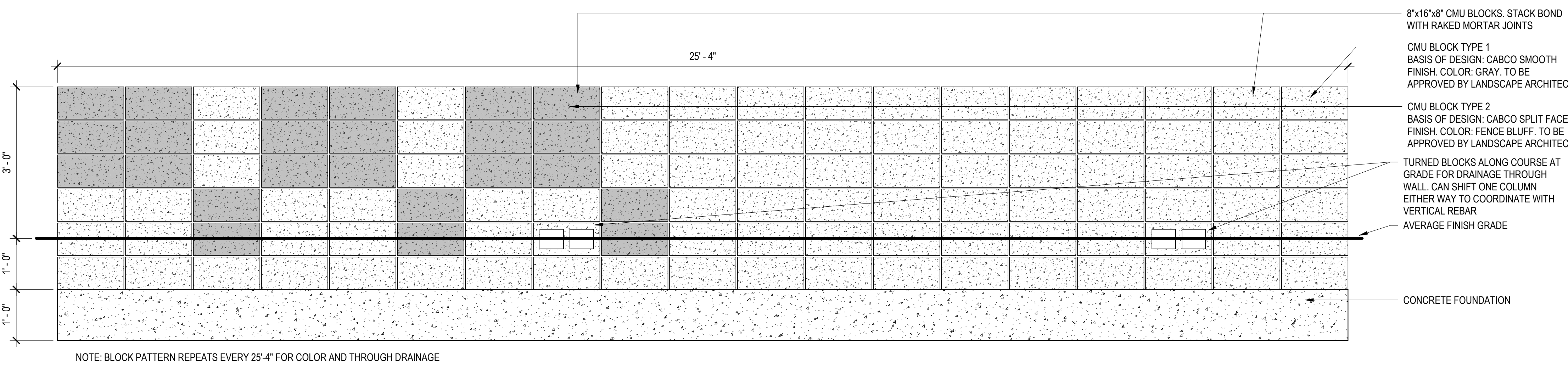
B4 SLEEVE

L4.301 1 1/2" = 1'-0"



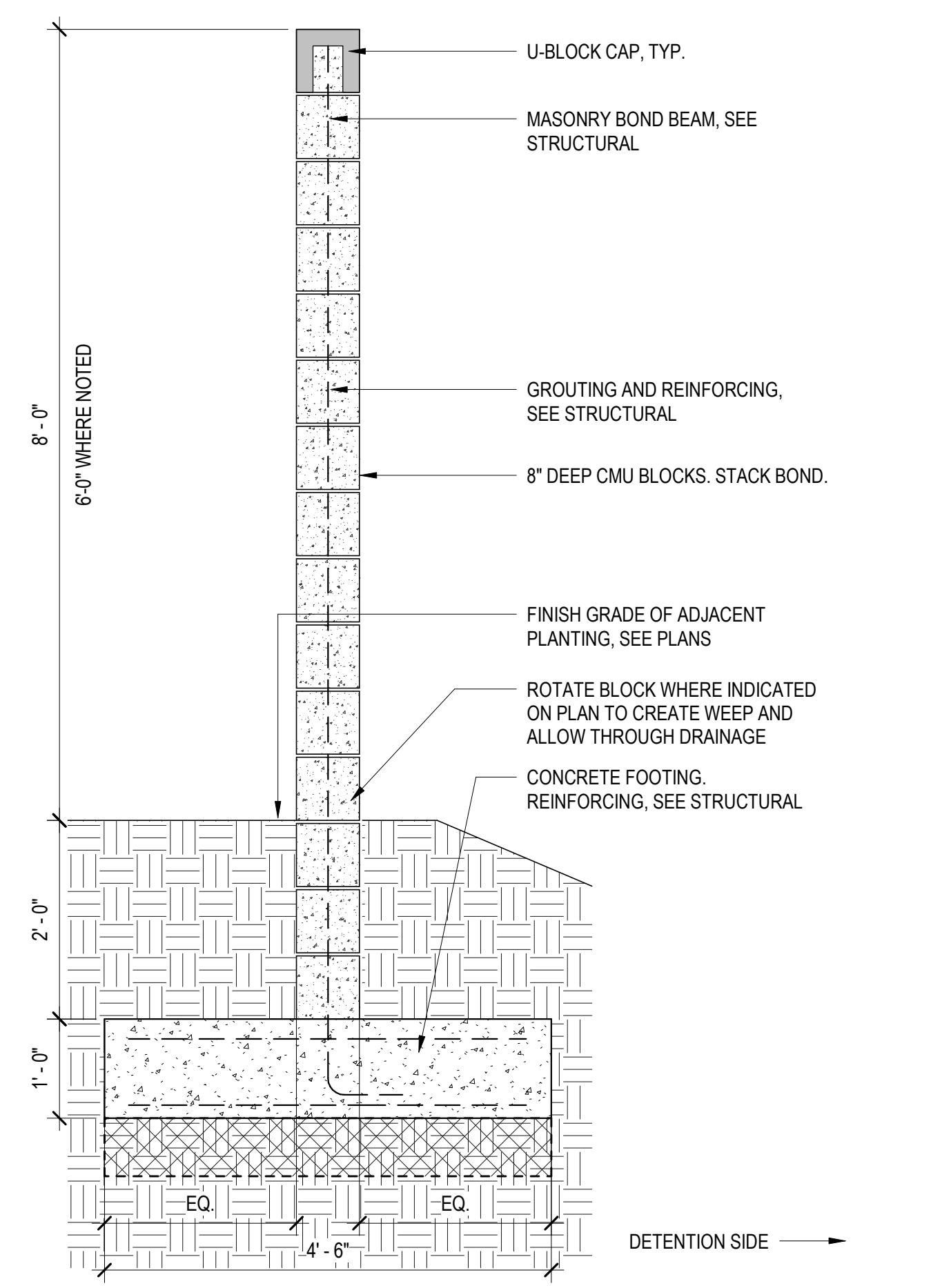
F2 CONCRETE BLOCK SCREENWALL - TALL - ELEVATION

L4.301 3/4" = 1'-0"



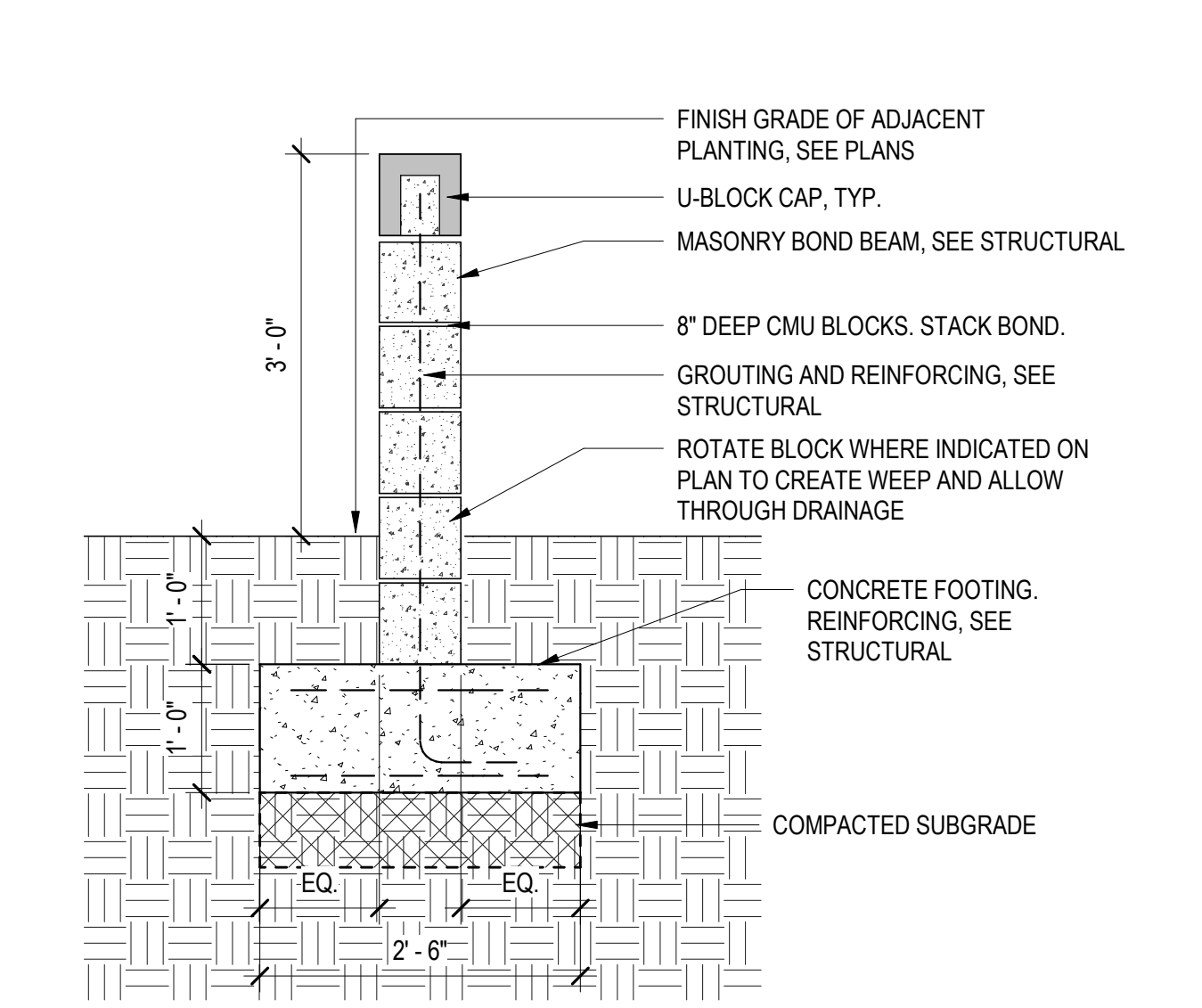
F1 CONCRETE BLOCK SCREENWALL - SHORT - ELEVATION

L4.301 3/4" = 1'-0"



B2 CONCRETE BLOCK SCREENWALL - TALL - SECTION

L4.301 3/4" = 1'-0"



B1 CONCRETE BLOCK SCREENWALL - SHORT - SECTION

L4.301 3/4" = 1'-0"

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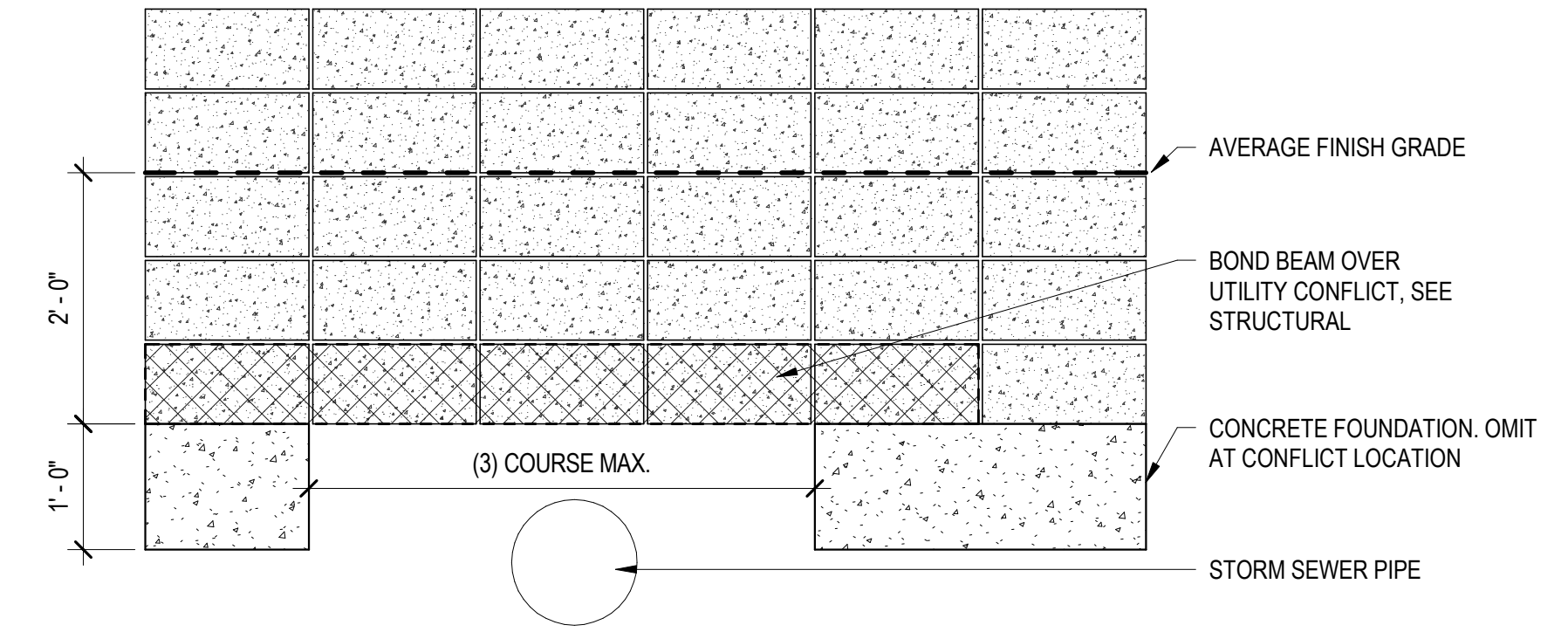
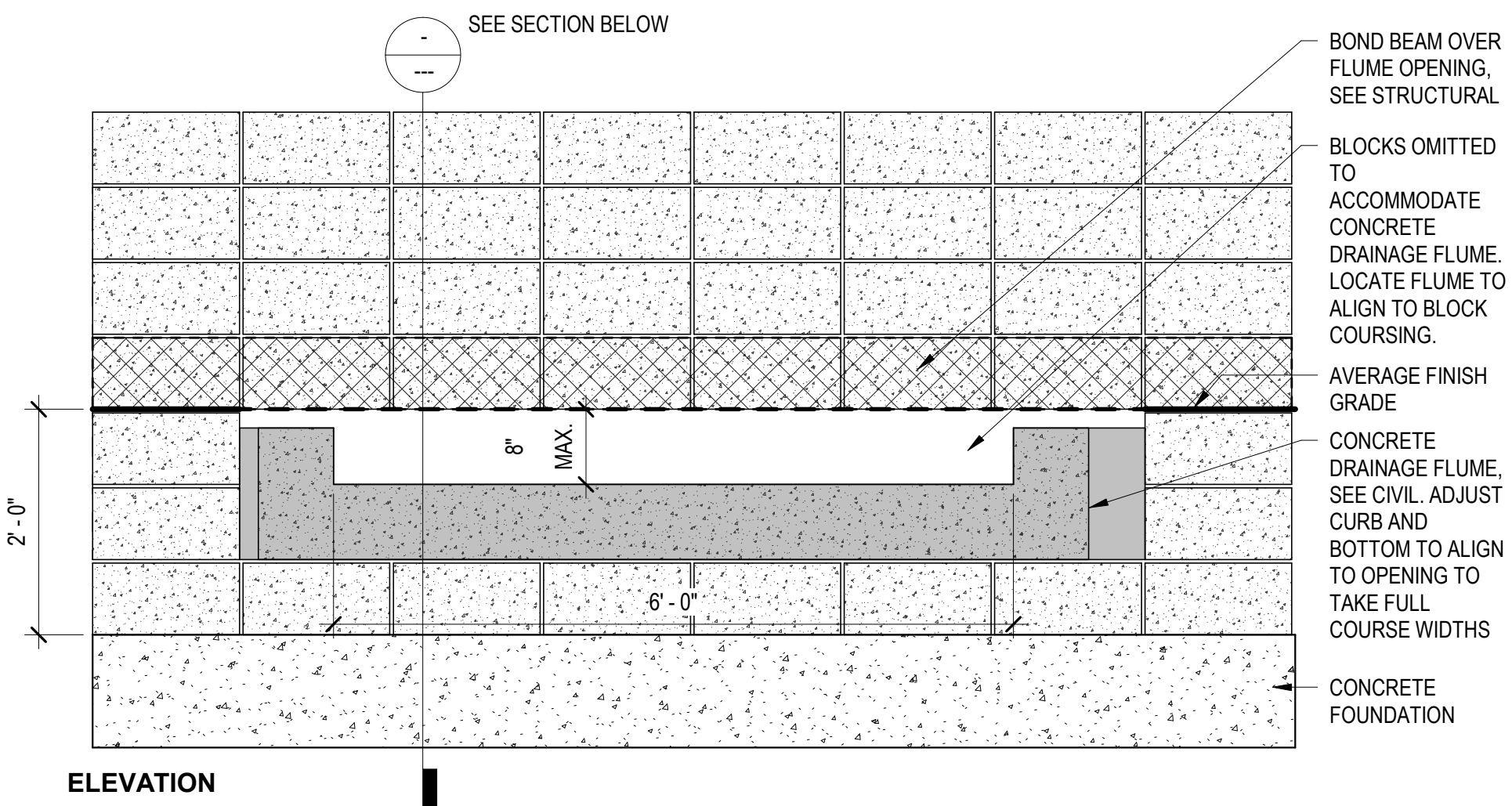
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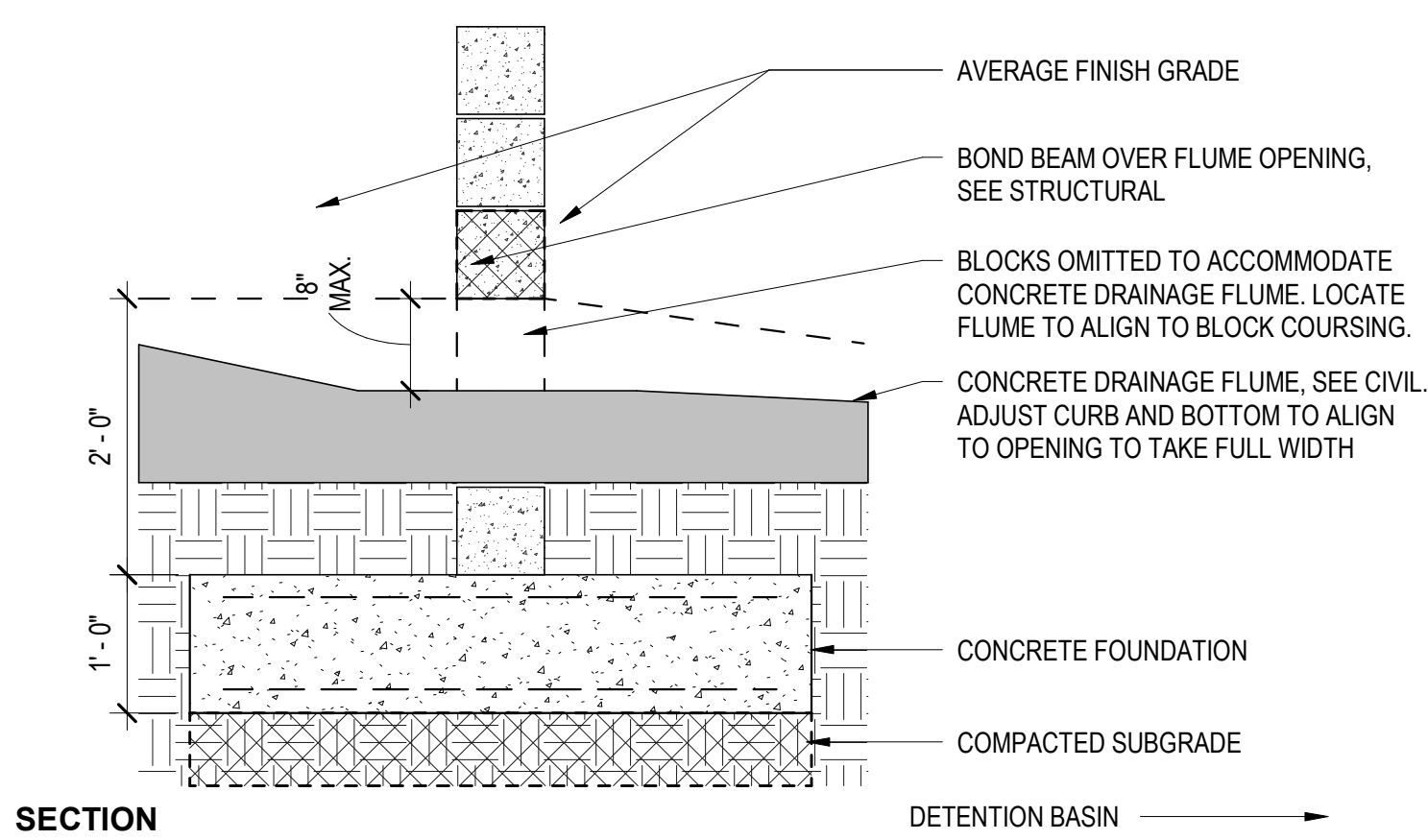
DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022

DRAWING TITLE	
SITE DETAILS	
DRAWING NO. L4.301	

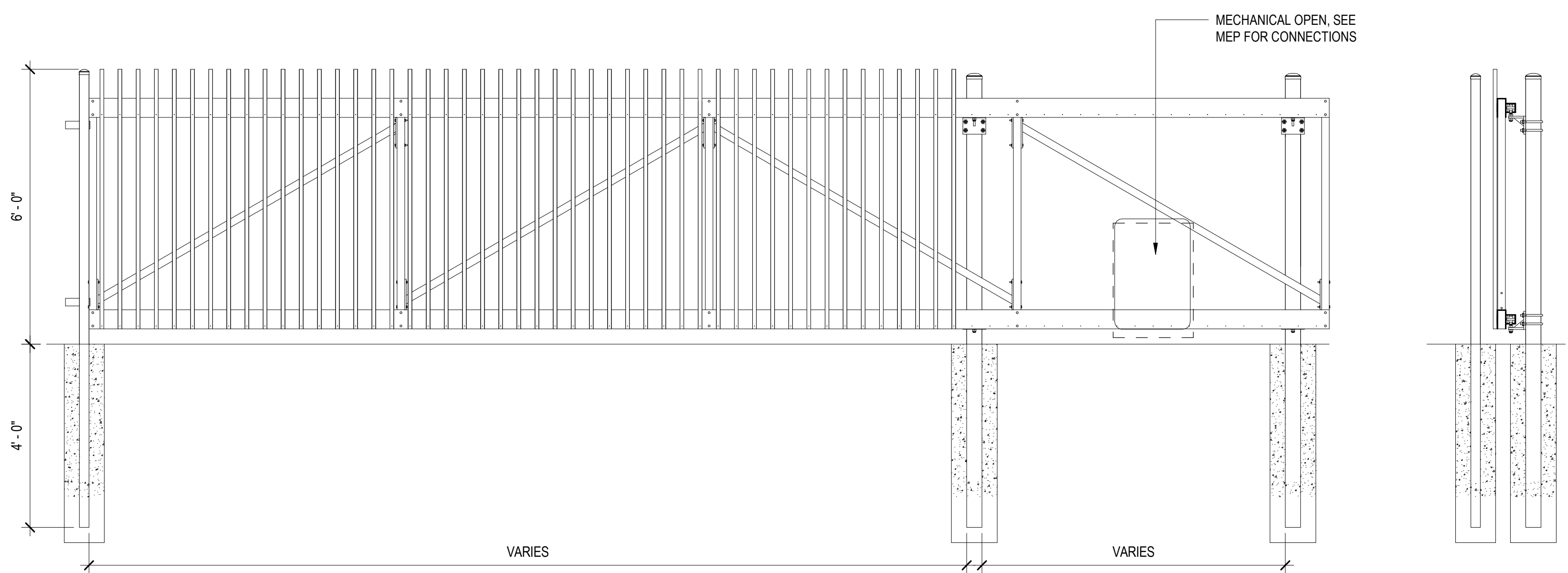
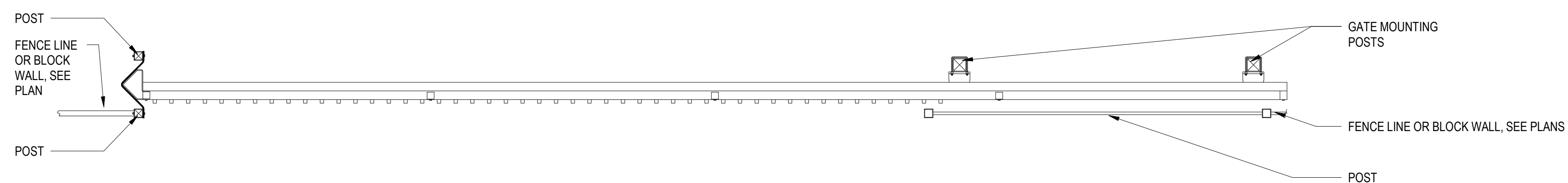
Job # **20.005838**



B4
L4.302
3/4" = 1'-0"
CONCRETE BLOCK SCREENWALL - UTILITY CONFLICT



E3
L4.302
3/4" = 1'-0"
CONCRETE BLOCK SCREENWALL - THRU DRAINAGE



NOTES:
CONTRACTOR TO PROVIDE SHOP DRAWINGS TO BE APPROVED BY ARCHITECT AND LANDSCAPE ARCHITECT. SEE SPECS FOR REQUIREMENTS.
PROVIDE KEYPAD AT MOTORIZED GATES FOR EMERGENCY VEHICLE ACCESS PER LOCAL REQUIREMENTS.

E1
L4.302
1/2" = 1'-0"
GATE ELEVATION

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CRG INTEGRATED REAL ESTATE SOLUTIONS

CUBEST AT MESA - BUILDINGS A&B
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DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022

DRAWING TITLE
SITE DETAILS

DRAWING NO.
L4.302

Job # 20.005838

CITY OF MESA GENERAL NOTES FOR LANDSCAPE PLAN

- LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
- DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES.
- DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
- INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIALS SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 795 OF THE MAG STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
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- ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN. ALL TREES SHALL CONFORM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 795.7. SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION'S SPECIFICATIONS SHALL PREVAIL.
- CITY RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINERED TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS WHICH MAY DESTROY ROOTBALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST TO CITY.
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- PLANT PIT SOIL MIXTURE SHALL CONSIST OF FOUR AND ONE-HALF PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6" LIFTS WITH EACH LIFT WATER SETTLED WITHOUT PUDDLING.
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- NO ROCKS LARGER THAN 1" IN DIAMETER SHALL BE ALLOWED IN THE TOP SIX (6) INCHES OF TOPSOIL WHERE TURF ESTABLISHMENT IS SPECIFIED. ROCK REMOVAL AS NECESSARY IS A NON-PAY (NPI) ITEM UNLESS OTHERWISE NOTED.
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- CONTRACTOR SHALL INSTALL DECOMPOSED GRANITE TO A ROLLED DEPTH PER THE APPROVED PLANS AND SPECIFICATIONS. DECOMPOSED GRANITE SHALL BE PER THE APPROVED PLANS AND SPECIFICATIONS WITH THE COLOR AS SPECIFIED ON THE PLANS. PRE-EMERGENT HERBICIDE SHALL BE APPLIED BEFORE AND AFTER PLACEMENT OF DECOMPOSED GRANITE PER THE MANUFACTURER'S RECOMMENDATIONS. PRE-EMERGENT HERBICIDE SHALL BE SURFLAN, DACTHAL, OR APPROVED EQUAL. SAMPLE TO BE PROVIDED FOR CITY REVIEW AND APPROVAL. CONTRACTOR SHALL WASH OFF ROCK MULCH ONCE FINAL PLACEMENT HAS OCCURRED.
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TREE LEGEND				
Code	Botanical Name	Cultivar	Common Name	Size

AC SM 15	Acacia smallii		Sweet Acacia	15 GAL.
AC SM 24	Acacia smallii		Sweet Acacia	24" BOX
AC SM 36	Acacia smallii		Sweet Acacia	36" BOX
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CA CA 36	Caesalpinia cocalaco	'Smoothie'	Thornless Cascalote	36" BOX
CE ME 24	Cercis mexicana		Mexican Redbud	24" BOX
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PI PU	Pinus cembroides		Mexican Pinon Pine	15 GAL.

SHRUB LEGEND				
Code	Botanical Name	Cultivar	Common Name	Size

ch me 1	Chrysactinia mexicana		Damianita Daisy	1 Gal.
ch me 5	Chrysactinia mexicana		Damianita Daisy	5 Gal.
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en fa 5	Encelia farinosa		Brittlebush	5 Gal.
eu ri 1	euphorbia rigida		Gopher Plant	1 Gal.
eu ri 5	euphorbia rigida		Gopher Plant	5 Gal.
ha pa 1	Hamelia patens	'Sierra Red'	Fire Bush	1 Gal.
ha pa 5	Hamelia patens	'Sierra Red'	Fire Bush	5 Gal.
ju sp 1	Justicia spicigera		Mexican Honeysuckle	1 Gal.
ju sp 5	Justicia spicigera		Mexican Honeysuckle	5 Gal.
pe pa 1	Penstemon parryi		Parry's Penstemon	1 Gal.
pe pa 5	Penstemon parryi		Parry's Penstemon	5 Gal.
te st 1	Tecoma stans	'Gold Star'	Yellow Bells	1 Gal.
te st 5	Tecoma stans	'Gold Star'	Yellow Bells	5 Gal.
ve ri 1	verbena rigida		Sandpaper Verbena	1 Gal.
ve ri 5	verbena rigida		Sandpaper Verbena	5 Gal.

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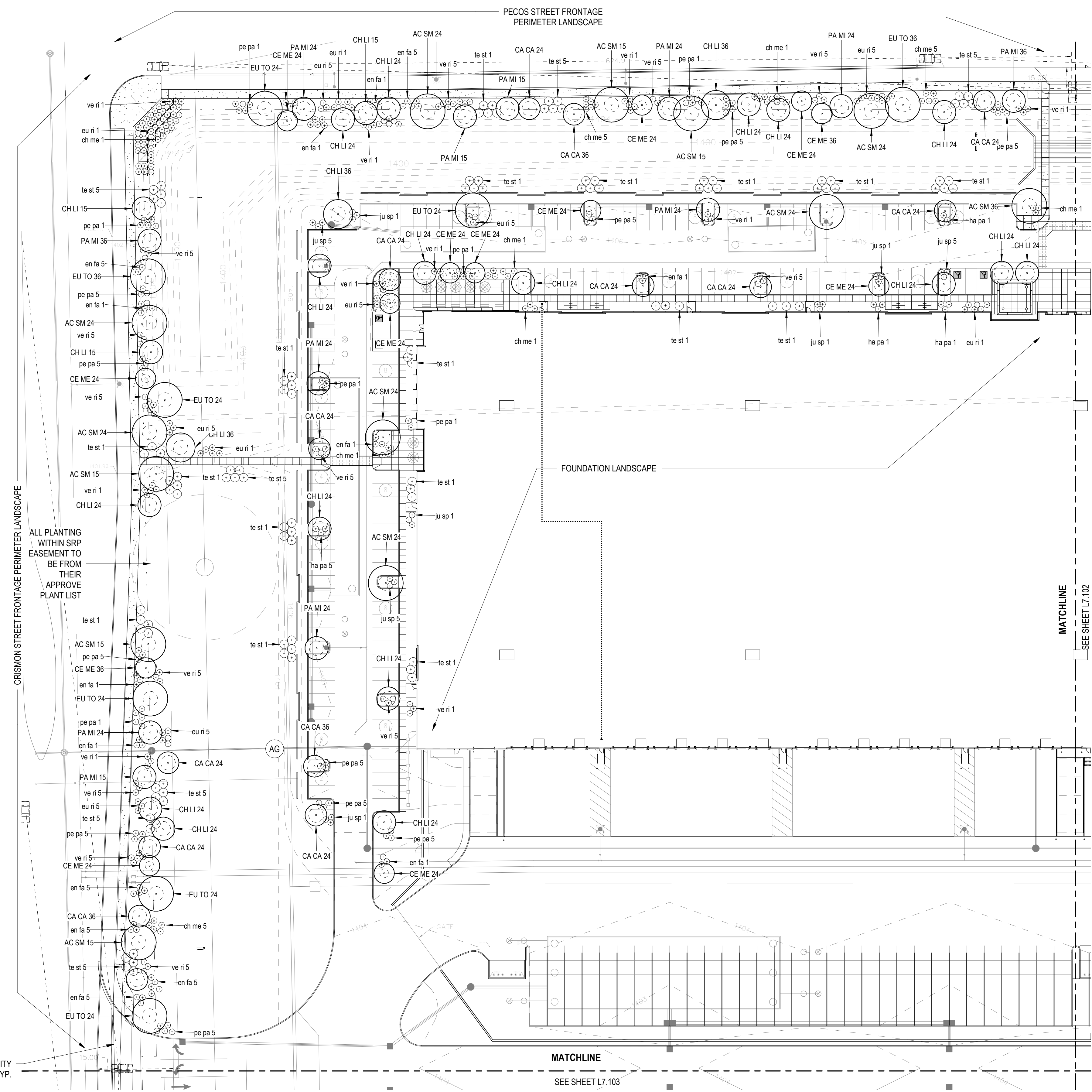
CUBES AT MESA - BUILDING A
E PECOS RD & S CRISMON RD., MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
PLANTING PLAN - AREA A

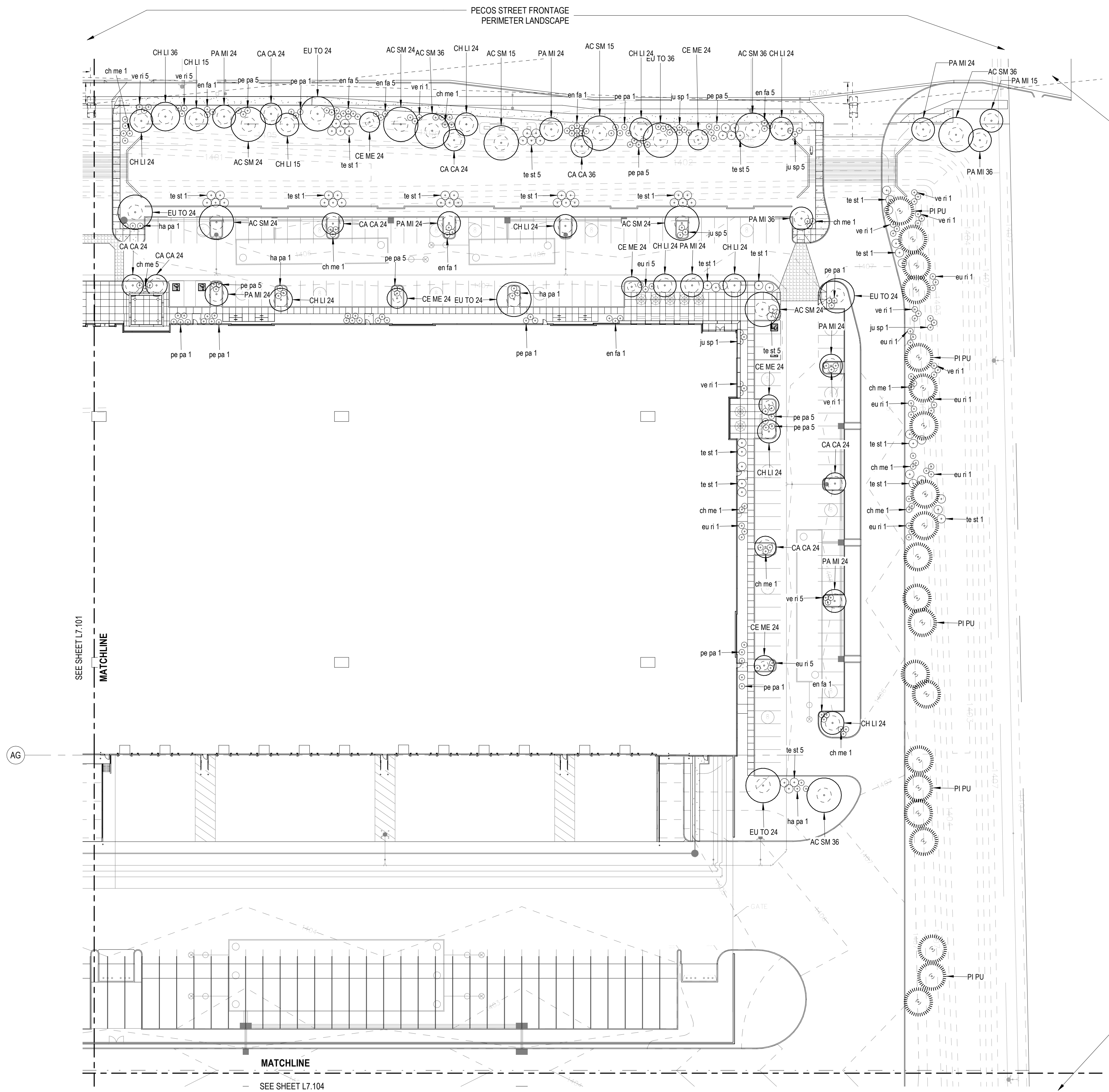
DRAWING NO.
L7.101

Job # 20.005838



PLANTING PLAN - AREA A
1
L7.101 1" = 40'-0"

4/22/2022 11:40:24 AM



CITY OF MESA GENERAL NOTES FOR LANDSCAPE PLAN

1. LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
2. DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES.
3. DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
4. INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
5. INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIALS SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 795 OF THE MAG STANDARD SPECIFICATIONS.
6. CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
7. LANDSCAPE REMOVAL IS A NON-PAY ITEM UNLESS OTHERWISE NOTED.
8. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. NOTED TO BE REMOVED ON THE PLANS AND SPECIFICATIONS SHALL BE REMOVED FROM PROJECT AREA AND DISPOSED OF PROPERLY OFF THE SITE AT THE CONTRACTOR'S EXPENSE (SCARIFY EXISTING SUBGRADE, MINIMUM SIX (6) INCHES DEPTH).
9. DAMAGE TO TURF SHALL BE REPAIRED BY CONTRACTOR, I.E., RUTS FILLED WITH CLEAN SOIL, COMPACTED TO MATCH SURROUNDING GRADES, EXCESS SOIL, ROCK, ETC. SHALL BE REMOVED TO LEAVE THE SITE CLEAN.
10. ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN. ALL TREES SHALL CONFORM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 795.7. SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION'S SPECIFICATIONS SHALL PREVAIL.
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12. PLANT PITS SHALL BE INSPECTED BY CITY PRIOR TO PLANTING BY THE CONTRACTOR BY REQUESTING AN INSPECTION 48 HOURS IN ADVANCE.
13. ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRADE IS INCLUDED IN THIS PROJECT.
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TREE LEGEND				
Code	Botanical Name	Cultivar	Common Name	Size

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Code	Botanical Name	Cultivar	Common Name	Size

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CUBES AT MESA - BUILDING A
E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
PLANTING PLAN - AREA B

DRAWING NO.
L7.102

Job # 20.005838

4/22/2022 11:44:12 AM
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L7.102
1" = 40'-0"
PLANTING PLAN - AREA B

CITY OF MESA GENERAL NOTES FOR LANDSCAPE PLAN

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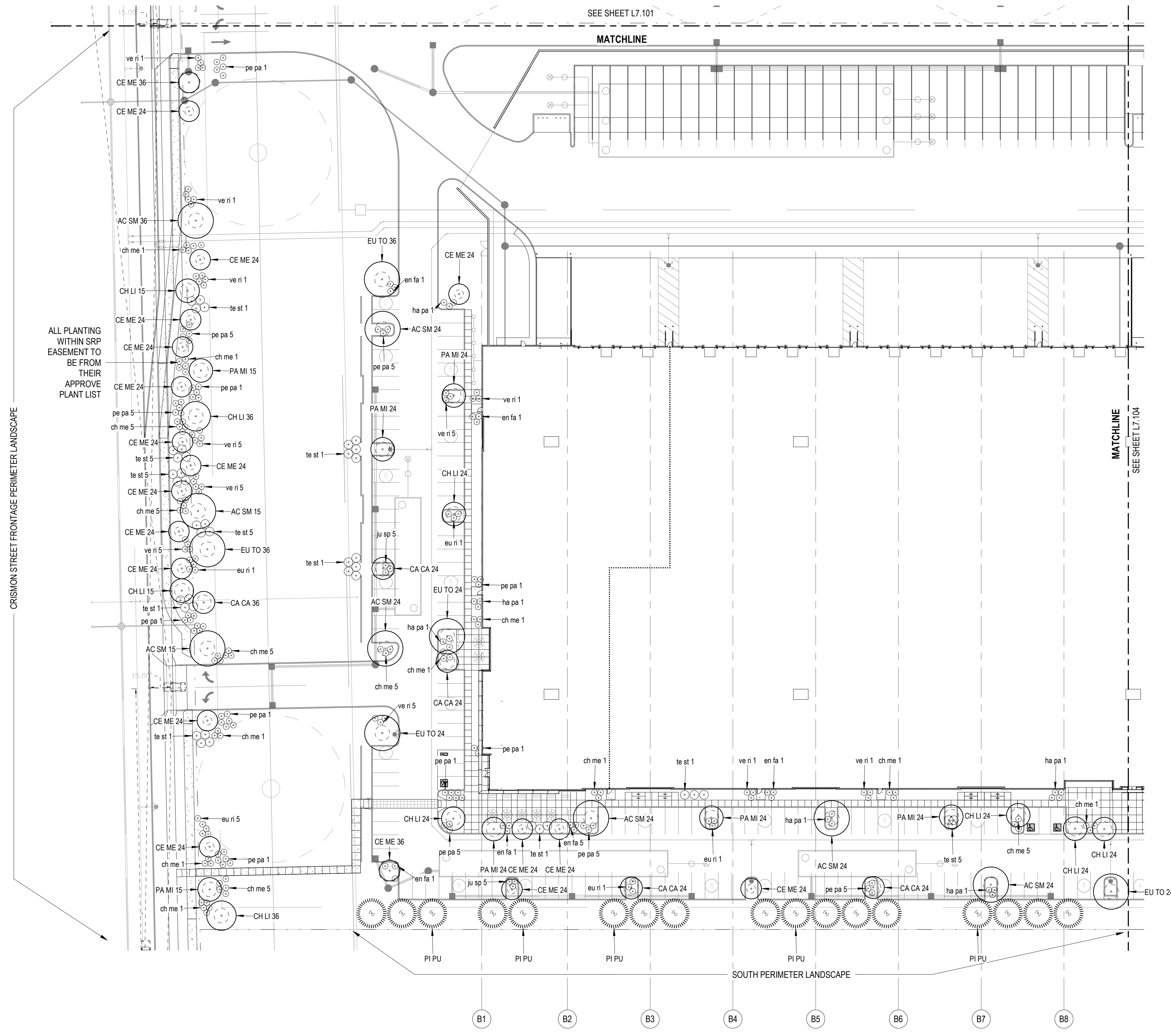
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AC SM 15	Acacia smallii		Sweet Acacia	15 GAL.
AC SM 24	Acacia smallii		Sweet Acacia	24" BOX
AC SM 36	Acacia smallii		Sweet Acacia	36" BOX
CA CA 24	Caesalpinia cacalaco	'Smoothie'	Thornless Cascalote	24" BOX
CA CA 36	Caesalpinia cacalaco	'Smoothie'	Thornless Cascalote	36" BOX
CE ME 24	Cercis mexicana		Mexican Redbud	24" BOX
CE ME 36	Cercis mexicana		Mexican Redbud	36" BOX
CH LI 15	Chilopsis linearis		Desert Willow	15 GAL.
CH LI 24	Chilopsis linearis		Desert Willow	24" BOX
CH LI 36	Chilopsis linearis		Desert Willow	36" BOX
EU TO 24	Eucalyptus torquata		Coral Gum	24" BOX
EU TO 36	Eucalyptus torquata		Coral Gum	36" BOX
PA MI 15	Parkinsonia microphylla		Foothill Palo Verde	15 GAL.
PA MI 24	Parkinsonia microphylla		Foothill Palo Verde	24" BOX
PA MI 36	Parkinsonia microphylla		Foothill Palo Verde	36" BOX
PI PU	Pinus cembroides		Mexican Pinon Pine	15 GAL.

