

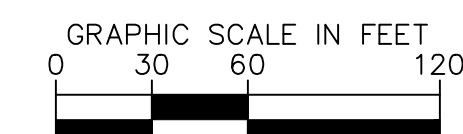
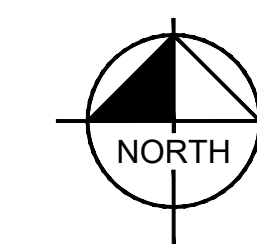


**WALMART FUEL STATION - STORE #1646**  
**6131 E SOUTHERN AVE, MESA, AZ 85206**  
**FINAL DESIGN CIVIL OVERALL SITE PLAN**

SITE ANALYSIS TABLE	
APN	141-54-059J & 141-54-561A
ZONING	LIMITED COMMERCIAL (LC)
LOT COVERAGE CALCULATIONS	
PROPOSED BUILDING HEIGHT	18 FT
ALLOWED BUILDING HEIGHT	30 FT
FUEL CANOPY HEIGHT	17.6 FT
EXISTING WALMART BUILDING AREA	206,985 SQ FT
PROPOSED FUEL BUILDING AREA	1,556 SQ FT
PROPOSED WALMART BUILDING AREA	212,105 SQ FT
CANOPY AREA	4,773 SQ FT
DISTURBED AREA	36,527 SQ FT
IMPERVIOUS AREA	29,259 SQ FT
PERVIOUS AREA	7,269 SQ FT

PARKING TABLE		
	PARKING COUNT	PARKING RATIO
EXISTING PARKING	969 SPACES	4.68 / 1,000 S.F.
PROPOSED PARKING	849 SPACES	4.00 / 1,000 S.F.
CITY REQUIRED PARKING	556 SPACES	1.00 / 375 S.F.
WALMART REQUIRED PARKING	849 SPACES	4.00 / 1,000 S.F.
CITY REQUIRED BICYCLE PARKING	3 SPACES	3 SPACES OR 1.00 / 10 VEHICLE SPACES, WHICHEVER IS GREATER
PROPOSED BICYCLE PARKING	4 SPACES	2.35 / 10 VEHICLE SPACES

\* CART CORRAL SPACES ARE NOT INCLUDED IN THE PARKING TOTAL



SCALE: 1" = 20'  
 WHEN PRINTED AT FULL  
 SIZE 24"x36"






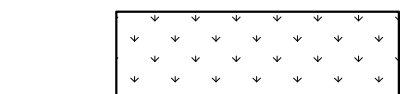

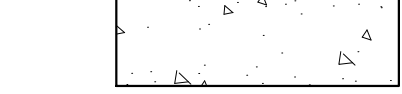
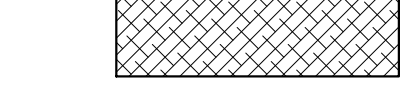
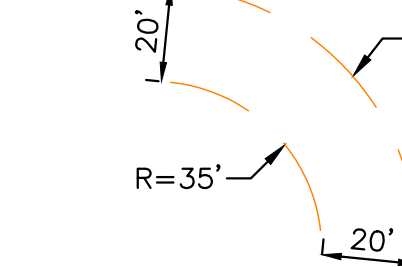
Exp. Date 06/30/27

**Kimley»Horn**

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 1100 W TOWN AND COUNTRY RD, SUITE 700, ORANGE, CA 92868  
 PHONE: 714-939-1030 FAX: 714-938-9488

E SOUTHERN AVE

**LEGEND**

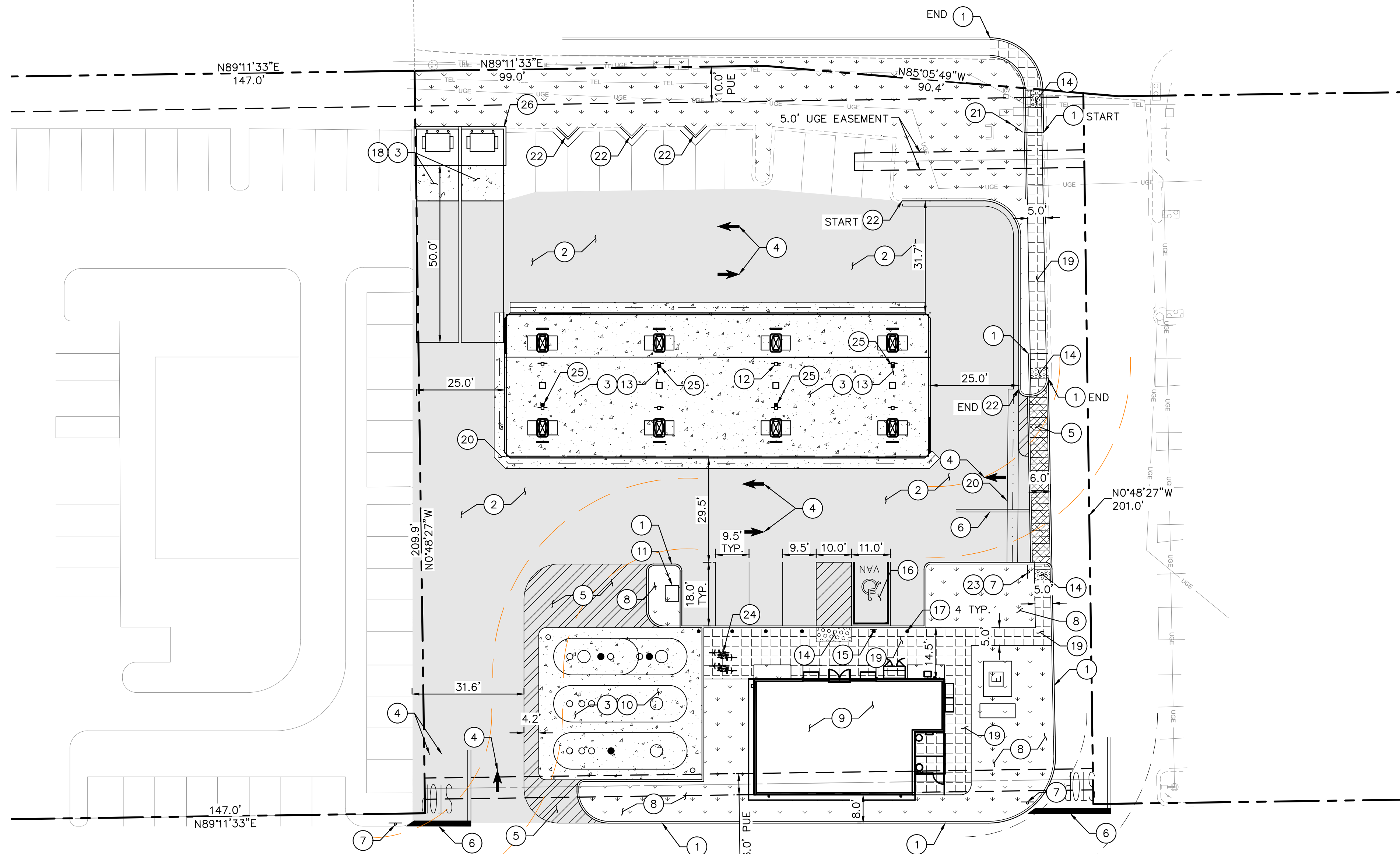
-  PROPERTY LINE
-  EASEMENT LINE
-  HEAVY DUTY ASPHALT PAVING
-  LANDSCAPING
-  CONCRETE SIDEWALK
-  CONCRETE PAVEMENT
-  STAMPED CONCRETE PAVEMENT, SEE LANDSCAPE PLANS FOR MORE DETAIL
-  FIRE TRUCK PATH