SHRUB LEGEND

Code	Botanical Name	Cultivar	Common Name	Size
ch me 1	Chrysactinia mexicana		Damianita Daisy	1 Gal.
ch me 5	Chrysactinia mexicana		Damianita Daisy	5 Gal.
en fa 1	Encelia farinosa		Brittlebush	1 Gal.
en fa 5	Encelia farinosa		Brittlebush	5 Gal.
eu ri 1	euphorbia rigida		Gopher Plant	1 Gal.
eu ri 5	euphorbia rigida		Gopher Plant	5 Gal.
ha pa 1	Hamelia patens	'Sierra Red'	Fire Bush	1 Gal.
ha pa 5	Hamelia patens	'Sierra Red'	Fire Bush	5 Gal.
ju sp 1	Justicia spicigera		Mexican Honeysuckle	1 Gal.
ju sp 5	Justicia spicigera		Mexican Honeysuckle	5 Gal.
pe pa 1	Penstemon parryi		Parry's Penstemon	1 Gal.
pe pa 5	Penstemon parryi		Parry's Penstemon	5 Gal.
te st 1	Tecoma stans	'Gold Star'	Yellow Bells	1 Gal.
te st 5	Tecoma stans	'Gold Star'	Yellow Bells	5 Gal.
ve ri 1	verbena rigida		Sandpaper Verbena	1 Gal.
ve ri 5	verbena rigida		Sandpaper Verbena	5 Gal.

NOTE: NUMBER IN PLANT CODE INDICATED PLANT SIZE, NOT QUANTITY.



1 PLANTING PLAN - AREA C
1" = 40'-0"

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CRG INTEGRATED REAL ESTATE SOLUTIONS

CUBES AT MESA - BUILDING B
E PECOS RD & S CRISMON RD., MESA, AZ 85212

DRAWING ISSUE

DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
PLANTING PLAN - AREA C

DRAWING NO.
L7.103

Job # 20.005838

CITY OF MESA GENERAL NOTES FOR LANDSCAPE PLAN

- LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES.
 - DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
 - INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIALS SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 795 OF THE MAG STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
- LANDSCAPE REMOVAL IS A NON-PAY ITEM UNLESS OTHERWISE NOTED.
- ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. NOTED TO BE REMOVED ON THE PLANS AND SPECIFICATIONS SHALL BE REMOVED FROM PROJECT AREA AND DISPOSED OF PROPERLY OFF THE SITE AT THE CONTRACTOR'S EXPENSE (SCARIFY EXISTING SUBGRADE, MINIMUM SIX (6) INCHES DEPTH).
- DAMAGE TO TURF SHALL BE REPAIRED BY CONTRACTOR, I.E., RUTS FILLED WITH CLEAN SOIL, COMPACTED TO MATCH SURROUNDING GRADES, EXCESS SOIL, ROCK, ETC. SHALL BE REMOVED TO LEAVE THE SITE CLEAN.
- ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN. ALL TREES SHALL CONFORM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 795.7. SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION'S SPECIFICATIONS SHALL PREVAIL.
- CITY RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINERED TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS WHICH MAY DESTROY ROOTBALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST TO CITY.
- PLANT PITS SHALL BE INSPECTED BY CITY PRIOR TO PLANTING BY THE CONTRACTOR BY REQUESTING AN INSPECTION 48 HOURS IN ADVANCE.
- ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRADE IS INCLUDED IN THIS PROJECT.
- SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE COMPLETED BY CONTRACTOR TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE COPY OF SOIL TEST RESULTS FOR REVIEW AND APPROVAL TO ENGINEERING INSPECTOR AT LEAST SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING. AFTER APPROVAL BY THE CITY, THE CONTRACTOR SHALL PROVIDE AND INCORPORATE ANY ADDITIVES REQUIRED PRIOR TO OR AT TIME OF PLANTING.
- PLANT PIT SOIL MIXTURE SHALL CONSIST OF FOUR AND ONE-HALF PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6" LIFTS WITH EACH LIFT WATER SETTLED WITHOUT PUDDLING.
- CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT LEGEND ITEM NUMBER FROM PLANS.
- ALL EXISTING (GAS, ELECTRIC, WATER, ETC.) COVERS AND BOXES SHALL REMAIN UNCOVERED. CONTRACTOR TO ADJUST TO FINAL GRADE AS NECESSARY. NON-PAY ITEM (NPI) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE UNDERGROUND SPRINKLER SYSTEMS IN ADVANCE OF CONSTRUCTION. THE SPRINKLER SYSTEM LOCATIONS NOTED ON PLANS ARE FOR REFERENCE ONLY.
- CONTRACTOR TO VERIFY DEPTH OF ALL INLET STRUCTURES AND SPRINKLER SYSTEMS PRIOR TO TRENCHING FOR LOW-FLOW CHANNEL.
- CONTRACTOR TO PROVIDE PUMPING WITHIN FIVE (5) DAYS AFTER THE NOTICE TO PROCEED IS GIVEN AS REQUIRED TO DRY THE AREA SUFFICIENTLY TO BEGIN CONSTRUCTION.
- CONTRACTOR SHALL ARRANGE FOR SPRINKLER SYSTEM SHUTDOWN DURING CONSTRUCTION BY CONTACTING THE ENGINEERING INSPECTOR.
- NO ROCKS LARGER THAN 1" IN DIAMETER SHALL BE ALLOWED IN THE TOP SIX (6) INCHES OF TOPSOIL WHERE TURF ESTABLISHMENT IS SPECIFIED. ROCK REMOVAL AS NECESSARY IS A NON-PAY (NPI) ITEM UNLESS OTHERWISE NOTED.
- WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY ONE-THIRD (1/3) OVER SPECIFICATION, AND A LIQUID PENETRATOR, "AL-KALICHE" OR EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL INSTALL DECOMPOSED GRANITE TO A ROLLED DEPTH PER THE APPROVED PLANS AND SPECIFICATIONS. DECOMPOSED GRANITE SHALL BE PER THE APPROVED PLANS AND SPECIFICATIONS WITH THE COLOR AS SPECIFIED ON THE PLANS. PRE-EMERGENT HERBICIDE SHALL BE APPLIED BEFORE AND AFTER PLACEMENT OF DECOMPOSED GRANITE PER THE MANUFACTURER'S RECOMMENDATIONS. PRE-EMERGENT HERBICIDE SHALL BE SURFLAN, DACTHAL, OR APPROVED EQUAL. SAMPLE TO BE PROVIDED FOR CITY REVIEW AND APPROVAL. CONTRACTOR SHALL WASH OFF ROCK MULCH ONCE FINAL PLACEMENT HAS OCCURRED.
- RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS, COMPONENTS AND LANDSCAPE AREAS IMPACTED BY ANY WORK UNDER THIS CONTRACT. RESTORE ALL EXISTING IRRIGATION AND LANDSCAPE IN ACCORDANCE WITH THE LANDSCAPE RESTORATION NOTES INDICATED WITHIN THESE DOCUMENTS. AT A MINIMUM, ALL RESTORATION SHALL BE IN ACCORDANCE WITH M.A.G. SPECIFICATION 107.9 - PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE. ALL RESTORATION WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF MESA ENGINEER.
- ALL RESTORATION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REFERENCED DETAILS AND ANY ADDITIONAL DETAILS PROVIDED.
- REFER TO LANDSCAPE PLANTING SHEETS AND ENGINEERING DRAWINGS FOR ADDITIONAL RESTORATION NOTES AND REQUIRED COORDINATION.

TREE LEGEND				
Code	Botanical Name	Cultivar	Common Name	Size

AC SM 15	Acacia smallii		Sweet Acacia	15 GAL.
AC SM 24	Acacia smallii		Sweet Acacia	24" BOX
AC SM 36	Acacia smallii		Sweet Acacia	36" BOX
CA CA 24	Caesalpinia cocalaco	'Smoothie'	Thornless Cascadote	24" BOX
CA CA 36	Caesalpinia cocalaco	'Smoothie'	Thornless Cascadote	36" BOX
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CH LI 15	Chilopsis Linearis		Desert Willow	15 GAL.
CH LI 24	Chilopsis Linearis		Desert Willow	24" BOX
CH LI 36	Chilopsis Linearis		Desert Willow	36" BOX
EU TO 24	Eucalyptus torquata		Coral Gum	24" BOX
EU TO 36	Eucalyptus torquata		Coral Gum	36" BOX
PA MI 15	Parkinsonia microphylla		Foothill Palo Verde	15 GAL.
PA MI 24	Parkinsonia microphylla		Foothill Palo Verde	24" BOX
PA MI 36	Parkinsonia microphylla		Foothill Palo Verde	36" BOX
PI PU	Pinus cembroides		Mexican Pinon Pine	15 GAL.

SHRUB LEGEND				
Code	Botanical Name	Cultivar	Common Name	Size

ch me 1	Chrysactinia mexicana		Damianita Daisy	1 Gal.
ch me 5	Chrysactinia mexicana		Damianita Daisy	5 Gal.
en fa 1	Encelia farinosa		Brittlebush	1 Gal.
en fa 5	Encelia farinosa		Brittlebush	5 Gal.
eu ri 1	euphorbia rigida		Gopher Plant	1 Gal.
eu ri 5	euphorbia rigida		Gopher Plant	5 Gal.
ha pa 1	Hamelia patens	'Sierra Red'	Fire Bush	1 Gal.
ha pa 5	Hamelia patens	'Sierra Red'	Fire Bush	5 Gal.
ju sp 1	Justicia spicigera		Mexican Honeysuckle	1 Gal.
ju sp 5	Justicia spicigera		Mexican Honeysuckle	5 Gal.
pe pa 1	Penstemon parryi		Parry's Penstemon	1 Gal.
pe pa 5	Penstemon parryi		Parry's Penstemon	5 Gal.
te st 1	Tecoma stans	'Gold Star'	Yellow Bells	1 Gal.
te st 5	Tecoma stans	'Gold Star'	Yellow Bells	5 Gal.
ve ri 1	verbena rigida		Sandpaper Verbena	1 Gal.
ve ri 5	verbena rigida		Sandpaper Verbena	5 Gal.

NOTE: NUMBER IN PLANT CODE INDICATED PLANT SIZE, NOT QUANTITY.

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PROFESSIONAL LANDSCAPE ARCHITECT
CERTIFICATE NO. 70418
MATTHEW MARANZANA
ONE-SIGNATURE
03.21.2022

CRG INTEGRATED REAL ESTATE SOLUTIONS

CUBES AT MESA - BUILDING B
E PECOS RD & S CRISMON RD, MESA, AZ 85212

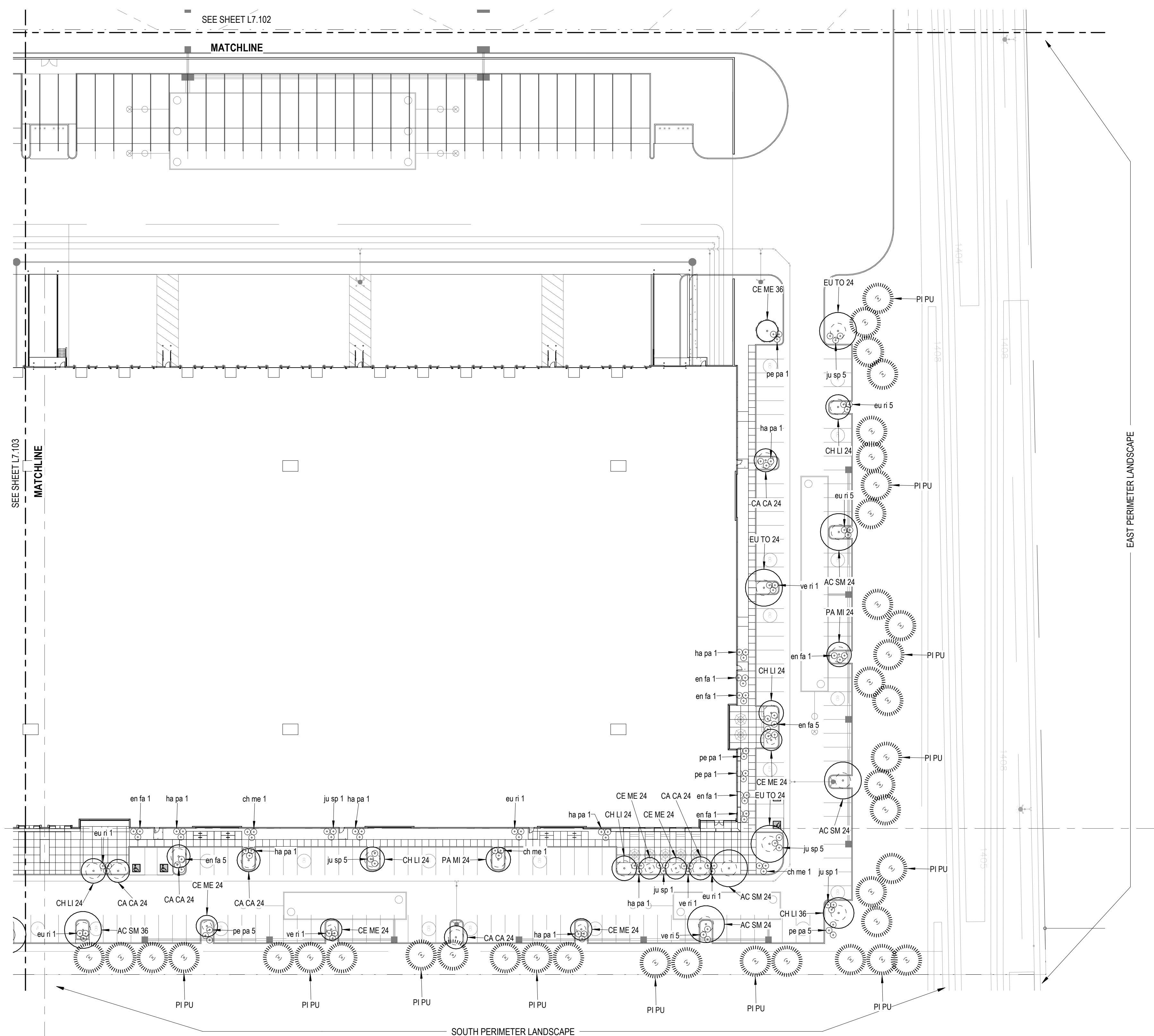
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DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

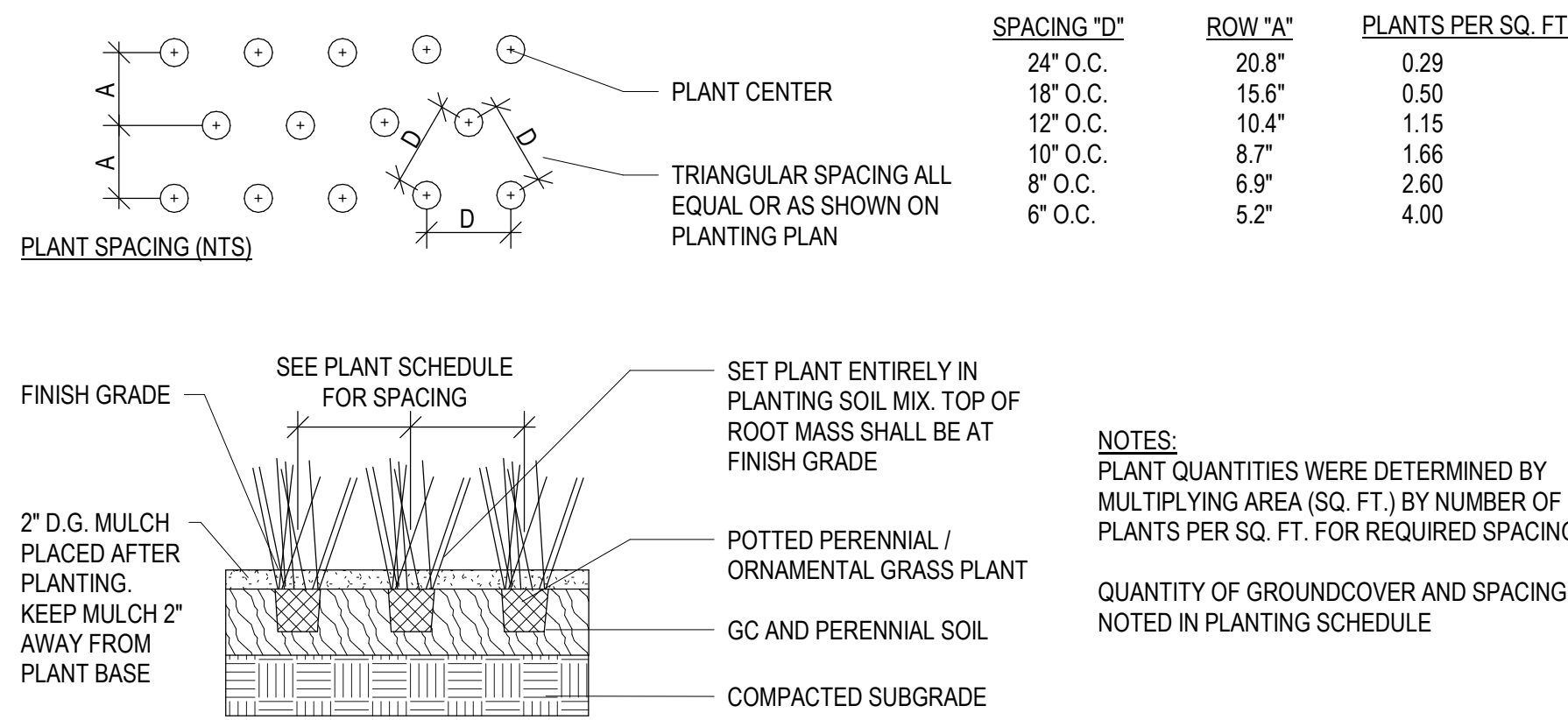
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PLANTING PLAN - AREA D

DRAWING NO.
L7.104

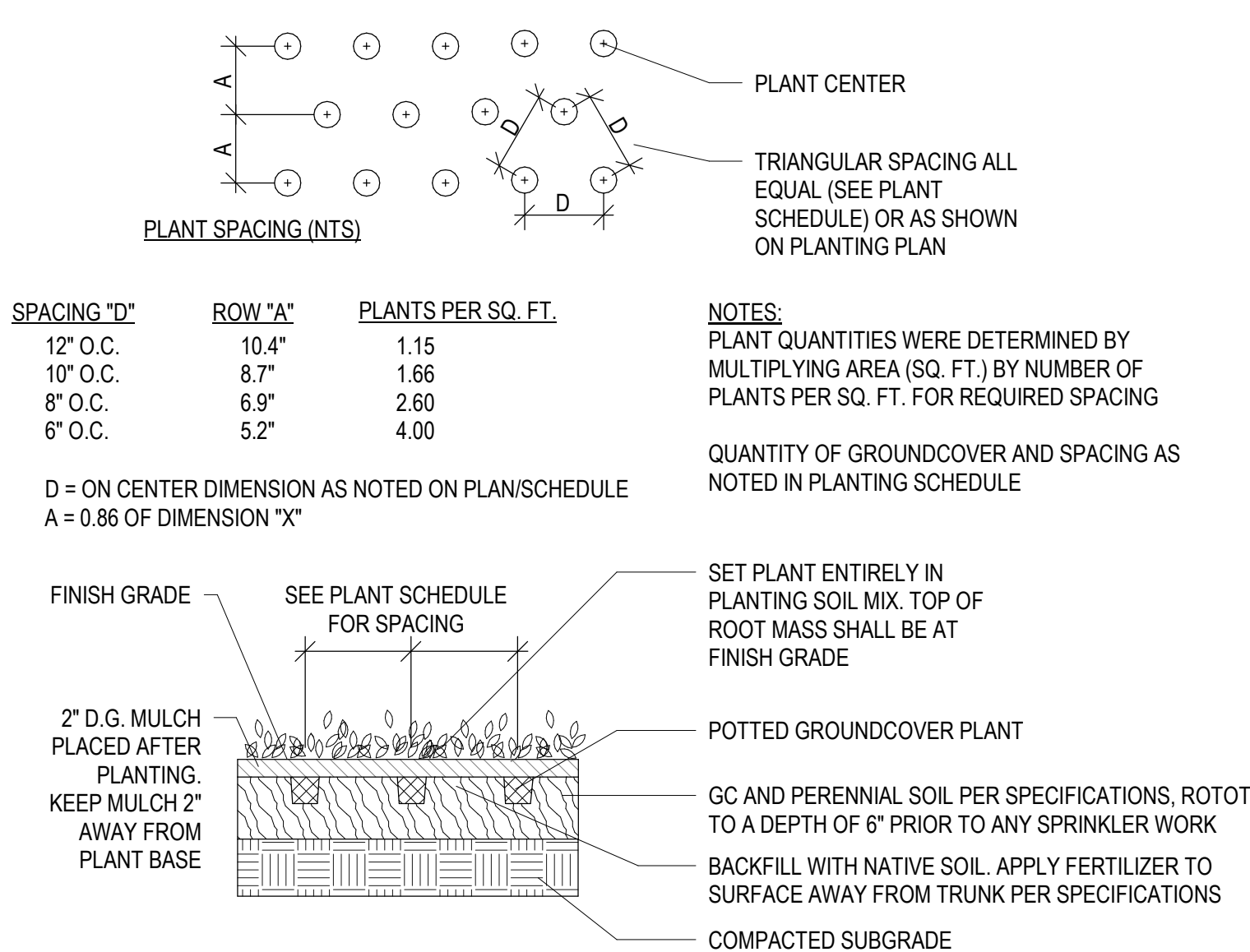
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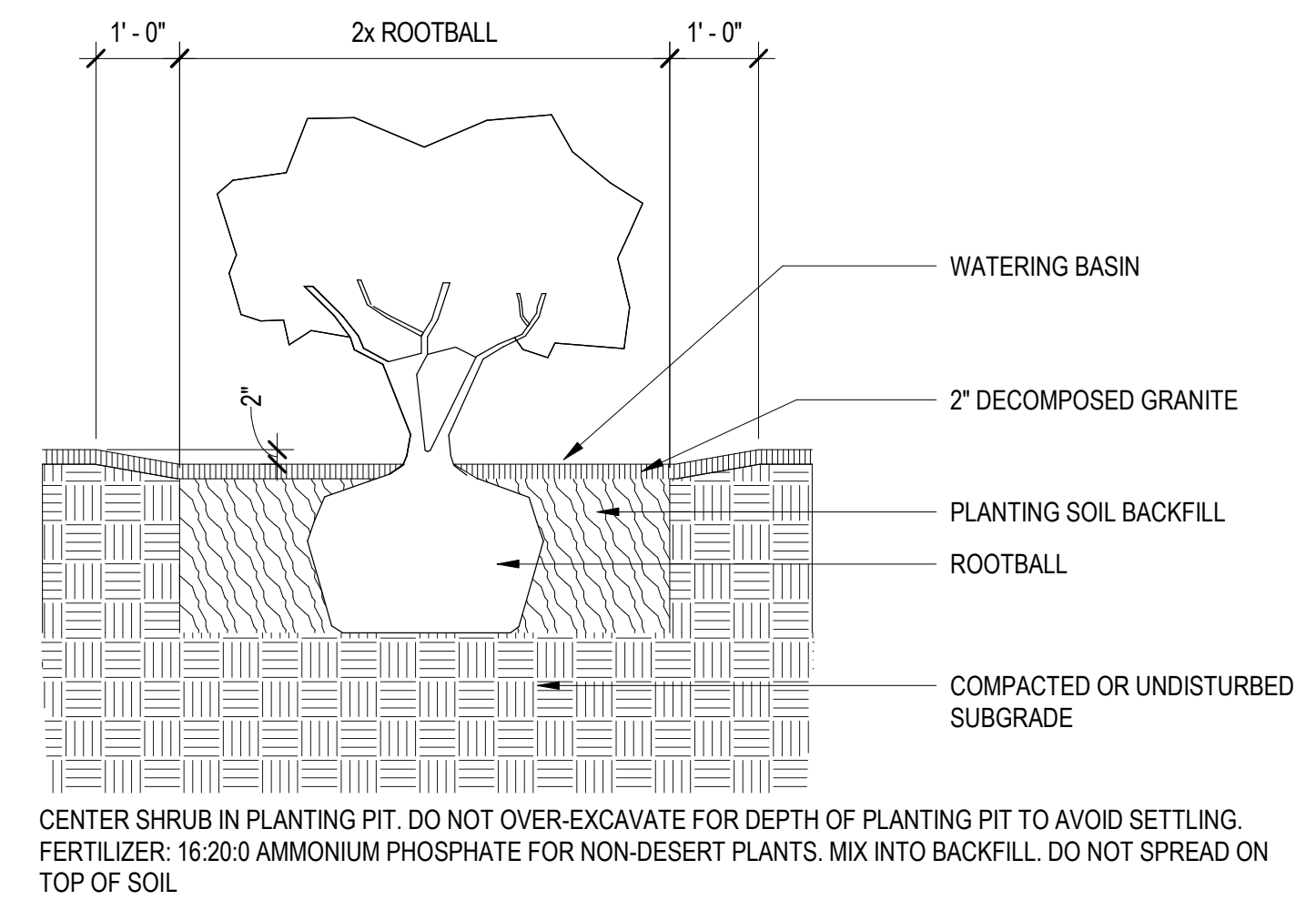
PLANTING PLAN - AREA D
1
L7.104
1" = 40'-0"



E4 PERENNIAL AND GRASS PLANTING
L7.301 1/2\"/>

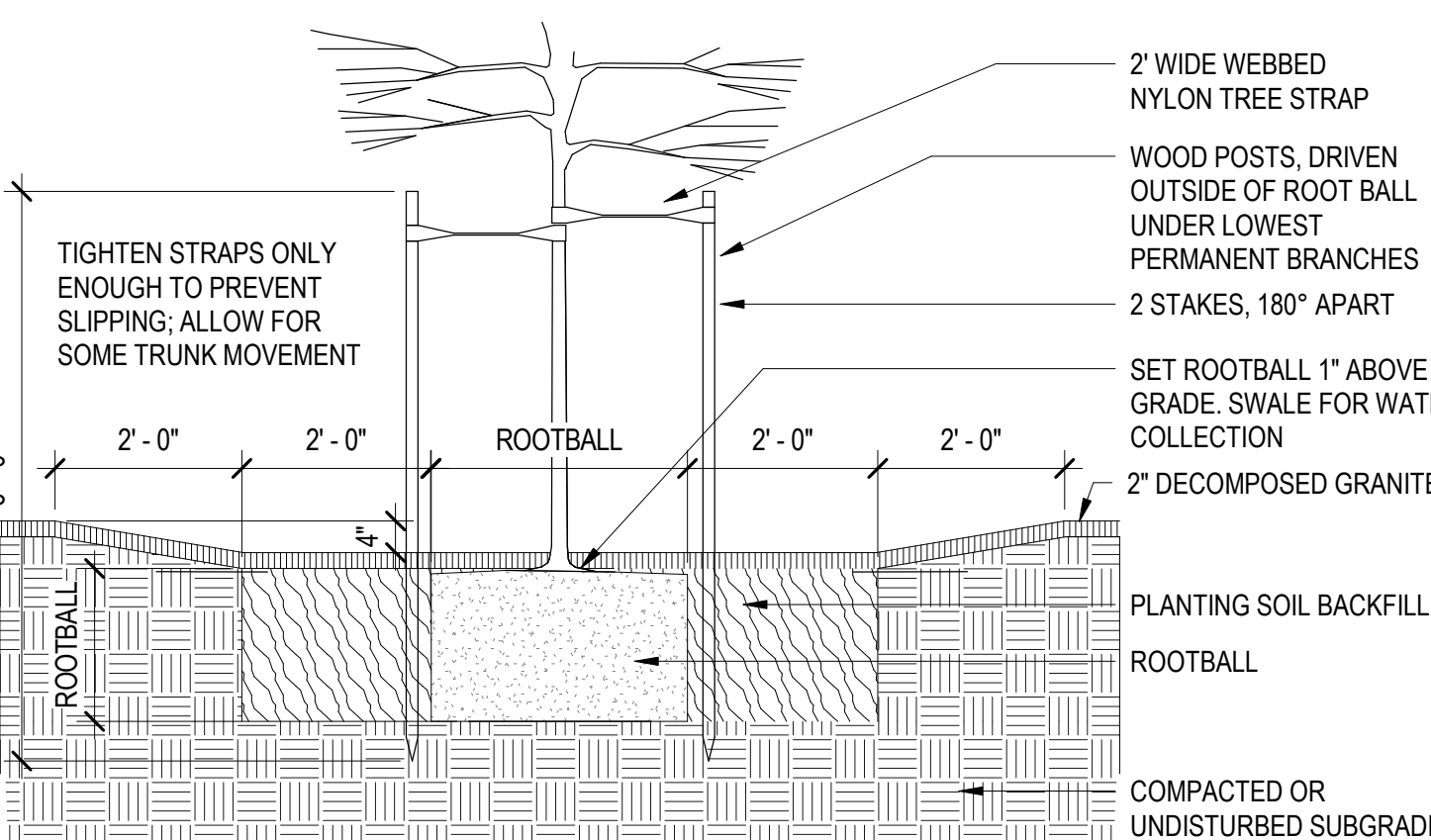


C4 GROUND COVER PLANTING
L7.301 1/2\"/>



- NOTES:
1. PLANT PITS SHALL NOT BE AUGER DUG. SIDES OF PIT SHALL BE RAKED TO LOOSEN PRIOR TO SETTING SHRUB IN PITS.
 2. GENTLY LOOSEN ROOTS AROUND EXTERIOR OF ROOTBALL.
 3. DO NOT PLANT ROOT BOUND PLANTS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY TO VERIFY CONDITION OF PLANT IF ANY QUESTION.
 4. REMOVE ENTIRE CONTAINER FROM ALL PLANTS PRIOR TO PLANTING.
 5. DO NOT PRUNE NEW PLANTS WITHOUT LANDSCAPE ARCHITECT APPROVAL/DIRECTION.

B4 SHRUB PLANTING
L7.301 1/2\"/>



- GENERAL NOTES:
1. TREES TO BE STAKED ONLY AS SPECIFIED, SEE PLANT SCHEDULE.
 2. STAKES SHALL BE REMOVED NO LATER THAN THE END OF FIRST GROWING SEASON AFTER PLANTING.

- PLANTING NOTES:
1. SIDES OF PLANTING PITS ARE TO BE LOOSENED OR RAKED BEFORE SETTING TREE IN PIT.
 2. EXCAVATE DEPTH OF PLANTING PIT TO THE SAME DEPTH AS THE ROOTBALL.
 3. THE WIDTH OF THE PLANTING PIT SHALL BE 2X THE WIDTH OF THE ROOTBALL.
 4. GENTLY LOOSEN ROOTS AROUND THE EXTERIOR OF ROOTBALL.
 5. CENTER TREE IN PLANTING PIT.
 6. INSPECT ROOT BALLS AT POINT OF PURCHASE TO AVOID PURCHASE OF ROOTBOUND MATERIALS
 7. REMOVE ENTIRE CONTAINER FROM ALL PLANTS PRIOR TO PLANTING.
 8. NEW TREES SHALL NOT BE PRUNED UNLESS DIRECTED BY OWNER.
 9. FORM SWALE AROUND EACH TREE AS SHOWN FOR WATER COLLECTION
 10. REMOVE ALL NURSERY STAKES.

- BACKFILL NOTES:
1. PROVIDE MULCH AMENDMENT WITH BACKFILL FOR ALL NON-DESERT TREES.
 2. BACKFILL MIX SHALL CONSIST OF 3 PARTS NATIVE SOIL TO 1 PART MULCH. PROVIDE 1 CUP GYPSUM IN BOTTOM OF PLANTING PIT.
 3. INCLUDE 16:20:0 AMMONIUM PHOSPHATE FERTILIZER IN PLANTING PIT FOR NON-DESERT TREES. MIX INTO BACKFILL. DO NOT SPREAD ON TOP OF SOIL.

- STAKING NOTES:
1. USE 2-2\"/>

- MISC. NOTES:
1. REMOVE ALL PLASTIC TREE TIE TAPE, BAMBOO NURSERY STAKE, WIRE TIES, AND LABELS FROM TREES AFTER THEY HAVE BEEN APPROVED.
 2. BACKFILL ANY HOLES LEFT IN ROOTBALL FROM NURSERY STAKES. BACKFILL SHALL BE CLEAN SOIL, NOT D.G.
 3. SWALE SHALL BE A SMOOTH TRANSITION- NO ABRUPT GRADE CHANGES.
 4. SWALE SHALL BE TESTED FOR WATER HOLDING CAPACITY PRIOR TO PLACING D.G.
 5. PROVIDE ADDITIONAL WIRE HOSE TIE WHEN THE TREE IS NOT RIGIDLY SUPPORTED BY THE TWO REQUIRED SUPPORTS.
 6. 2\"/>

B1 TREE PLANTING AND STAKING - SINGLE TRUNK
L7.301 1/2\"/>

ORDINANCE REQUIREMENTS

BUILDING A			BUILDING B		
11-33-3 - PERIMETER LANDSCAPING - STREET FRONTAGE					
(1) SHADE TREES / 25 LF - 25% 36\"/>					
STREET FRONTAGE - NORTH 1300'	REQUIRED TREES 52	REQUIRED SHRUBS 312	STREET FRONTAGE 600'	REQUIRED TREES 24	REQUIRED SHRUBS 144
	PROPOSED TREES (13) 36\"/>	PROPOSED SHRUBS (156) 5-GAL. (156) 1-GAL.		PROPOSED TREES (6) 36\"/>	PROPOSED SHRUBS (77) 5-GAL. (77) 1-GAL.
STREET FRONTAGE - WEST 650'	REQUIRED TREES 26	REQUIRED SHRUBS 156			
	PROPOSED TREES (7) 36\"/>	PROPOSED SHRUBS (78) 5-GAL. (78) 1-GAL.			
11-33-3 - PERIMETER LANDSCAPING - SIDE YARD					
(3) NON-DECIDUOUS TREES / 100 LF - 100% 15-GAL. FOR INDUSTRIAL + (20) SHRUBS / 100 LF WHEN VISIBLE FROM PARKING/DRIVE - 100% 1-GAL.					
FRONTAGE - EAST 680'	REQUIRED TREES 21	REQUIRED SHRUBS 60 - ASSUMES 300 LF VISIBLE FROM ROAD	FRONTAGE - EAST 608'	REQUIRED TREES 19	REQUIRED SHRUBS 0 - NOT VISIBLE FROM ROAD
	PROPOSED TREES (21) 15-GAL.	PROPOSED SHRUBS (60) 1-GAL.		PROPOSED TREES (19) 15-GAL.	PROPOSED SHRUBS (0)
11-33-4 - INTERIOR PARKING LOT LANDSCAPING					
(1) SHADE TREES / ISLAND - 10% 36\"/>					
PARKING ISLANDS 48	REQUIRED TREES 49	REQUIRED SHRUBS 147	PARKING ISLANDS 46	REQUIRED TREES 45	REQUIRED SHRUBS 135
	PROPOSED TREES (5) 36\"/>	PROPOSED SHRUBS (73) 1-GAL. (74) 5-GAL.		PROPOSED TREES (5) 36\"/>	PROPOSED SHRUBS (67) 1-GAL. (68) 5-GAL.
11-33-5 - FOUNDATION LANDSCAPING					
(1) SHADE TREES / 50 LF OF EXTERIOR WALL - 10% 36\"/>					
BUILDING LENGTH 1560' TOTAL ALONG EAST, NORTH AND WEST FACADES	REQUIRED TREES 31	REQUIRED SHRUBS 166 ASSUMES 3' PER SHRUB = 497 LF	BUILDING LENGTH 1560' TOTAL ALONG EAST, SOUTH AND WEST FACADES	REQUIRED TREES 31	REQUIRED SHRUBS 166 ASSUMES 3' PER SHRUB = 497 LF
	PROPOSED TREES (20) IN ADJACENT PARKING ISLANDS (11) 24\"/>	PROPOSED SHRUBS (60) IN ADJACENT PARKING ISLANDS (106) 1-GAL.		PROPOSED TREES (20) IN ADJACENT PARKING ISLANDS (11) 24\"/>	PROPOSED SHRUBS (60) IN ADJACENT PARKING ISLANDS (106) 1-GAL.

WEST & EAST FOUNDATION LANDSCAPE AREAS (BOTH BUILDINGS A AND B):
 330 LF FRONTAGE (INCLUDES CORNER LANDSCAPE AREA)
 30 FT BASE = 75LF = 22% OF FRONTAGE X 30FT = 6.6FT
 27 FT BASE = 18LF = 5% OF FRONTAGE X 27FT = 1.35 FT
 12 FT BASE = 255LF = 73% OF FRONTAGE X 12FT = 8.7 FT
 FOUNDATION BASE AVERAGE DEPTH = 16.65 FT > 15 FEET MINIMUM

NORTH FOUNDATION (BUILDING A) & SOUTH FOUNDATION (BUILDING B) LANDSCAPE AREAS:
 900 LF FRONTAGE
 30 FT BASE = 344LF = 32% OF FRONTAGE X 30FT = 9.6 FT
 27 FT BASE = 54LF = 6% OF FRONTAGE X 27FT = 1.62 FT
 12 FT BASE = 556LF = 62% OF FRONTAGE X 12FT = 7.44 FT
 AVERAGE 11.4 + 7.44 = 18.66 FT > 15 FEET MINIMUM

PLANT SCHEDULE

TREES						
Type Mark	Count	Botanical Name	Cultivar	Common Name	Method	Size
AC SM 15	9	Acacia smallii		Sweet Acacia	Container	15 GAL.
AC SM 24	21	Acacia smallii		Sweet Acacia	Container	24\"/>
AC SM 36	7	Acacia smallii		Sweet Acacia	Container	36\"/>
CA CA 24	28	Caesalpinia cacalaco	'Smoothie'	Thornless Cascalote	Container	24\"/>
CA CA 36	5	Caesalpinia cacalaco	'Smoothie'	Thornless Cascalote	Container	36\"/>
CE ME 24	40	Cercis mexicana		Mexican Redbud	Container	24\"/>
CE ME 36	5	Cercis mexicana		Mexican Redbud	Container	36\"/>
CH LI 15	7	Chilopsis Linearis		Desert Willow	Container	15 GAL.
CH LI 24	37	Chilopsis Linearis		Desert Willow	Container	24\"/>
CH LI 36	7	Chilopsis Linearis		Desert Willow	Container	36\"/>
EU TO 24	17	Eucalyptus torquata		Coral Gum	Container	24\"/>
EU TO 36	5	Eucalyptus torquata		Coral Gum	Container	36\"/>
PA MI 15	6	Parkinsonia microphylla		Foothill Palo Verde	Container	15 GAL.
PA MI 24	21	Parkinsonia microphylla		Foothill Palo Verde	Container	24\"/>
PA MI 36	4	Parkinsonia microphylla		Foothill Palo Verde	Container	36\"/>
PI PU	76	Pinus cembroides		Mexican Pinon Pine	Container	15 GAL. NON-DECIDUOUS

SHRUBS						
Code	Count	Botanical Name	Cultivar	Common Name	Method	Size
ch me 1	114	Chrysactinia mexicana		Damianita Daisy	Container	1 Gal.
ch me 5	46	Chrysactinia mexicana		Damianita Daisy	Container	5 Gal.
en fa 1	82	Encelia farinosa		Brittlebush	Container	1 Gal.
en fa 5	49	Encelia farinosa		Brittlebush	Container	5 Gal.
eu ri 1	81	euphorbia rigida		Gopher Plant	Container	1 Gal.
eu ri 5	46	euphorbia rigida		Gopher Plant	Container	5 Gal.
ha pa 1	69	Hamelia patens	'Sierra Red'	Fire Bush	Container	1 Gal.
ha pa 5	3	Hamelia patens	'Sierra Red'	Fire Bush	Container	5 Gal.
ju sp 1	39	Justicia spicigera		Mexican Honeysuckle	Container	1 Gal.
ju sp 5	30	Justicia spicigera		Mexican Honeysuckle	Container	5 Gal.
pe pa 1	107	Penstemon parryi		Parry's Penstemon	Container	1 Gal.
pe pa 5	98	Penstemon parryi		Parry's Penstemon	Container	5 Gal.
te st 1	156	Tecoma stans	'Gold Star'	Yellow Bells	Container	1 Gal.
te st 5	64	Tecoma stans	'Gold Star'	Yellow Bells	Container	5 Gal.
ve ri 1	123	verbena rigida		Sandpaper Verbena	Container	1 Gal.
ve ri 5	81	verbena rigida		Sandpaper Verbena	Container	5 Gal.

NOTE: NUMBER IN PLANT CODE INDICATED PLANT SIZE, NOT QUANTITY.

PLANTING NOTES

1. CONTRACTOR IS RESPONSIBLE FOR ALL RELATED EXISTING CONDITIONS, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. REF. SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, SOIL TESTING, MATERIALS, EXECUTION AND PLAN PROTECTION.
3. PLANT NAMES MAY BE ABBREVIATED ON DRAWINGS. REFER TO PLANTING SCHEDULE AND LEGENDS FOR SYMBOLS, ABBREVIATIONS, BOTANICAL AND COMMON NAMES, SIZES, ESTIMATED QUANTITIES AND OTHER REMARKS.
4. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN PLANTING SCHEDULE ARE FOR INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIAL AND SIZES SHOWN ON THE DRAWINGS. IN CASE OF DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
5. CONTRACTOR IS RESPONSIBLE TO 'RESTORE' ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED TO A CONDITION THAT MEETS OR EXCEEDS THE CONDITIONS PRIOR TO THE DISTURBANCE.
6. ALL PLANTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM THE SUBSTANTIAL COMPLETION OF THE LANDSCAPE CONTRACT AT FULL REPLACEMENT VALUE INCLUDING LABOR TO REPLACE PLANT MATERIALS.
7. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY AND OF THE SIZE AND TYPE SPECIFIED IN THE PLANT SCHEDULE.
8. THE SITE SHALL BE FINISH GRADED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN FINISHED GRADES AND RE-GRADE ANY AREAS DISTURBED BY LANDSCAPE OPERATIONS.
9. ANY CLEAN, EXCESS SOIL FROM LANDSCAPE OPERATIONS SHALL BE WASTED ON SITE AT THE DISCRETION OF THE CONTRACTOR OR DISPOSED OF OFF SITE. ALL CONSTRUCTION DEBRIS FROM LANDSCAPE OPERATIONS SHALL BE DISPOSED OF OFF SITE.
10. ALL PLANTING AREAS MUST BE FREE OF ALL WEEDS AND DEBRIS BEFORE PLANTING, SODDING, AND/OR SEEDING.
11. ALL LANDSCAPE MATERIALS INSTALLED SHALL BE MAINTAINED BY OWNER OR LEASEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
12. ALL NON-PAVED AREAS WITHIN SITE BOUNDARIES SHALL BE COVERED IN 1/2\"/>
13. SIGHT TRIANGLES AT INTERSECTIONS TO BE KEPT CLEAR OF TREES AND TALL SHRUBS.
14. NO SHRUBS WITH A MATURE HEIGHT OF 3' OR GREATER TO BE INSTALLED WITHIN 10' OF CURB ON R.O.W.
15. ALL TREES SHALL COMPLY WITH LATEST AMENDED EDITION OF THE A.N.A. RECOMMENDED TREE SPECIFICATIONS.
16. SEE CIVIL FOR SIGNAGE

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CRG INTEGRATED REAL ESTATE SOLUTIONS

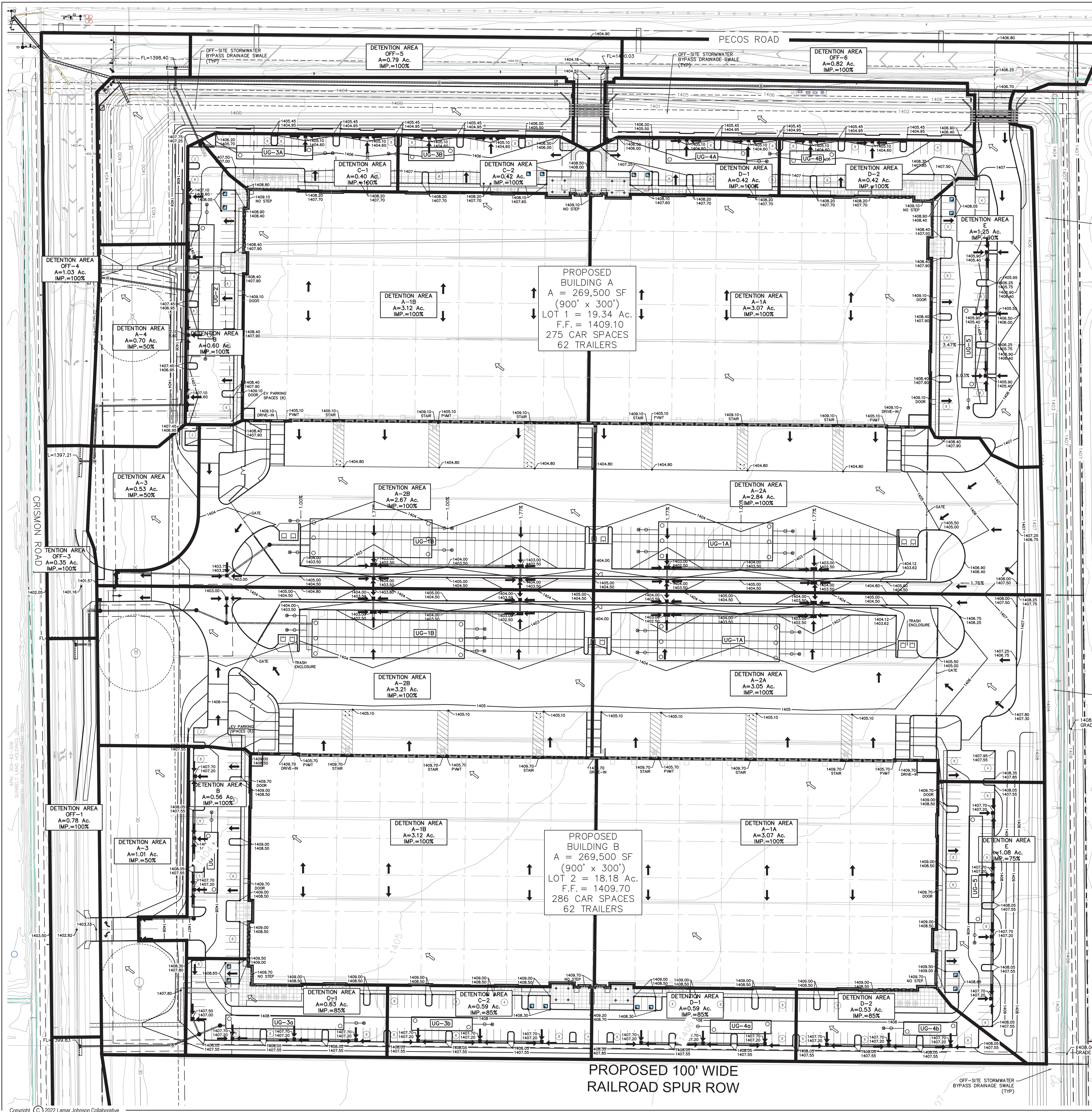
CUBES AT MESA - BUILDING A
E PECOS RD & S CRISMON RD., MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1st REVIEW COMMENTS	04/22/2022

DRAWING TITLE
PLANTING DETAILS AND SCHEDULE

DRAWING NO.
L7.301

Job # 20.005838



GRAPHIC SCALE
 (IN FEET)
 1 inch = 50 ft.

PROJECT DESCRIPTION
 NEW CONSTRUCTION OF A WAREHOUSE. DESIGN WILL INCLUDE GRADING & DRAINAGE, PARKING LOTS, UTILITIES AND OTHER ONSITE IMPROVEMENTS.

BASIS OF BEARING
 THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2, SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS: N89°26'06"E.

LEGEND
 DRAINAGE AREA LABEL
 EXISTING CONTOUR ELEV.
 PROPOSED CONTOUR ELEV.
 PROPOSED STORM PIPE
 PROPOSED FLOW ARROW
 EXISTING FLOW ARROW
 DRAINAGE AREA LIMIT
 BUILDING NUMBER
 FINISH FLOOR ELEV.
 RETENTION BASIN INFORMATION

VICINITY MAP
 SEC 2, T. 2 S., R. 7 E.

ON-1A
 1400
 1400
 SD
 BLDG C
 FF=1409.50

RB-1A
 HW=1400.00
 BOT=1597.00
 VP=

PROJECT DATA - BUILDING A

PROPOSED USE:	INDUSTRIAL
APN NUMBERS:	304-63-006V
EXISTING ZONING:	GI - GENERAL INDUSTRIAL
PROPOSED ZONING:	GI - GENERAL INDUSTRIAL
NET AREA:	842,415 SF / 19.34 AC
GROSS AREA:	842,415 SF / 19.34 AC
FLOOR COVERAGE RATIO:	296,500 SF / 842,415 SF = 35.2%
LOT COVERAGE MAXIMUM:	90%
LOT COVERAGE PROVIDED:	14.05 AC (73%)
BUILDING HEIGHT:	50'

PROJECT DATA - BUILDING B

PROPOSED USE:	INDUSTRIAL
APN NUMBERS:	304-63-006V
EXISTING ZONING:	GI - GENERAL INDUSTRIAL
PROPOSED ZONING:	GI - GENERAL INDUSTRIAL
NET AREA:	792,118 SF / 18.18 AC
GROSS AREA:	792,118 SF / 18.18 AC
FLOOR COVERAGE RATIO:	296,500 SF / 792,118 SF = 37.4%
LOT COVERAGE MAXIMUM:	90%
LOT COVERAGE PROVIDED:	13.64 AC (75%)
BUILDING HEIGHT:	50'

ARCHITECT
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 PHOENIX, AZ 85016
 PHONE: (602) 346-4619
 CONTACT: STEPHANIE WATNEY

RETENTION CALCULATIONS

Project name: The Cubes at Mesa Gateway - Building A
 Project number: 7112
 Project Location: Mesa, Arizona
 Date: 3/18/2022

Retention Basin ID	Drainage Area (s) ID	Area A	Area A	C Coefficient, 100-Yr	Retention Volume Required 100-Yr, 24hr	Total Retention Volume Required 100-Yr, 24hr	Retention Volume Provided
		(ft ²)	(ft ²)	(ft ²)	(ft ³)	(ft ³)	(ft ³)
UG-1a	A-1A	133,666	3,07	0.95	23,280	44,822	45,000
	A-2A	123,897	2,84	0.95	21,542		
	A-1B	133,834	3.12	0.95	23,658		
	A-2B	116,400	2.67	0.95	20,273		
	A-3	23,255	0.53	0.50	2,133		
UG-2	A-4	30,845	0.70	0.50	2,809	17,814	18,000
	OFF-3	19,295	0.35	0.95	2,992		
	OFF-4	44,885	1.03	0.95	7,817		
UG-3a	B	25,980	0.60	0.95	4,525	9,019	9,000
	C-1	17,255	0.40	0.95	3,085		
UG-3b	OFF-5	34,530	0.79	0.95	6,014	3,222	3,240
	C-2	18,500	0.42	0.95	3,222		
UG-4a	D-1	18,500	0.42	0.95	3,222	9,451	9,540
	OFF-6	38,764	0.82	0.95	6,229		
UG-4b	D-2	18,255	0.42	0.95	3,179	3,179	3,240
	D-3	54,460	1.25	0.93	9,285		
Total:		845,911	19.4		142,856		145,569

Project name: The Cubes at Mesa Gateway - Building B
 Project number: 7112
 Project Location: Mesa, Arizona
 Date: 3/18/2022

Retention Basin ID	Drainage Area (s) ID	Area A	Area A	C Coefficient, 100-Yr	Retention Volume Required 100-Yr, 24hr	Total Retention Volume Required 100-Yr, 24hr	Retention Volume Provided
		(ft ²)	(ft ²)	(ft ²)	(ft ³)	(ft ³)	(ft ³)
UG-1a	A-1A	133,666	3,07	0.95	23,280	46,405	48,000
	A-2A	133,775	3.09	0.95	23,125		
	A-1B	133,834	3.12	0.95	23,658		
	A-2B	140,000	3.21	0.95	24,383		
	A-3	44,120	1.01	0.50	4,044		
UG-1b	OFF-1	33,920	0.78	0.95	5,908	57,993	58,500
	B	24,500	0.56	0.95	4,267		
UG-3a	C-1	27,815	0.63	0.89	4,506	8,226	8,320
	OFF-2	21,360	0.49	0.95	3,720		
UG-3b	C-2	25,550	0.59	0.89	4,169	4,169	4,320
	D-1	25,550	0.59	0.89	4,169		
UG-4a	D-1	25,550	0.59	0.89	4,169	3,732	3,760
	D-2	22,875	0.53	0.89	3,732		
UG-4b	D-1	47,100	1.09	0.94	7,293	7,293	7,660
	D-2	814,866	18.7	0.94	136,215		
Total:					136,215		136,170

DATE: 04-22-2022

GEORGE M. STOCK
 CIVIL ENGINEER
 REGISTRATION NUMBER: 12910

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CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA BUILDINGS A & B
 LOT 1 - 10101 E. PECOS ROAD,
 LOT 2 - 6935 S. CRISMON ROAD,
 MESA, AZ 85212

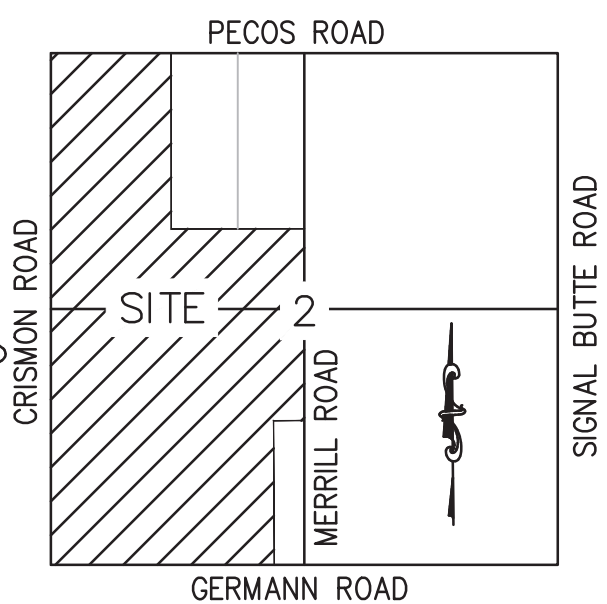
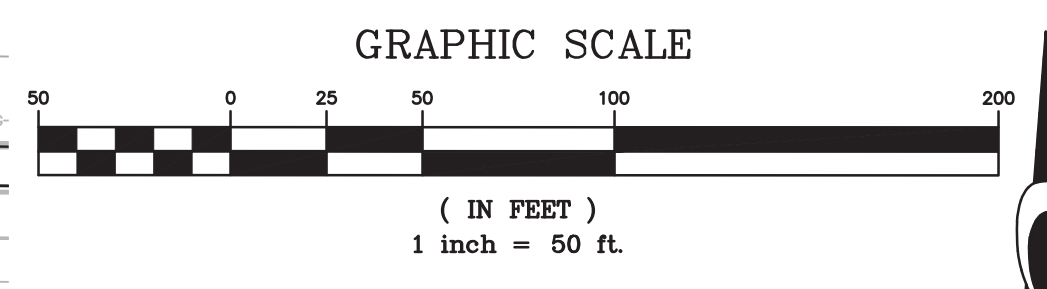
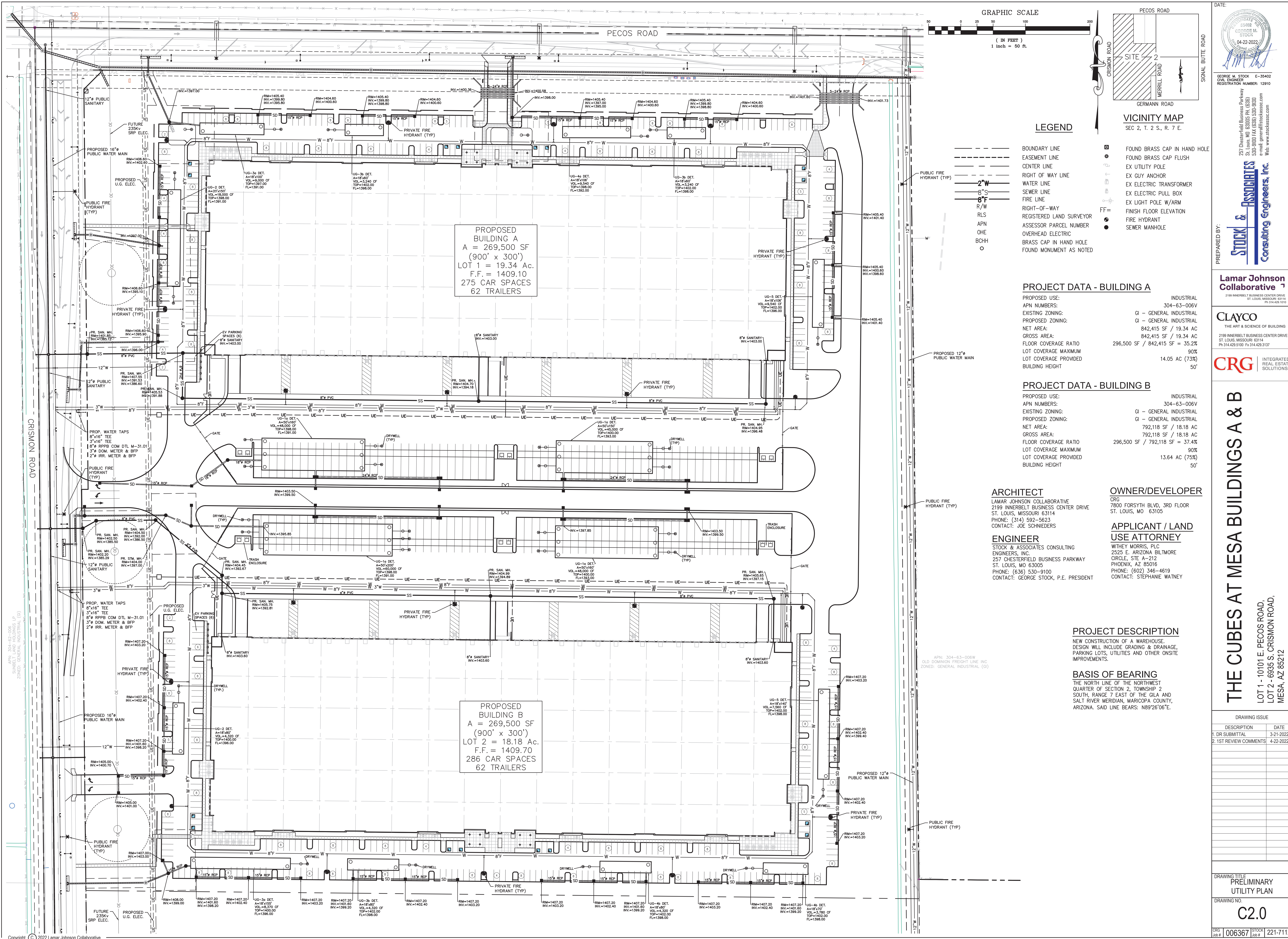
DRAWING ISSUE

DESCRIPTION	DATE
1. DR SUBMITTAL	3-21-2022
2. 1ST REVIEW COMMENTS	4-22-2022

DRAWING TITLE: PRELIMINARY GRADING & DRAINAGE PLAN

DRAWING NO: **C3.0**

CRG Job # 006367 STOCK Job # 221-7112



LEGEND

- BOUNDARY LINE
- - - EASEMENT LINE
- - - CENTER LINE
- - - RIGHT OF WAY LINE
- 2" W WATER LINE
- 8" S SEWER LINE
- 8" F FIRE LINE
- R/W RIGHT-OF-WAY
- RLS REGISTERED LAND SURVEYOR
- APN ASSESSOR PARCEL NUMBER
- OHE OVERHEAD ELECTRIC
- BOHH BRASS CAP IN HAND HOLE
- FOUND BRASS CAP IN HAND HOLE
- FOUND BRASS CAP FLUSH
- EX UTILITY POLE
- EX CUY ANCHOR
- EX ELECTRIC TRANSFORMER
- EX ELECTRIC PULL BOX
- EX LIGHT POLE W/ARM
- FINISH FLOOR ELEVATION
- FIRE HYDRANT
- SEWER MANHOLE
- FOUND MONUMENT AS NOTED

PROJECT DATA - BUILDING A

PROPOSED USE: INDUSTRIAL
 APN NUMBERS: 304-63-006V
 EXISTING ZONING: GI - GENERAL INDUSTRIAL
 PROPOSED ZONING: GI - GENERAL INDUSTRIAL
 NET AREA: 842,415 SF / 19.34 AC
 GROSS AREA: 842,415 SF / 19.34 AC
 FLOOR COVERAGE RATIO: 296,500 SF / 842,415 SF = 35.2%
 LOT COVERAGE MAXIMUM: 90%
 LOT COVERAGE PROVIDED: 14.05 AC (73%)
 BUILDING HEIGHT: 50'

PROJECT DATA - BUILDING B

PROPOSED USE: INDUSTRIAL
 APN NUMBERS: 304-63-006V
 EXISTING ZONING: GI - GENERAL INDUSTRIAL
 PROPOSED ZONING: GI - GENERAL INDUSTRIAL
 NET AREA: 792,118 SF / 18.18 AC
 GROSS AREA: 792,118 SF / 18.18 AC
 FLOOR COVERAGE RATIO: 296,500 SF / 792,118 SF = 37.4%
 LOT COVERAGE MAXIMUM: 90%
 LOT COVERAGE PROVIDED: 13.64 AC (75%)
 BUILDING HEIGHT: 50'

ARCHITECT

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 CONTACT: STEPHANIE WATNEY

PROJECT DESCRIPTION

NEW CONSTRUCTION OF A WAREHOUSE. DESIGN WILL INCLUDE GRADING & DRAINAGE, PARKING LOTS, UTILITIES AND OTHER ONSITE IMPROVEMENTS.

BASIS OF BEARING

THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE G1A AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS: N89°26'06"E.

PROPOSED BUILDING A
 A = 269,500 SF
 (900' x 300')
 LOT 1 = 19.34 Ac.
 F.F. = 1409.10
 275 CAR SPACES
 62 TRAILERS

PROPOSED BUILDING B
 A = 269,500 SF
 (900' x 300')
 LOT 2 = 18.18 Ac.
 F.F. = 1409.70
 286 CAR SPACES
 62 TRAILERS

DATE: 04-22-2022
 GEORGE M. STOCK E-35402
 CIVIL ENGINEER REGISTRATION NUMBER: 12910
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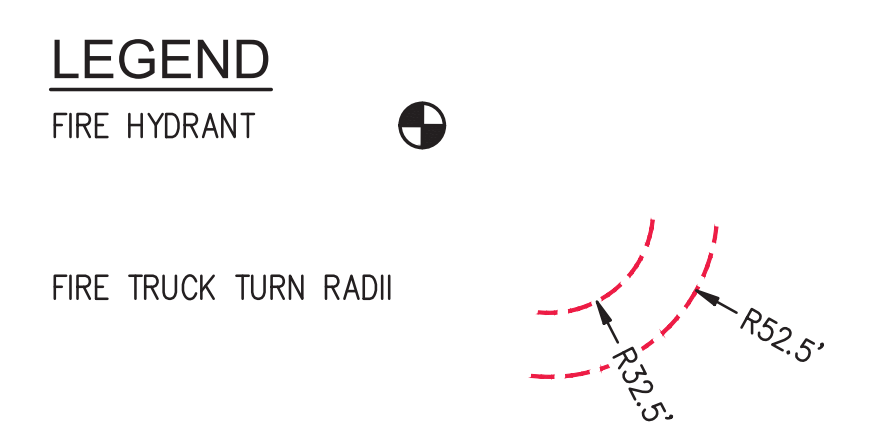
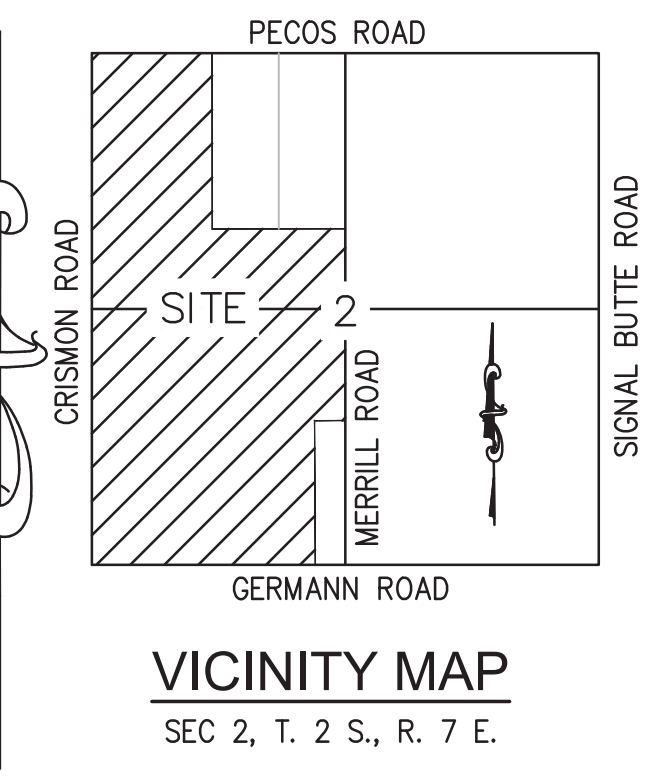
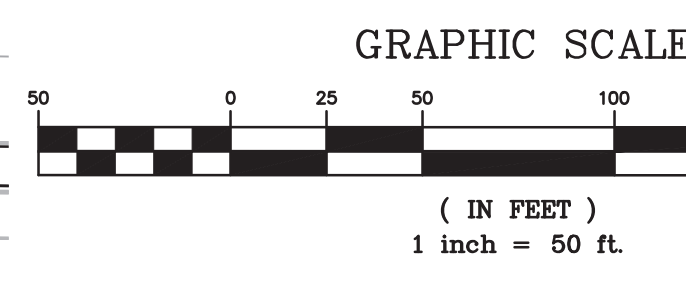
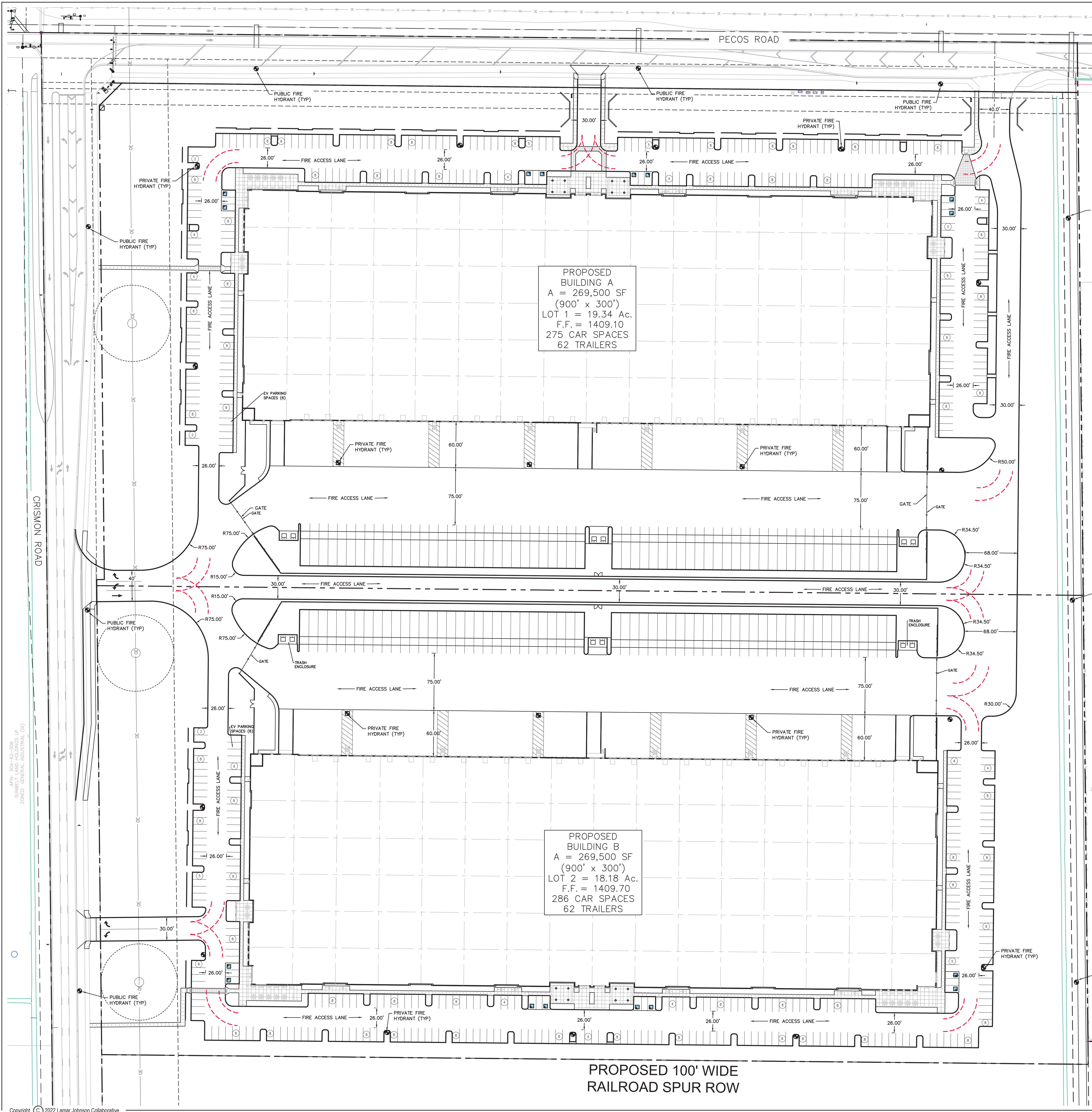
CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA BUILDINGS A & B
 LOT 1 - 10101 E. PECOS ROAD,
 LOT 2 - 6935 S. CRISMON ROAD,
 MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
1. DR SUBMITTAL	3-21-2022
2. 1ST REVIEW COMMENTS	4-22-2022

DRAWING TITLE: PRELIMINARY UTILITY PLAN
 DRAWING NO.: C2.0

CRG 006367 STOCK 221-7112
 Job #



PROPOSED BUILDING A
 A = 269,500 SF
 (900' x 300')
 LOT 1 = 19.34 AC.
 F.F. = 1409.10
 275 CAR SPACES
 62 TRAILERS

PROPOSED BUILDING B
 A = 269,500 SF
 (900' x 300')
 LOT 2 = 18.18 AC.
 F.F. = 1409.70
 286 CAR SPACES
 62 TRAILERS

PROJECT DATA - BUILDING A

PROPOSED USE: INDUSTRIAL
 APN NUMBERS: 304-63-006V
 EXISTING ZONING: GI - GENERAL INDUSTRIAL
 PROPOSED ZONING: GI - GENERAL INDUSTRIAL
 NET AREA: 842,415 SF / 19.34 AC
 GROSS AREA: 842,415 SF / 19.34 AC
 FLOOR COVERAGE RATIO: 296,500 SF / 842,415 SF = 35.2%
 LOT COVERAGE MAXIMUM: 90%
 LOT COVERAGE PROVIDED: 14.05 AC (73%)
 BUILDING HEIGHT: 50'

PROJECT DATA - BUILDING B

PROPOSED USE: INDUSTRIAL
 APN NUMBERS: 304-63-006V
 EXISTING ZONING: GI - GENERAL INDUSTRIAL
 PROPOSED ZONING: GI - GENERAL INDUSTRIAL
 NET AREA: 792,118 SF / 18.18 AC
 GROSS AREA: 792,118 SF / 18.18 AC
 FLOOR COVERAGE RATIO: 296,500 SF / 792,118 SF = 37.4%
 LOT COVERAGE MAXIMUM: 90%
 LOT COVERAGE PROVIDED: 13.64 AC (75%)
 BUILDING HEIGHT: 50'

ARCHITECT

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DATE: 04-22-2022

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DRAWING ISSUE	
DESCRIPTION	DATE
1. DR. SUBMITTAL	3-21-2022
2. 1ST REVIEW COMMENTS	4-22-2022

DRAWING TITLE: PRELIMINARY FIRE ACCESS PLAN

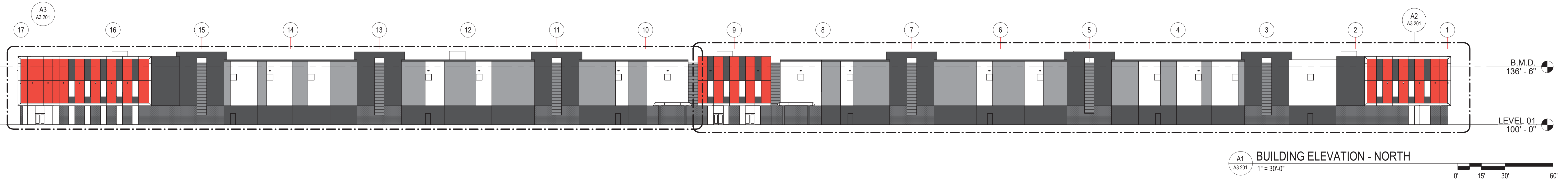
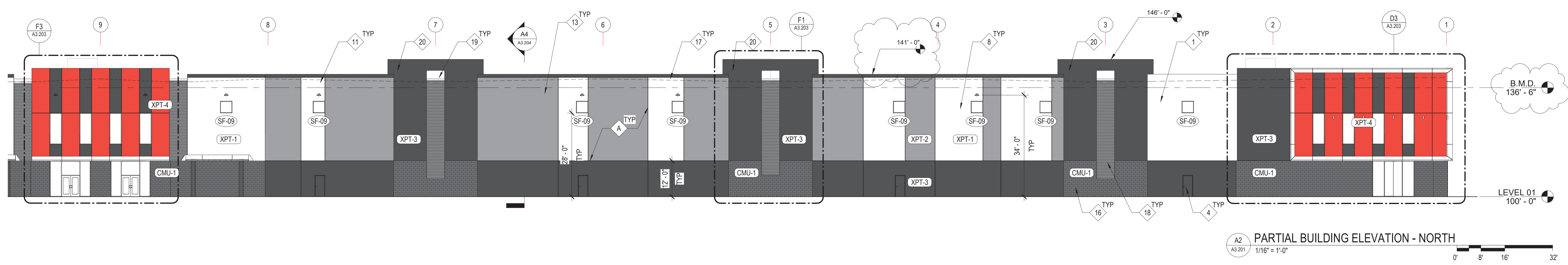
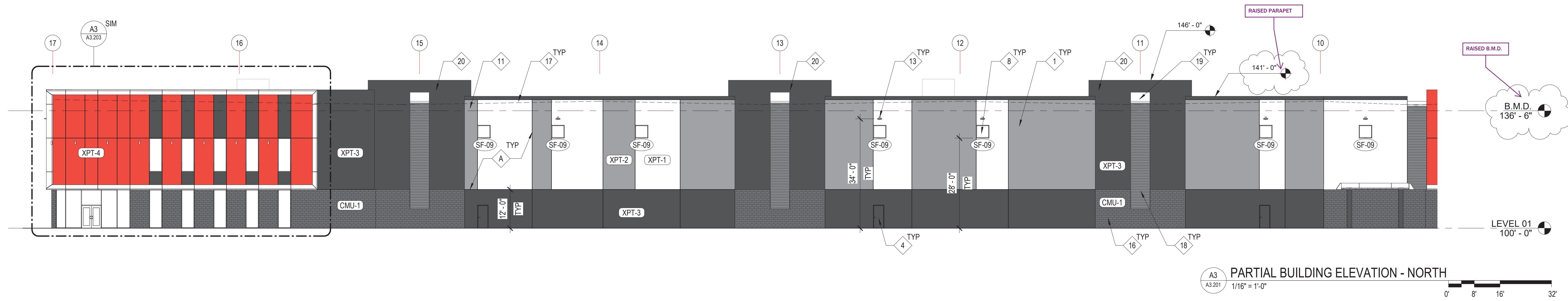
DRAWING NO.: **C4.0**

CRG Job # 006367 STOCK Job # 221-7112

EXTERIOR ELEVATION NOTES

GENERAL NOTES	LEGEND	KEYED NOTES	KEYED NOTES	NOTES																																																								
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LEGEND ADDED



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 E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE

DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1ST REVIEW COMMENTS	04.22.2022

DRAWING TITLE
 BUILDING ELEVATIONS - NORTH

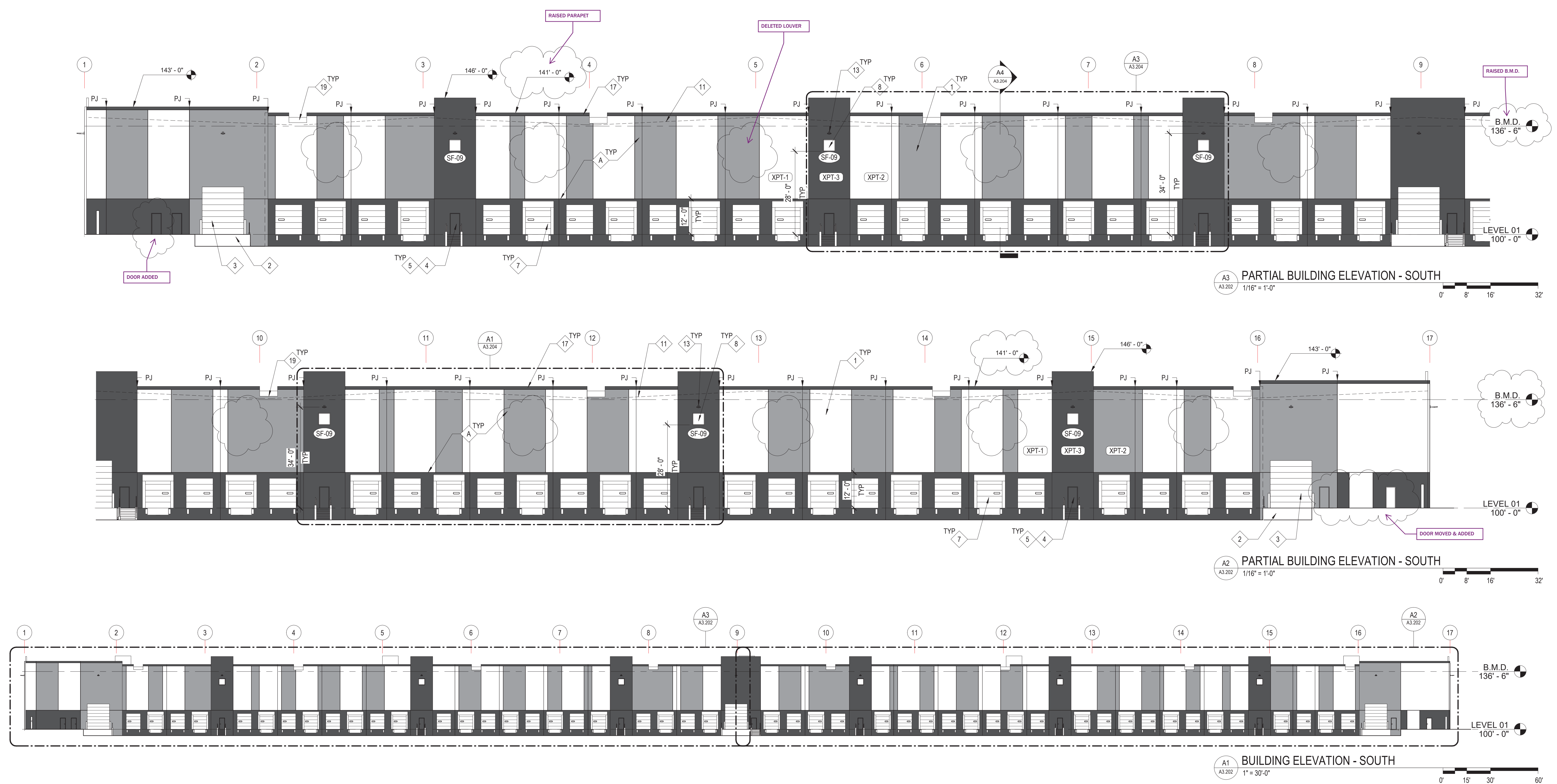
DRAWING NO.
A3.201

Job # 006329

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ADDED LEGEND



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THE CUBES AT MESA - BLDG A
E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE

DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1ST REVIEW COMMENTS	04.22.2022

DRAWING TITLE
BUILDING ELEVATIONS - SOUTH

DRAWING NO.
A3.202

Job # 006329

EXTERIOR ELEVATION NOTES

- GENERAL NOTES**
1. PROVIDE TCA GRADE 'A' PATCHING AT OFFICE AREA. ALL OTHER AREAS TO BE TCA GRADE 'B' PATCHING.
 2. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR ROUGH OPENING. SEE FLOOR PLANS, SECTIONS, AND ELEVATIONS.
 3. ALL EXPOSED SIDES OF CONCRETE TILT-UP PANEL TO BE PAINTED.
 4. CONCRETE FILLED BOLLARDS TO BE PAINTED "SAFETY YELLOW".
 5. ALL EXTERIOR HOLLOW METAL DOORS, FRAMES AND OVERHEAD DOORS TO BE PAINTED TO MATCH ADJACENT WALL COLOR.
 6. ALL TILT-UP DIMENSIONS TAKEN FROM CENTER OF REVEAL.
 7. PROVIDE REVEAL AT TRANSITION OF PAINT COLOR (HORIZONTAL & VERTICAL).
 8. SEE SHEET A3.201 FOR EXTERIOR CONCRETE PANEL JOINTS, U.N.O.
 9. EXTERIOR SECTIONAL DOORS TO MATCH ADJACENT WALL COLOR. CUSTOM FACTORY FINISH.
 10. DO NOT PROVIDE A REVEAL AT THE KNOCK OUT PANELS.
 11. THE EXTERIOR FACING SURFACES OF THE TILT-UP PANELS BEHIND THE ALUMINUM WINDOW AND COMPOSITE METAL PANEL SYSTEMS MUST BE FULLY PAINTED PRIOR TO INSTALLATION OF THE SYSTEMS. UNPAINTED SURFACES MUST BE SUPPLEMENTED WITH AN APPLIED AIR AND MOISTURE BARRIER.

LEGEND

XPT-1	- SHERWIN WILLIAMS COLOR, CLAYCO FLAGSTONE (518-4)
XPT-2	- SHERWIN WILLIAMS COLOR, CLAYCO DOVER GRAY (518-5)
XPT-3	- SHERWIN WILLIAMS COLOR, CLAYCO KNIGHTS ARMOR (518-6)
XPT-4	- SHERWIN WILLIAMS COLOR, CLAYCO RED
CMP-1	- COMPOSITE METAL PANEL, REYNOBOND - COLORWELD 500 SILVERSMITH
CMU-1	- ARCHITECTURAL CMU, ATHENA SPLIT FACE, MIDWEST BLOCK & BRICK, COLOR - EBONY

- KEYED NOTES**
- | | |
|---|--|
| A | "V" TYPE REVEAL IN CONC. TILT-UP PANEL |
|---|--|

- KEYED NOTES**
- | | |
|---|--|
| 1 | CONCRETE TILT-UP PANEL, PAINTED |
| 2 | CONCRETE DRIVE-IN RAMP WITH CONCRETE RETAINING WALL AND GALV. STL. PIPE GUARDRAIL |
| 3 | 14'-0" W x 16'-0" H OH DRIVE-IN DOOR, PREFINISHED TO MATCH ADJACENT WALL COLOR. SEE OH DOOR SCHEDULE |
| 4 | HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH ADJACENT WALL COLOR. SEE DOOR SCHEDULE |
| 5 | GALVANIZED STEEL DOCK STAIR |
| 6 | GRAY TINTED WINDOWS IN BLACK ALUMINUM STOREFRONT |
| 7 | 9'-0" W x 10'-0" H OH DOCK DOOR, PREFINISHED TO MATCH ADJACENT WALL COLOR. SEE OH DOOR SCHEDULE |
| 8 | 4' X 4' CLERESTORY WINDOW |

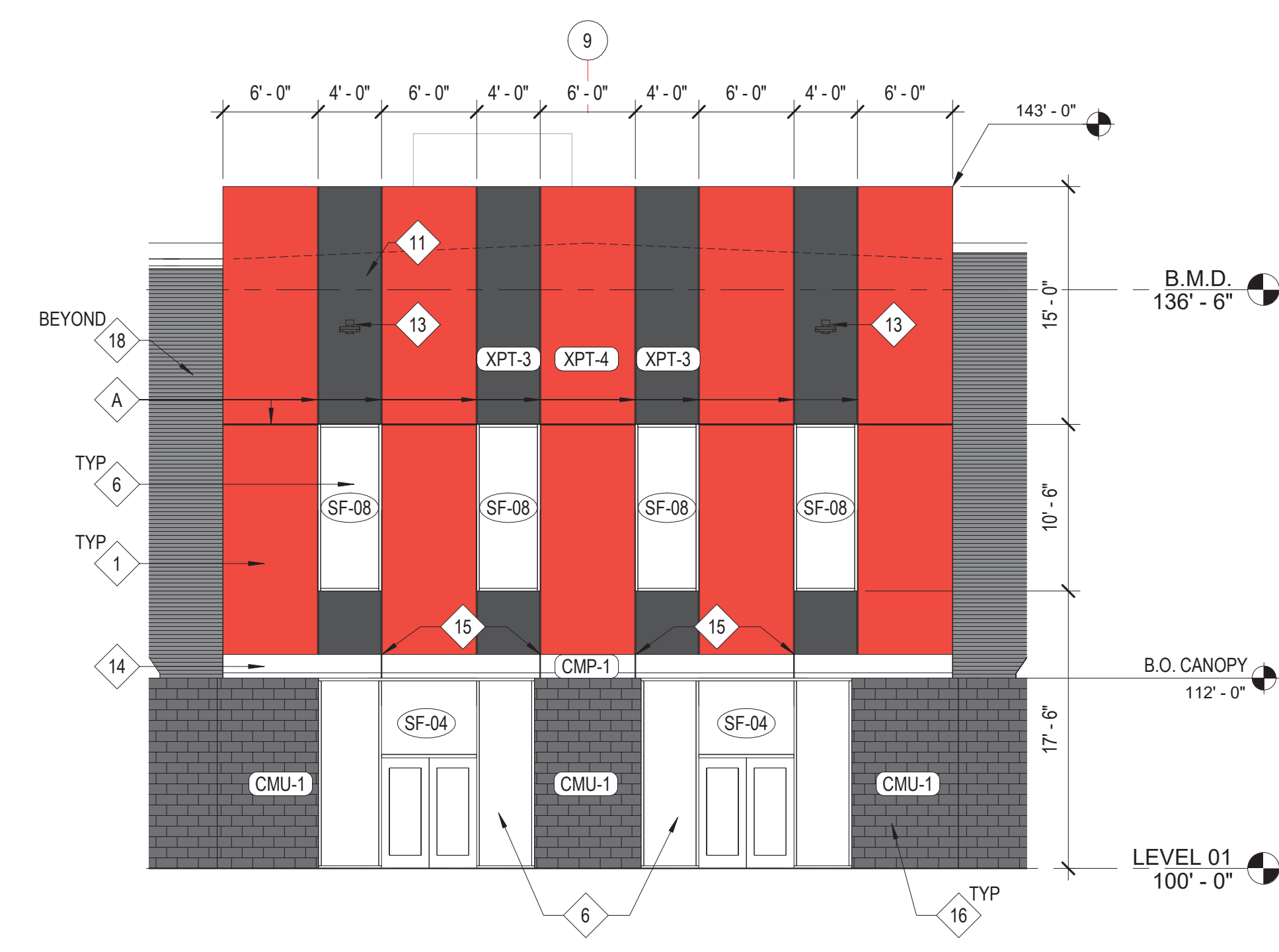
- | | |
|----|---|
| 9 | BIKE RACK |
| 10 | NOT USED |
| 11 | ROOF LINE BEYOND |
| 12 | EXTERIOR EGRESS LIGHTING FIXTURE, CENTER ABOVE DOOR. SEE ELECTRICAL |
| 13 | WALL PACK LIGHTING FIXTURE, SEE ELECTRICAL |
| 14 | COMPOSITE METAL PANEL ON METAL STUD FRAMING WITH MITERED CORNERS |
| 15 | COMPOSITE METAL PANEL JOINT, SEE DTL. E1/A3.605 |
| 16 | SPLIT-FACED CMU VENEER |

- | | |
|----|-------------------------------------|
| 17 | TEXTURED CONCRETE FORMLINER CORNICE |
| 18 | TEXTURED CONCRETE FORMLINER RECESS |
| 19 | OVERFLOW SCUPPER |
| 20 | CONCRETE LAP PANEL |

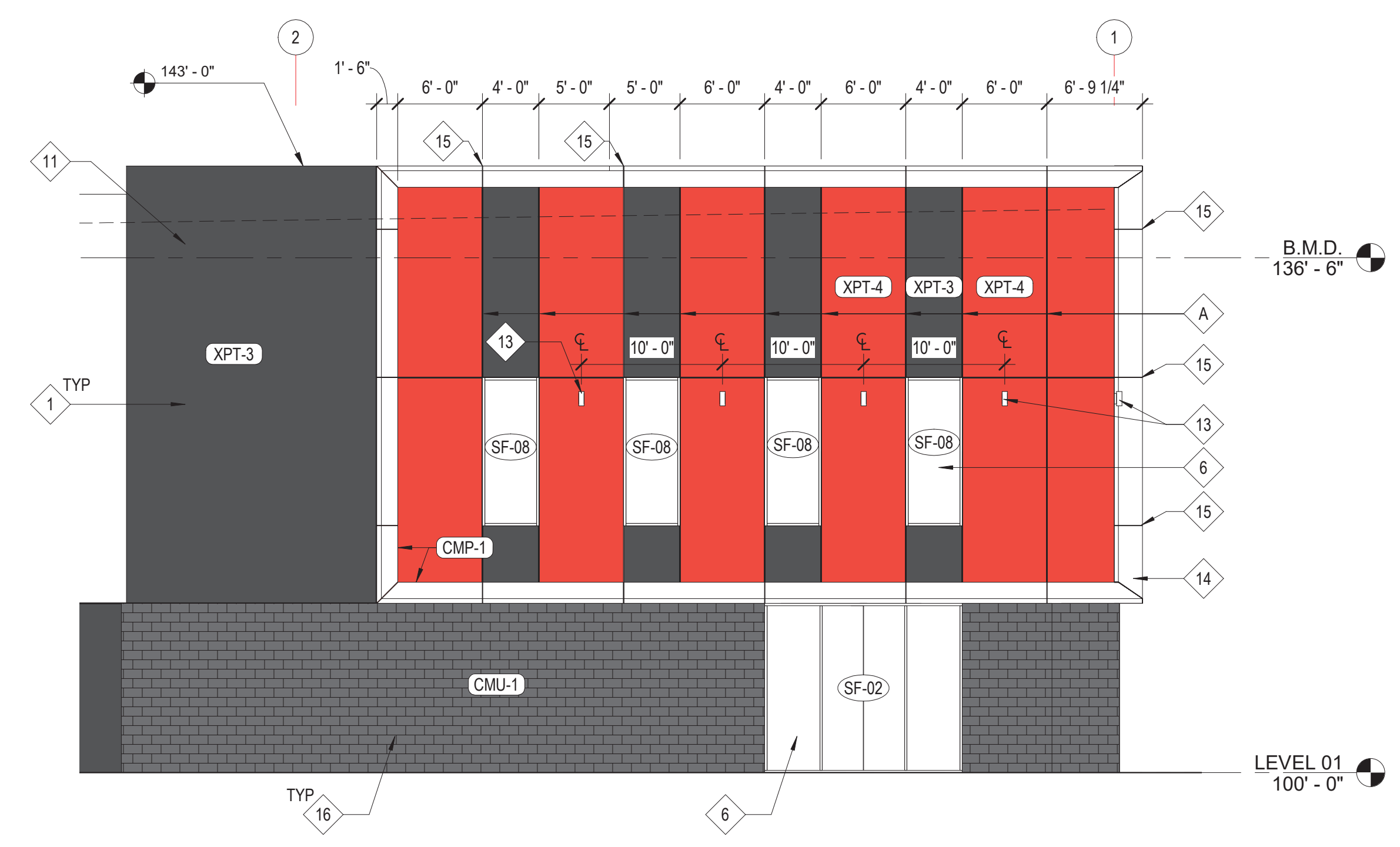
NOTES

BUILDING B ELEVATIONS ARE THE SAME AS BUILDING A BUT OPPOSITE. REFER TO SHEETS A2.101 & A2.101 FOR ELEVATION REFERENCES.