**CONSTRUCTION NOTES**

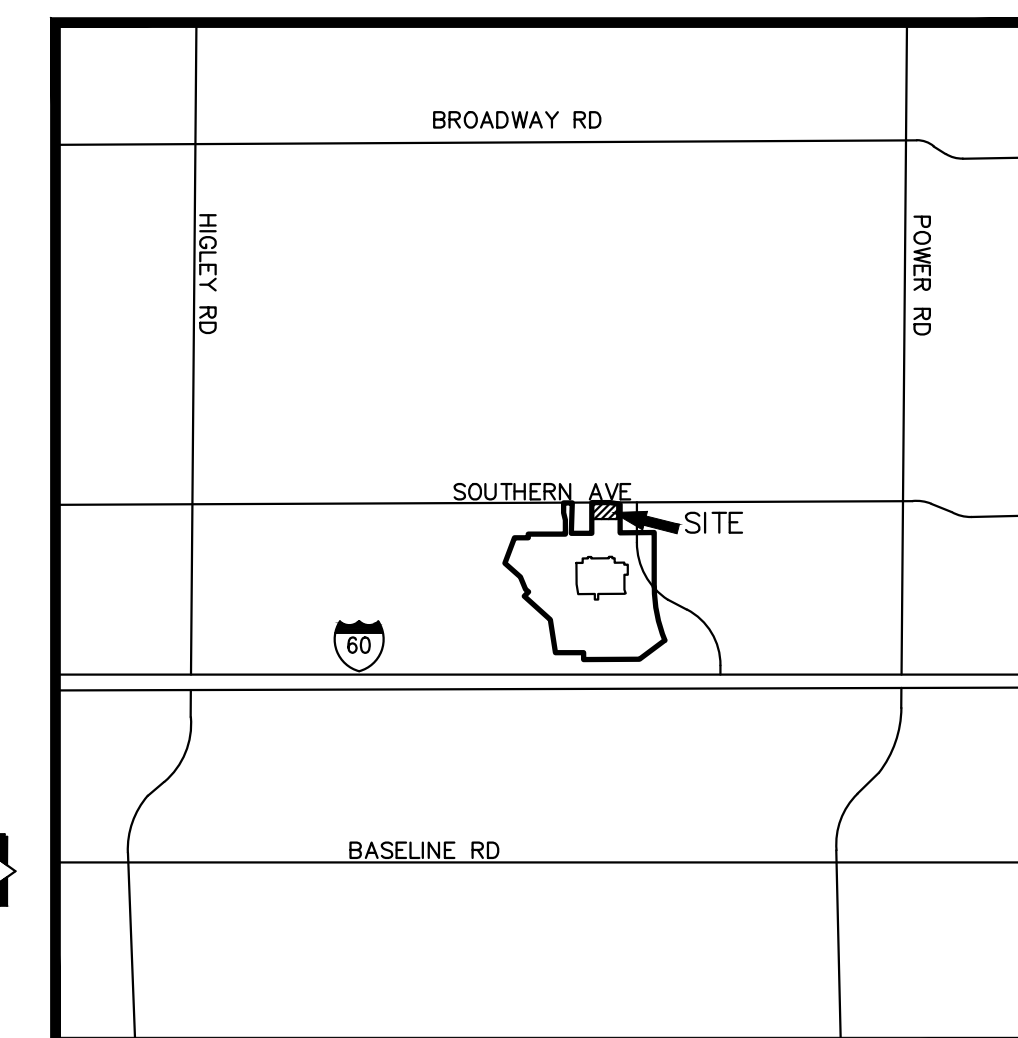
- 1 PROPOSED CONCRETE CURB.
- 2 PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
- 3 PROPOSED CONCRETE PAVEMENT.
- 4 STRIPE DIRECTIONAL ARROW PAVEMENT MARKING.
- 5 STRIPE WHITE 4" STRIPE, 60 DEGREES, SPACED AT 36" O.C.
- 6 STRIPE STOP BAR PAVEMENT MARKING.
- 7 PROPOSED STOP SIGN ON POST.
- 8 PROPOSED LANDSCAPING.
- 9 PROPOSED 1556 SF CONVENIENCE STORE.
- 10 PROPOSED UNDERGROUND GAS TANKS. THREE 20,000 GAL TANKS
- 11 PROPOSED AIR STATION.
- 12 PROPOSED VAPOR RECOVERY LOCATION/PAD.
- 13 PROPOSED 18 FT TALL CANOPY.
- 14 PROPOSED TRUNCATED DOMES.
- 15 PROPOSED VAN ACCESSIBLE PARKING SIGN ON POST AND BOLLARD.
- 16 PROPOSED VAN ACCESSIBLE PARKING.
- 17 PROPOSED BOLLARDS.
- 18 PROPOSED TRASH ENCLOSURE PER CITY OF MESA STANDARD DETAIL M-62.02.1.
- 19 PROPOSED CONCRETE SIDEWALK.
- 20 PROPOSED VALLEY GUTTER.
- 21 RELOCATE EXISTING FIRE LANE SIGN.
- 22 PROPOSED CONCRETE CURB AND GUTTER.
- 23 PROPOSED SUPPLEMENTARY "CROSS TRAFFIC DOES NOT STOP" PLACARD.
- 24 PROPOSED BICYCLE PARKING (2 TOTAL).
- 25 PROPOSED PERMANENT, NON-FLAMMABLE TRASH RECEPTACLE.
- 26 PROPOSED MASONRY SCREEN WALL PER CITY OF MESA STANDARD DETAILS M-62.04.1.