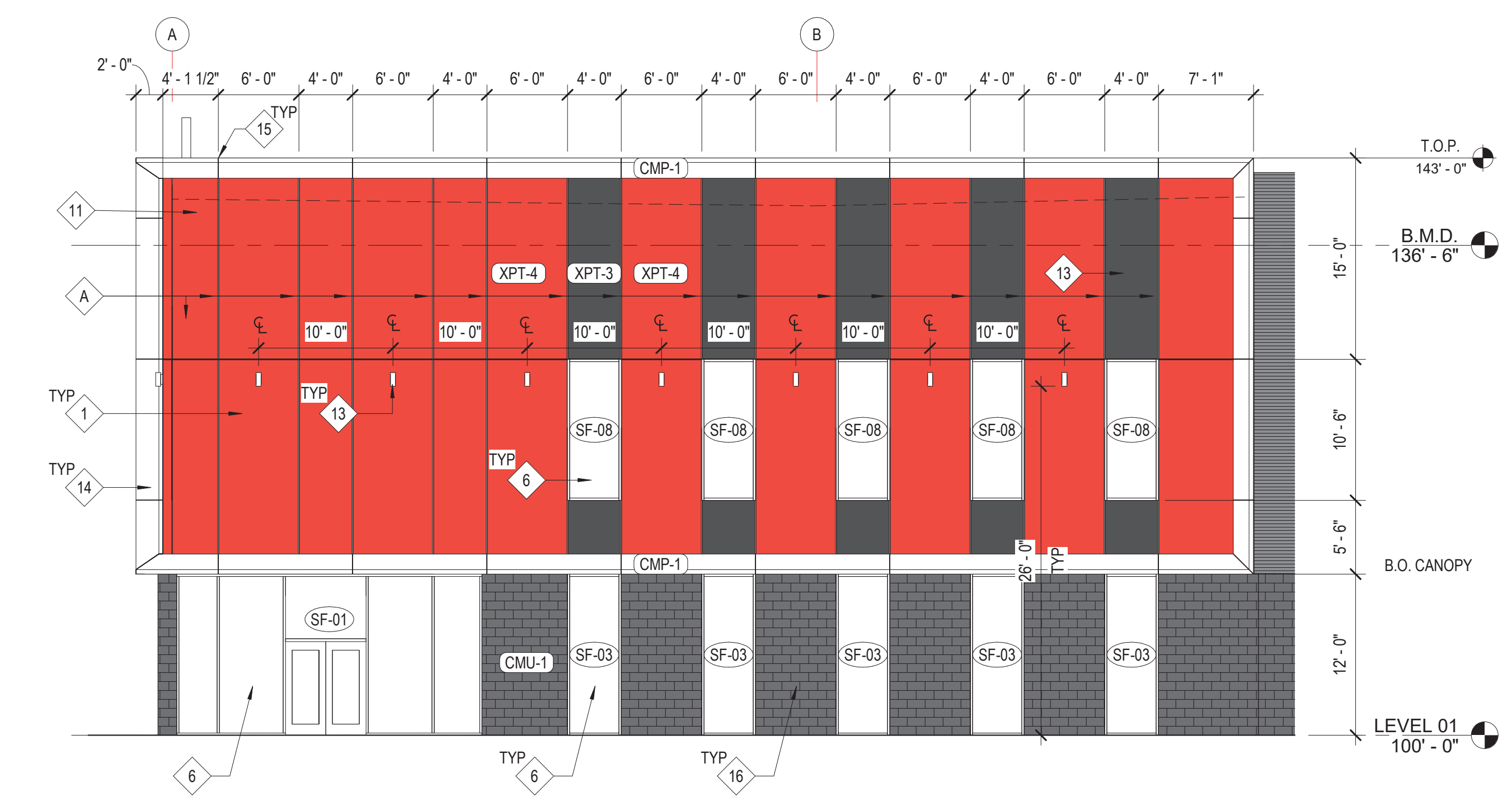
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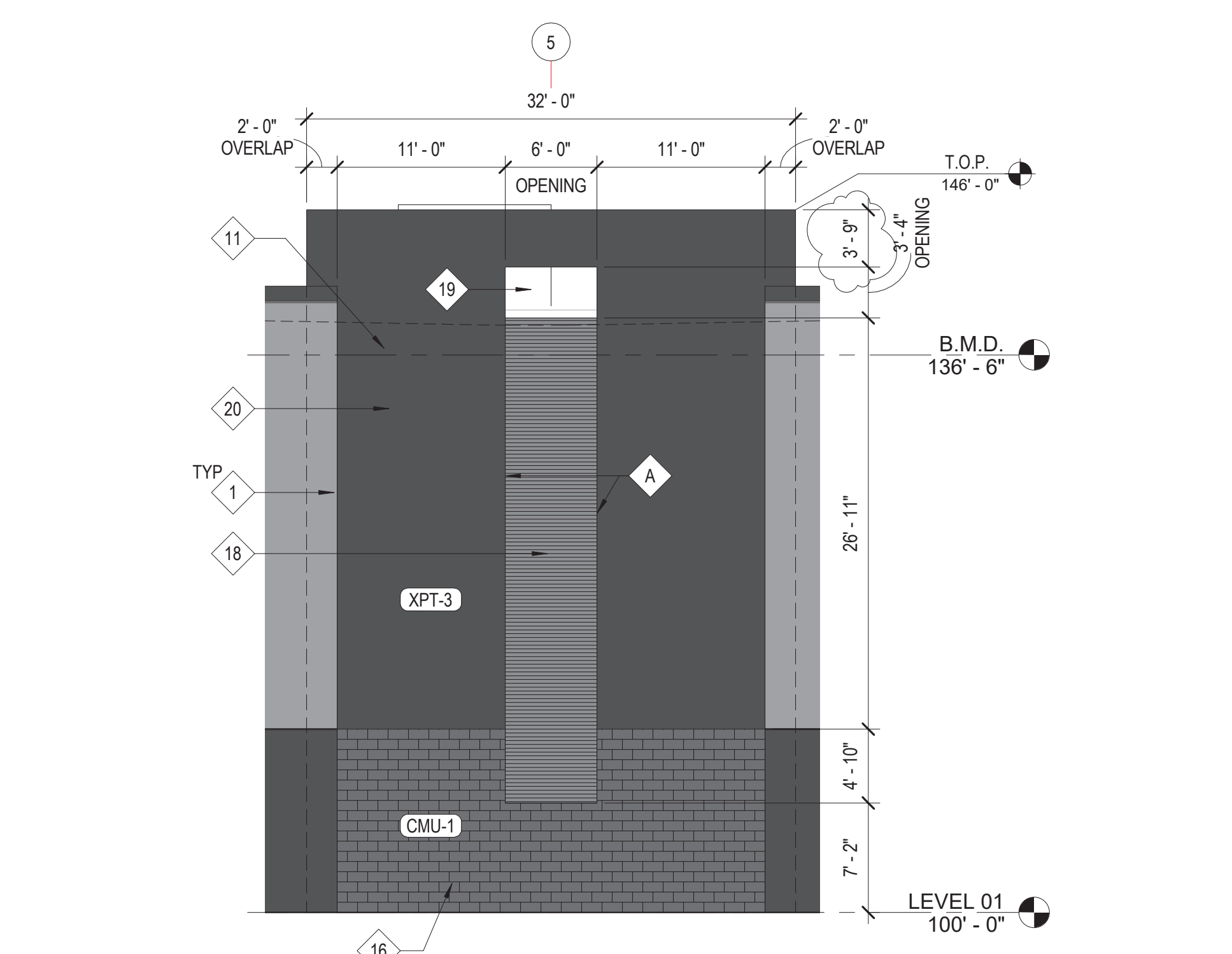
F3 ENLARGED BUILDING ELEVATION - NORTH - ENTRY (CENTER)
A3.203 1/8" = 1'-0"



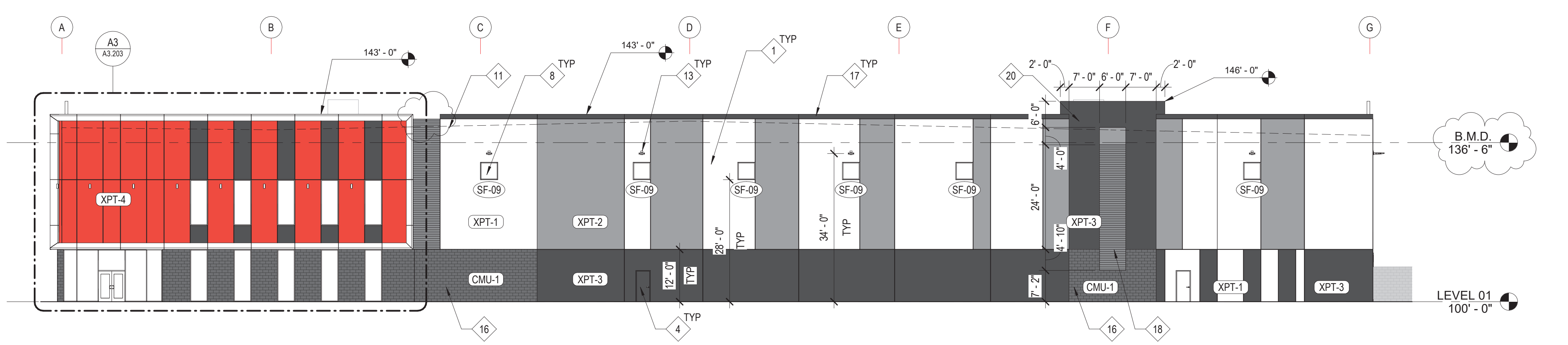
D3 ENLARGED BUILDING ELEVATION - NORTH - ENTRY
A3.203 1/8" = 1'-0"



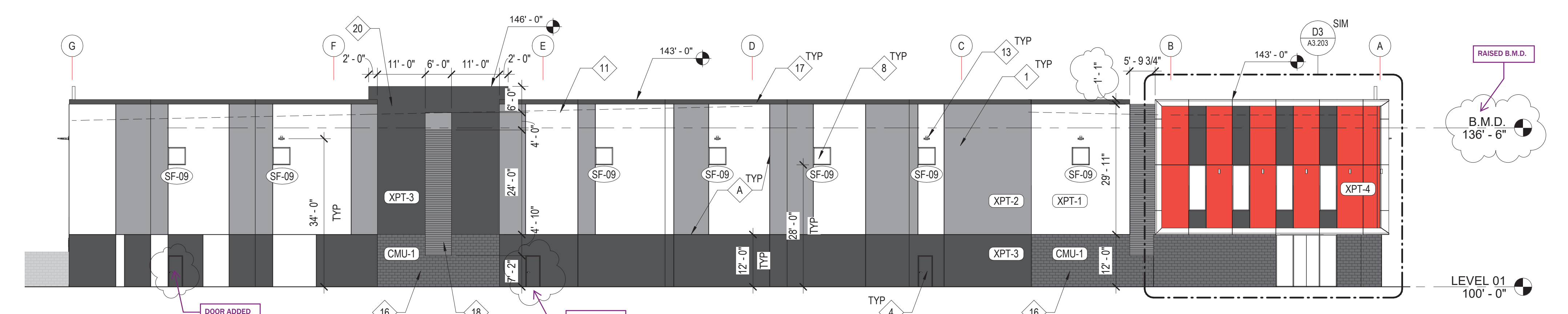
A3 ENLARGED BUILDING ELEVATION - WEST - ENTRY
A3.203 1/8" = 1'-0"



F1 ENLARGED BUILDING ELEVATION - NORTH - TYPICAL OVERLAP PANEL
A3.203 1/8" = 1'-0"



A2 BUILDING ELEVATION - WEST
A3.203 1/16" = 1'-0"



A1 BUILDING ELEVATION - EAST
A3.203 1/16" = 1'-0"

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CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA - BLDG A
E PECOS RD & S CRISION RD, MESA, AZ 85212

DRAWING ISSUE

DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1ST REVIEW COMMENTS	04.22.2022

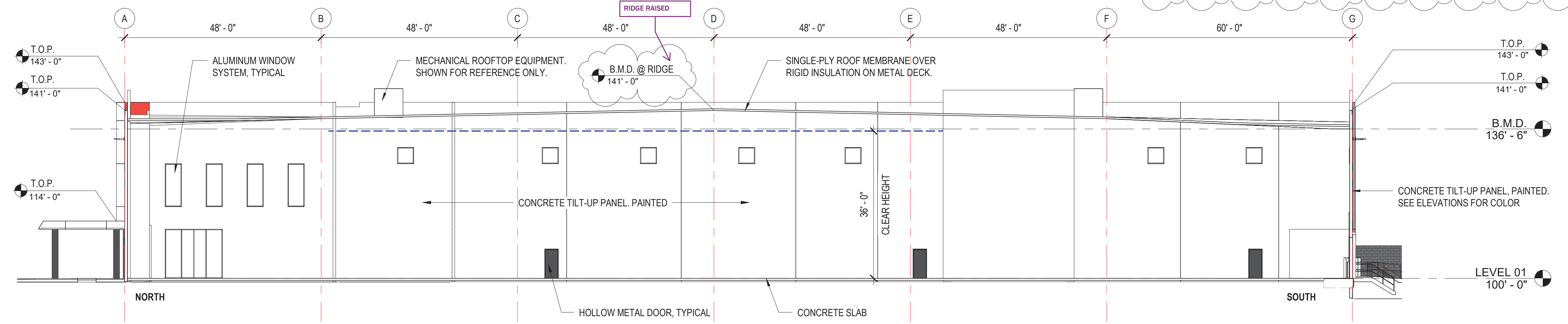
DRAWING TITLE
BUILDING ELEVATIONS - EAST & WEST

DRAWING NO.
A3.203

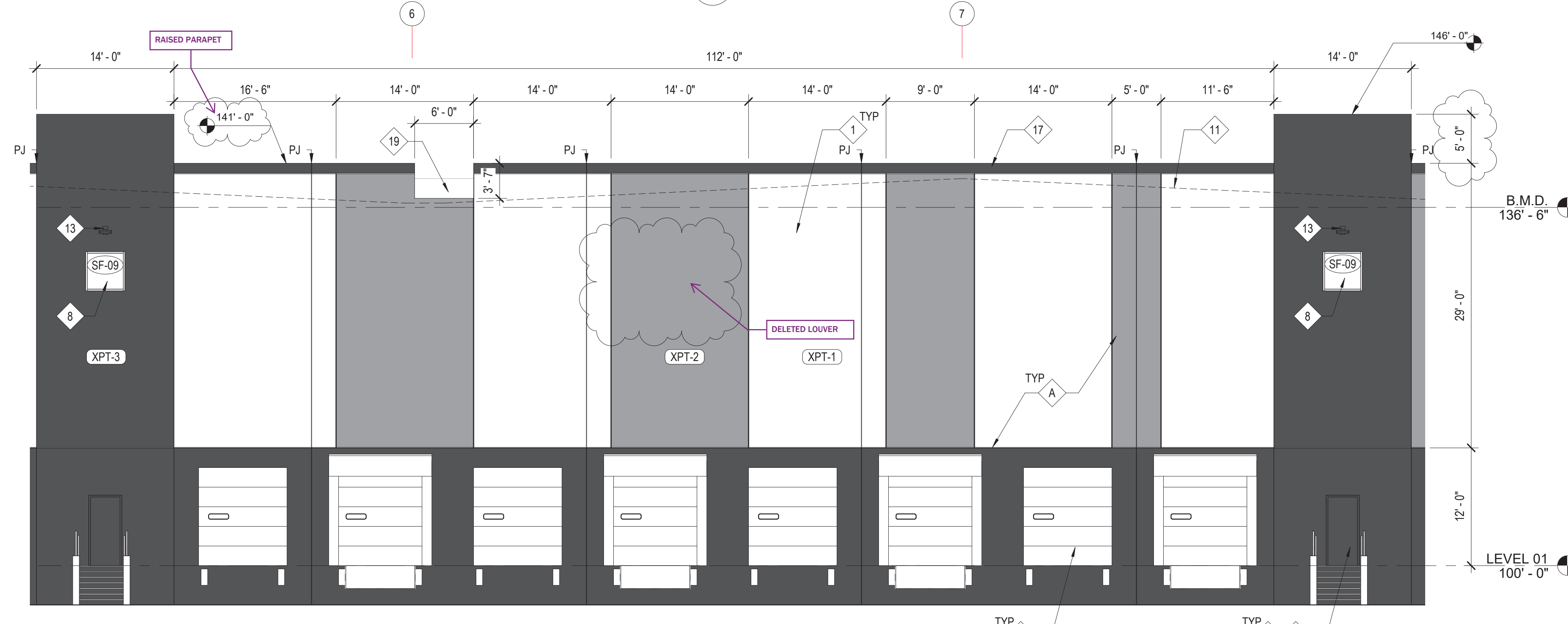
Job # 006329

EXTERIOR ELEVATION NOTES

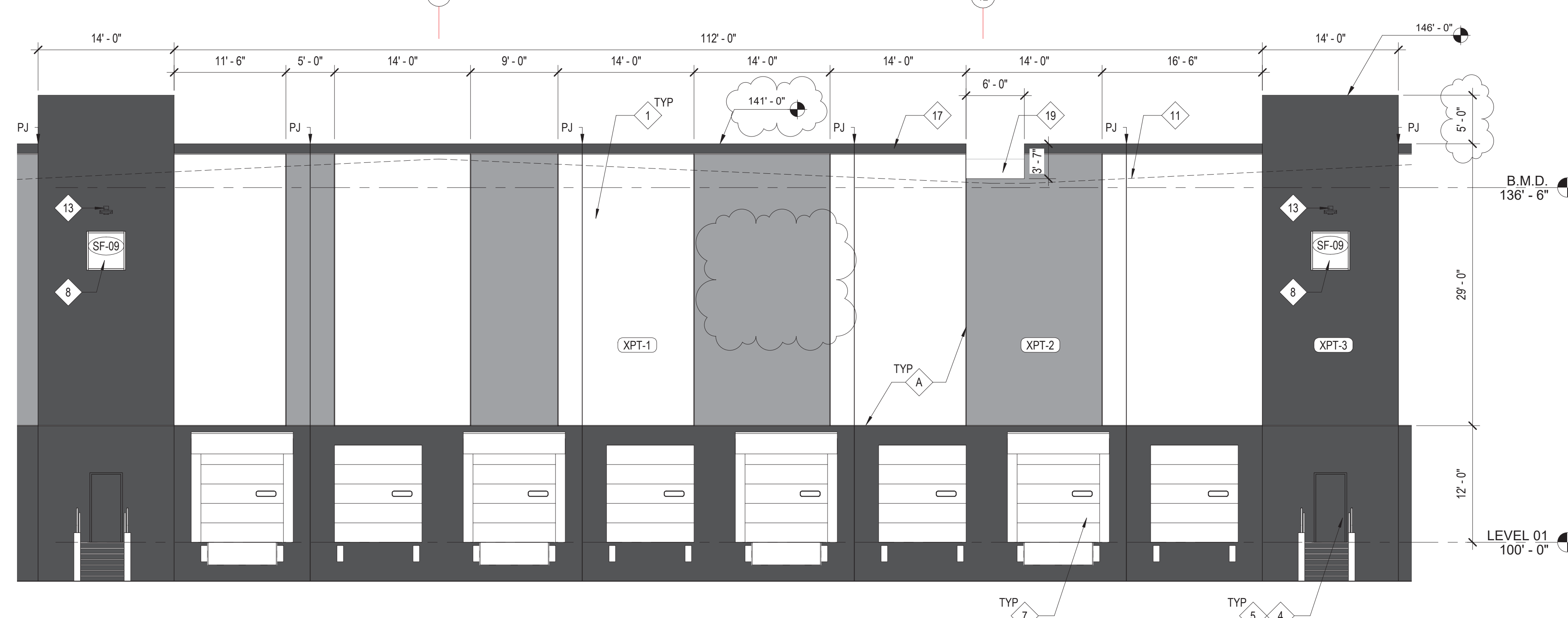
GENERAL NOTES	LEGEND	KEYED NOTES	KEYED NOTES	NOTES																																																																
<ol style="list-style-type: none"> PROVIDE TCA GRADE 'A' PATCHING AT OFFICE AREA. ALL OTHER AREAS TO BE TCA GRADE 'B' PATCHING. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR ROUGH OPENING. SEE FLOOR PLANS, SECTIONS, AND ELEVATIONS. ALL EXPOSED SIDES OF CONCRETE TILT-UP PANEL TO BE PAINTED. CONCRETE FILLED BOLLARDS TO BE PAINTED "SAFETY YELLOW". ALL EXTERIOR HOLLOW METAL DOORS, FRAMES AND OVERHEAD DOORS TO BE PAINTED TO MATCH ADJACENT WALL COLOR. ALL TILT-UP DIMENSIONS TAKEN FROM CENTER OF REVEAL. PROVIDE REVEAL AT TRANSITION OF PAINT COLOR (HORIZONTAL & VERTICAL). SEE SHEET A3.501 FOR EXTERIOR CONCRETE PANEL JOINTS, U.N.O. EXTERIOR SECTIONAL DOORS TO MATCH ADJACENT WALL COLOR. CUSTOM FACTORY FINISH. DO NOT PROVIDE A REVEAL AT THE KNOCK OUT PANELS. THE EXTERIOR FACING SURFACES OF THE TILT-UP PANELS BEHIND THE ALUMINUM WINDOW AND COMPOSITE METAL PANEL SYSTEMS MUST BE FULLY PAINTED PRIOR TO INSTALLATION OF THE SYSTEMS. UNPAINTED SURFACES MUST BE SUPPLEMENTED WITH AN APPLIED AIR AND MOISTURE BARRIER. 	<p>XPT-1 - SHERWIN WILLIAMS COLOR, CLAYCO FLAGSTONE (518-4)</p> <p>XPT-2 - SHERWIN WILLIAMS COLOR, CLAYCO DOVER GRAY (518-5)</p> <p>XPT-3 - SHERWIN WILLIAMS COLOR, CLAYCO KNIGHTS ARMOR (518-6)</p> <p>XPT-4 - SHERWIN WILLIAMS COLOR, CLAYCO RED</p> <p>CMP-1 - COMPOSITE METAL PANEL, REYNOBOND - COLORWELD 500 SILVERSMITH</p> <p>CMU-1 - ARCHITECTURAL CMU, ATHENA SPLIT FACE, MIDWEST BLOCK & BRICK, COLOR - EBONY</p>	<p>"V" TYPE REVEAL IN CONC. TILT-UP PANEL</p>	<ol style="list-style-type: none"> CONCRETE TILT-UP PANEL, PAINTED CONCRETE DRIVE-IN RAMP WITH CONCRETE RETAINING WALL AND GALV. STL. PIPE GUARDRAIL 14'-0" W x 16'-0" H OH DRIVE-IN DOOR, PREFINISHED TO MATCH ADJACENT WALL COLOR. SEE OH DOOR SCHEDULE HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH ADJACENT WALL COLOR. SEE DOOR SCHEDULE GALVANIZED STEEL DOCK STAIR GRAY TINTED WINDOWS IN BLACK ALUMINUM STOREFRONT 9'-0" W x 10'-0" H OH DOCK DOOR, PREFINISHED TO MATCH ADJACENT WALL COLOR. SEE OH DOOR SCHEDULE 4' X 4' CLERESTORY WINDOW BIKE RACK NOT USED ROOF LINE BEYOND EXTERIOR EGRESS LIGHTING FIXTURE, CENTER ABOVE DOOR. SEE ELECTRICAL WALL PACK LIGHTING FIXTURE, SEE ELECTRICAL COMPOSITE METAL PANEL ON METAL STUD FRAMING WITH MITERED CORNERS COMPOSITE METAL PANEL JOINT, SEE DTL. E1/A3.605 SPLIT-FACED CMU VENEER TEXTURED CONCRETE FORMLINER CORNICE TEXTURED CONCRETE FORMLINER RECESS OVERFLOW SCUPPER CONCRETE LAP PANEL 	<p>BUILDING B ELEVATIONS ARE THE SAME AS BUILDING A BUT OPPOSITE. REFER TO SHEETS AA2.101 & AB2.101 FOR ELEVATION REFERENCES.</p> <table border="1"> <thead> <tr> <th colspan="4">BUILDING MATERIAL PERCENTAGES (BUILDING ELEVATIONS)</th> </tr> </thead> <tbody> <tr> <td colspan="2">NORTH:</td> <td colspan="2">EAST:</td> </tr> <tr> <td>CONCRETE:</td> <td>38,548 SF 100%</td> <td>CONCRETE:</td> <td>13,038 SF 100%</td> </tr> <tr> <td>TEXTURED CONCRETE:</td> <td>30,837 SF 79%</td> <td>CONCRETE:</td> <td>11,035 SF 85%</td> </tr> <tr> <td>SPLIT-FACED CMU VENEER:</td> <td>1,492 SF 4%</td> <td>TEXTURED CONCRETE:</td> <td>400 SF 3%</td> </tr> <tr> <td>ALUMINUM & GLASS:</td> <td>4,297 SF 11%</td> <td>SPLIT-FACED CMU VENEER:</td> <td>1,078 SF 8%</td> </tr> <tr> <td>DOORS:</td> <td>1,788 SF 5%</td> <td>ALUMINUM & GLASS:</td> <td>450 SF 3%</td> </tr> <tr> <td></td> <td>144 SF 1%</td> <td>DOORS:</td> <td>75 SF 1%</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="2">SOUTH:</td> <td colspan="2">WEST:</td> </tr> <tr> <td>CONCRETE:</td> <td>40,674 SF 100%</td> <td>CONCRETE:</td> <td>13,038 SF 100%</td> </tr> <tr> <td>TEXTURED CONCRETE:</td> <td>34,623 SF 85%</td> <td>CONCRETE:</td> <td>10,763 SF 84%</td> </tr> <tr> <td>SPLIT-FACED CMU VENEER:</td> <td>0 SF 0%</td> <td>TEXTURED CONCRETE:</td> <td>382 SF 2%</td> </tr> <tr> <td>ALUMINUM & GLASS:</td> <td>0 SF 0%</td> <td>SPLIT-FACED CMU VENEER:</td> <td>1,003 SF 7%</td> </tr> <tr> <td>DOORS:</td> <td>96 SF 1%</td> <td>ALUMINUM & GLASS:</td> <td>840 SF 6%</td> </tr> <tr> <td></td> <td>5,955 SF 14%</td> <td>DOORS:</td> <td>50 SF 1%</td> </tr> </tbody> </table>	BUILDING MATERIAL PERCENTAGES (BUILDING ELEVATIONS)				NORTH:		EAST:		CONCRETE:	38,548 SF 100%	CONCRETE:	13,038 SF 100%	TEXTURED CONCRETE:	30,837 SF 79%	CONCRETE:	11,035 SF 85%	SPLIT-FACED CMU VENEER:	1,492 SF 4%	TEXTURED CONCRETE:	400 SF 3%	ALUMINUM & GLASS:	4,297 SF 11%	SPLIT-FACED CMU VENEER:	1,078 SF 8%	DOORS:	1,788 SF 5%	ALUMINUM & GLASS:	450 SF 3%		144 SF 1%	DOORS:	75 SF 1%					SOUTH:		WEST:		CONCRETE:	40,674 SF 100%	CONCRETE:	13,038 SF 100%	TEXTURED CONCRETE:	34,623 SF 85%	CONCRETE:	10,763 SF 84%	SPLIT-FACED CMU VENEER:	0 SF 0%	TEXTURED CONCRETE:	382 SF 2%	ALUMINUM & GLASS:	0 SF 0%	SPLIT-FACED CMU VENEER:	1,003 SF 7%	DOORS:	96 SF 1%	ALUMINUM & GLASS:	840 SF 6%		5,955 SF 14%	DOORS:	50 SF 1%
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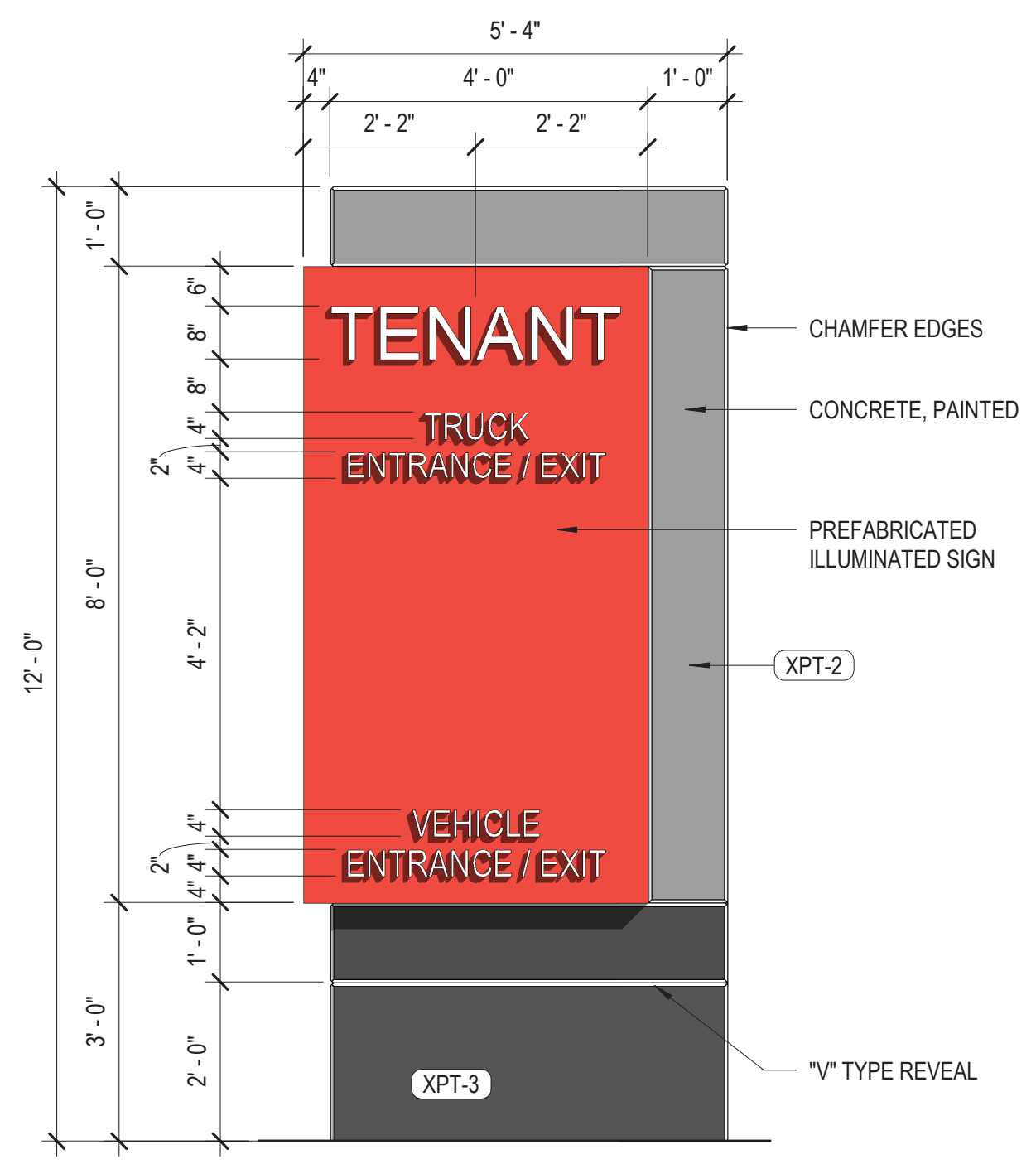
BUILDING SECTION - NORTH & SOUTH
A4 A3.204 1/16" = 1'-0"



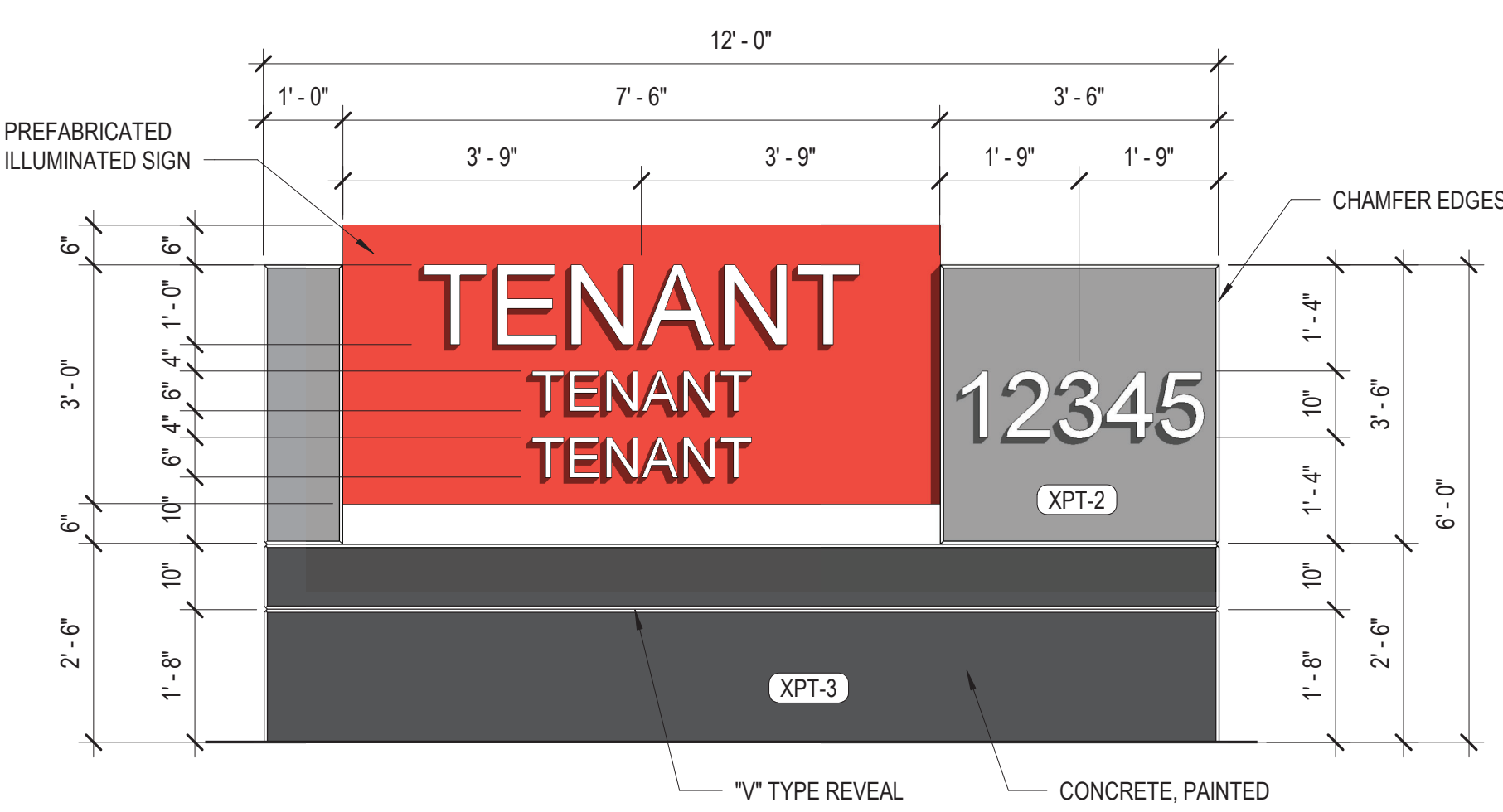
ENLARGED BUILDING ELEVATION - SOUTH - SCHEME B
A3 A3.204 1/8" = 1'-0"



ENLARGED BUILDING ELEVATION - SOUTH - SCHEME A
A1 A3.204 1/8" = 1'-0"



ELEVATION - VERTICAL MONUMENT SIGN (SOUTH)
E2 A3.204 1/2" = 1'-0"



ELEVATION - HORIZONTAL MONUMENT SIGN (SOUTH)
E1 A3.204 1/2" = 1'-0"

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04.22.2022

CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA - BLDG A
E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
1ST REVIEW COMMENTS	04.22.2022

DRAWING TITLE
ENLARGED BUILDING ELEVATIONS & SECTION

DRAWING NO.
A3.204

Job # 006329



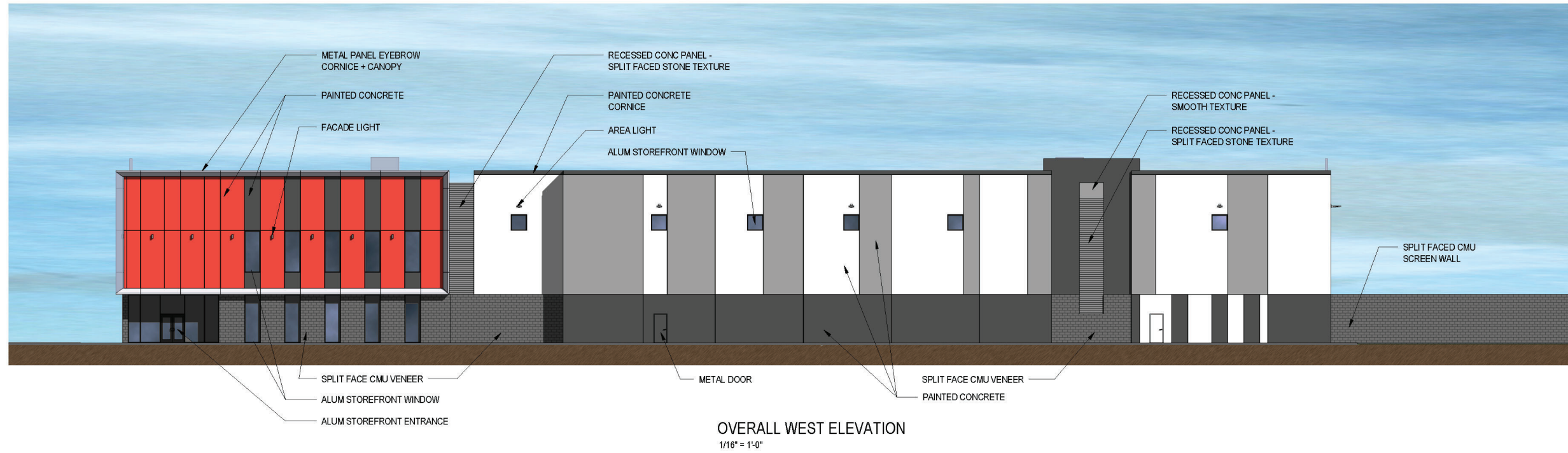
Corner Entrance View



Center Entrance View

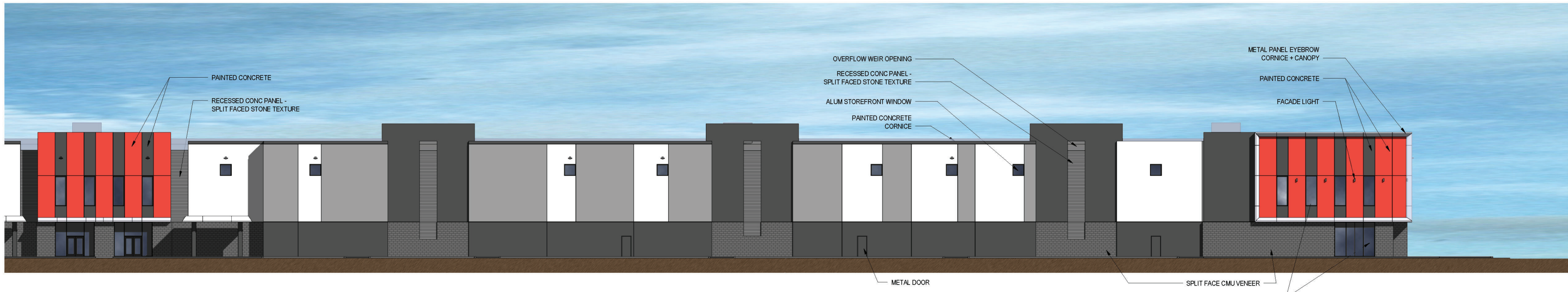


Night View

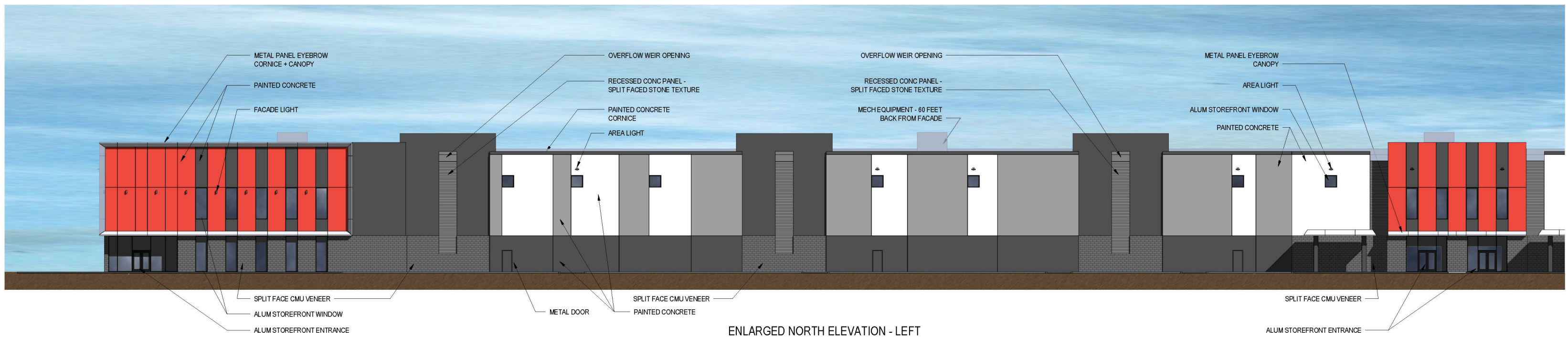


OVERALL WEST ELEVATION
1/16" = 1'-0"

NOTE: THESE DRAWINGS ILLUSTRATE BUILDING A. BUILDING B IS THE SAME BUT OPPOSITE-HAND. THE BUILDINGS ARE MIRRORED ALONG THE SHARED EAST/WEST BOUNDARY.



ENLARGED NORTH ELEVATION - RIGHT
1/16" = 1'-0"



ENLARGED NORTH ELEVATION - LEFT
1/16" = 1'-0"



OVERALL NORTH ELEVATION
1" = 30'-0"

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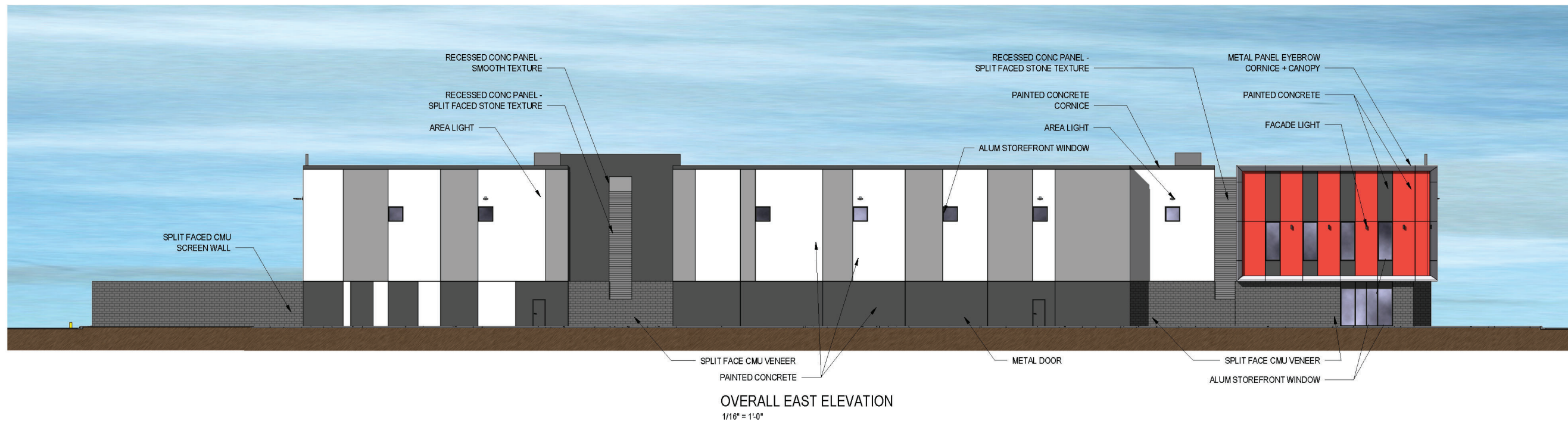
THE CUBES AT MESA
E PECOS RD & S CRISMON RD., MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	3-21-2022

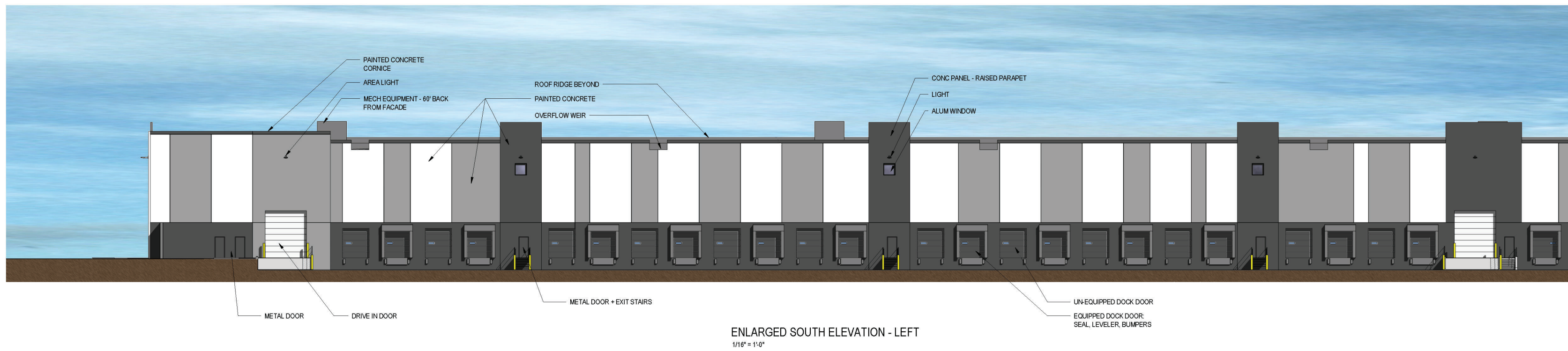
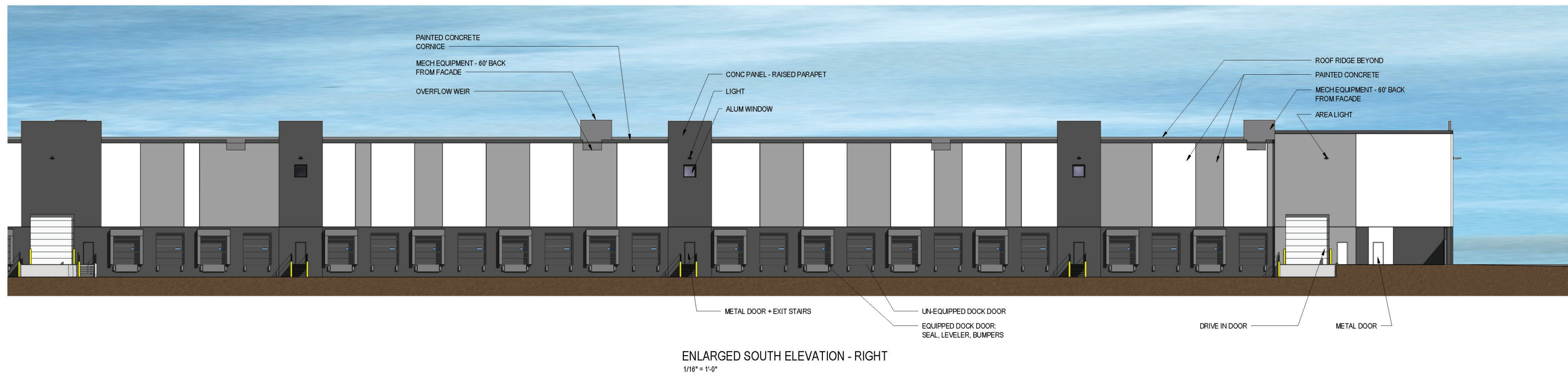
DRAWING TITLE
BUILDING ELEVATIONS
COLORED

DRAWING NO.
+A3-01

Job # 006329



REVISIONS
 1. Dock Doors color changed to Knights Armor.
 2. Ventilation louvers removed on South Elevation.



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CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA
 E PECOS RD & S CRISMON RD., MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	3-21-2022
COMMENT RESPONSE	4-22-2022

DRAWING TITLE
 BUILDING ELEVATIONS
 COLORED

DRAWING NO.
+A3-02

Job # 006329



NORTH ELEVATION DETAIL - PECOS ROAD FRONTAGE
1/8" = 1'-0"



WEST ELEVATION DETAIL - CRISMON ROAD FRONTAGE
1/8" = 1'-0"



NORTH ELEVATION DETAIL - PECOS ROAD FRONTAGE
1/8" = 1'-0"



NORTH ELEVATION DETAIL - PECOS ROAD FRONTAGE
1/8" = 1'-0"

NOTE: THESE DRAWINGS ILLUSTRATE BUILDING A. BUILDING B IS THE SAME BUT OPPOSITE-HAND. THE BUILDINGS ARE MIRRORED ALONG THE SHARED EAST/WEST BOUNDARY.

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CRG INTEGRATED REAL ESTATE SOLUTIONS

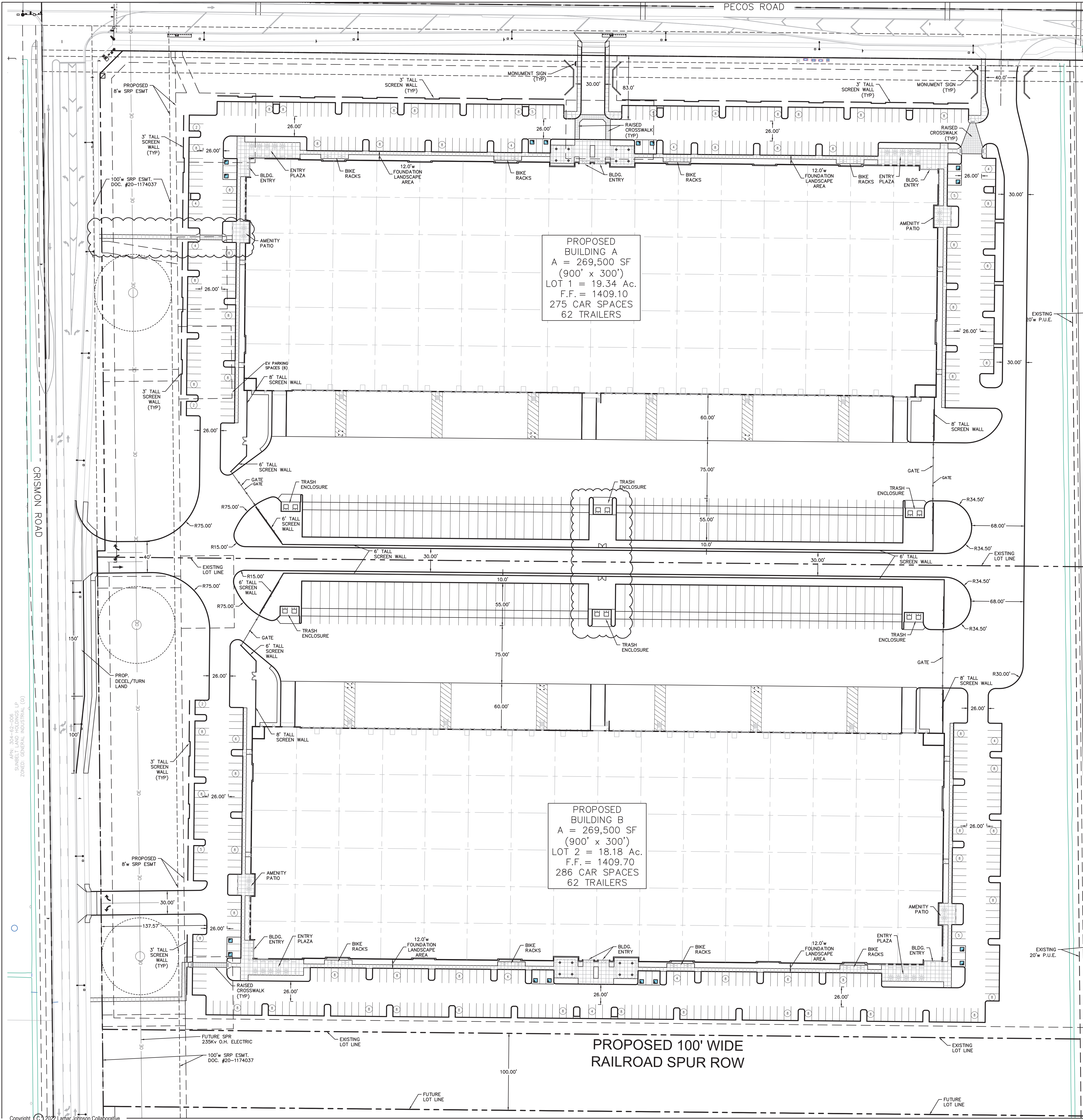
THE CUBES AT MESA - BUILDING A
E PECOS RD & S CRISMON RD., MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	3-21-2022

DRAWING TITLE
ENLARGED ELEVATION DETAILS
COLORED

DRAWING NO.
+A3-03

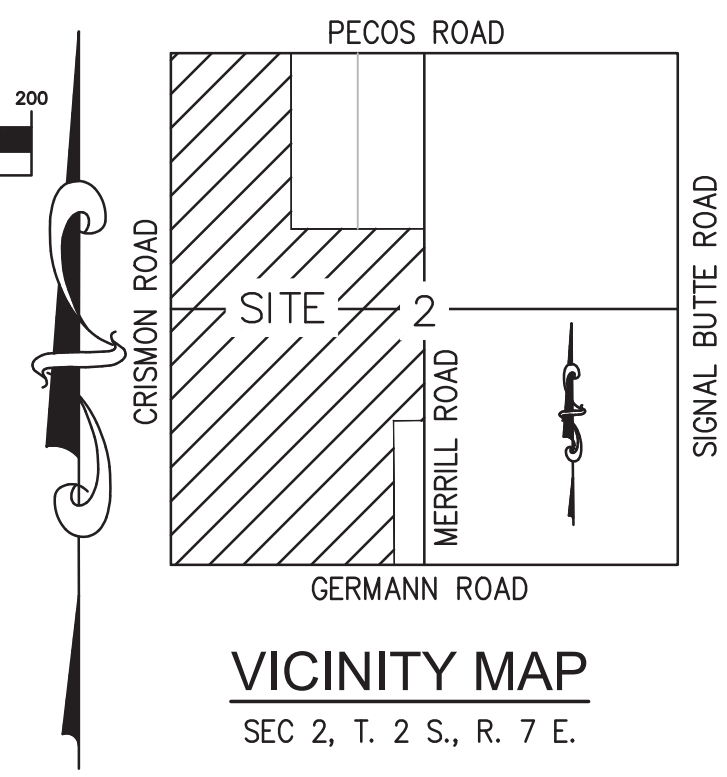
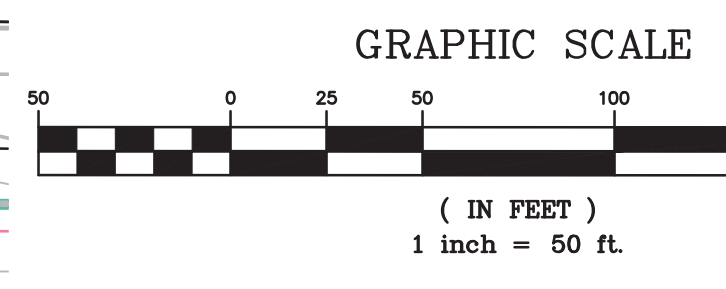
Job # 006329



PROPOSED BUILDING A
 A = 269,500 SF
 (900' x 300')
 LOT 1 = 19.34 AC.
 F.F. = 1409.10
 275 CAR SPACES
 62 TRAILERS

PROPOSED BUILDING B
 A = 269,500 SF
 (900' x 300')
 LOT 2 = 18.18 AC.
 F.F. = 1409.70
 286 CAR SPACES
 62 TRAILERS

PROPOSED 100' WIDE RAILROAD SPUR ROW



PARKING SUMMARY - BUILDING A

PARKING STALL:	PROVIDED	REQUIRED	ADA PROVIDED	ADA REQUIRED
OPEN (SURFACE)	275	585	8	7
TRAILER STALLS	62			

REQUIRED PARKING:	MINIMUM # OF SPACES	USER AREA	SPACES REQUIRED
75% OF FLOOR AREA	1:500 SQ.FT.	202,125 SF	405
25% OF FLOOR AREA	1:375 SQ.FT.	67,375 SF	180
TOTAL REQUIRED			585
TOTAL PROVIDED			275

PARKING SUMMARY - BUILDING B

PARKING STALL:	PROVIDED	REQUIRED	ADA PROVIDED	ADA REQUIRED
OPEN (SURFACE)	286	585	8	7
TRAILER STALLS	65			

REQUIRED PARKING:	MINIMUM # OF SPACES	USER AREA	SPACES REQUIRED
75% OF FLOOR AREA	1:500 SQ.FT.	202,125 SF	405
25% OF FLOOR AREA	1:375 SQ.FT.	67,375 SF	180
TOTAL REQUIRED			585
TOTAL PROVIDED			286

PROJECT DATA - BUILDING A

PROPOSED USE: INDUSTRIAL
 APN NUMBERS: 304-63-006V
 EXISTING ZONING: CI - GENERAL INDUSTRIAL
 PROPOSED ZONING: CI - GENERAL INDUSTRIAL
 NET AREA: 842,415 SF / 19.34 AC
 GROSS AREA: 842,415 SF / 19.34 AC
 FLOOR COVERAGE RATIO: 296,500 SF / 842,415 SF = 35.2%
 LOT COVERAGE MAXIMUM: 90%
 LOT COVERAGE PROVIDED: 14.05 AC (73%)
 BUILDING HEIGHT: 50'

PROJECT DATA - BUILDING B

PROPOSED USE: INDUSTRIAL
 APN NUMBERS: 304-63-006V
 EXISTING ZONING: CI - GENERAL INDUSTRIAL
 PROPOSED ZONING: CI - GENERAL INDUSTRIAL
 NET AREA: 792,118 SF / 18.18 AC
 GROSS AREA: 792,118 SF / 18.18 AC
 FLOOR COVERAGE RATIO: 296,500 SF / 792,118 SF = 37.4%
 LOT COVERAGE MAXIMUM: 90%
 LOT COVERAGE PROVIDED: 13.64 AC (75%)
 BUILDING HEIGHT: 50'

ARCHITECT
 LAMAR JOHNSON COLLABORATIVE
 2199 INNERBELT BUSINESS CENTER DRIVE
 ST. LOUIS, MISSOURI 63114
 PHONE: (314) 592-5623
 CONTACT: JOE SCHNIEDERS

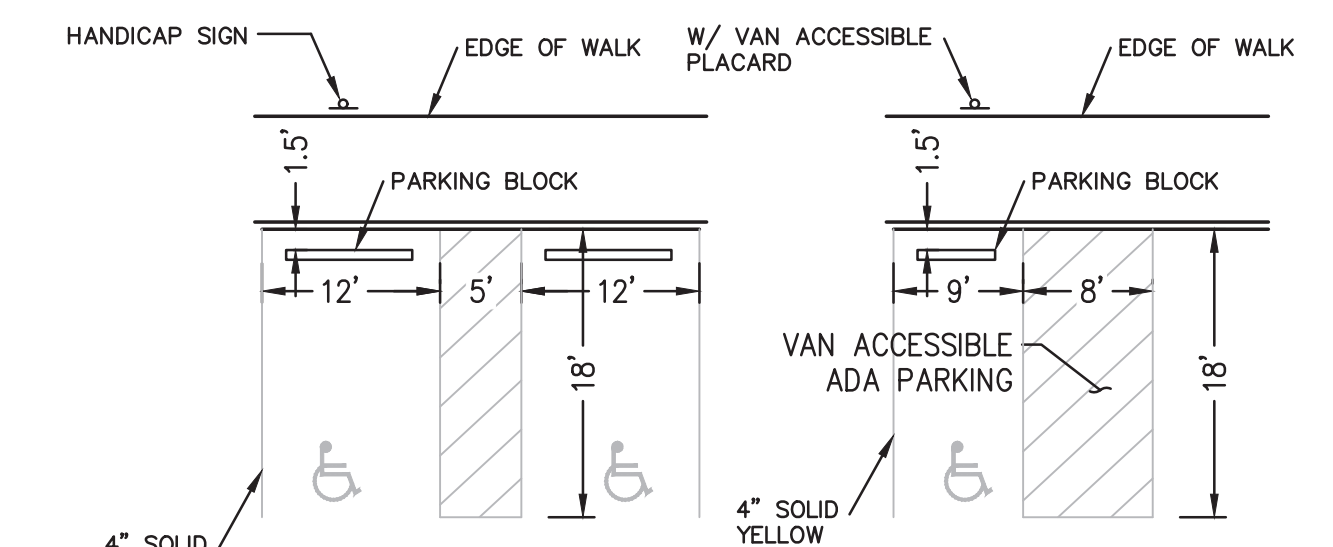
OWNER/DEVELOPER
 CRG
 7800 FORSYTH BLVD, 3RD FLOOR
 ST. LOUIS, MO 63105

ENGINEER
 STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
 257 CHESTERFIELD BUSINESS PARKWAY
 ST. LOUIS, MO 63005
 PHONE: (636) 530-9100
 CONTACT: GEORGE STOCK, P.E. PRESIDENT

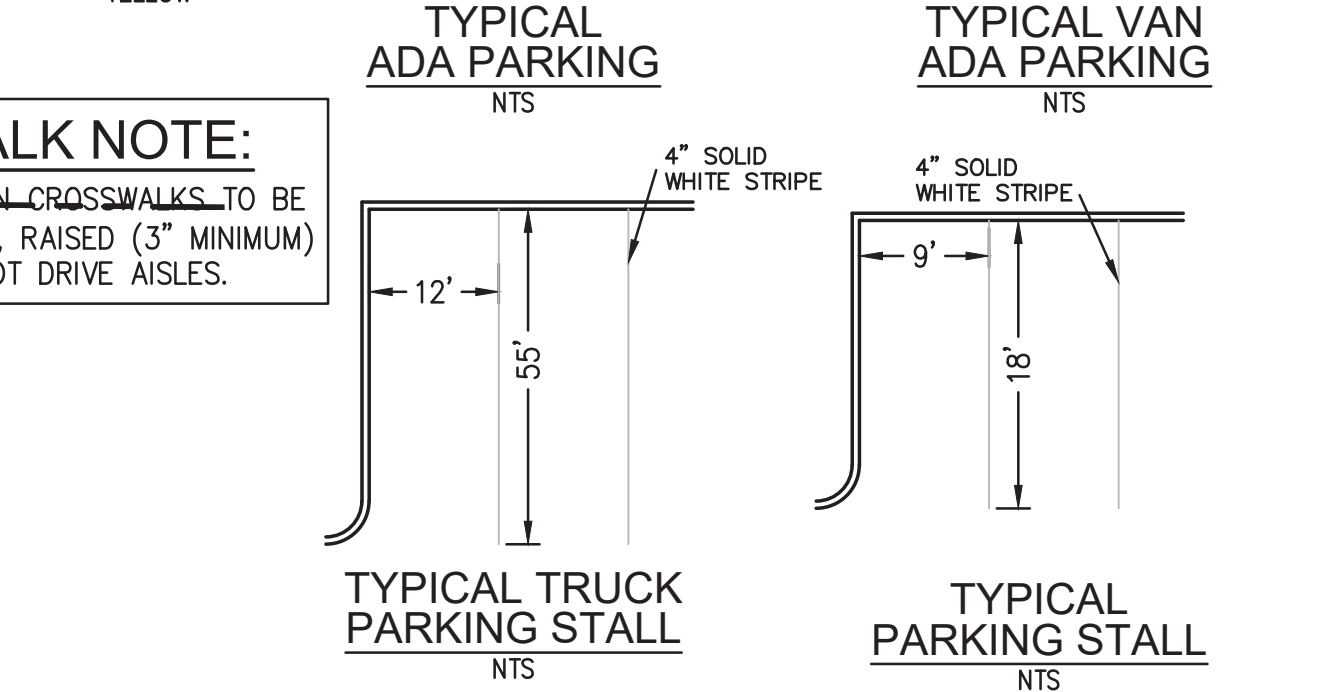
APPLICANT / LAND USE ATTORNEY
 WITHEY MORRIS, PLC
 2525 E. ARIZONA BILTMORE CIRCLE, STE. A-212
 PHOENIX, AZ 85016
 PHONE: (602) 346-4619
 CONTACT: STEPHANIE WATNEY

PROJECT DESCRIPTION
 NEW CONSTRUCTION OF A WAREHOUSE. DESIGN WILL INCLUDE GRADING & DRAINAGE, PARKING LOTS, UTILITIES AND OTHER ONSITE IMPROVEMENTS.

BASIS OF BEARING
 THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE G1A AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS: N89°26'06"E.



CROSS WALK NOTE:
 ON-SITE PEDESTRIAN CROSSWALKS TO BE STAMPED CONCRETE, RAISED (3" MINIMUM) ACROSS PARKING LOT DRIVE AISLES.



DATE: 04-22-2022

GEORGE M. STOCK E-35402 CIVIL ENGINEER REGISTRATION NUMBER: 12910

257 Chesterfield Business Parkway St. Louis, MO 63005 PH: (636) 530-9100 FAX: (636) 530-9100 e-mail: gstock@stockandassociates.com Web: www.stockandassociates.com

PREPARED BY: **Stock & Associates Consulting Engineers, Inc.**

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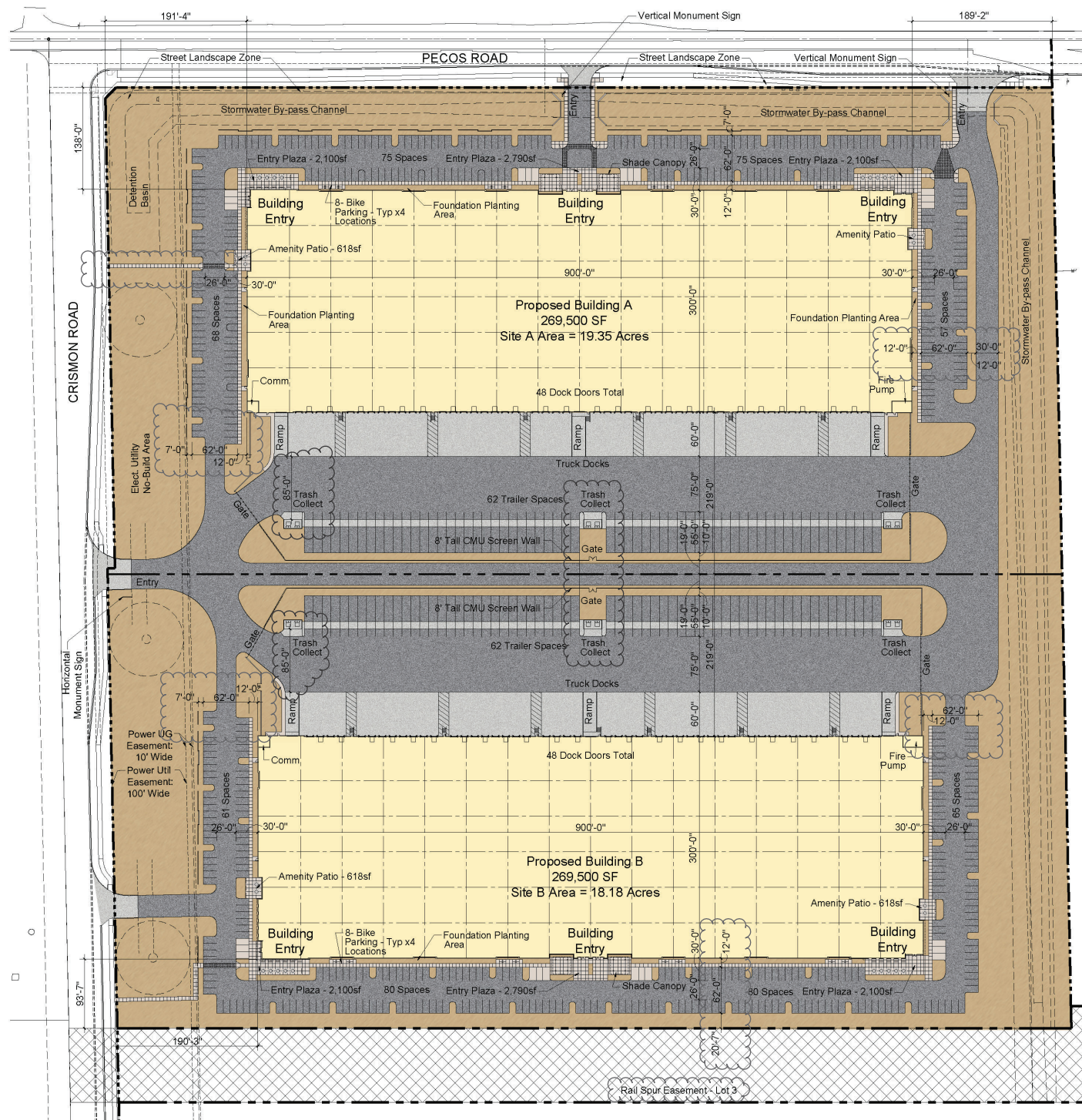
THE CUBES AT MESA BUILDINGS A & B
 LOT 1 - 10101 E. PECOS ROAD,
 LOT 2 - 6935 S. CRISMON ROAD,
 MESA, AZ 85212

DESCRIPTION	DATE
1. DR SUBMITTAL	3-21-2022
2. 1ST REVIEW COMMENTS	4-22-2022

DRAWING TITLE: **SITE PLAN**

DRAWING NO.: **C1.0**

CRG 006367 STOCK 221-7112



PARKING DATA:

CARS
 SITE A = 275
 RATIO = 976 SQ.FT. / SPACE

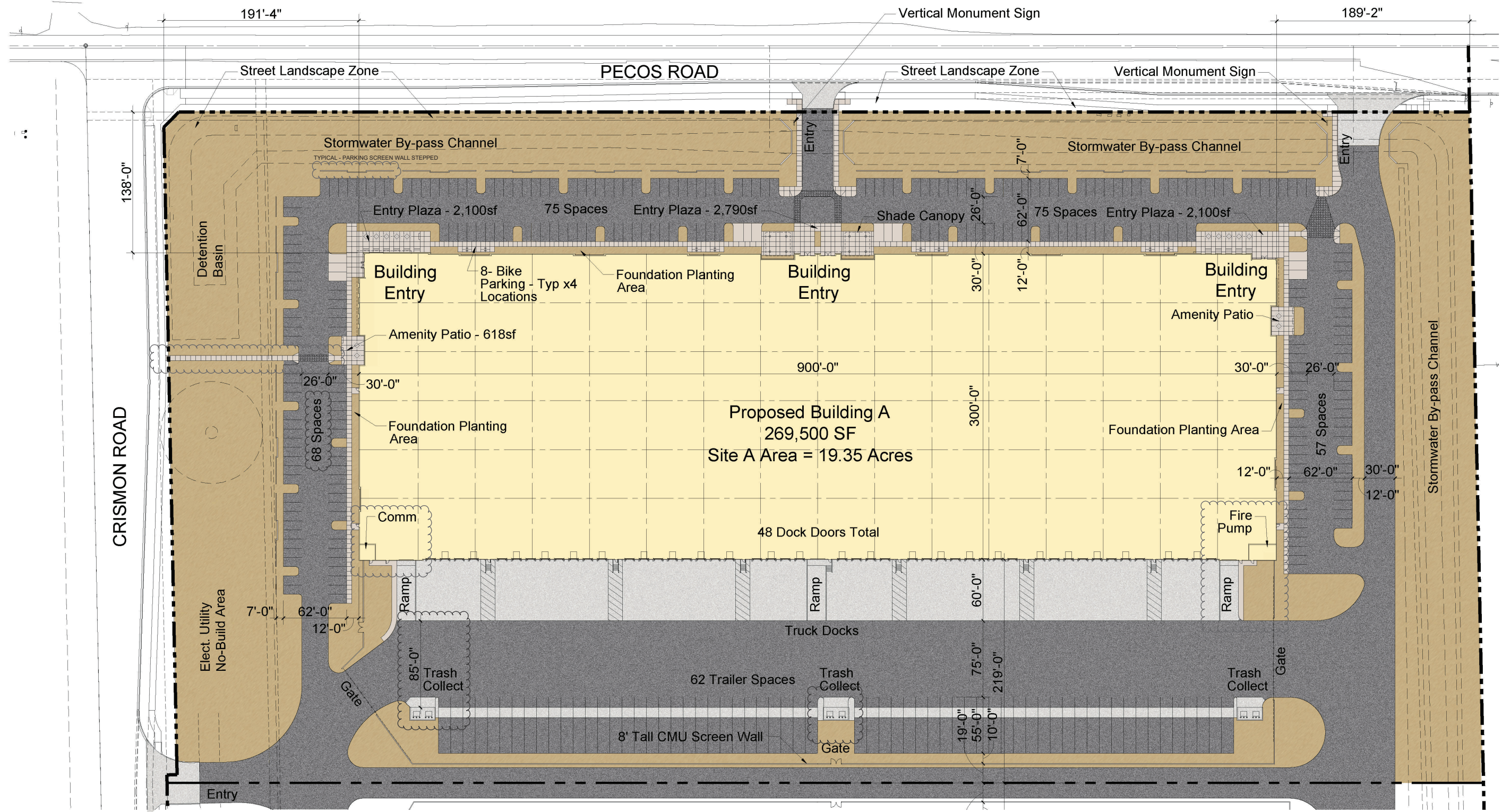
SITE B = 286
 RATIO = 942 SQ.FT. / SPACE

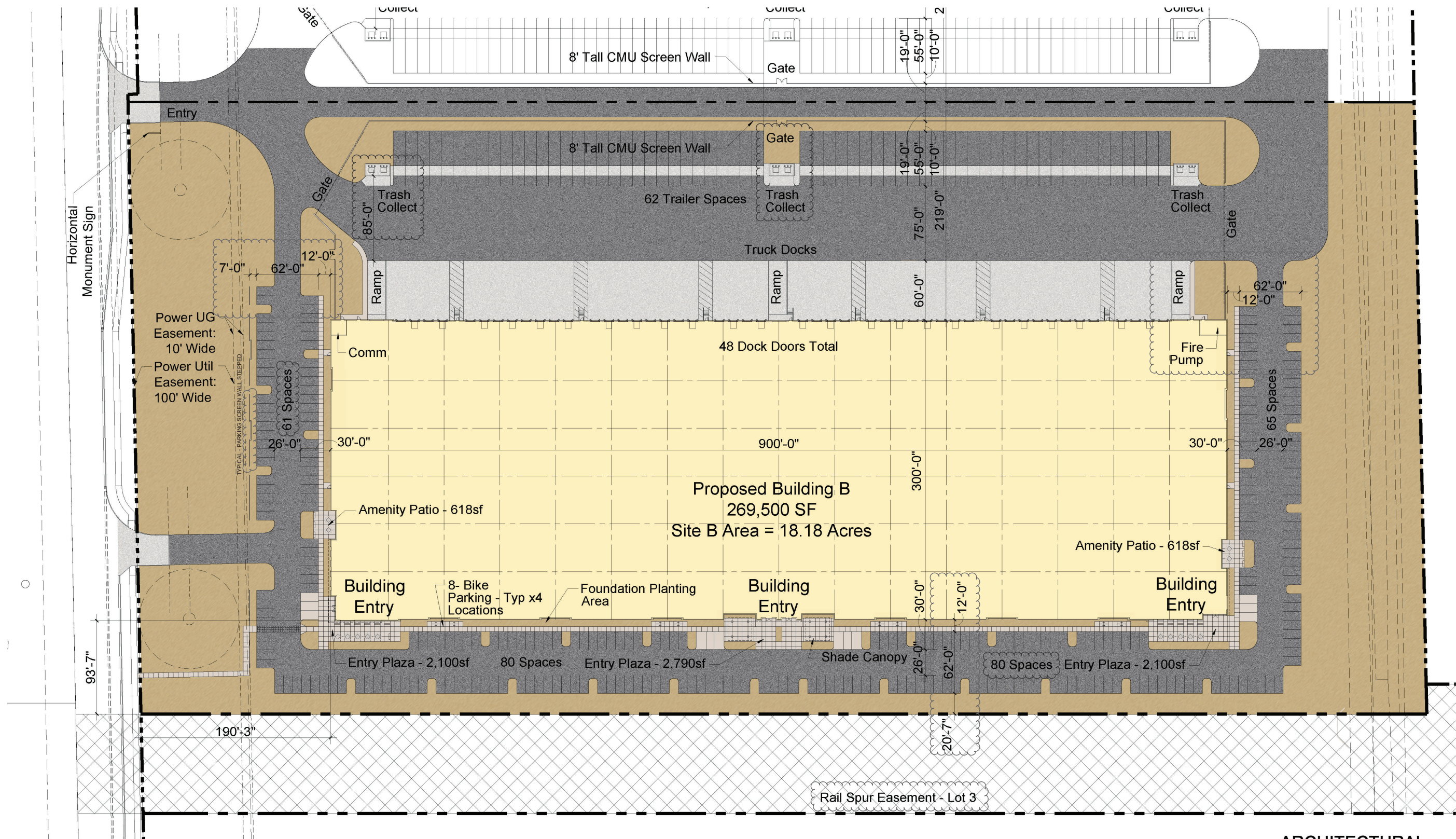


**ARCHITECTURAL
 SITE PLAN - COLORED**

Scale: 1"=200'



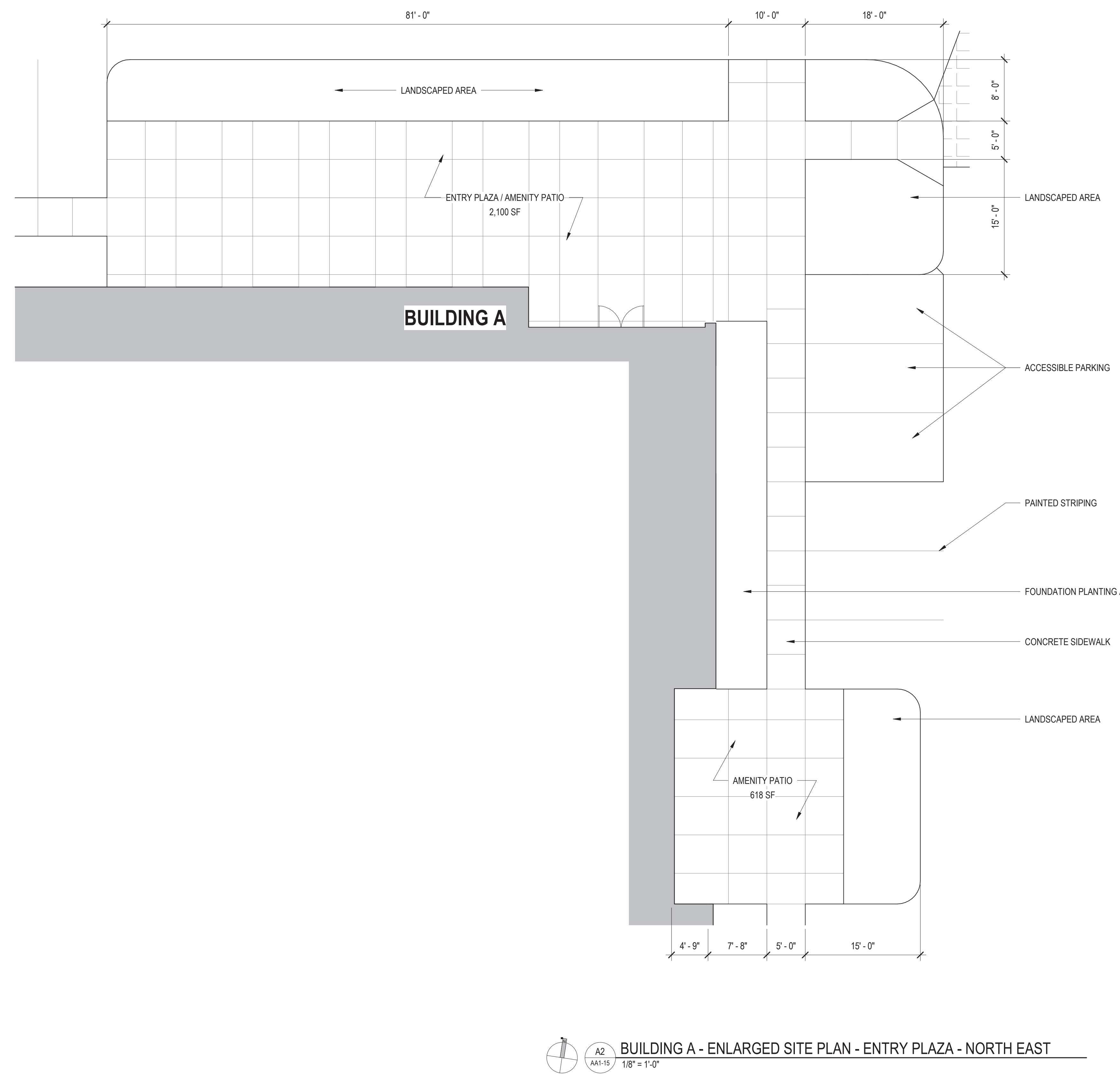
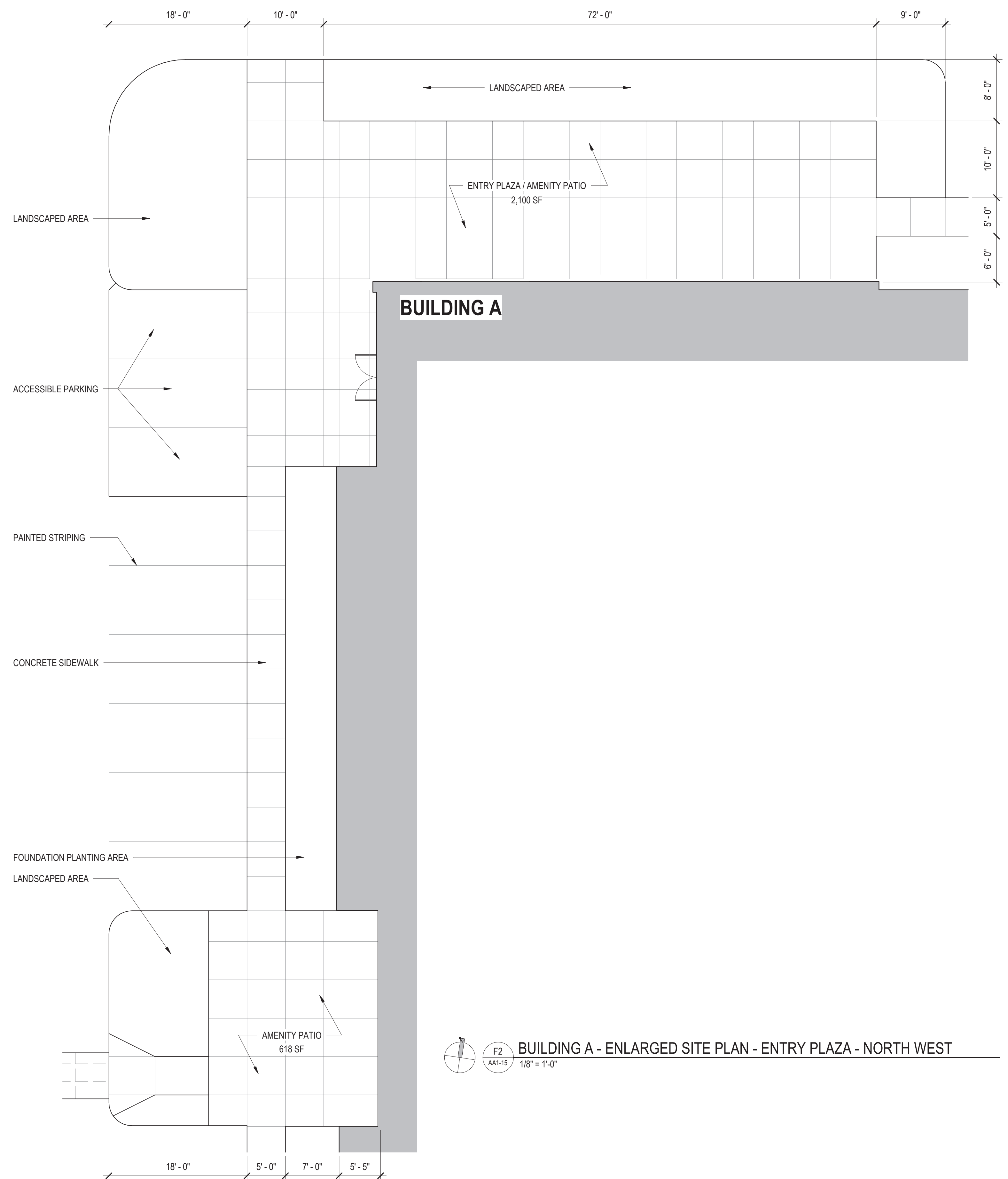




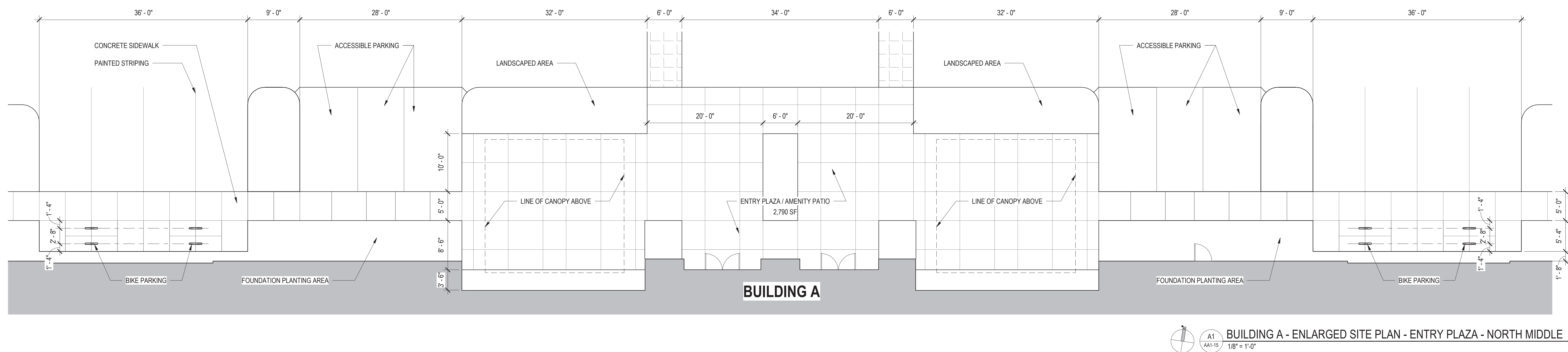
**ARCHITECTURAL
SITE PLAN - COLORED**

Scale: 1"=100'
 0 100' 200'



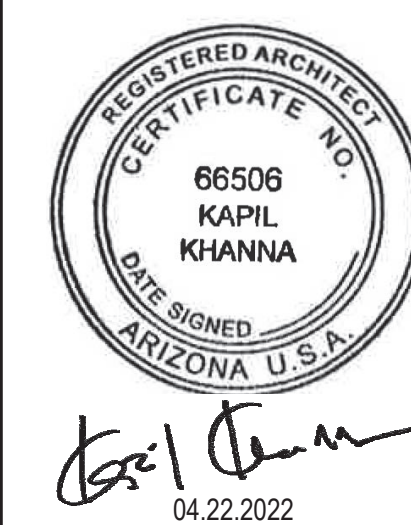


NOTE: BUILDING B IS THE SAME AS BUILDING A BUT OPPOSITE.