**NOTE**

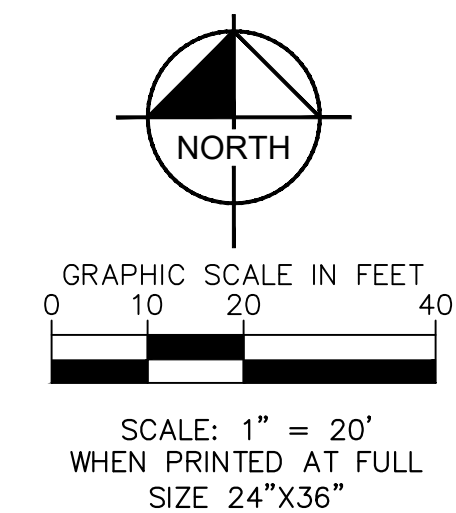
ECR WAS REVIEWED BY CEC AND NO RESTRICTIONS PRESENT FOR THE FUEL STATION. REQUIRED BUILDING AREA AND PARKING RATIO HAS ALSO BEEN REVIEWED. ANY AMENDMENTS REQUIRED HAVE BEEN COORDINATED WITH PMO AND OSC.



**WALMART FUEL STATION - STORE #1646**  
**6131 E SOUTHERN AVE, MESA AZ 85206**  
**FINAL DESIGN CIVIL SITE PLAN**



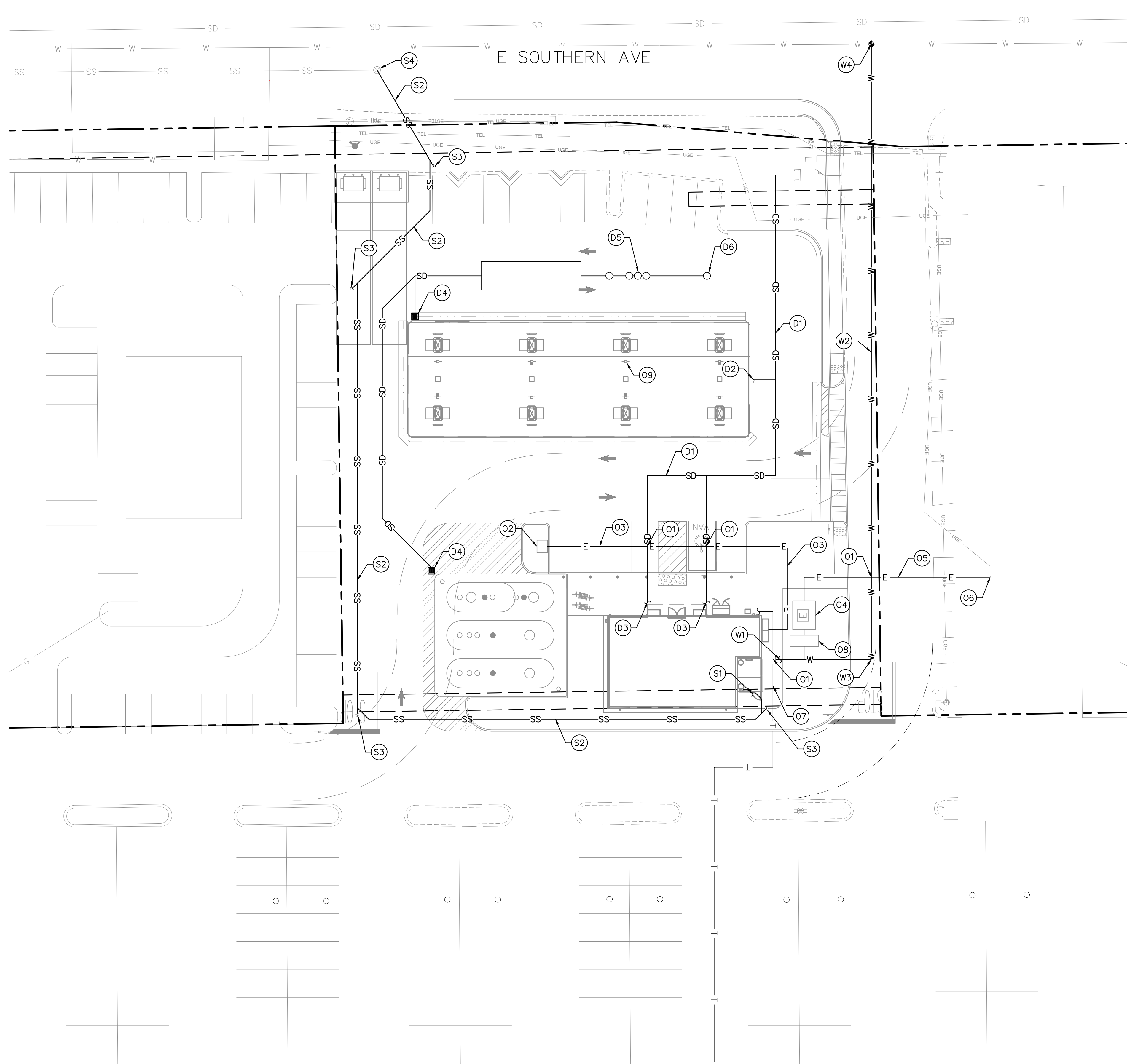
VICINITY MAP  
NOT TO SCALE



Exp. Date 06/30/27

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### LEGEND

---	PROPERTY LINE
SD	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
SS	EXISTING SANITARY LINE
E	EXISTING ELECTRIC LINE
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY LINE
E	PROPOSED ELECTRIC LINE
SD	PROPOSED STORM DRAIN LINE

### SEWER

- (S1) BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO MEP PLANS FOR CONTINUATION.
- (S2) INSTALL 4" SDR-PVC SEWER LATERAL.
- (S3) INSTALL 4" SDR-PVC BEND WITH SANITARY SEWER CLEANOUT.
- (S4) POINT OF CONNECTION FOR SANITARY SEWER LINE.