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THE ART & SCIENCE OF BUILDING
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.429.5100 FAX: 314.429.3137

Lamar Johnson Collaborative
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.429.1010



CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA - BLDG A
E PECOS RD & S CRISMON RD, MESA, AZ 85212

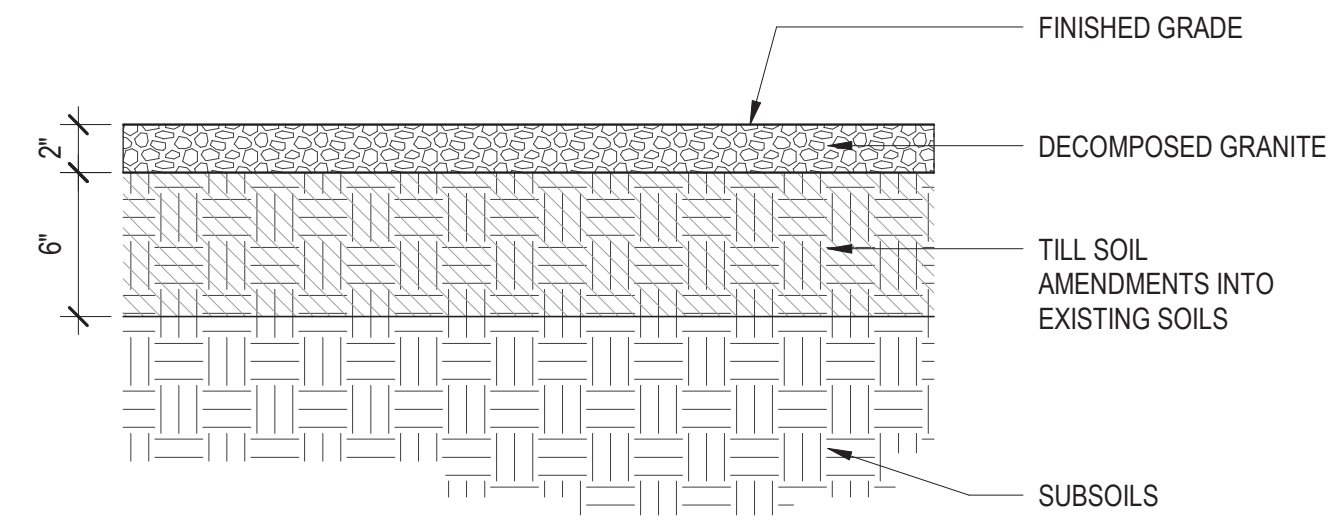
DRAWING ISSUE

DESCRIPTION	DATE
1ST REVIEW COMMENTS	04.22.2022

DRAWING TITLE
ENLARGED SITE PLANS

DRAWING NO.
AA1-15

Job # 006329

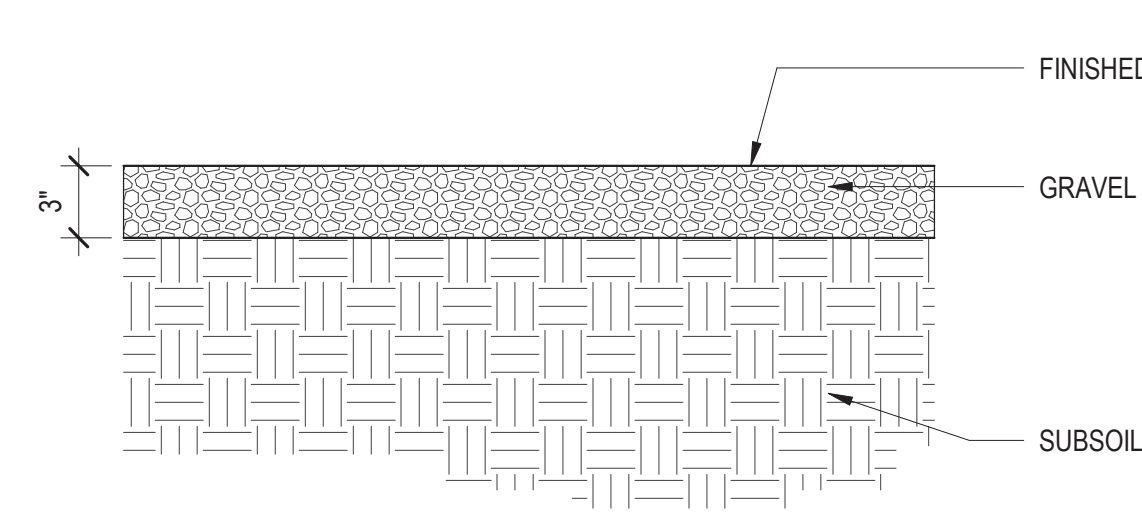


DECOMPOSED GRANITE BASIS OF DESIGN:
 COLOR: TANNER GOLD. TO BE APPROVED
 BY LANDSCAPE ARCHITECT

1) GRANITE EXPRESS, 5332 E MAIN ST.,
 MESA AZ 85205. TELEPHONE: 480-354-6809,
 HTTP://WWW.GRANITEEXPRESS.COM/
 2) PIONEER SAND, 1636 E. DEER VALLEY
 RD., PHOENIX, AZ 85024. TEL: (623)
 869-7400.
 HTTPS://WWW.PIONEERSAND.COM/
 3) OR APPROVED EQUAL

E4 TYPICAL SOIL PROFILE - PLANTING WITH DECOMPOSED GRANITE

L4.301 1 1/2" = 1'-0"

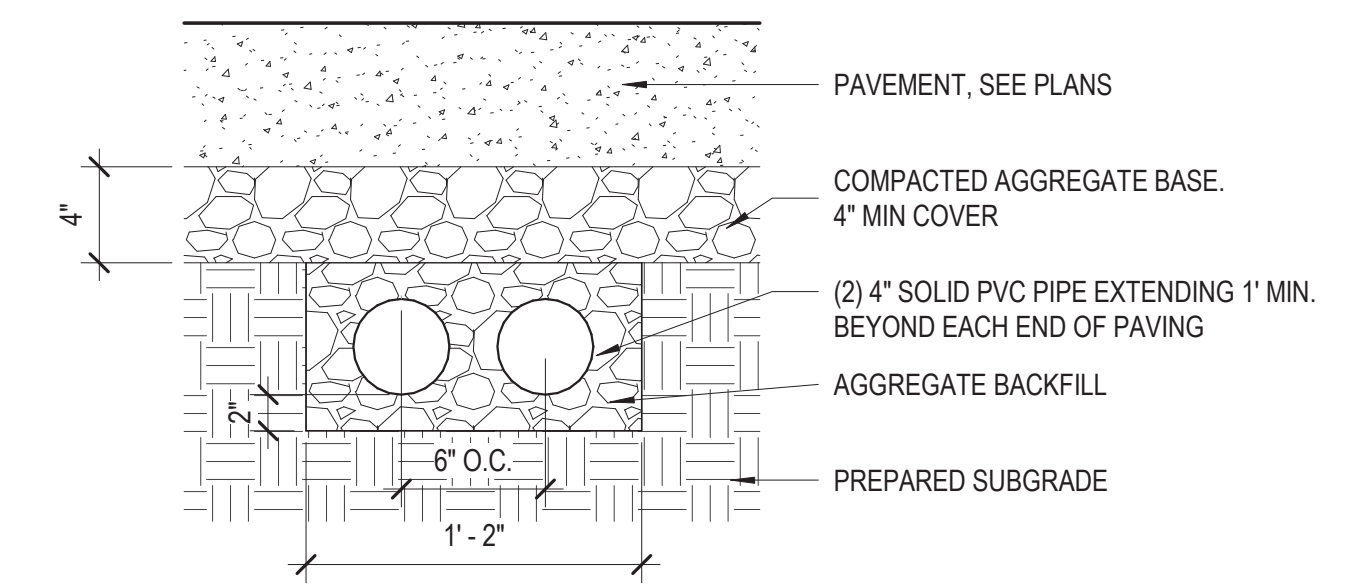


COLOR: MIX OF THREE COLORS AND
 VARIOUS SIZES. TO BE APPROVED BY
 LANDSCAPE ARCHITECT

GRAVEL BASIS OF DESIGN:
 1) GRANITE EXPRESS, 5332 E MAIN ST.,
 MESA AZ 85205. TELEPHONE:
 480-354-6809,
 HTTP://WWW.GRANITEEXPRESS.COM/
 2) PIONEER SAND, 1636 E. DEER VALLEY
 RD., PHOENIX, AZ 85024. TEL: (623)
 869-7400.
 HTTPS://WWW.PIONEERSAND.COM/
 3) OR APPROVED EQUAL

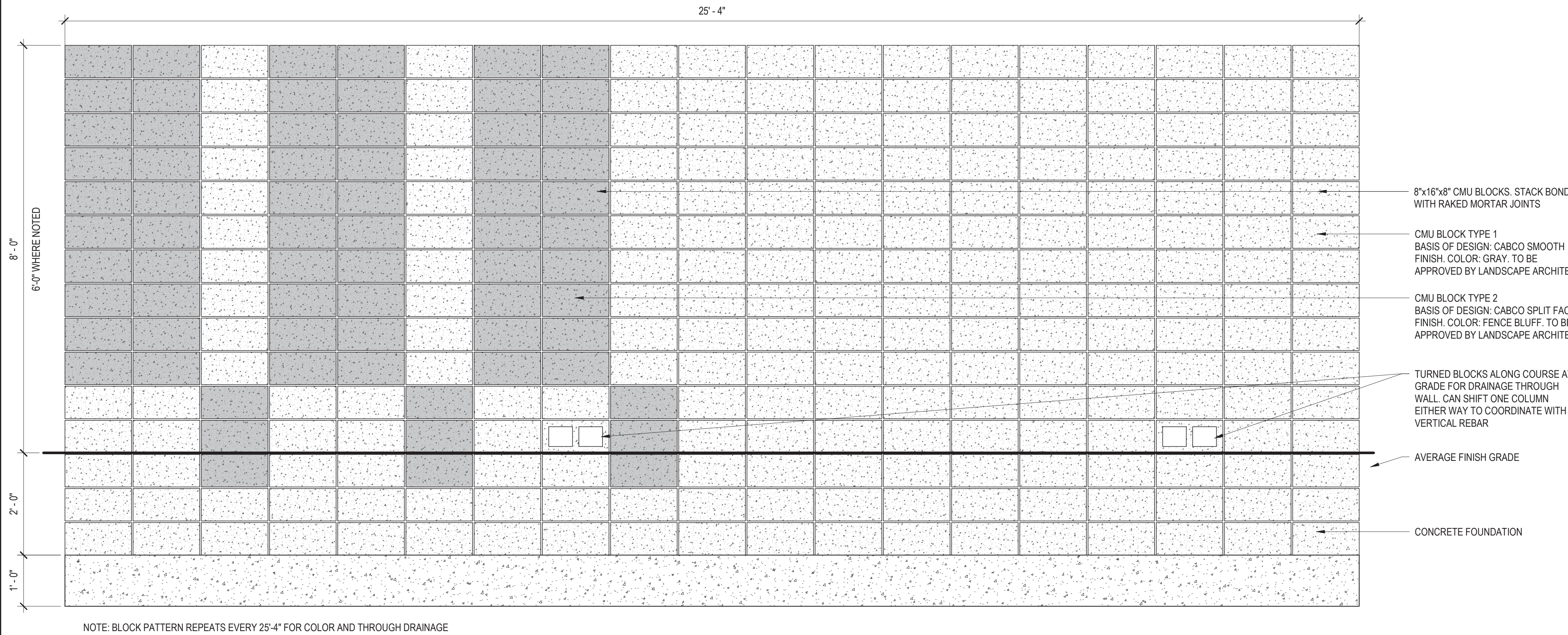
C4 TYPICAL SOIL PROFILE - DETENTION BASIN WITH GRAVEL

L4.301 1 1/2" = 1'-0"



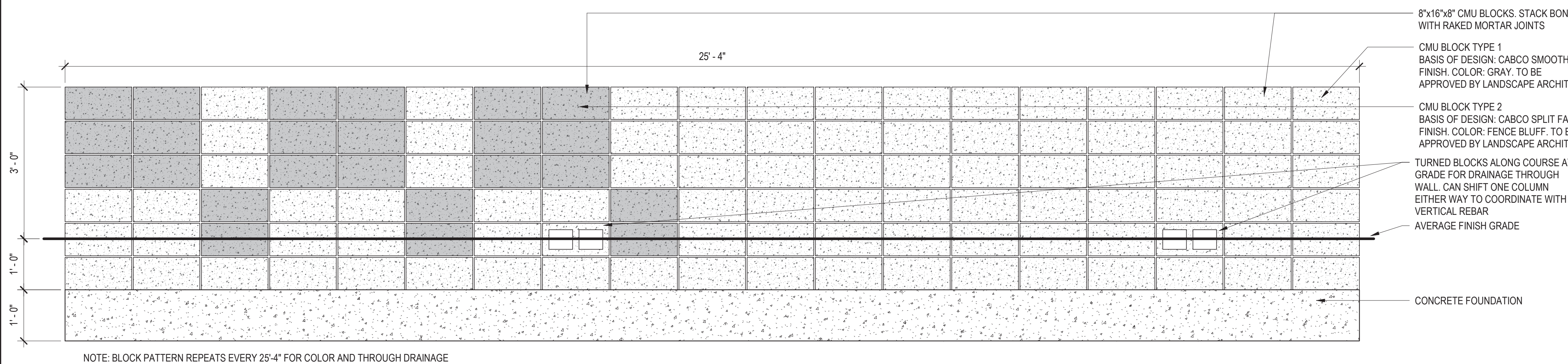
B4 SLEEVING

L4.301 1 1/2" = 1'-0"



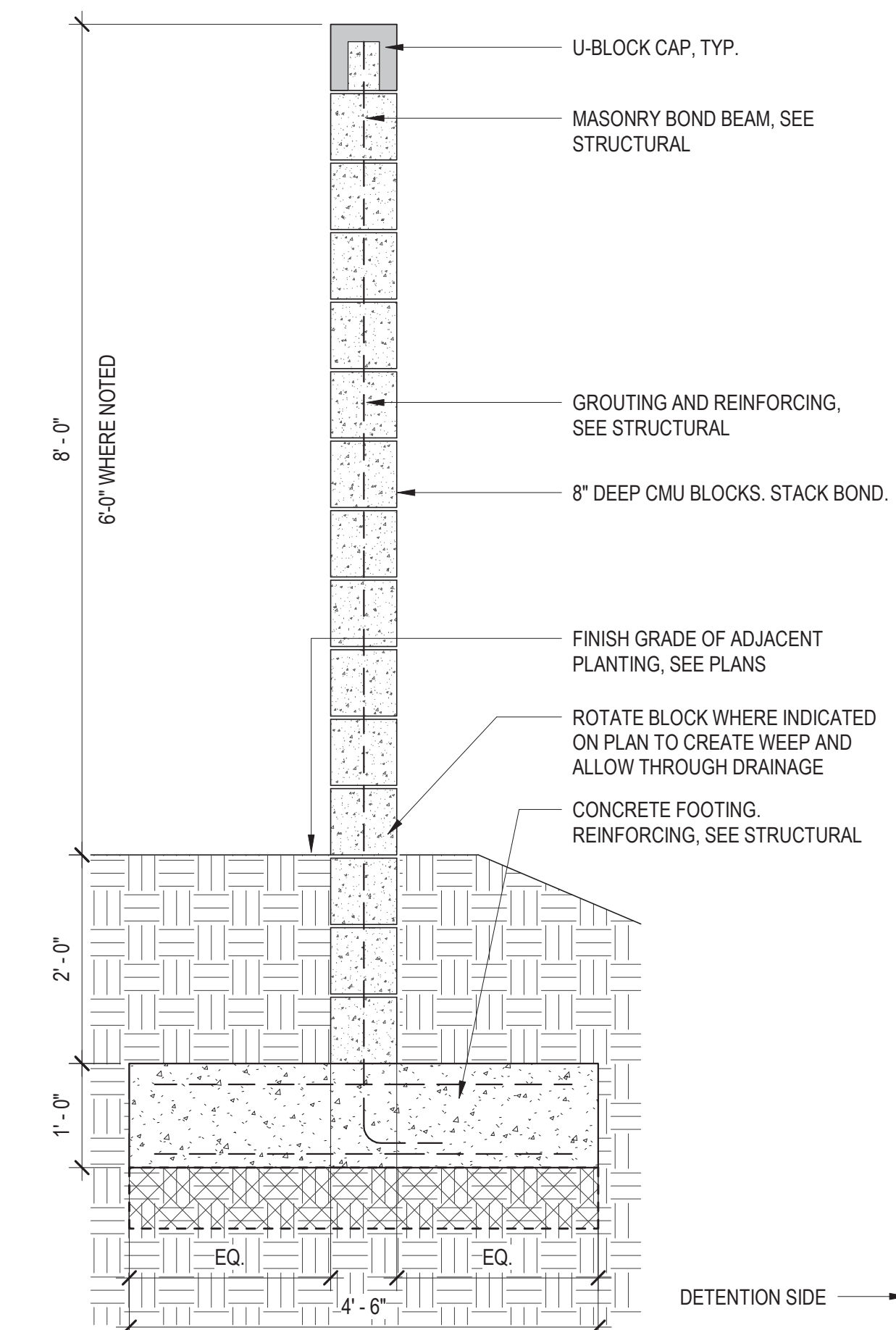
F2 CONCRETE BLOCK SCREENWALL - TALL - ELEVATION

L4.301 3/4" = 1'-0"



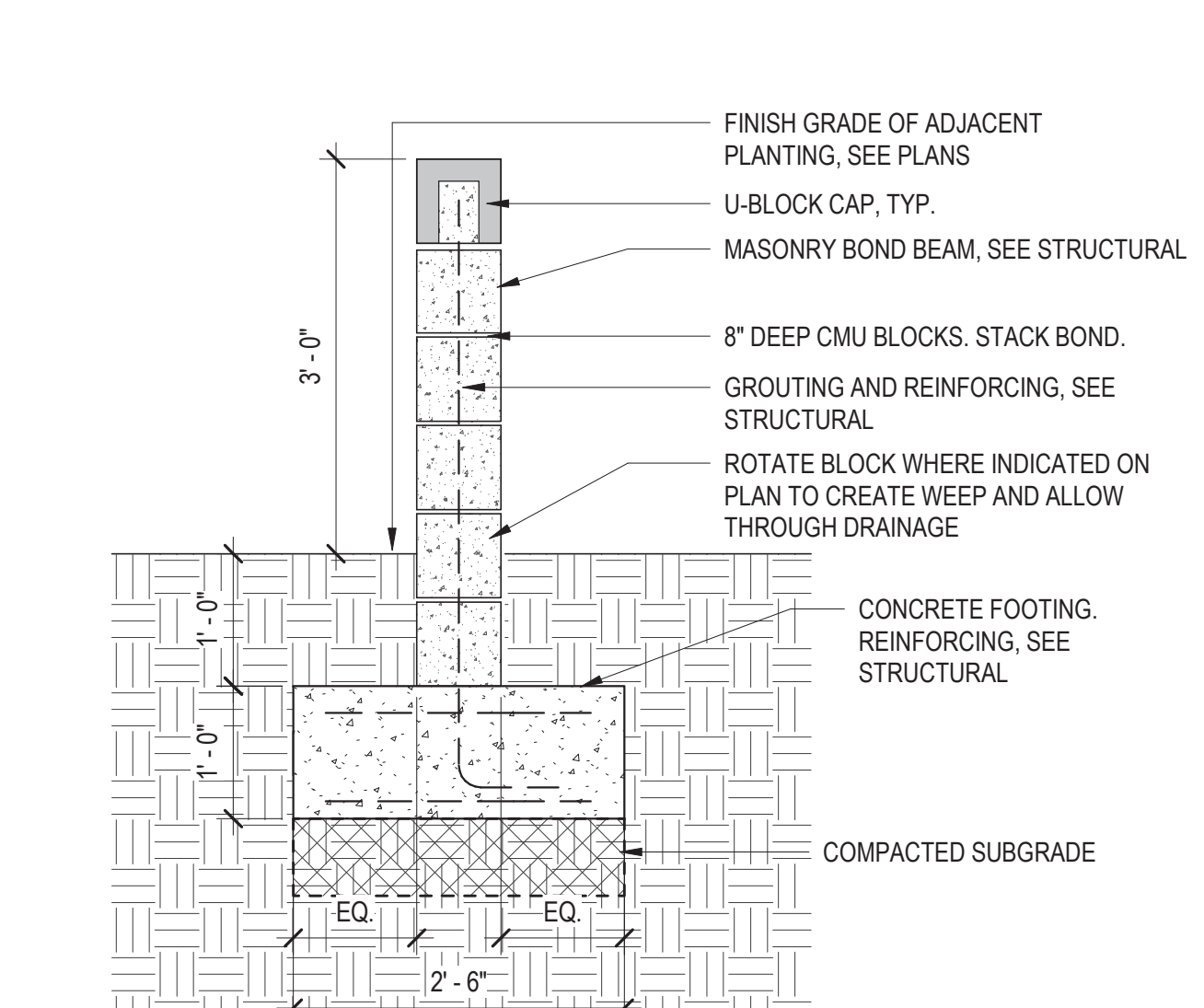
F1 CONCRETE BLOCK SCREENWALL - SHORT - ELEVATION

L4.301 3/4" = 1'-0"



B2 CONCRETE BLOCK SCREENWALL - TALL - SECTION

L4.301 3/4" = 1'-0"



B1 CONCRETE BLOCK SCREENWALL - SHORT - SECTION

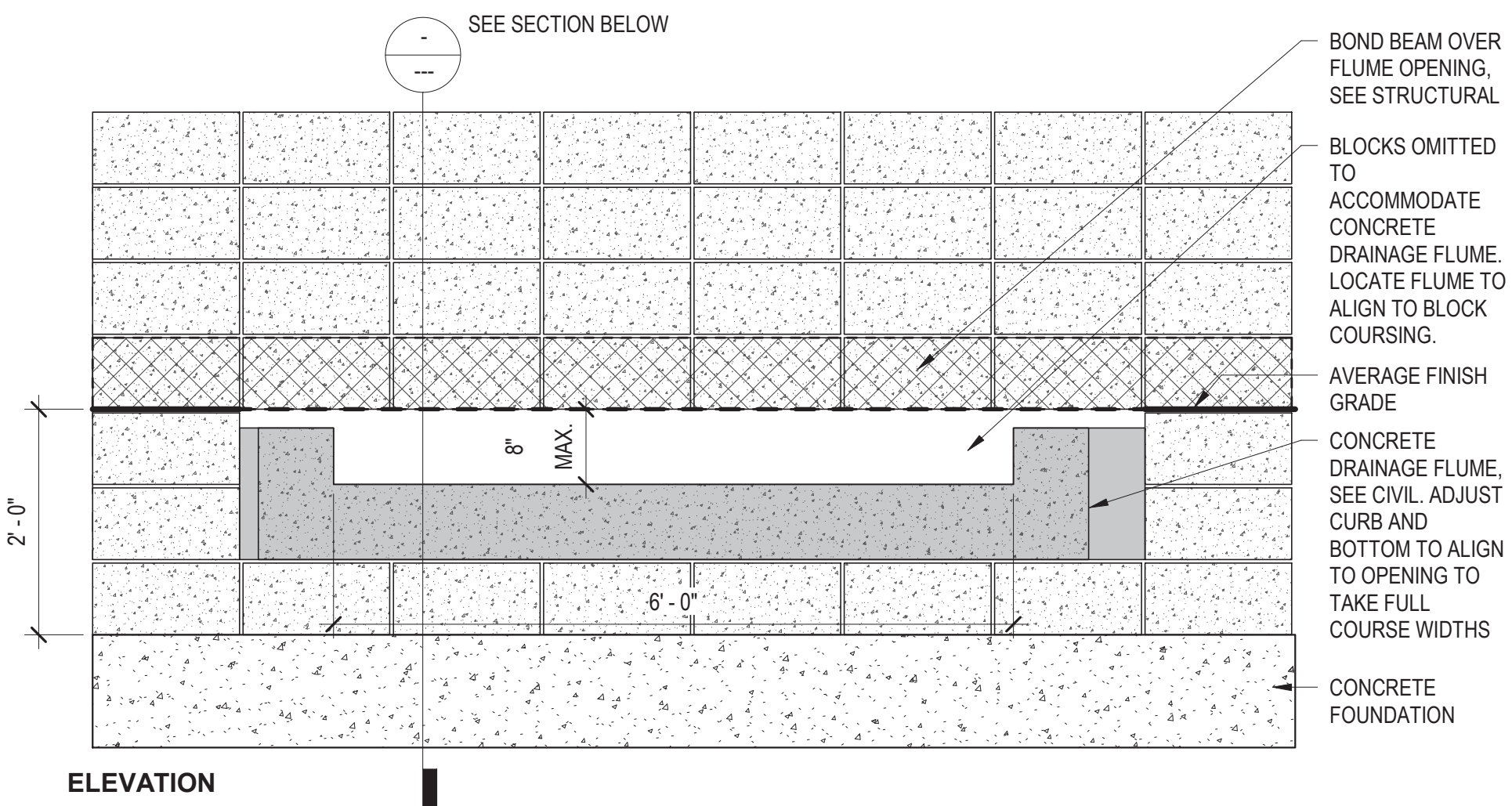
L4.301 3/4" = 1'-0"

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022

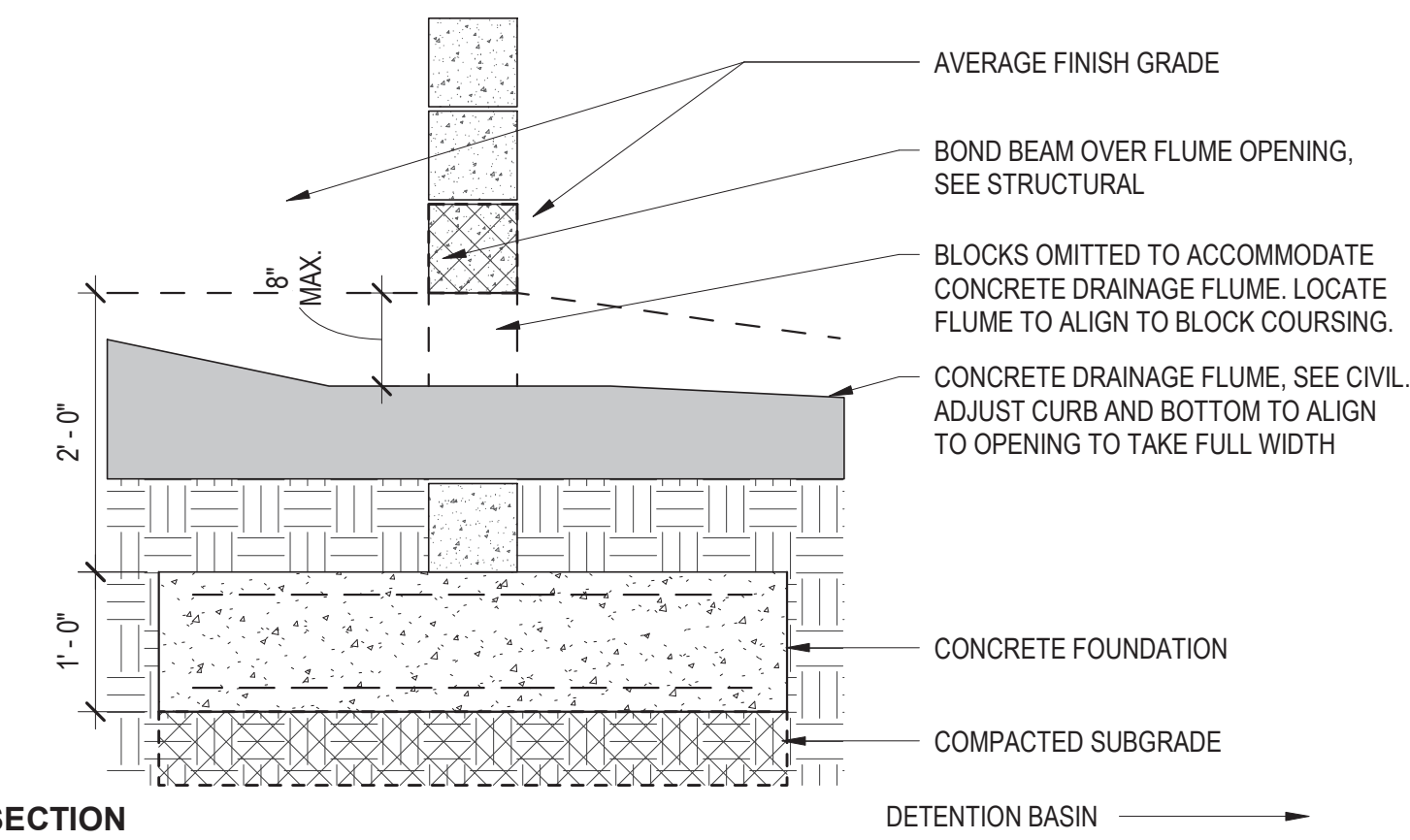
DRAWING TITLE
 SITE DETAILS

DRAWING NO.
L4.301

Job # 20.005838



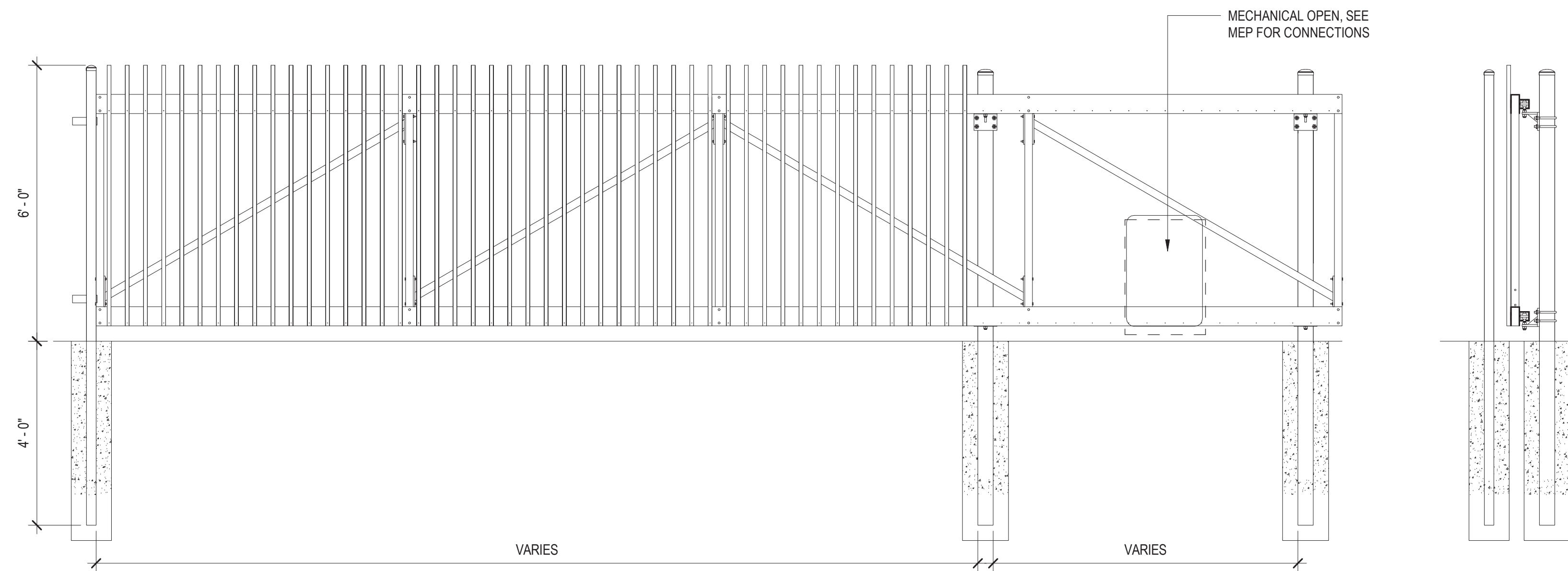
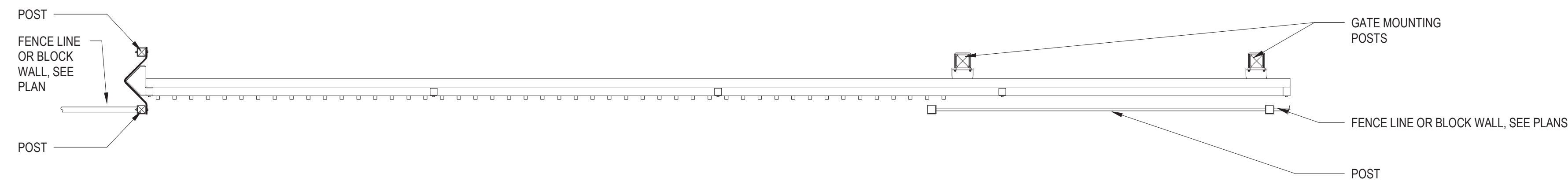
ELEVATION



SECTION

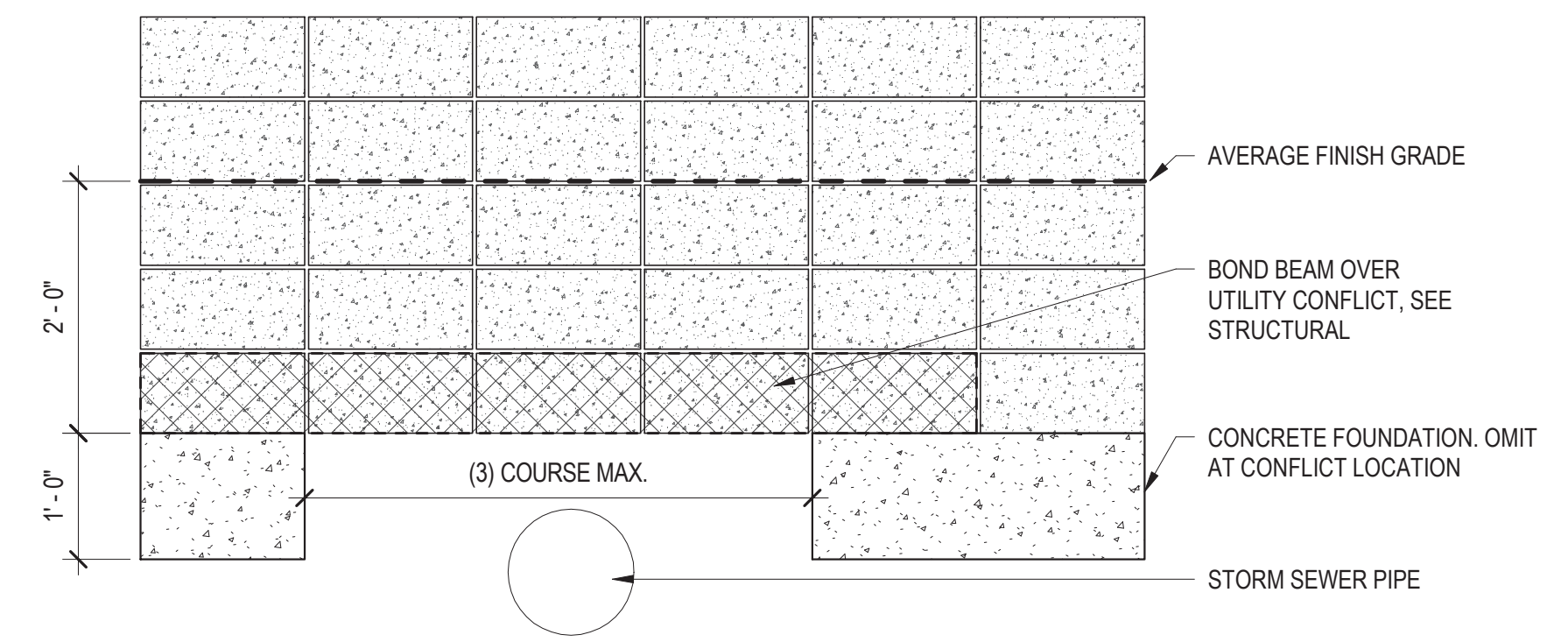
DETENTION BASIN

E3 CONCRETE BLOCK SCREENWALL - THRU DRAINAGE
L4.302 3/4" = 1'-0"



NOTES:
CONTRACTOR TO PROVIDE SHOP DRAWINGS TO BE APPROVED BY ARCHITECT AND LANDSCAPE ARCHITECT. SEE SPECS FOR REQUIREMENTS.
PROVIDE KEYPAD AT MOTORIZED GATES FOR EMERGENCY VEHICLE ACCESS PER LOCAL REQUIREMENTS.