### STORM DRAIN

- (D1) PROPOSED 8" STORM DRAIN PIPE.
- (D2) PROPOSED CONNECTION FOR CANOPY ROOF DRAINAGE.
- (D3) PROPOSED ROOF DRAIN CONNECTION.
- (D4) PROPOSED TYPE A CATCH BASIN PER M.A.G. STANDARD DETAIL 530.
- (D5) PROPOSED ENVIBRO 80 FILTRATION SYSTEM.
- (D6) PROPOSED DRYWELL.

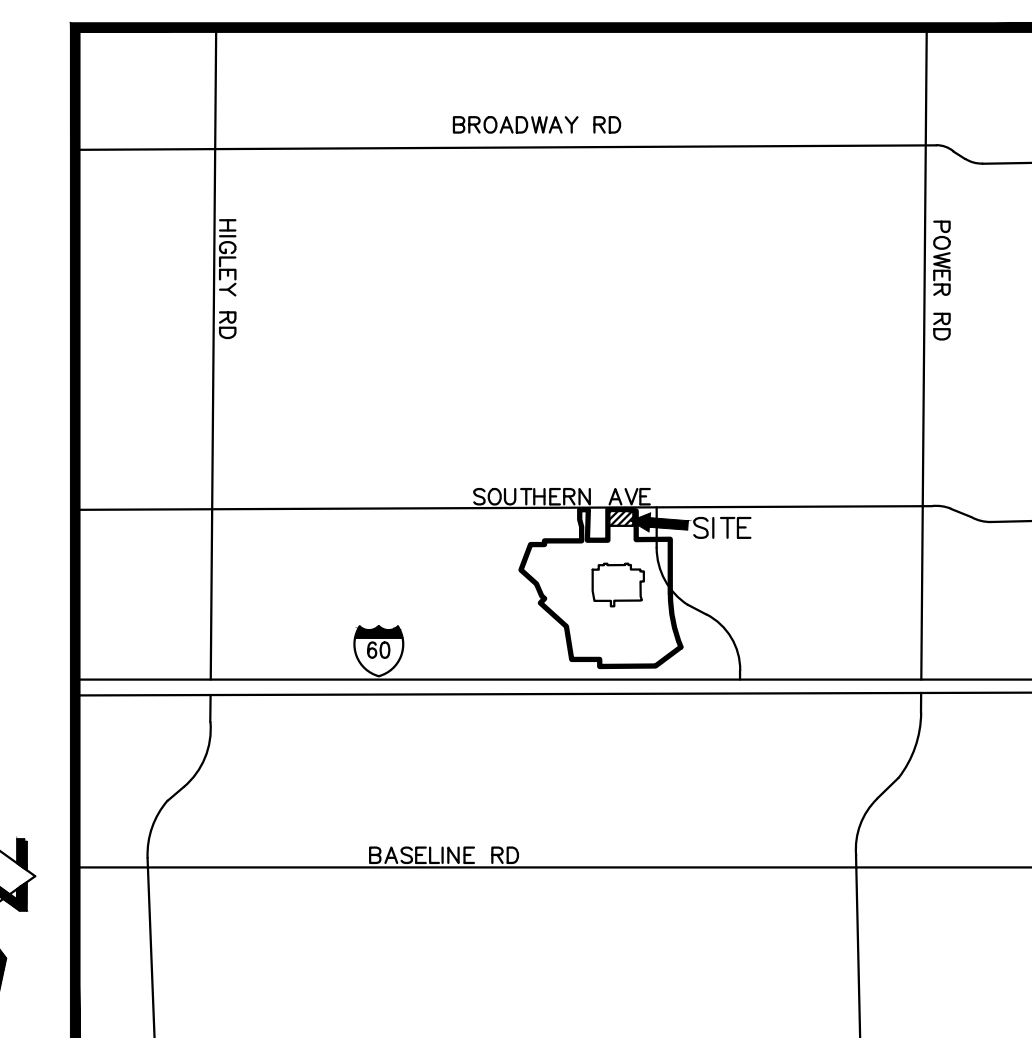
### DOMESTIC WATER

- (W1) 2" BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO PLUMBING PLANS FOR CONTINUATION.
- (W2) INSTALL 2" SCHEDULE 40 DOMESTIC WATER PIPE.
- (W3) INSTALL 2" SCHEDULE 40 90° BEND.
- (W4) POINT OF CONNECTION FOR WATER LINE.

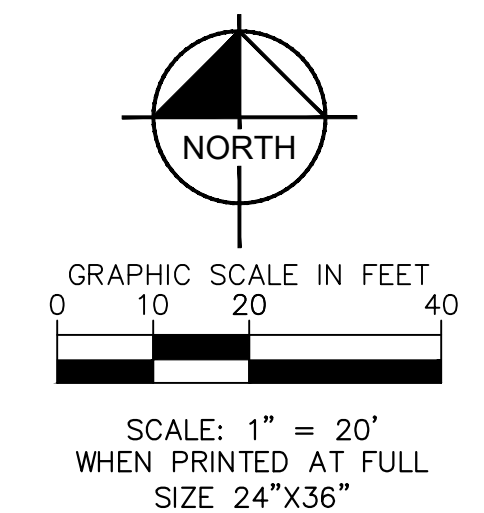
### OTHER UTILITY NOTES

- (O1) PROPOSED UTILITY CROSSING.
- (O2) PROPOSED AIR PEDESTAL.
- (O3) 1" CONDUIT TO AIR PEDESTAL.
- (O4) PROPOSED TRANSFORMER.
- (O5) PROPOSED CONDUIT FOR 400 AMP ELECTRIC SERVICE. REFER TO UTILITY COMPANY PLAN/REQUIREMENTS FOR MORE INFORMATION.
- (O6) PROPOSED ELECTRIC CONDUIT TIE INTO EXISTING SERVICE.
- (O7) PROPOSED FIBER OPTIC CONDUIT 3" DIRECTIONAL BORE OR APPROVED EQUAL WITH PULL BOXES EVERY 300' TO EXISTING WALMART SUPERCENTER FROM KIOSK.
- (O8) PROPOSED STANDARD ELECTRICAL SYSTEM.
- (O9) PROPOSED VAPOR RECOVERY UTILITY.

**WALMART FUEL STATION - STORE #1646**  
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**FINAL DESIGN CIVIL UTILITY PLAN**



VICINITY MAP  
NOT TO SCALE

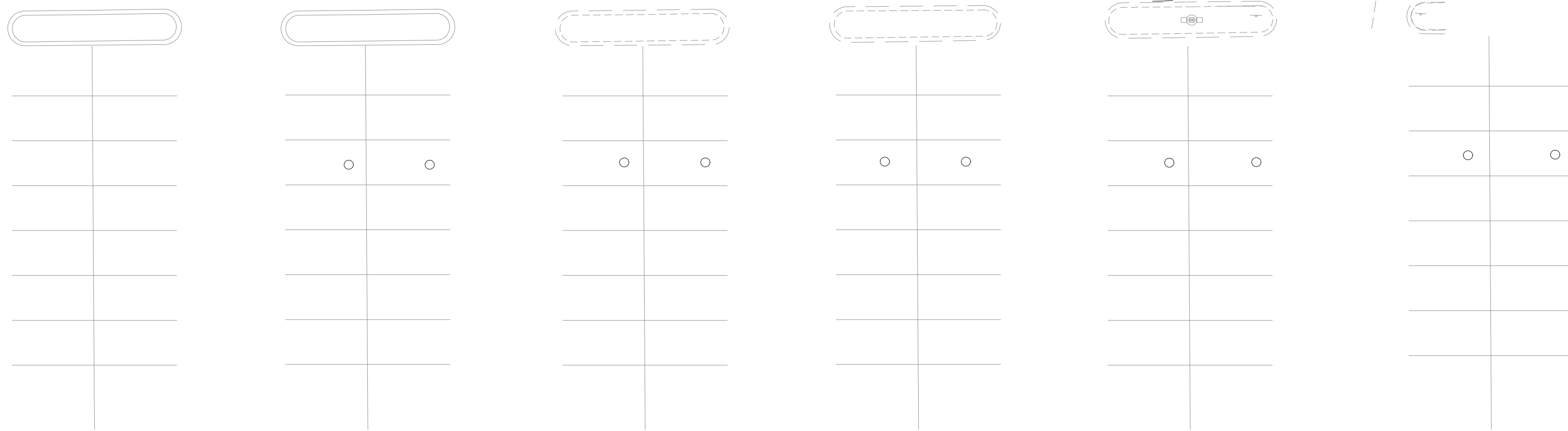
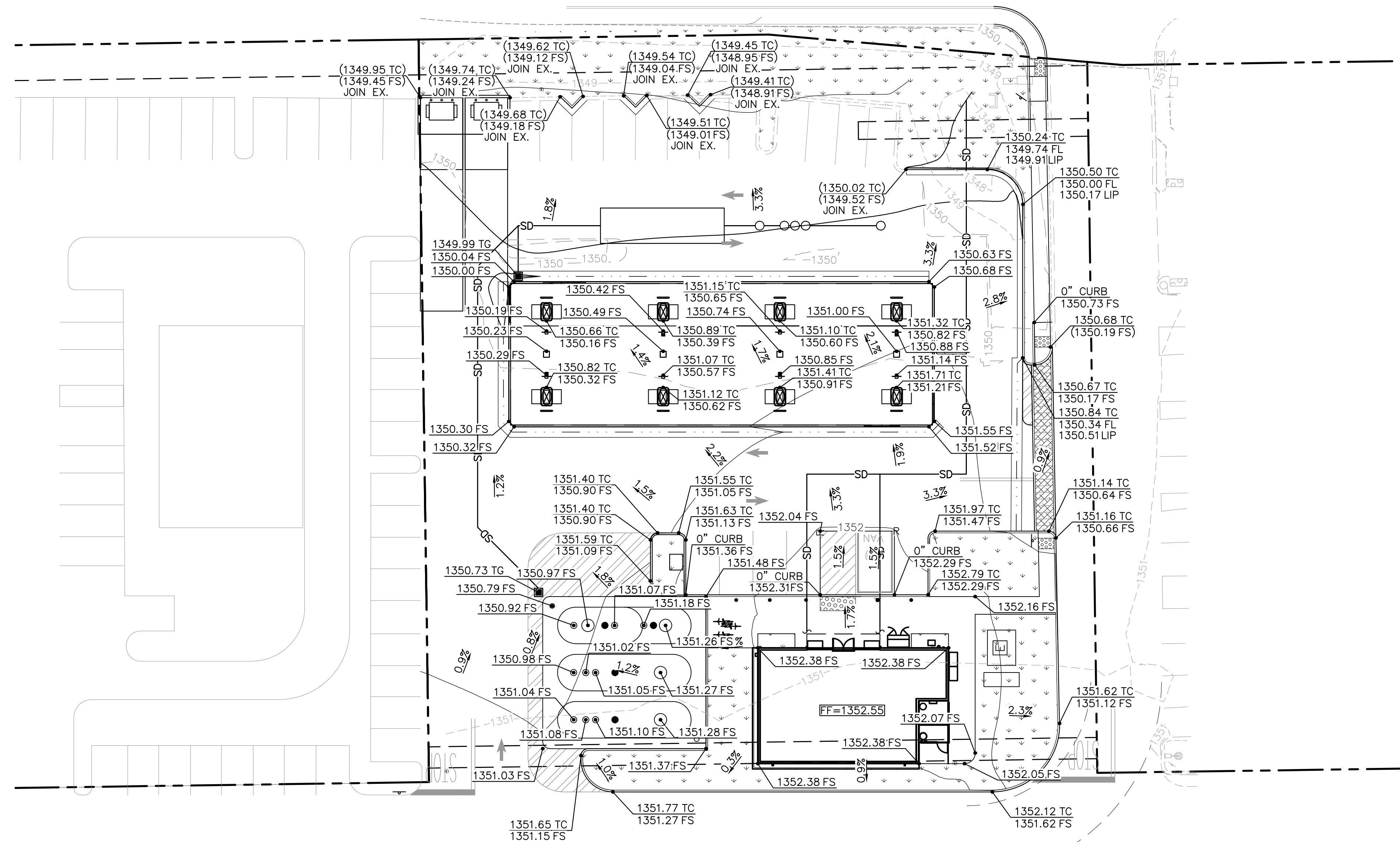