E1 GATE ELEVATION
L4.302 1/2" = 1'-0"



B4 CONCRETE BLOCK SCREENWALL - UTILITY CONFLICT
L4.302 3/4" = 1'-0"

CLAYCO
THE ART & SCIENCE OF BUILDING
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
Ph: 314.429.5100 Fx: 314.429.3137

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Ph: 314.429.1010



CRG INTEGRATED REAL ESTATE SOLUTIONS

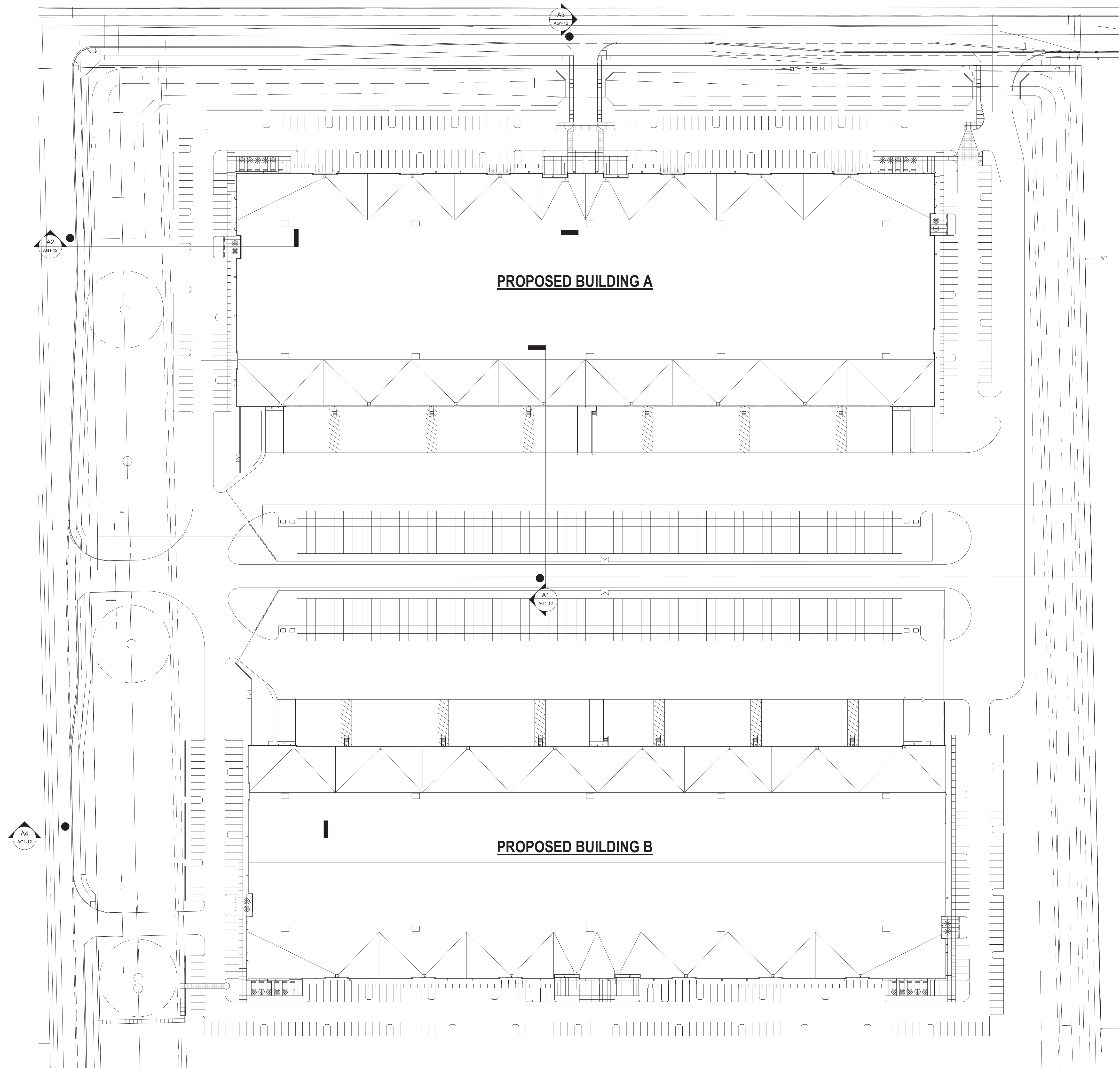
CUBEST AT MESA - BUILDINGS A&B
E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022

DRAWING TITLE
SITE DETAILS

DRAWING NO.
L4.302

Job # 20.005838




A1
AG1-11
1" = 60'-0"
SITE PLAN - SIGHT LINE STUDY

CLAYCO
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2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.429.5100 FX: 314.429.3137

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ST. LOUIS, MISSOURI 63114
PH: 314.429.1010



Kapil Khanna
03.21.2022

CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA
E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022

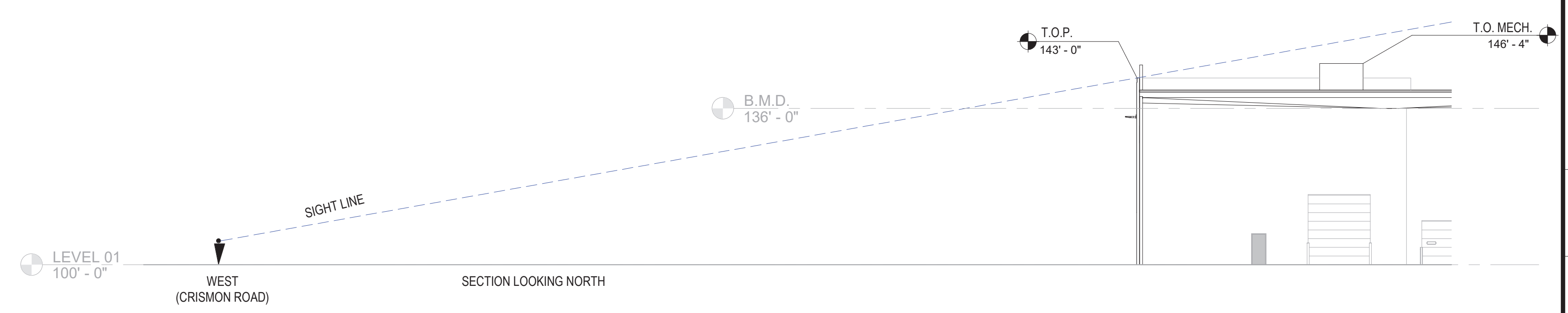
DRAWING TITLE
SITE PLAN - SIGHT LINE STUDY

DRAWING NO.
AG1-11

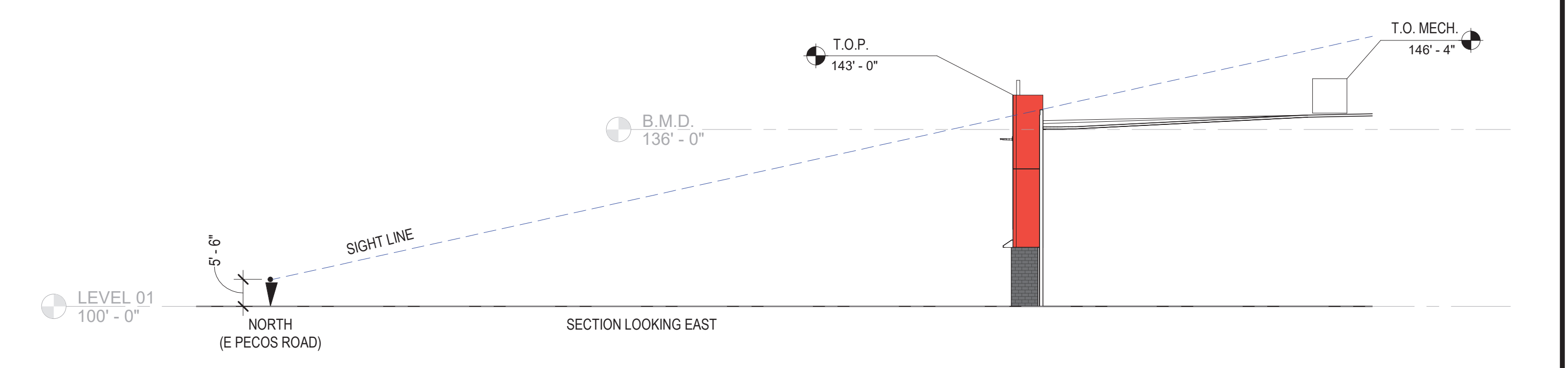
Job # | 006329

3/14/2022 3:14:48 PM

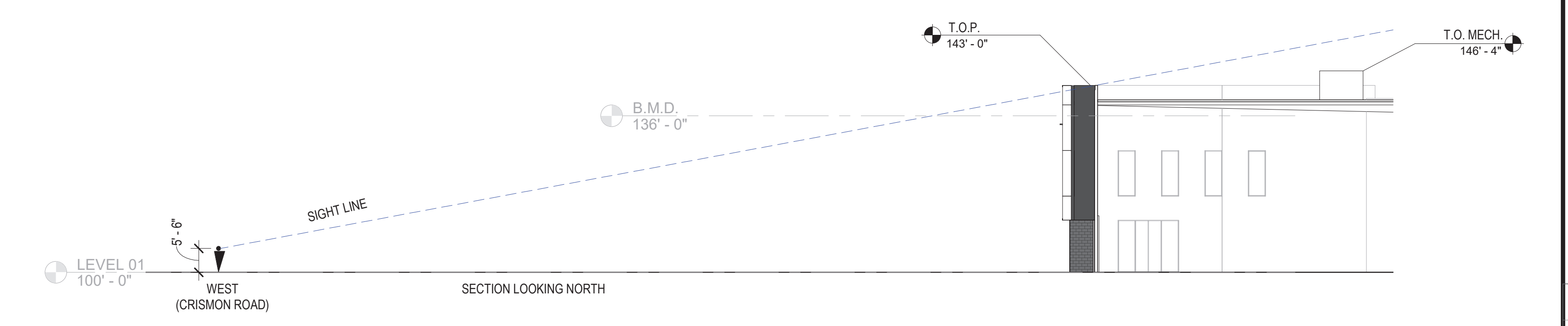
Copyright © Lamar Johnson Collaborative



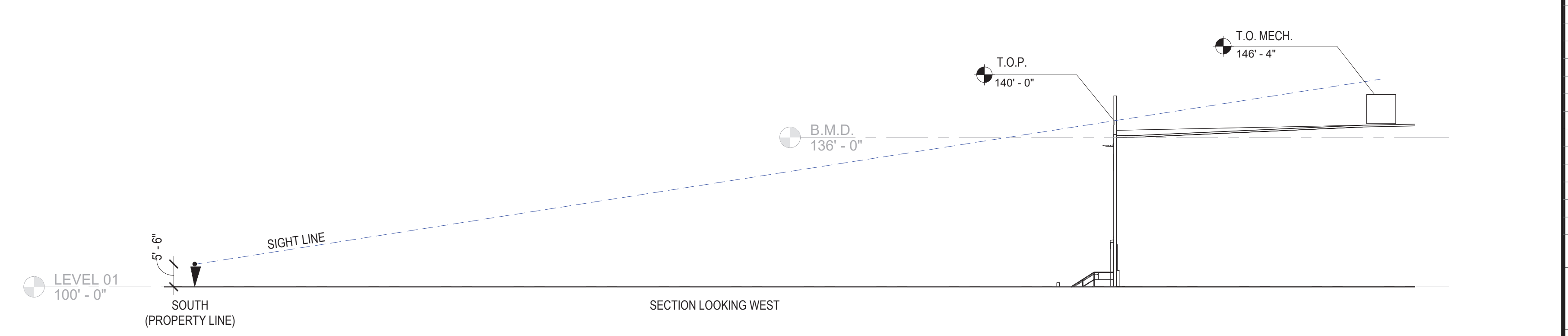
A4
AG1-12
SECTION - SIGHT LINE STUDY (WEST) - BLDG B
1" = 20'-0"



A3
AG1-12
SECTION - SIGHT LINE STUDY (NORTH) - BLDG A
1" = 20'-0"



A2
AG1-12
SECTION - SIGHT LINE STUDY (WEST) - BLDG A
1" = 20'-0"



A1
AG1-12
SECTION - SIGHT LINE STUDY (SOUTH) - BLDG A
1" = 20'-0"

CLAYCO
THE ART & SCIENCE OF BUILDING
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.429.5100 FX: 314.429.3137

Lamar Johnson Collaborative
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.429.1010



CRG INTEGRATED REAL ESTATE SOLUTIONS

THE CUBES AT MESA
E PECOS RD & S CRISMON RD, MESA, AZ 85212

DRAWING ISSUE	
DESCRIPTION	DATE
DESIGN REVIEW	03.21.2022
DRAWING TITLE SITE SECTION - SIGHT LINE STUDY	
DRAWING NO. AG1-12	
Job # 006329	

**THE CUBES at MESA GATEWAY
BUILDING C**

BUILDING B

CITIZEN PARTICIPATION PLAN

Crismon and Germann Roads
Case # ZON22-XXXX / DR22-XXXX

SITE PLAN REVIEW (SPR)
SPECIAL USE PERMIT (SUP)
AND DESIGN REVIEW (DR)

Initial Submittal: January 17, 2022

I. Introduction

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site. The Property is currently zoned General Industrial (GI). The application requests Site Plan Review (SPR) and a Special Use Permit for reduced parking, and Design Review (DR).

These applications will allow the development of Building B, a roughly 183,000 sqft building within the larger Cubes at Mesa Gateway industrial park. The project is consistent with the City's General Plan designation, overlays, and zoning designations and is compatible with the existing and anticipated surrounding uses. This Citizen Participation Plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

II. Contact

George Pasquel III
Withey Morris, PLC
2525 East Arizona Biltmore Circle
Phoenix, Arizona 85016
602-230-0600
Email: George@witheymorris.com

III. Contact List

Parties affected by such an application typically includes properties owners within 1000-feet of the Property (as identified by the Maricopa County Assessor's Map), residents, registered neighborhoods, homeowners' associations, and/or other interested parties as identified by the City of Mesa. It should be noted, City Staff has informed the Applicant that no neighborhood groups or associates exist in the

vicinity of this project. A copy of the contact list and map of the mailing area are attached at **TAB A**.

IV. Notification Technique / Notice of Meetings

Property owners and Interested parties affected by the applications will be notified of the requests through an informational mailing. Additional mailings with hearing dates will also occur in the future as well as sign postings on site. Given the isolated nature of the site, conformance with long-anticipated development within the area, utilization of the existing zoning district, and lack of associations or nearby residents, the Applicant anticipates foregoing an open house meeting in lieu of direct correspondence (emails / phone calls / etc.) with any interested parties that reach out to the Applicant or City.

V. Response Procedures

The Applicant shall respond to citizens that express interest. Individual meetings will be conducted upon specific request. The City of Mesa will be available to answer questions regarding the review and public hearing process. Parties affected by the applications may also share their feelings about the project by writing to the City of Mesa, at 55 East Center Street, Mesa, Arizona 85211.

VI. Status Procedures

The Applicant shall keep the City of Mesa informed of the status of its citizen participation efforts through a Citizen Participation Report. Copies of the applications containing the complete details of the requests shall be kept on file with the City of Mesa.

VII. Inquiries

Inquiries will be documented in the Citizen Participation Report

VIII. Tentative Schedule for Implementation

- 1. Pre-Submittal Conference: May 11, 2021
- 2. SPR, SUP and DR submittal: Jan 2022
- 3. Project Notification letters Jan / Feb
- 4. Resubmit application materials: Feb
- 5. Hearing Notification letters: Feb
- 6. DRB Study Session Meeting Feb
- 7. Citizen Participation Report submitted: Mar
- 8. Site Posting for Planning and Zoning Board: Mar
- 9. Planning and Zoning Board hearing: Apr
- 10. City Council hearing: May

Tab A

BYNER CATTLE COMPANY

333 N CENTRAL AVE

PHOENIX, AZ 85004-2121

HAWLEY MARILYN B

10360 E GERMANN RD

QUEEN CREEK, AZ 85242

NEWELL A BARNEY AND KATHERINE M BARNEY
TRUST/BARNEY GAIL A/KENNETH L

22340 E QUEEN CREEK RD

QUEEN CREEK, AZ 85242

PACIFIC PROVING LLC

2201 E CAMELBACK RD STE 650

PHOENIX, AZ 85016

VLACHOS ENTERPRISES LLC

140 N CENTER ST

MESA, AZ 85201

CUBES AT MESA GATEWAY LLC

2199 INNERBELT BUSINESS CENTER DR

ST LOUIS, MO 63114

JORDE FARMS 3 LLC

8601 N SCOTTSDALE RD #335

SCOTTSDALE, AZ 85253

NEWELL A BARNEY AND KATHERINE M BARNEY
TRUST/BARNEY KENNETH/GAIL A

22340 E QUEEN CREEK RD

QUEEN CREEK, AZ 85142

PECOS-MERRILL 20 LLC

5730 ECHO CANYON DR

PHOENIX, AZ 85018

WILLIAMS GATEWAY LAND INV LP/GFLP/ET
AL

2812 N NORWALK ST STE 105

MESA, AZ 85215

HARRIS CATTLE CO

PO BOX 167

QUEEN CREEK, AZ 85242

MESA CITY OF

PO BOX 1466

MESA, AZ 85211

OLD DOMINION FREIGHT LINE INC

500 OLD DOMINION WAY

THOMASVILLE, NC 27360

SUNBELT LAND HOLDINGS LP

8095 OTHELLO AVE

SAN DIEGO, CA 92111

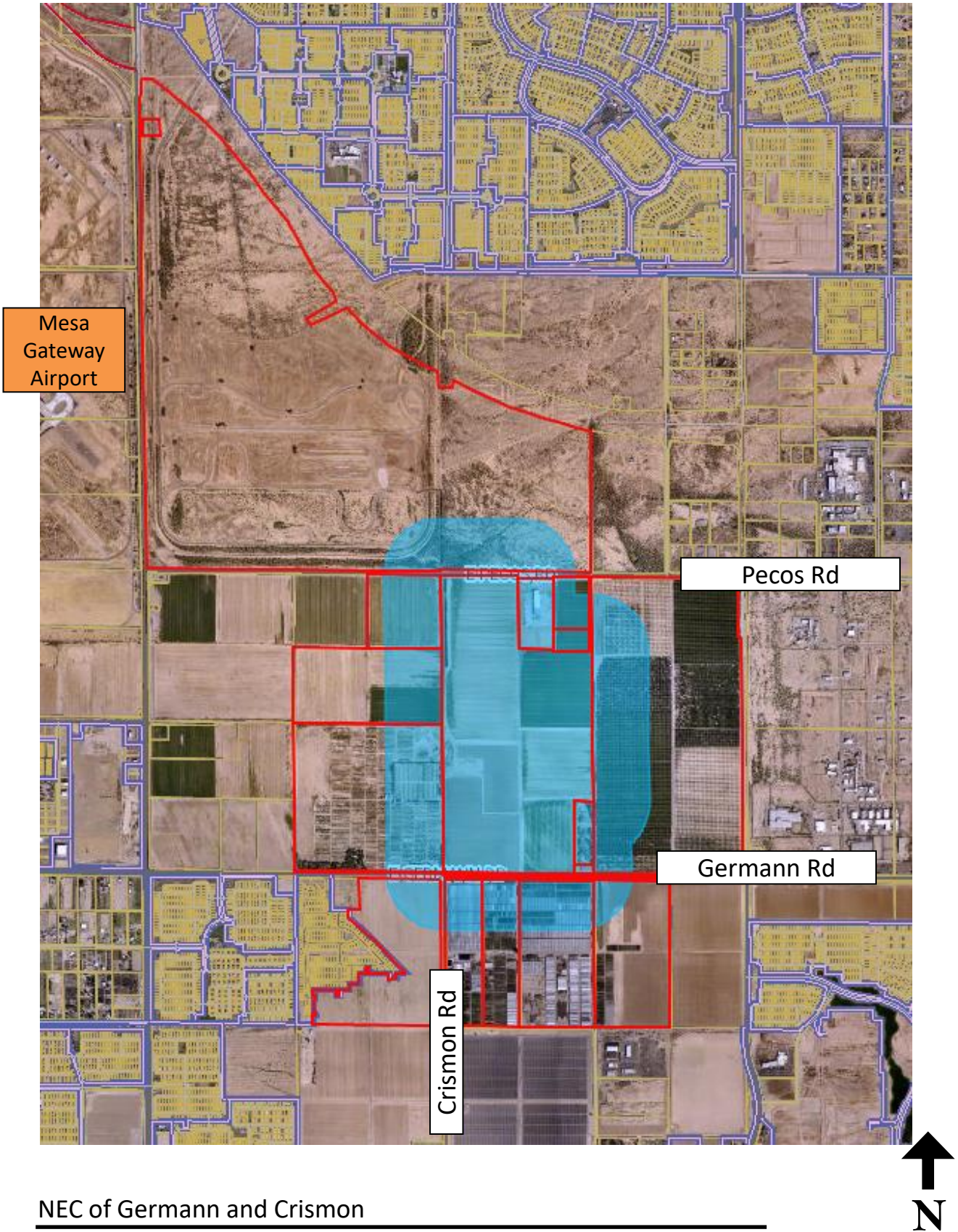
MESA DEVELOPMENT SERVICES

ATTN: CASSIDY WELCH

PO BOX 1466

MESA, AZ 85211

1,000 ft Property Owner List



Dawn Dallman

From: Elisha Rust
Sent: Wednesday, April 28, 2021 8:37 AM
To: Dawn Dallman
Cc: Cynthia Ezcurra
Subject: FW: Pre-Submittal Agenda for meeting date 05-11-2021
Attachments: Center and University_Amy Malloy.xlsx; 3815 E Thomas Rd_Krista Zinser.xlsx; 8462 E Warner_Josh Hannon.xlsx

Hello Dawn,

I hope you are having a great day. I have attached the documents. The one below does not have nearby neighborhoods or HOAs.

9:30	PRS21-00351 Withey Morris PLC	10003 E Pecos Rd APN: 30463006V	The Cubes at Mesa Gateway		6	
------	----------------------------------	------------------------------------	---------------------------	--	---	--

Please let us know if you have any questions. Have a wonderful day.

Take care,

Elisha Rust
Community Engagement Coordinator
[480-644-3002](tel:480-644-3002) | elisha.rust@mesaaz.gov



THE CUBES at MESA GATEWAY BUILDING C

BUILDING A / B

CITIZEN PARTICIPATION REPORT

Crismon and Germann Roads
Case # ZON22-00049 / DR22-00039

SITE PLAN REVIEW (SPR)
SPECIAL USE PERMIT (SUP)
AND DESIGN REVIEW (DR)

Initial Submittal: January 17, 2022
Final Plan Submittal: May 23, 2022

Tab B



January 20, 2022

Notice of Application for Site Plan Review (SPR), Special Use Permit (SUP) and Design Review (DR)
+/-21-acre Property Located East of Crismon Road, North of Germann Road in Mesa
Case No ZON22-00049 / DRB22-00039

Dear Property Owner (or) Interested Party:

On behalf of the property owner, our office has recently filed application with the City of Mesa to allow for the development of a new building within the *Cubes at Mesa Gateway* project, a roughly 264-acre planned, multi-building industrial and warehousing complex located between Pecos Road and Germann Road, east of Crismon Road as seen on the attached aerial map. You may recall receiving previous correspondence from our office regarding a separate building (Building C) within this same development. The recent applications filed only apply to an 22-acre segment of property within the larger 264-acre development and consists of one (1) manufacturing and office building with associated improvements. The applications include a Site Plan Review (SPR) and Design Review (DR), along with a Special Use Permit (SUP) to reduce the required parking. The purpose of this letter is simply to introduce ourselves and the project, and to let you know you should be receiving future notifications regarding the City's planned review of these applications.

The entire 264-acre site, including the subject 21-acre Property, has a General Plan designation of Employment and is located within the Commerce District of the Mesa Gateway Strategic Development Plan. The entire site is also zoned General Industrial (GI). These zoning and General Plan designations will not be changed. This is not a rezoning application, and the anticipated uses are already permitted by right. The SPR, DR and SUP applications are for a new, 183,000 sqft building, referred to as "Building B," within the larger *Cubes at Mesa Gateway* project. The SPR and DR application are for the review of the site layout and building design and the SUP application is for a reduction in parking ratios for the manufacturing and storage aspect of the building from 1 / 900 sqft to a more appropriate 1 / 2,150 sqft. The parking ratios for the office component will not be modified. Given the planned use of the building, this requested parking ratio is more than adequate to serve the site.

Attached for reference is the preliminary site plan along with a sample elevation. The site is accessed off Crismon Road by two (2) drive aisles that lead directly to truck loading areas. Vehicular parking is centrally located and allows for circulation within the parking area without conflicting with truck traffic. The building is oriented to provide visual interest to the public frontage, while also screening the truck loading docks and associated uses from adjacent view. Pedestrian entry plazas are provided near the center and the southwest corner of the building. Large, landscaped setback with trees, shrubs and screen walls are located along Crismon.

This letter is being sent to the neighboring property owners within 1000-feet, HOA's within 1/2-mile and City registered neighborhoods within 1-mile, as provided by the City. I would be happy to speak with you regarding these pending applications and any questions you may have. Feel free to contact me at (602) 230-0600 or e-mail at George@witheymorris.com. You may also contact the City of Mesa Planner assigned to this case, Cassidy Welch, at (480) 644-2591 or Cassidy.Welch@mesaAZ.gov. You will also receive future mailing notifications regarding the City's planned hearing schedule for review of these applications. Signs will also be posted on site with hearing information.

Again, I would be happy to speak with you regarding this project and can be reached at (602) 230-0600 or e-mail at George@witheymorris.com. Please note, no meetings or hearings are scheduled at this time to review this project.

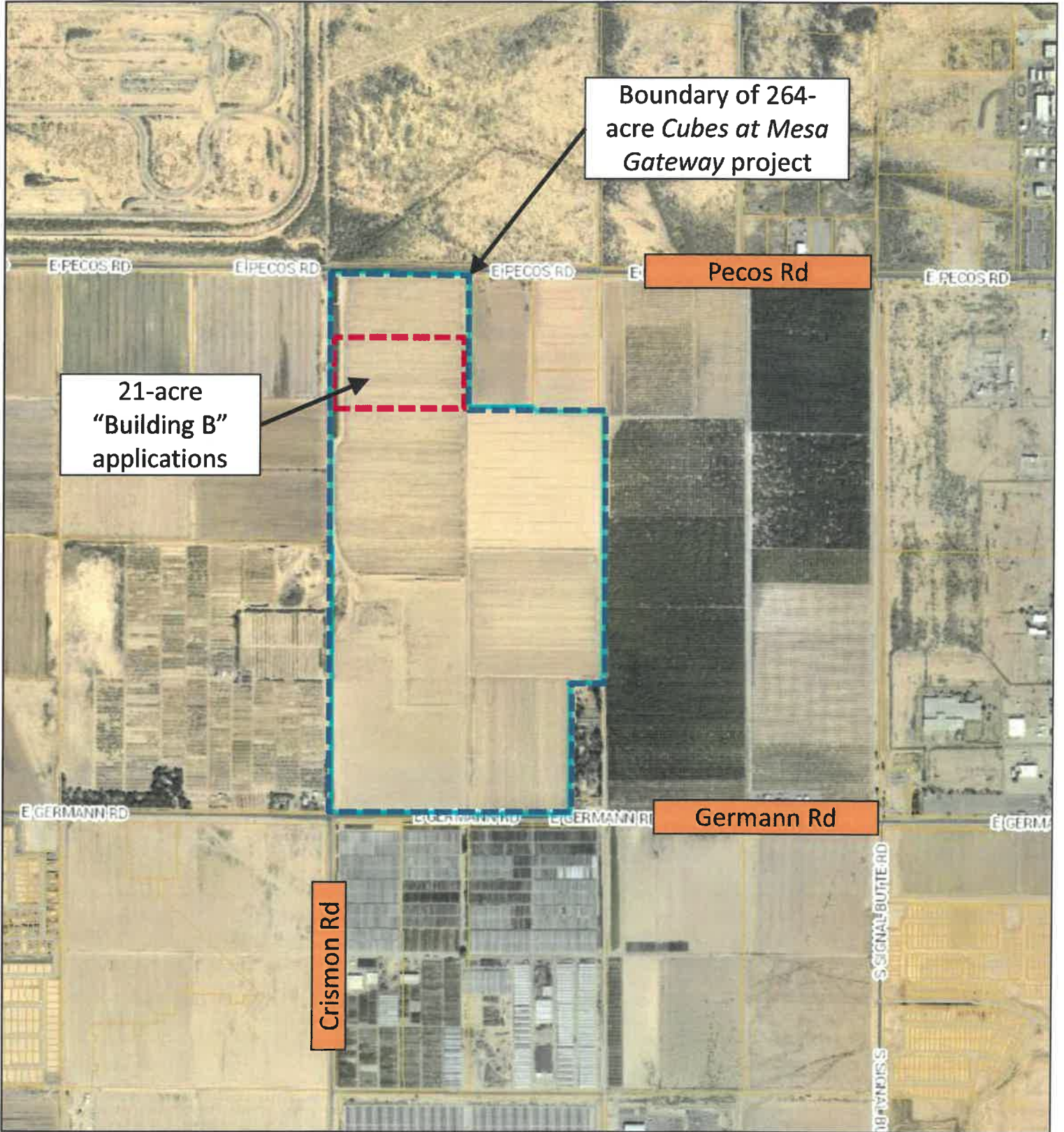
Sincerely yours,

WITHEY MORRIS PLC
By George Pasquel III

Enclosure(s): aerial, preliminary site plan, sample elevations

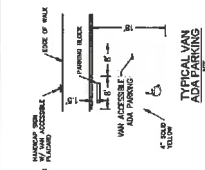
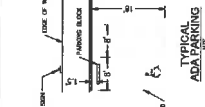
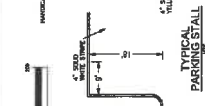
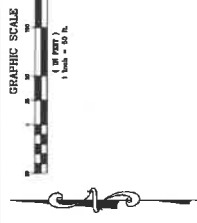
PHONE: 602-230-0600 FAX: 602-212-1787 2525 E. Arizona Biltmore Circle, Suite A-212, Phoenix, AZ 85016

Aerial Map



NEC of Germann and Crismon





CROSS WALK NOTE:
 ONE-WAY CROSSWALK CROSSWALKS TO BE STAMPED CONCRETE (PAVED OR MANILA) ACROSS PARKING LOT DRIVE AISLES.

PARKING SUMMARY

PARKING STALL:	PROVIDED	REQUIRED	ADA PROVIDED	ADA REQUIRED
TOTAL STALLS	107	278	3	5

REQUIRED PARKING

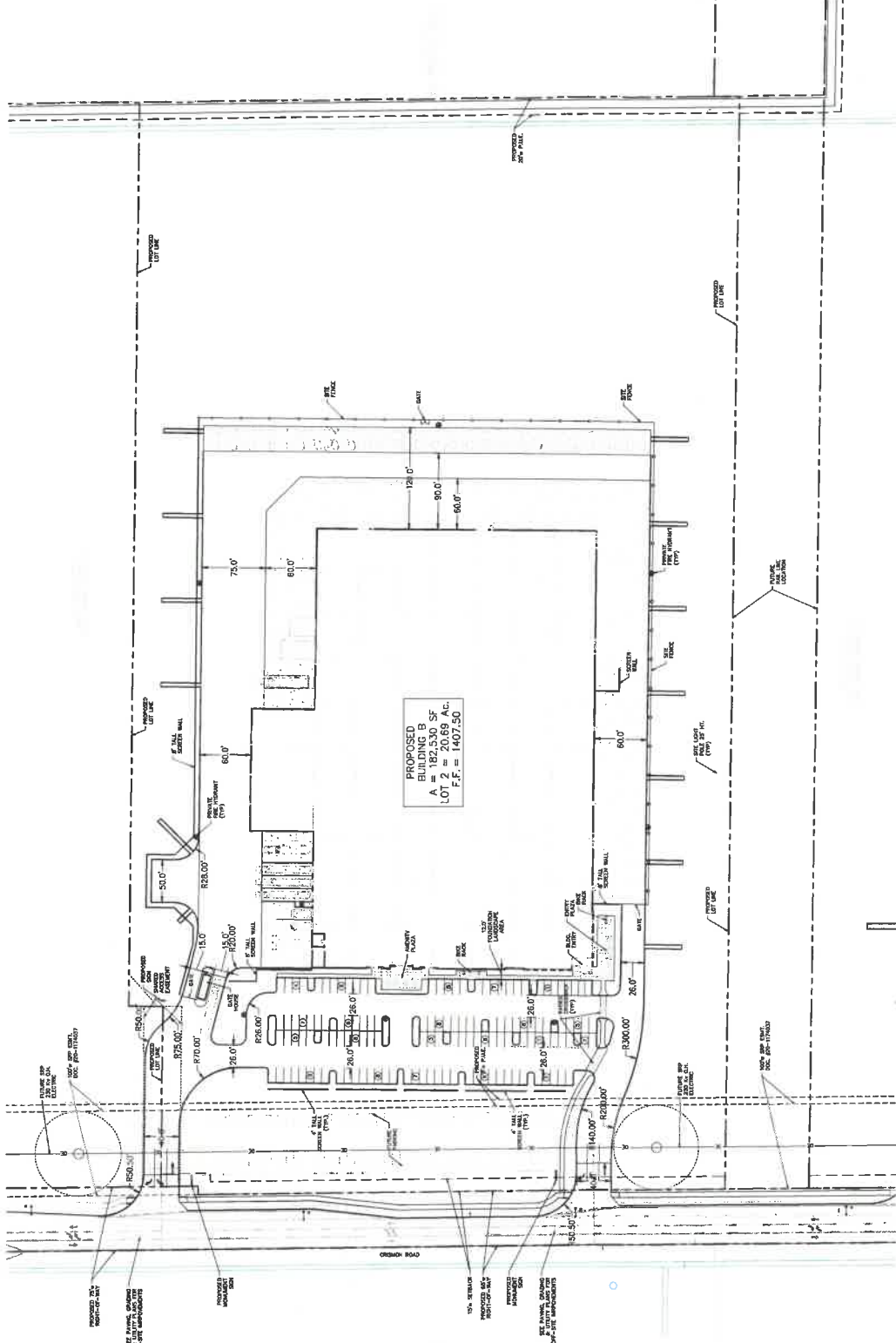
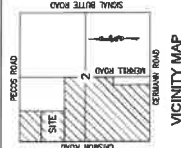
USE	AREA (SQ. FT.)	SPACES
OFFICE	14,375	20,000
MANUFACTURING	1,800	127
WAREHOUSE	1,800	127
TOTAL PROVIDED	17,975	42,400

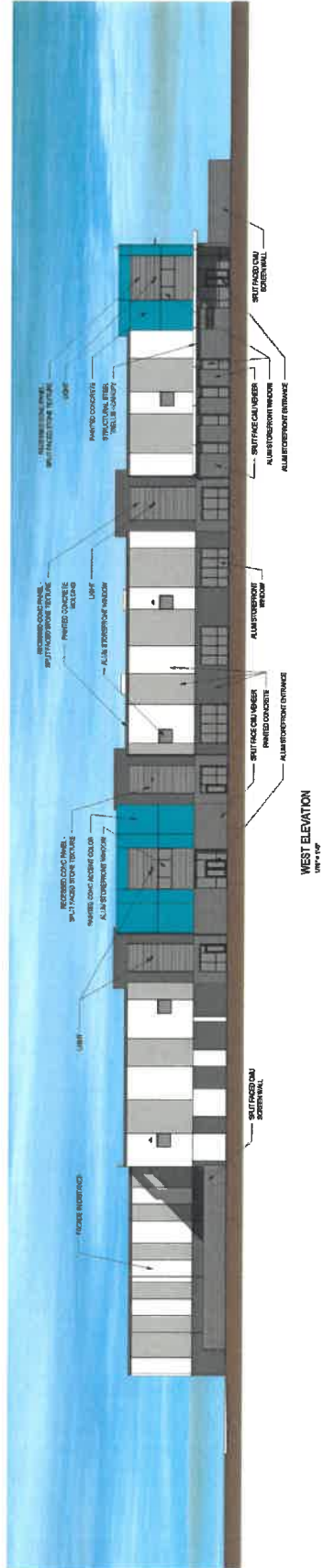
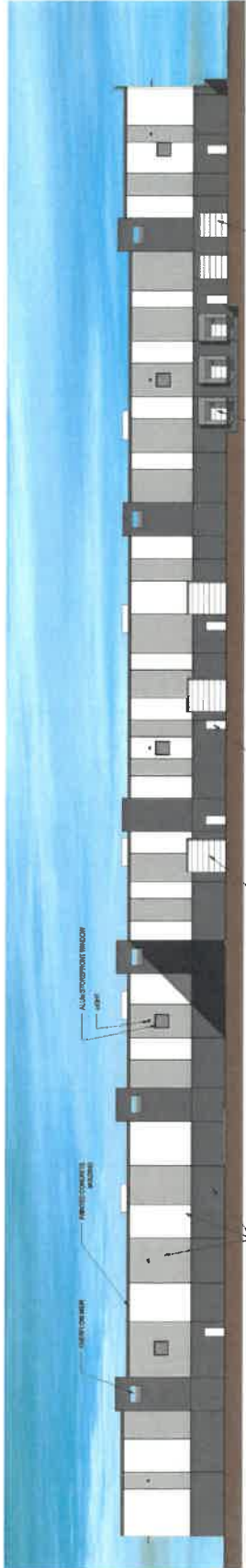
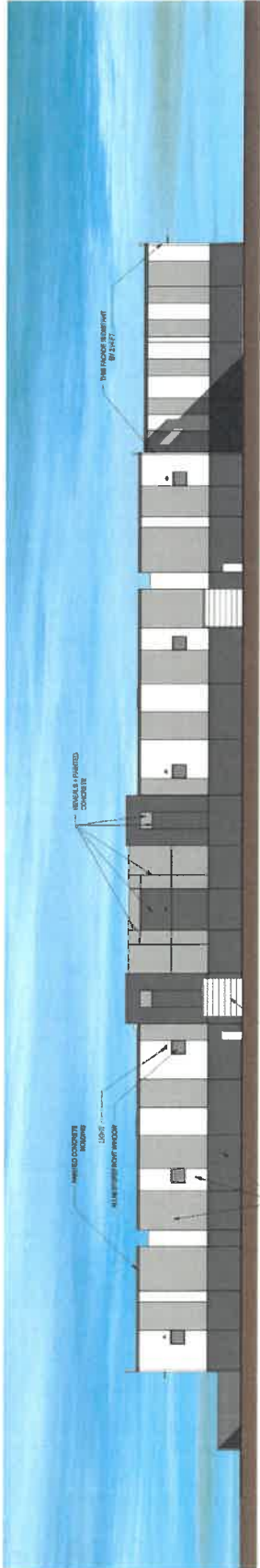
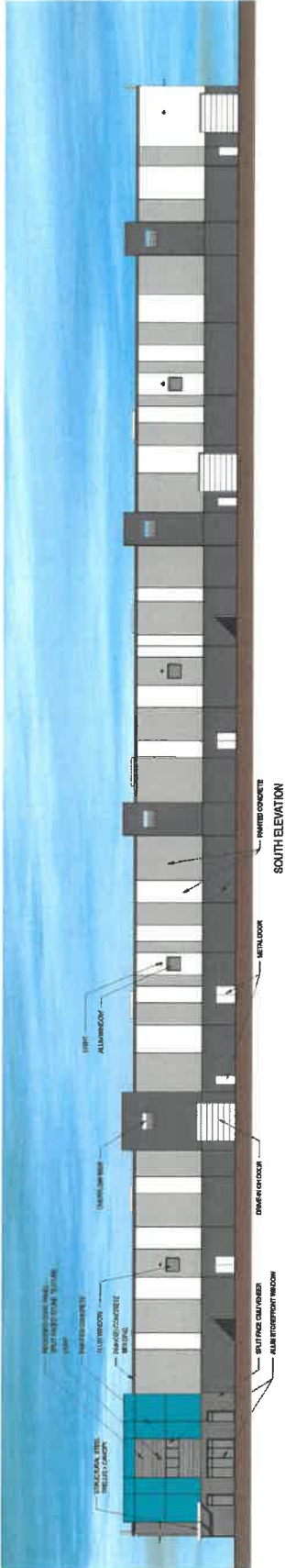
PROJECT DATA
 PROPOSED USE: MOORE WAREHOUSING & STORAGE
 APN NUMBERS: 304-43-DORRY
 PROPOSED ZONING: D - REGIONAL INDUSTRIAL
 NET AREA: 18,241 SF / 20,919 AC
 GROSS AREA: 18,241 SF / 20,919 AC
 LOT COVERAGE MAXIMUM: 8.25 AC (4500 SF)
 BUILDING HEIGHT MAXIMUM: 30'
 BUILDING HEIGHT PROVIDED: 30'

PROJECT DESCRIPTION
 NEW CONSTRUCTION OF A WAREHOUSE.
 MOORE WILL BUILD ONE OR MORE BAY WAREHOUSE, BAY, BAY AND BAY WAREHOUSE.

ARCHITECT
 LAMAR JOHNSON COLLABORATIVE
 200 WEST 10TH STREET, SUITE 100
 ST. LOUIS, MISSOURI 63102
 CONTACT: JAMES JOHNSON
ENGINEER
 STECK & ASSOCIATES CONSULTING ENGINEERS, INC.
 1001 N. WASHINGTON AVENUE
 ST. LOUIS, MISSOURI 63102
 CONTACT: GEORGE STODOL, P.E. PRESIDENT

OWNER/DEVELOPER
 200 WEST 10TH STREET, SUITE 100
 ST. LOUIS, MISSOURI 63102
APPLICANT / LAND USE ATTORNEY
 WILSON JOHNSON, P.C.
 1001 N. WASHINGTON AVENUE
 ST. LOUIS, MISSOURI 63102
 CONTACT: STANISLAW WILSON





Tab C



April 25, 2022

Notice of Design Review Board Meeting – Cubes Building A & B
+/-36-acre Property Located East of Crismon Road, North of Germann Road in Mesa
Case No DRB22-00039

Dear Property Owner (or) Interested Party:

On behalf of the property owner, our office has recently filed application with the City of Mesa to allow for the development of two (2) new buildings within the *Cubes at Mesa Gateway* project, a roughly 264-acre planned, multi-building industrial and warehousing complex located between Pecos Road and Germann Road, east of Crismon Road as seen on the attached aerial map. The current applications only apply to a 36-acre segment of the larger, 264-acre development and consists of two (2) warehouse / industrial building with associated improvements. The applications include a Site Plan Review (SPR) and Design Review (DR), along with a Special Use Permit (SUP) to reduce the required parking.

You may recall receiving previous correspondence from our office regarding the larger Cubes project and/or this specific aspect of the development. The purpose of this follow-up letter is to let you know this application has now been scheduled for consideration by the Mesa Design Review Board under Case No. DRB22-00039 at their meeting held on May 10, 2022, in the Lower Level of the City Council Chambers. The meeting will begin at 4:30 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

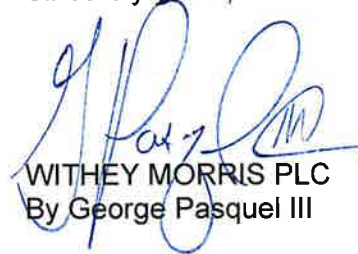
The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched via a video conferencing platform at <https://mesa11.zoom.us/j/5301232921> or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an **online comment card** at <https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card> **at least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The entire 264-acre site, including the subject 36-acre Property, has a General Plan designation of Employment and is located within the Commerce District of the Mesa Gateway Strategic Development Plan. The entire site is also zoned General Industrial (GI). These zoning and General Plan designations will not be changed. This is not a rezoning application, and the anticipated uses are already permitted by right. The SPR, DR and SUP applications are for two (2) new building at roughly 270K sqft each, referred to as "Building A" and "Building B" respectfully, within the larger *Cubes at Mesa Gateway* project. Attached for reference is the preliminary site plan along with a sampling of typical elevations.

This letter is being sent to the neighboring property owners within 1000-feet, HOA's within 1/2-mile and City registered neighborhoods within 1-mile, as provided by the City. I would be happy to speak with you regarding these pending applications and any questions you may have. Feel free to contact me at (602) 230-0600 or e-mail at George@witheymorris.com. You may also contact the City of Mesa Planner assigned to this case, Cassidy Welch, at (480) 644-2591 or Cassidy.Welch@mesaAZ.gov.

Again, I would be happy to speak with you regarding this project and can be reached at (602) 230-0600 or e-mail at George@witheymorris.com.