**Kimley»Horn**

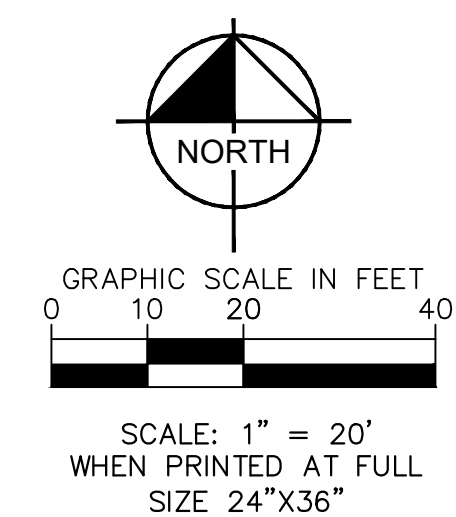
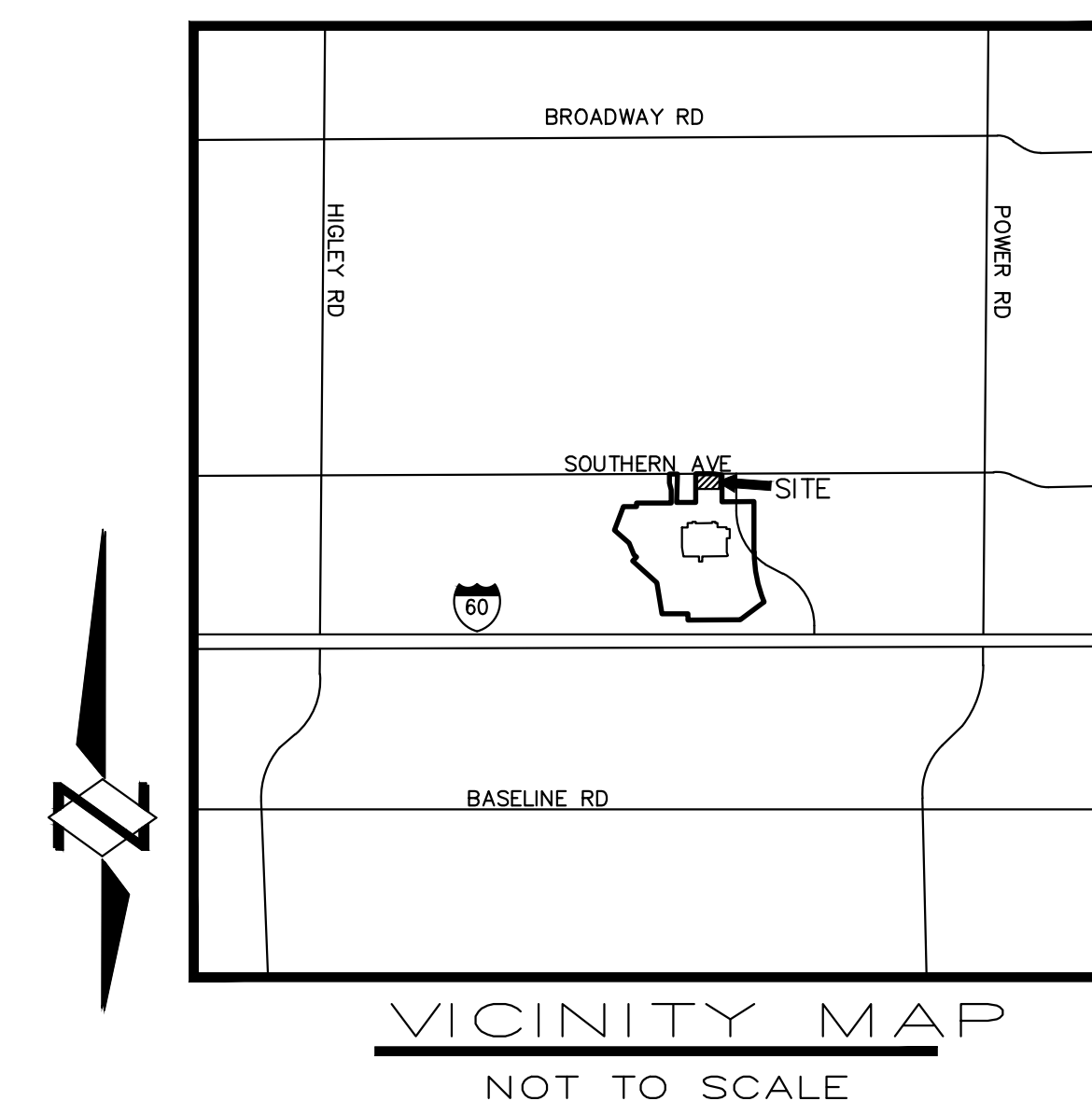
E SOUTHERN AVE

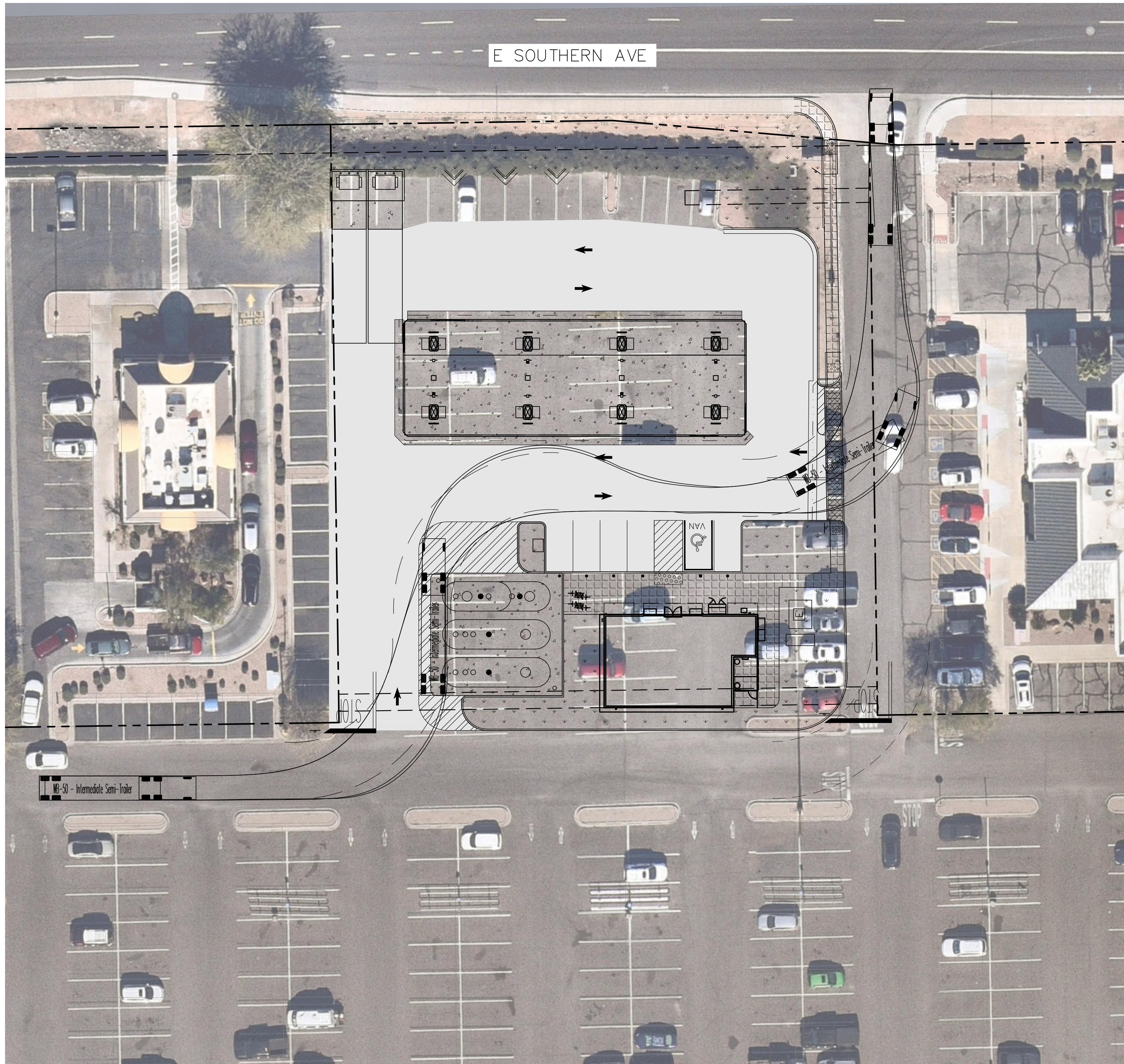
### LEGEND

---	PROPERTY LINE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
SD	PROPOSED STORM DRAIN LINE
SD	EXISTING STORM DRAIN LINE
FF	FINISH FLOOR ELEVATION
FL	FLOWLINE
LIP	LIP OF GUTTER
TC	TOP OF CURB
FS	FINISH SURFACE
(1350.50 TC) (1350.00 FS)	EXISTING GRADE
(1350.50 TC) (1350.00 FS)	PROPOSED GRADE
[Pattern]	LANDSCAPING
[Pattern]	CONCRETE PAVEMENT
X.XX	PROPOSED SLOPE



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**FINAL DESIGN CIVIL GRADING PLAN**