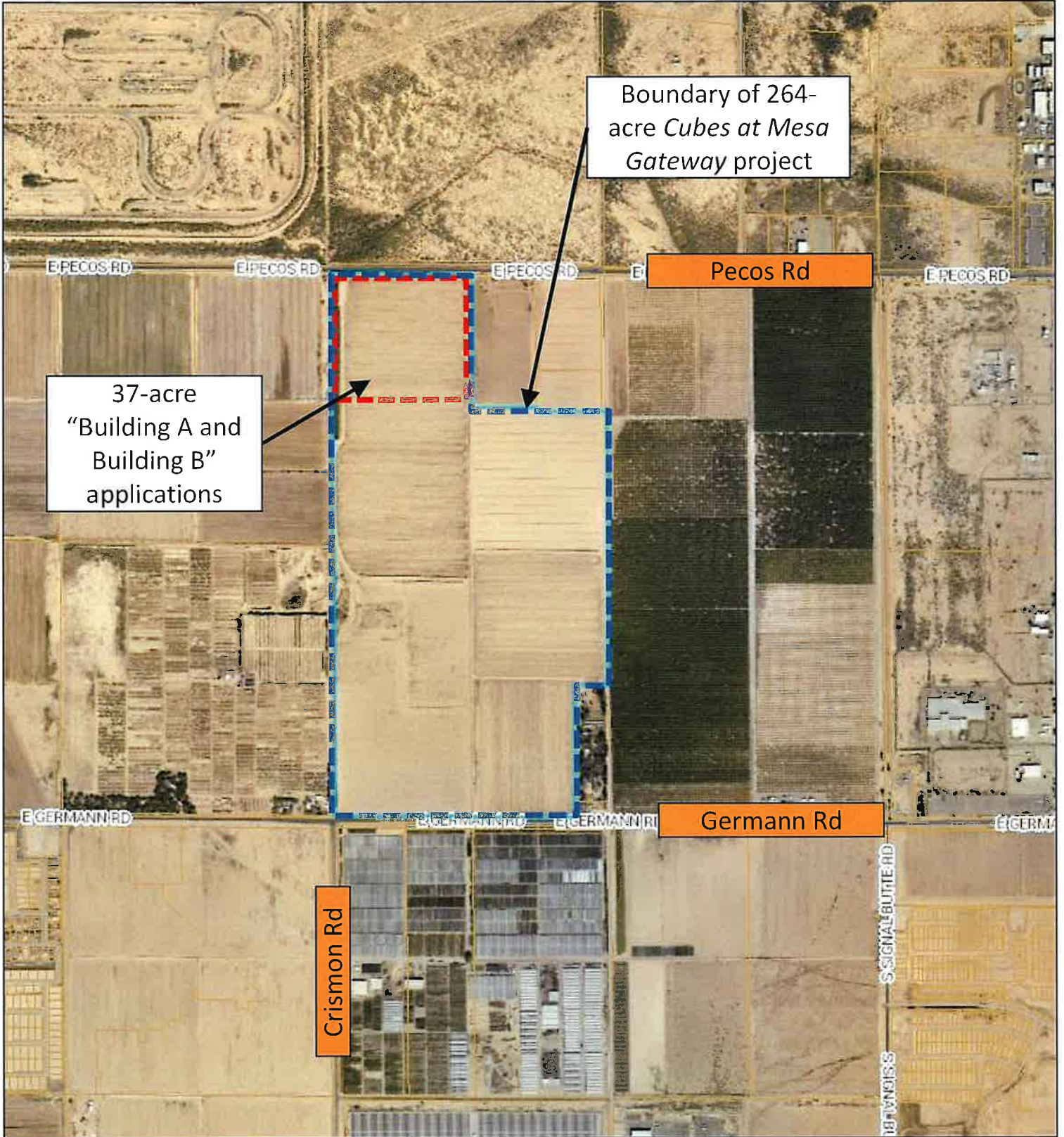
Sincerely yours,



WITHEY MORRIS PLC
By George Pasquel III

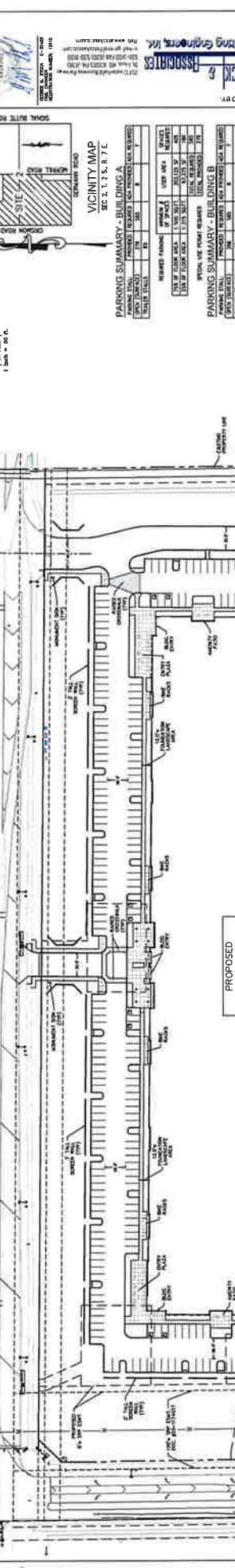
Enclosure(s): aerial, preliminary site plan, sample elevations

Aerial Map



NEC of Germann and Crismon





PROPOSED BUILDING A
 A = 289,500 SF
 (900' x 300')
 LOT 1 = 19.34 AC
 F.F. = 1409.10
 27 CAR SPACES
 58 TRAILERS

PROPOSED BUILDING B
 A = 289,500 SF
 (900' x 300')
 LOT 2 = 18.18 AC
 F.F. = 1409.10
 285 CAR SPACES
 65 TRAILERS

PARKING SUMMARY - BUILDING A
 SEC 2, T 1 S, R 7 E

APPROVED USE	PROPOSED USE	APPROVED TRAILERS	PROPOSED TRAILERS	APPROVED CARS	PROPOSED CARS
INDUSTRIAL	INDUSTRIAL	10	58	0	27
GENERAL INDUSTRIAL	GENERAL INDUSTRIAL	0	0	0	0
AGRICULTURE	AGRICULTURE	0	0	0	0
RECREATION	RECREATION	0	0	0	0
RESIDENTIAL	RESIDENTIAL	0	0	0	0
COMMERCIAL	COMMERCIAL	0	0	0	0
OFFICE	OFFICE	0	0	0	0
RETAIL	RETAIL	0	0	0	0
RESTAURANT	RESTAURANT	0	0	0	0
ENTERTAINMENT	ENTERTAINMENT	0	0	0	0
OTHER	OTHER	0	0	0	0
TOTAL	TOTAL	10	58	0	27

PARKING SUMMARY - BUILDING B

APPROVED USE	PROPOSED USE	APPROVED TRAILERS	PROPOSED TRAILERS	APPROVED CARS	PROPOSED CARS
INDUSTRIAL	INDUSTRIAL	0	65	0	285
GENERAL INDUSTRIAL	GENERAL INDUSTRIAL	0	0	0	0
AGRICULTURE	AGRICULTURE	0	0	0	0
RECREATION	RECREATION	0	0	0	0
RESIDENTIAL	RESIDENTIAL	0	0	0	0
COMMERCIAL	COMMERCIAL	0	0	0	0
OFFICE	OFFICE	0	0	0	0
RETAIL	RETAIL	0	0	0	0
RESTAURANT	RESTAURANT	0	0	0	0
ENTERTAINMENT	ENTERTAINMENT	0	0	0	0
OTHER	OTHER	0	0	0	0
TOTAL	TOTAL	0	65	0	285

PROJECT DATA - BUILDING A

PROPOSED USE: INDUSTRIAL
 APN NUMBER: 750-188-00-000
 EXISTING ZONING: D - GENERAL INDUSTRIAL
 NET AREA: 750,188 SF / 18.18 AC
 FLOOR COVERAGE RATIO: 295,500 SF / 750,188 SF = 39.4%
 LOT COVERAGE MAXIMUM: 13.84 AC (19%)
 BUILDING HEIGHT: 14.00 AC (70')

PROJECT DATA - BUILDING B

PROPOSED USE: INDUSTRIAL
 APN NUMBER: 750-188-00-000
 EXISTING ZONING: D - GENERAL INDUSTRIAL
 NET AREA: 750,188 SF / 18.18 AC
 FLOOR COVERAGE RATIO: 295,500 SF / 750,188 SF = 39.4%
 LOT COVERAGE MAXIMUM: 13.84 AC (19%)
 BUILDING HEIGHT: 14.00 AC (70')

OWNER/DEVELOPER
 LAMAR ANDERSON COLLABORATIVE
 7500 GARDNER BLVD, 3RD FLOOR
 ST. LOUIS, MISSOURI 63114
 CONTACT: JIM ANDERSON

ARCHITECT
 LAMAR ANDERSON COLLABORATIVE
 7500 GARDNER BLVD, 3RD FLOOR
 ST. LOUIS, MISSOURI 63114
 CONTACT: JIM ANDERSON

ENGINEER
 STOCK & ASSOCIATES CONSULTING
 1000 W. BUSINESS PARKWAY
 ST. LOUIS, MISSOURI 63104
 CONTACT: STEPHANE MAIRY

APPLICANT / LAND USE ATTORNEY
 WILKIN MORRIS, P.C.
 1000 W. BUSINESS PARKWAY
 ST. LOUIS, MISSOURI 63104
 CONTACT: STEPHANE MAIRY

PROJECT DESCRIPTION
 NEW CONSTRUCTION OF A WAREHOUSE
 BUILDING WITH TRAILERS AND CAR SPACES
 IMPROVEMENTS.

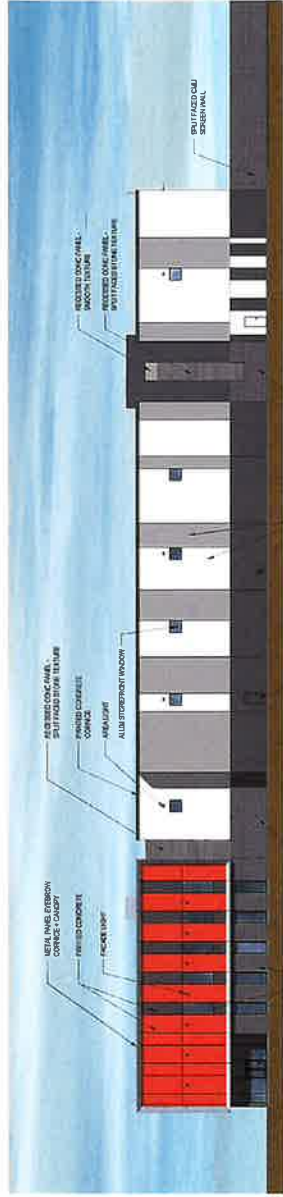
BASIS OF BEARING
 THE NORTH LINE OF THE NORTHWEST
 QUARTER OF SECTION 27, T1S, R7E AND
 SOUTH LINE OF LOT 1 OF THE OLD AND
 SALT RIVER WATERSHED WATERSHED COUNTY,
 MISSOURI, SHD BE THE BEARING, INTERSECTION



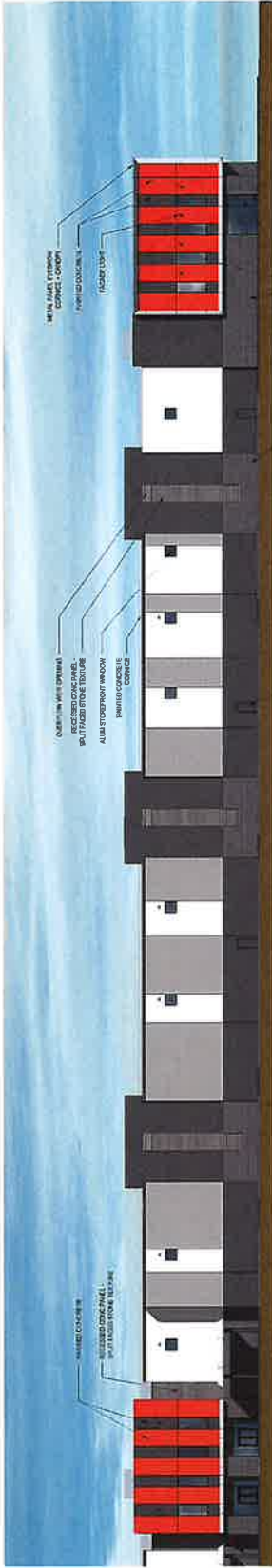
CROSS WALK NOTE:
 ON-SITE PROVISIONS SHOULD BE MADE TO
 PROVIDE CROSS WALKS TO TRAILERS
 ACROSS PARKING LOT DRIVE LANE.

TYPICAL TRUCK PARKING STALL

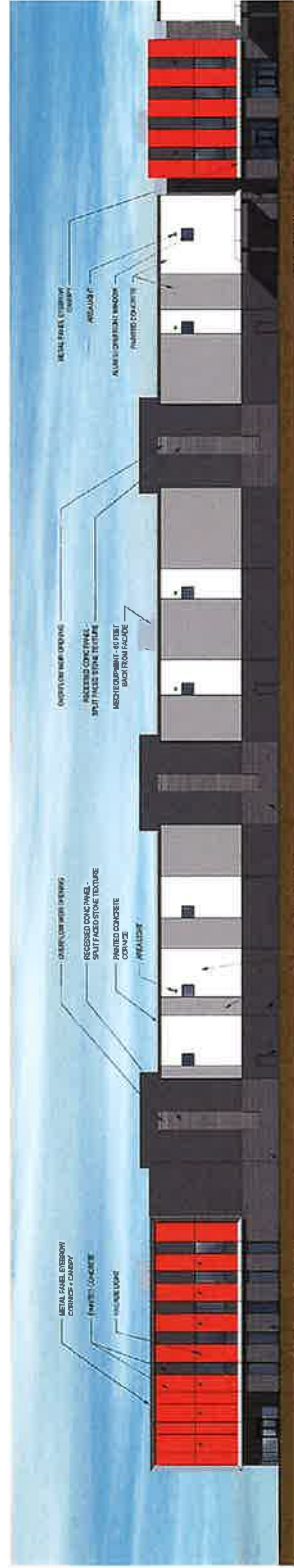
TYPICAL VAN ADA PARKING



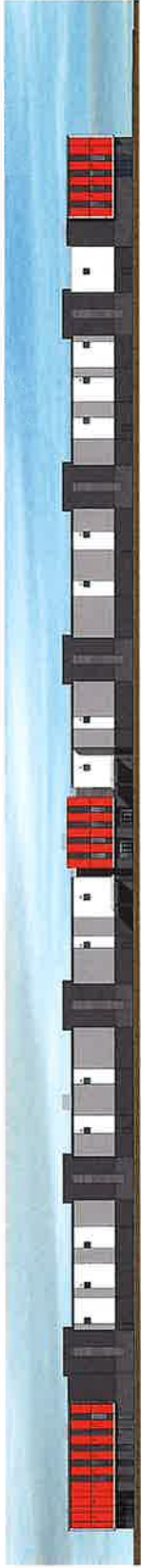
OVERALL WEST ELEVATION
1" = 8'-0"



ENLARGED NORTH ELEVATION - RIGHT
1/4" = 1'-0"



ENLARGED NORTH ELEVATION - LEFT
1/4" = 1'-0"



OVERALL NORTH ELEVATION
1" = 8'-0"

NOTE: THESE DRAWINGS ILLUSTRATE BUILDING A. BUILDING B IS THE SAME BUT OPPOSITE-HAND. THE BUILDINGS ARE MIRRORED ALONG THE SHARED EAST/WEST BOUNDARY.

CLAYCO
THE ART & SCIENCE OF BUILDING
1100 WEST 10TH AVENUE
SUITE 1000
DENVER, CO 80202
PH: 303.733.1300
WWW.CLAYCO.COM

CRG
CONSTRUCTION
RESOURCES
GROUP
1100 WEST 10TH AVENUE
SUITE 1000
DENVER, CO 80202
PH: 303.733.1300
WWW.CRG-CO.COM

THE CUBES AT MESA
PECOS RD & CRISMON RD, MESA, AZ 85212

Lamar Johnson Collaborative
1100 WEST 10TH AVENUE
SUITE 1000
DENVER, CO 80202
PH: 303.733.1300
WWW.LAMARJOHNSONCOLLABORATIVE.COM

CONTRACT NO. 19-000001
REVISED: 06/2019
DRAWING NO. +A3-01
DATE: 06/20/19

Tab D

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 05/20/22

I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON22-00049, on SEC Pecos Rd and Crismon Rd. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: Meaghan Liggett

SUBSCRIBED AND SWORN before me on 05/20/22

MaryBeth Conrad
Notary Public



CITY OF MESA
PUBLIC NOTICE
ZONING HEARING
PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022
CASE: ZON22-00049

REQUEST: Site Plan Review; and
Special Use Permit. This request will
allow for an industrial development.

APPLICANT: George Pasquel / Withey Morris, PLC
PHONE: 602-230-0600

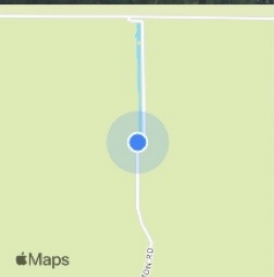
Planning Division 480-644-2385

Posting date:5/20/2022

S Crismon Rd
Mesa AZ 85212

+33.287556, -111.617696

Friday, May 20, 2022 at 7:08:31 AM



CITY OF MESA
PUBLIC NOTICE
ZONING HEARING
PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022

CASE: ZON22-00049

REQUEST: Site Plan Review; and
Special Use Permit. This request will
allow for an industrial development.

APPLICANT: George Pasquel / Withey Morris, PLC

PHONE: 602-230-0600

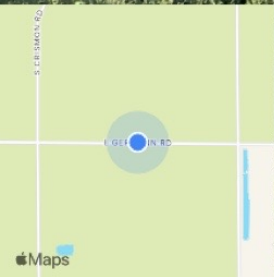
Planning Division 480-644-2385

Posting date: 5/20/2022

10000-10498 E Germann Rd
Mesa AZ 85212

+33.277592,-111.613397

Friday, May 20, 2022 at 6:44:30 AM



CITY OF MESA
PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: June 8, 2022

CASE: ZON22-00049

REQUEST: Site Plan Review; and
Special Use Permit. This request will
allow for an industrial development.

APPLICANT: George Pasquel / Withey Morris, PLC

PHONE: 602-230-0600

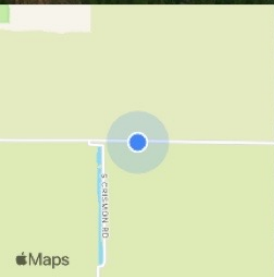
Planning Division 480-644-2385

Posting date: 5/20/2022

E Pecos Rd
Mesa AZ 85212

+33.292056,-111.615979

Friday, May 20, 2022 at 5:43:11 AM



Tab E



May 23, 2022

Notice of Planning & Zoning Board Hearing

Cubes at Mesa Gateway – Building A and B
+/-37-acre Property Located East of Crismon Road, North of Germann Road in Mesa
Case No ZON22-00049 / DRB22-00039

Dear Property Owner (or) Interested Party:

On behalf of the property owner, our office has recently filed application with the City of Mesa to allow for the development of two (2) buildings within the *Cubes at Mesa Gateway* project, a roughly 264-acre planned, multi-building industrial and warehousing complex located between Pecos Road and Germann Road, east of Crismon Road as seen on the attached aerial map. The current applications filed only apply to an +/-37-acre segment of property within the larger 264-acre development and consists of two (2), new warehouse building with associated improvements. The applications include a Site Plan Review (SPR) and Design Review (DR), along with a Special Use Permit (SUP) to reduce the required parking.

You may recall receiving previous correspondence from our office regarding other buildings within the *Cubes* development or this specific site and applications and their review by the Mesa Development Review Board. The purpose of this follow-up letter is to let you know this application (ZON22-00049) has now been scheduled for consideration by the Mesa Planning & Zoning Board at their meeting on June 8, 2022. The meeting will begin at 4:00 p.m. in the City Council Chambers located at 57 East First Street in Mesa.

The public may attend the meeting in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card at <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

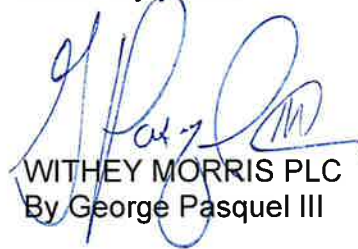
The entire 264-acre site, including the subject +/-35-acre Property, has a General Plan designation of Employment and is located within the Commerce District of the Mesa Gateway Strategic Development Plan. The site is also zoned General Industrial (GI). These zoning and General Plan designations will not be changed. This is not a rezoning application, and the anticipated uses are already permitted by right. The SPR, DR and SUP applications are for two (2)

new buildings at roughly 270K sqft each, referred to as "Building A" and "Building B," within the larger *Cubes at Mesa Gateway* project. Attached for reference is the preliminary site plan along with a sample elevation. The Planning & Zoning Board will review the SPR application for the site layout and the SUP application for a reduction in parking ratios from 75% at 1/500 sqft and 25% at 1/375 sqft to a more appropriate 75% at 1/2,150 sqft and 25% 1/365 sqft. Given the planned use of the building, this requested parking ratio is more than adequate to serve the site.

I would be happy to speak with you regarding these pending applications and any questions you may have. Feel free to contact me at (602) 230-0600 or e-mail at George@witheymorris.com. You may also contact the City of Mesa Planner assigned to this case, Cassidy Welch, at (480) 644-2591 or Cassidy.Welch@mesaAZ.gov.

Again, I would be happy to speak with you regarding this project and can be reached at (602) 230-0600 or e-mail at George@witheymorris.com. Please note, no meetings or hearings are scheduled at this time to review this project.

Sincerely yours,



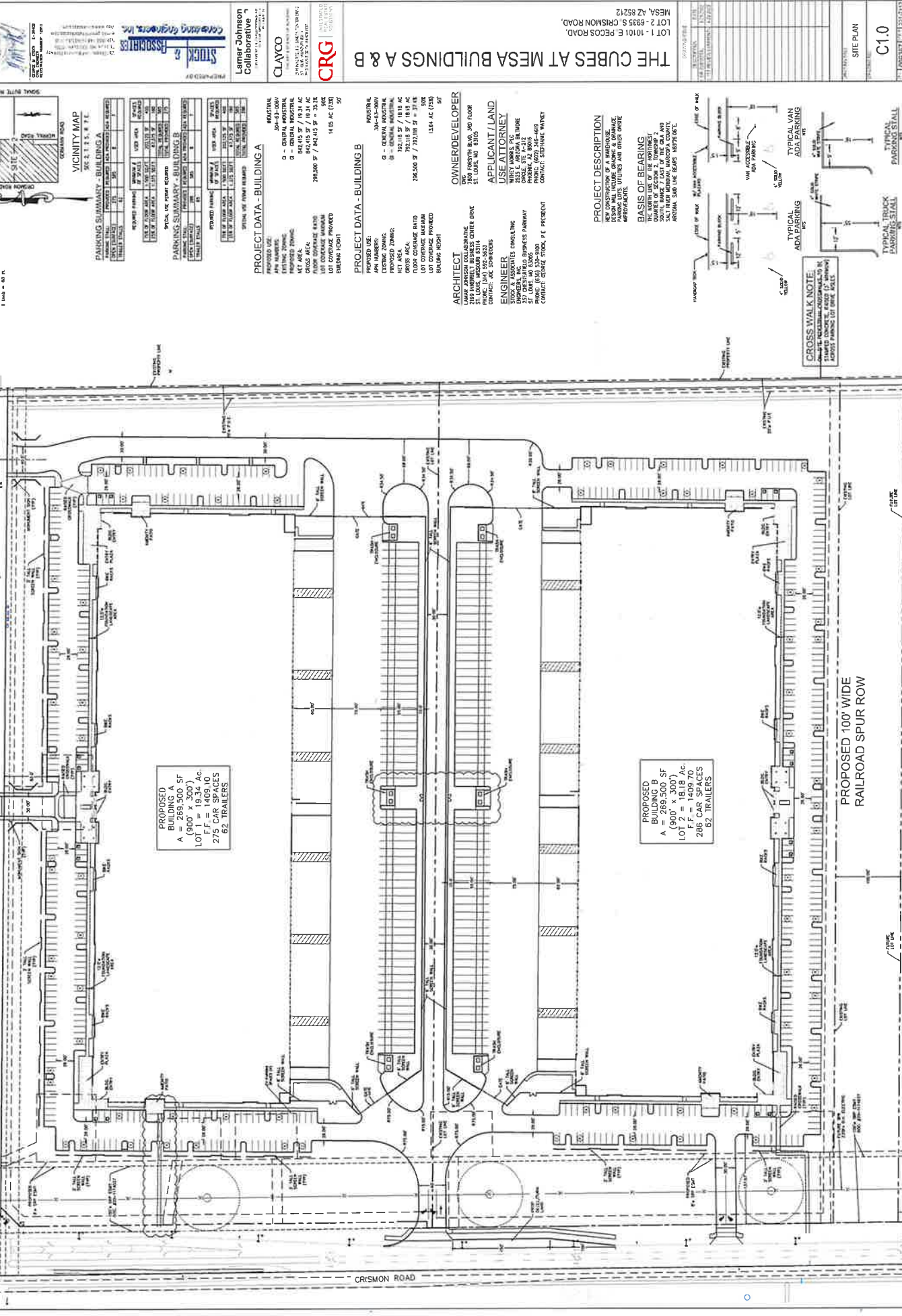
WITHEY MORRIS PLC
By George Pasquel III

Enclosure(s): Building A/B - aerial, preliminary site plan, sample elevations

CRISMON ROAD

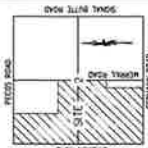
PECOS ROAD

PROPOSED 100' WIDE RAILROAD SPUR ROW



PROPOSED BUILDING A
 900' x 300'
 LOT 1 = 19.34 AC
 F.F. = 1409.10
 275 CAR SPACES
 62 TRAILERS

PROPOSED BUILDING B
 900' x 300'
 LOT 2 = 18.18 AC
 F.F. = 1409.70
 286 CAR SPACES
 62 TRAILERS



VICINITY MAP
 SEE TITLE

PARKING SUMMARY - BUILDING A

TYPE	NO. OF SPACES
TOTAL	275
TRUCK	10
TRAILER	62

PARKING SUMMARY - BUILDING B

TYPE	NO. OF SPACES
TOTAL	286
TRUCK	10
TRAILER	62

PROPOSED PARKING

TYPE	NO. OF SPACES
TOTAL	561
TRUCK	20
TRAILER	62

PROPOSED TRAILERS

TYPE	NO. OF SPACES
TOTAL	62

PROJECT DATA - BUILDING A

PROPOSED USE: INDUSTRIAL
 APN NUMBER: 304-03-004
 EXISTING ZONING: G - GENERAL INDUSTRIAL
 LOT AREA: 19.34 AC
 GROSS AREA: 846,450 SF / 19.31 AC
 FLOOR COVERAGE RATIO: 299,500 SF / 842,415 SF = 35.32
 LOT COVERAGE PROVIDED: 14.05 AC (70%)
 BUILDING FOOTPRINT: 14.05 AC (70%)

PROJECT DATA - BUILDING B

PROPOSED USE: INDUSTRIAL
 APN NUMBER: 304-03-004
 EXISTING ZONING: G - GENERAL INDUSTRIAL
 LOT AREA: 18.18 AC
 GROSS AREA: 792,118 SF / 18.18 AC
 FLOOR COVERAGE RATIO: 296,500 SF / 792,118 SF = 37.43
 LOT COVERAGE PROVIDED: 13.84 AC (76%)
 BUILDING FOOTPRINT: 13.84 AC (76%)

OWNER/DEVELOPER

LAMP JOHNSON COLLABORATIVE
 700 JEFFERSON BLVD, 900 FLOOR
 ST. LOUIS, MISSOURI 63102
 CONTACT: JAC 254-8220205

APPLICANT LAND USE ATTORNEY

WHITNEY MARSH, P.C.
 200 WEST WASHINGTON
 SUITE 1000
 ST. LOUIS, MISSOURI 63102
 CONTACT: CEMARIE WATNEY

ARCHITECT

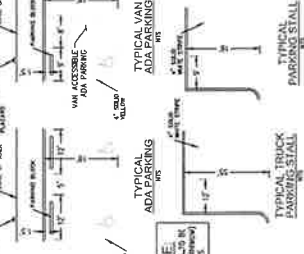
STOCK & ASSOCIATES CONSULTING
 200 WEST WASHINGTON
 SUITE 1000
 ST. LOUIS, MISSOURI 63102
 CONTACT: CEMARIE WATNEY

PROJECT DESCRIPTION

NEW CONSTRUCTION OF A WAREHOUSE
 INCLUDING TRUCK AND TRAILER
 PARKING LOTS, UTILITIES AND OTHER ON-SITE
 IMPROVEMENTS.

BASIS OF BEARING

THE NORTH LINE OF THE PORTINER
 TRACT, RANGE 7, EAST OF THE OLD AND
 SOUTH RANGE 7, EAST OF THE OLD AND
 SECTION 10, TOWNSHIP 35 NORTH,
 RANGE 7, EAST OF THE OLD AND
 RANGE 7, EAST OF THE OLD AND



CROSS WALK NOTE:
 THE CROSS WALK SHALL BE 10' WIDE
 AND SHALL BE LOCATED AT THE
 APPROXIMATE CENTER OF THE WALK

TYPICAL VAN ADA PARKING

TYPICAL TRUCK ADA PARKING



GRAPHIC SCALE
 1 inch = 60 feet



Stock & Associates
 1000 North Grand
 St. Louis, Missouri 63102
 Phone: (314) 433-1100
 Fax: (314) 433-1101
 Website: www.stockand.com

Lamar Johnson Collaborative
 700 Jefferson Blvd, 900 Floor
 St. Louis, MO 63102
 Phone: (314) 433-1100
 Fax: (314) 433-1101
 Website: www.lampjohnson.com

Clayco
 200 West Washington
 Suite 1000
 St. Louis, MO 63102
 Phone: (314) 433-1100
 Fax: (314) 433-1101
 Website: www.clayco.com

CRG
 200 West Washington
 Suite 1000
 St. Louis, MO 63102
 Phone: (314) 433-1100
 Fax: (314) 433-1101
 Website: www.crg.com

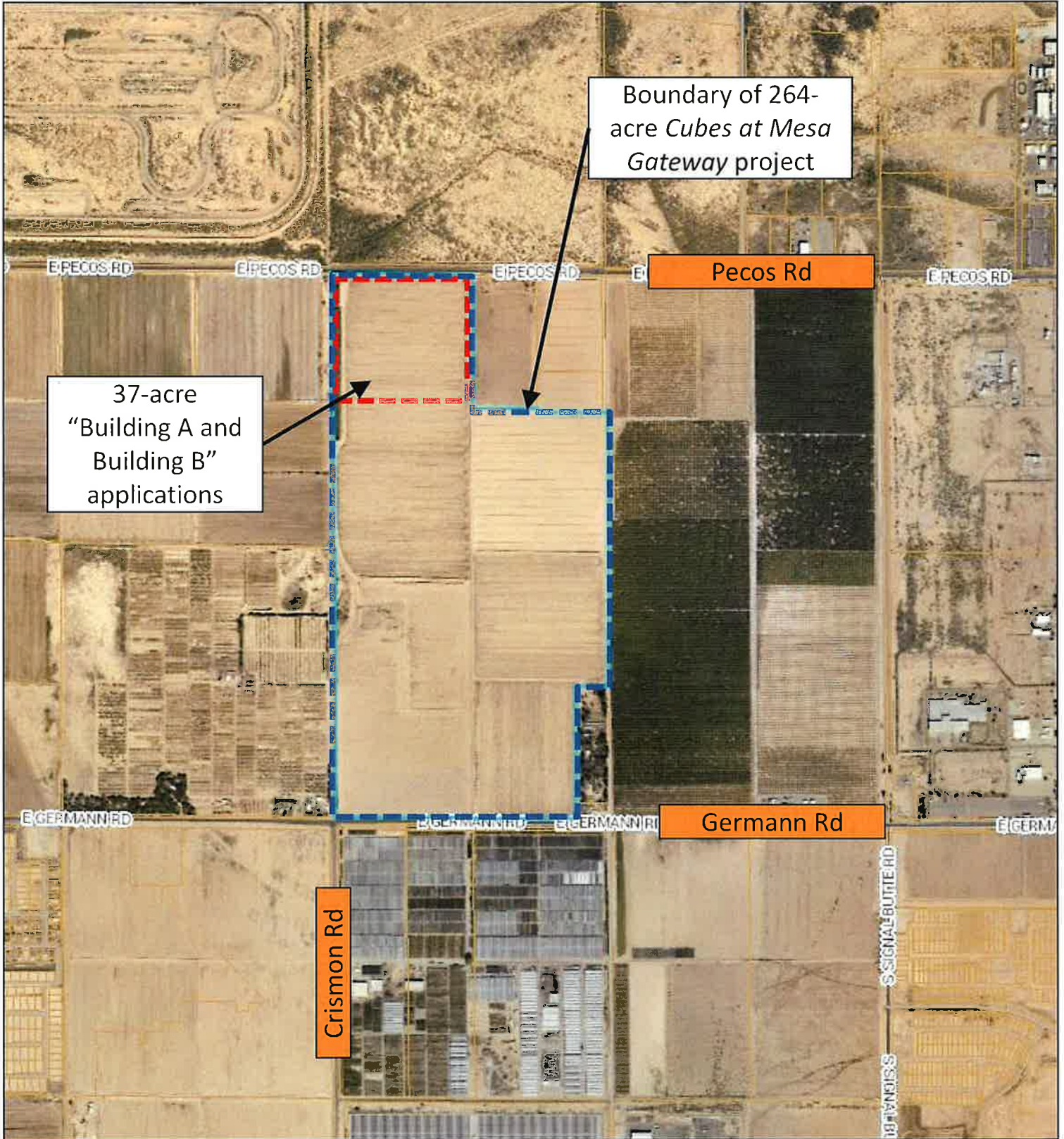
THE CUBES AT MESA BUILDINGS A & B
 LOT 1 - 10101 E. PECOS ROAD,
 MESA, AZ 85212

DATE: 10/15/2013
 SHEET NO.: C1.0
 PROJECT NO.: 13-0013



Corner Entrance View

Aerial Map



Boundary of 264-
acre *Cubes at Mesa*
Gateway project

37-acre
"Building A and
Building B"
applications

Pecos Rd

Germann Rd

Crismon Rd

NEC of Germann and Crismon



I. Introduction

The purpose of this Citizen Participation Report is to provide a summary of outreach efforts to date regarding a planned Industrial Development. The Property is currently zoned General Industrial (GI). The application requests Site Plan Review (SPR) and a Special Use Permit (SUP) for reduced parking, and Design Review (DR).

These applications will allow the development of Building A and Building B, each at roughly 270K sqft in size, within the larger *Cubes at Mesa Gateway* industrial park. The project is consistent with the City's General Plan designation, overlays, and zoning designations and is compatible with the existing and anticipated surrounding uses. This Citizen Participation Plan ensures that those affected by this application will have an adequate opportunity to learn about and comment on the proposal. The Citizen Participation Report highlights those efforts.

II. Contact

George Pasquel III
Withey Morris, PLC
2525 East Arizona Biltmore Circle
Phoenix, Arizona 85016
602-230-0600
Email: George@witheymorris.com

III. Contact List

Parties affected by such an application typically includes properties owners within 1000-feet of the Property (as identified by the Maricopa County Assessor's Map), residents, registered neighborhoods, homeowners' associations, and/or other

interested parties as identified by the City of Mesa. It should be noted, City Staff has informed the Applicant that no neighborhood groups or associates exist in the vicinity of this project. A copy of the contact list and map of the mailing area are attached at **TAB A**.

IV. Notification Technique / Notice of Meetings

On January 20, 2022, first class letters were mailed to the Contact List. The letter alerted the recipient submitted applications on the property, provided information and exhibits on the project, provided contact information for the City and the Applicant and encouraged the recipient to contact the City or the Applicant with any questions or comments. See letter attached at **TAB B**.

On April 25, 2022, first class letters were again mailed to the Contact List. The letter provided updated information on the Project and provided hearing dates and participation details for the upcoming Development Review Board meeting. The letter again provided contact information for the City and the Applicant and encouraged the recipient to contact the City of the Applicant with any questions or comments. See letter attached at **TAB C**.

On May 20, 2022, the Property was posted with three (3) separate hearing notification signs per the City requirements. The signs provided project information and information on the upcoming Planning & Zoning Board meeting. The sign also provided contact information for the Applicant and the City. See sign affidavit and information attached at **TAB D**.

On May 23, 2022, first class letters were again mailed to the Contact List. The letter provided updated information on the Project and provided hearing dates and participation details for the upcoming Planning & Zoning Board meeting. The letter again provided contact information for the City and the Applicant and

encouraged the recipient to contact the City of the Applicant with any questions or comments. See letter attached at **TAB E**

V. Inquiries

To date, the Applicant has received minimal inquiries regarding the applications. One phone call was received prior to the DRB hearing with general questions regarding the project. No concerns were noted. The Applicant has been in near constant contact with the City, which has not notified the Applicant of any public inquiries.

VI. Summary of Outreach

The Applicant will continue to be available to discuss the project with any interested parties.

Tab A

BYNER CATTLE COMPANY

333 N CENTRAL AVE

PHOENIX, AZ 85004-2121

HAWLEY MARILYN B

10360 E GERMANN RD

QUEEN CREEK, AZ 85242

NEWELL A BARNEY AND KATHERINE M BARNEY
TRUST/BARNEY GAIL A/KENNETH L

22340 E QUEEN CREEK RD

QUEEN CREEK, AZ 85242

PACIFIC PROVING LLC

2201 E CAMELBACK RD STE 650

PHOENIX, AZ 85016

VLACHOS ENTERPRISES LLC

140 N CENTER ST

MESA, AZ 85201

CUBES AT MESA GATEWAY LLC

2199 INNERBELT BUSINESS CENTER DR

ST LOUIS, MO 63114

JORDE FARMS 3 LLC

8601 N SCOTTSDALE RD #335

SCOTTSDALE, AZ 85253

NEWELL A BARNEY AND KATHERINE M BARNEY
TRUST/BARNEY KENNETH/GAIL A

22340 E QUEEN CREEK RD

QUEEN CREEK, AZ 85142

PECOS-MERRILL 20 LLC

5730 ECHO CANYON DR

PHOENIX, AZ 85018

WILLIAMS GATEWAY LAND INV LP/GFLP/ET
AL

2812 N NORWALK ST STE 105

MESA, AZ 85215

HARRIS CATTLE CO

PO BOX 167

QUEEN CREEK, AZ 85242

MESA CITY OF

PO BOX 1466

MESA, AZ 85211

OLD DOMINION FREIGHT LINE INC

500 OLD DOMINION WAY

THOMASVILLE, NC 27360

SUNBELT LAND HOLDINGS LP

8095 OTHELLO AVE

SAN DIEGO, CA 92111

MESA DEVELOPMENT SERVICES

ATTN: CASSIDY WELCH

PO BOX 1466

MESA, AZ 85211

HARRIS CATTLE CO
PO BOX 167
QUEEN CREEK, AZ 85242

HAWLEY MARILYN B
10360 E GERMANN RD
QUEEN CREEK, AZ 85242

NEWELL A BARNEY AND KATHERINE M
BARNEY TRUST/BARNEY GAIL A/KENNETH L
22340 E QUEEN CREEK RD
QUEEN CREEK, AZ 85242

CUBES AT MESA GATEWAY LLC
2199 INNERBELT BUSINESS CENTER DR
ST LOUIS, MO 63114

BYNER CATTLE COMPANY
333 N CENTRAL AVE
PHOENIX, AZ 85004

PECOS-MERRILL 20 LLC
5730 ECHO CANYON DR
PHOENIX, AZ 85018

SUNBELT LAND HOLDINGS LP
8095 OTHELLO AVE
SAN DIEGO, CA 92111

NEWELL A BARNEY AND KATHERINE M
BARNEY TRUST/BARNEY KENNETH/GAIL A
22340 E QUEEN CREEK RD
QUEEN CREEK, AZ 85142

LYONS DEVELOPMENT LLC
4320 E BROWN RD SUITE 110
MESA, AZ 85205

OLD DOMINION FREIGHT LINE INC
500 OLD DOMINION WAY
THOMASVILLE, NC 27360

PACIFIC PROVING LLC
2801 E. CAMELBACK ROAD STE 450
PHOENIX, AZ 85016

MESA DEVELOPMENT SERVICES
ATTN: CASSIDY WELCH
PO BOX 1466
MESA, AZ 85211

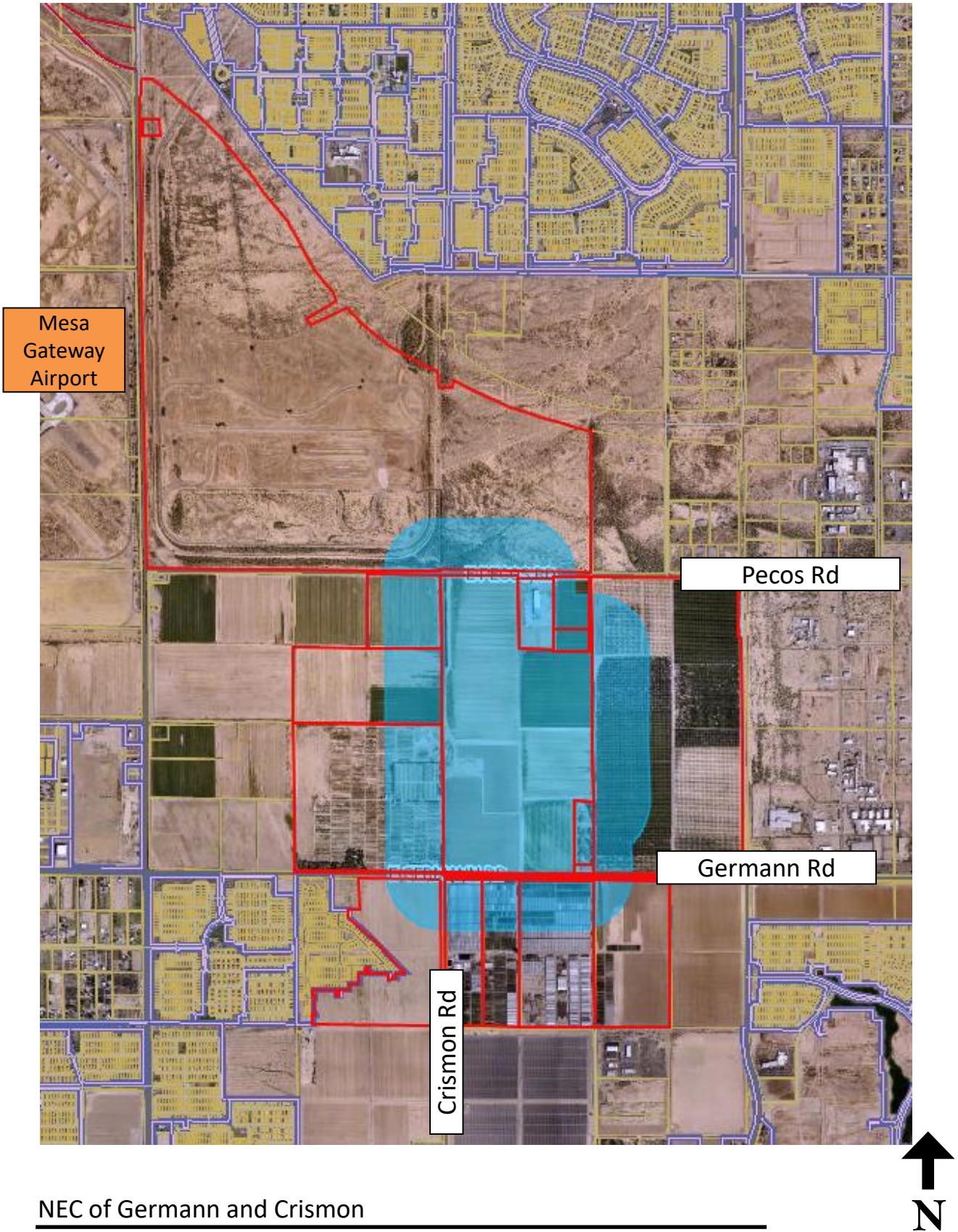
JORDE FARMS 3 LLC
8601 N SCOTTSDALE RD #335
SCOTTSDALE, AZ 85253

WILLIAMS GATEWAY LAND INV
LP/GFLP/ET AL
2812 N NORWALK ST STE 105
MESA, AZ 85215

MESA CITY OF
PO BOX 1466
MESA, AZ 85211

VLACHOS ENTERPRISES LLC
140 N CENTER ST
MESA, AZ 85201

1,000 ft Property Owner List



Dawn Dallman

From: Elisha Rust
Sent: Wednesday, April 28, 2021 8:37 AM
To: Dawn Dallman
Cc: Cynthia Ezcurra
Subject: FW: Pre-Submittal Agenda for meeting date 05-11-2021
Attachments: Center and University_Amy Malloy.xlsx; 3815 E Thomas Rd_Krista Zinser.xlsx; 8462 E Warner_Josh Hannon.xlsx

Hello Dawn,

I hope you are having a great day. I have attached the documents. The one below does not have nearby neighborhoods or HOAs.

9:30	PRS21-00351 Withey Morris PLC	10003 E Pecos Rd APN: 30463006V	The Cubes at Mesa Gateway		6	
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Please let us know if you have any questions. Have a wonderful day.

Take care,

Elisha Rust
Community Engagement Coordinator
[480-644-3002](tel:480-644-3002) | elisha.rust@mesaaz.gov