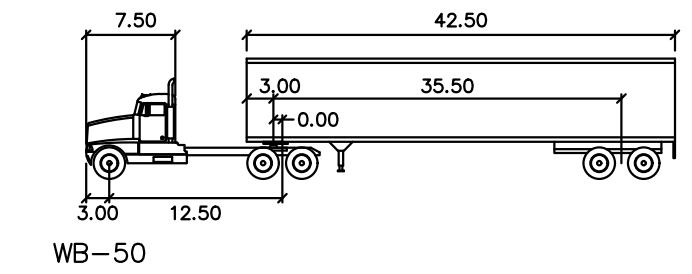




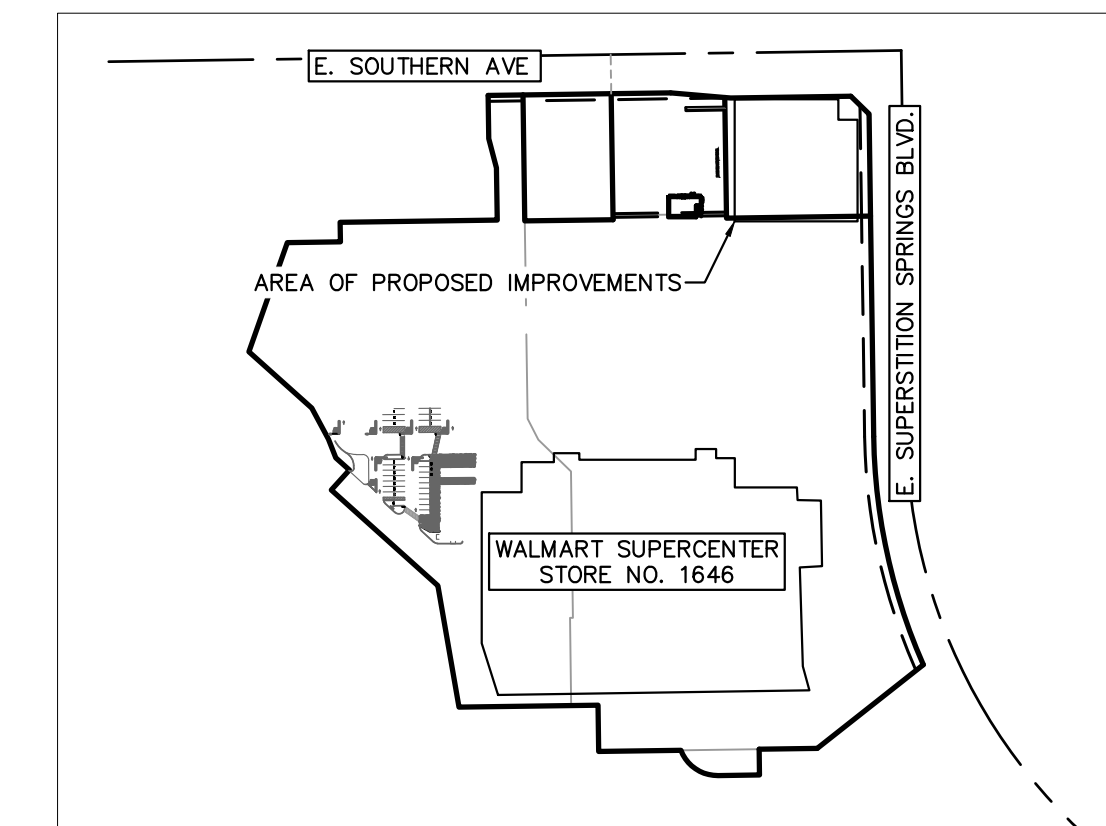
**WALMART FUEL STATION - STORE #1646**  
**6131 E SOUTHERN AVE, MESA AZ 85206**  
**FINAL DESIGN CIVIL TRUCK TURN**

**LEGEND**

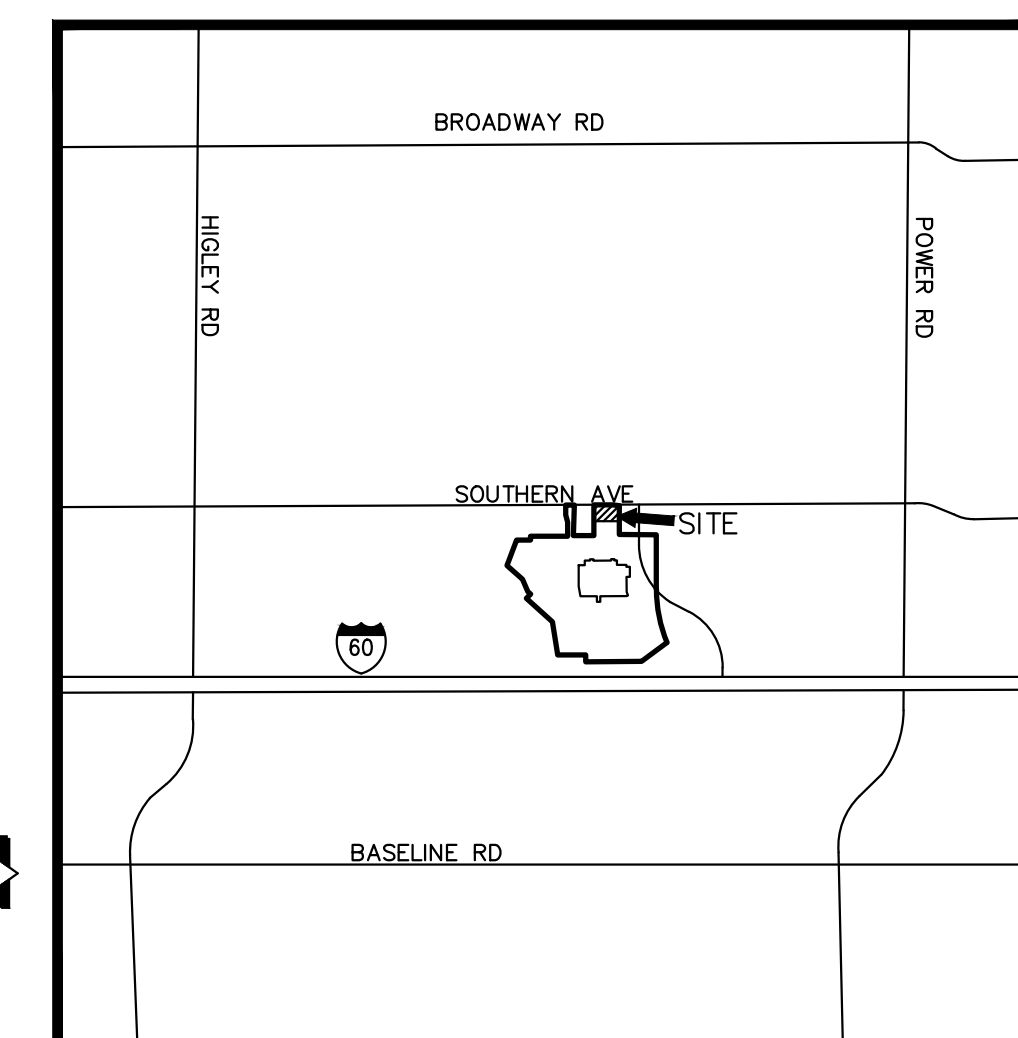
- PROPERTY LINE
- EASEMENT LINE
- HEAVY DUTY ASPHALT PAVING
- LANDSCAPING
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT



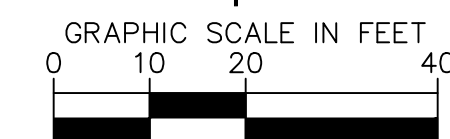
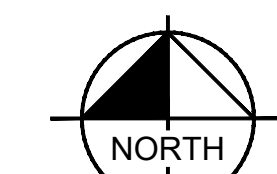
feet	
Tractor Width	: 3.00
Trailer Width	: 3.00
Tractor Track	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 17.8
Articulating Angle	: 70.0



**KEY MAP**  
NOT TO SCALE



**VICINITY MAP**  
NOT TO SCALE



SCALE: 1" = 20'  
WHEN PRINTED AT FULL  
SIZE 24"X36"



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