

Stonebridge
4024 E. Palm Street

Project Narrative

Submitted By

Pew & Lake, PLC.

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On Behalf of

ORC, LLC

&

4024 Palm Street, LLC

July 25, 2024

Introduction

Pew & Lake PLC., on behalf of our client ORC LLC and 4024 Palm Street, LLC, is pleased to provide this narrative and exhibits necessary for Site Plan Review, Special Use Permit, Design Review, pre-plat, and rezoning applications. The proposed development is located on the NWC of East Palm St. and Norfolk and can be seen outlined in blue on the image below. The Property is further identified as Maricopa County Parcel Numbers 141-25-092A, 092B.

Site Aerial



History

In 1999, The Commons Industrial Park PAD (Case Z99-099) was approved after extensive discussion between the neighbors, Reeb Group, the City of Mesa, and the Board of the Commons Owners' Association. The restrictions and design conditions outlined in Ordinance No. 3748 ensured that Commons Industrial Park developed with high-quality standards and prohibited some uses that would interfere with the nearby neighborhoods. The developer understands that the proposed development will include conditions of approval similar to this in case Z99-099.

Since the 1999 PAD approval, the Commons Industrial Park has nearly fully developed. The Commons Industrial Park is composed of many local light industrial businesses, office buildings, a popular wedding/event venue, and a high-end restaurant. The agreed upon restrictions have created an industrial park that works and feels more like a business park than an industrial park. The users adjacent to the proposed development do not manufacture or conduct business in a way that is a disturbance to the property owners west of the RWDC, or to the other property owners directly adjacent to their sites.

Existing Site Conditions

The subject Property is located at the northwest corner of the intersection of East Palm Street and North Norfolk Street. The property boundary is along the rounding curve of the two intersecting streets. A portion of the Property is occupied by a restaurant in the northwest corner. Employee parking is on the north side of the restaurant and customer parking is to the south with access via a driveway on East Palm Street. Parking and the drive aisle continue through the site to a roundabout parking area which connects to more parking along the northern edge of the Property and ultimately to North Norfolk via another driveway.

As an infill site, this property is limited in size and access. The close proximity adjacent to Board and Batten, a high-end restaurant and bar, as well as the Stonebridge Manor Wedding/Event Venue, limit the number of LI uses that can be developed on this site without negatively impacting the operation of the restaurant and wedding/event venue. Establishing a compatible land use that is consistent and not detrimental to this high-end wedding venue and high-end sit-down restaurant is challenging. However, we believe this live work development is the ideal compatible neighbor and land use.

The unique configuration of the quarter circle shaped lot poses constraints not found on other properties in the area. The need for creative circulation, parking, and access is essential and has been thoughtfully designed as seen on the proposed site plan. The cohesive plan will benefit the development and continue to blend the existing uses in the area.

Relationship to Surrounding Properties

To the north is a paving contracting company housed in an office building with ancillary storage both enclosed and in an open yard. Abutting the property to the west is Stonebridge Manor, a mansion venue for special events positioned on 4 acres of pristine grounds, mature trees and water features. Across Palm Lane to the south is a two-story flooring company building with offices, warehouse and showroom. To the southeast across the rounding intersection is the entrance to Commerce Court II, a twenty unit planned area office warehouse development with well screened outdoor storage yards. Directly east, across Norfolk is a small commercial office and storage building with a well screened outdoor storage yard.

Direction	Zoning	Use
North	LI PAD	Emergency Environmental Services
East	LI PAD	J&H Plumbing, Marquee Jewelers, Western Building Group
West	LI PAD	Board & Batten / Stonebridge Manor by Wedgewood Weddings
South	LI PAD	RM Interiors & Design Lehi Valley Trading Processing Facility
Subject Site	LI PAD	Restaurant/ Parking /Vacant

Zoning and General Plan Analysis

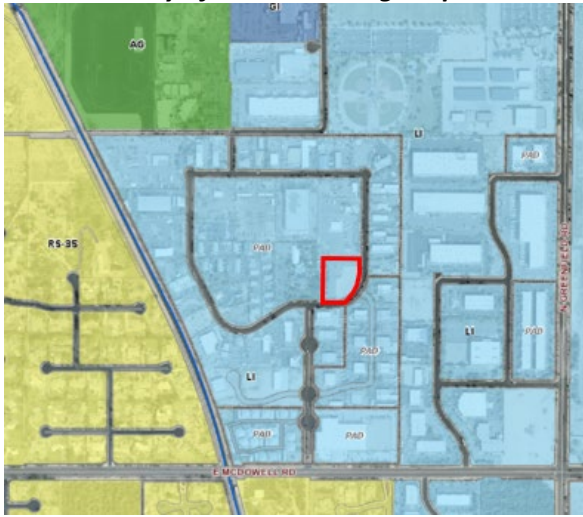
The proposed development site is nestled within the Commons Industrial Park just east of the RWCD and a RS-35 Zoning District. The subject property is zoned LI-PAD, light Industrial with a Planned Area Development Overlay. With this request, the applicant is requesting to rezone the property from LI-PAD to LI-PAD-BIZ.

Within section 11-7-1 of the Mesa Zoning Ordinance (MZO), Light Industrial districts “also provide for a full range of commercial activities”. Section 11-31-31 of the MZO, states that residential uses are permitted in the NC, LC, and GC with the approval of a Special Use Permit.

The General Plan Character area designation on the property is Employment. Per chapter seven of the General Plan, the purpose of the Employment character area designation is to provide employment type land uses, which the proposed development satisfies.

Additionally, the property is within the Falcon Field Sub-Area. The goal of the Falcon Field Sub-Area is to ensure high-quality employment for professionals, technical experts, and highly skilled labor. The subject site lies within Airfield Overflight Area Three (AOA3). There are no use limitations beyond those in the base district.

City of Mesa – Zoning Map



City of Mesa – General Plan Map



Project Description

As previously stated, the property has an existing successful American style bistro restaurant and wine bar with outdoor dining patios. The balance of the property has remained undeveloped since the construction of the restaurant. The proposal is to improve the vacant portion of the site in a way that will best accommodate future development.

For example, the proposed development will convert the existing loop turnaround into a hammerhead turnaround which will still facilitate emergency vehicles. This change will also provide a more direct route to the rear of the existing restaurant, eliminate a large expanse of asphalt, and provide for more conventional parking and circulation.

The site realignment includes parking island landscape planters with trees and shrubs consistent with the Zoning Ordinance's landscaping requirements. The mature landscaping existing site lighting, and drive entrances to the property will remain. ADA sidewalk and landscaped pedestrian pathways will provide connectivity to the parking areas, building entrance and to the streets.

The proposed development will provide an innovative design on one of the last parcels of vacant land within the Commons. As seen on the provided site plan, the site will offer three (3) two-story buildings, each on their own parcel. The first floor of the buildings will be used as office space and the second floor will be the livable area. Each unit will have private two (2) car garage space for vehicle parking and guest parking spaces. In addition, 29 parking spaces are provided for the office area and 4 spaces are provided for the storage area. In total 40 parking spaces are provided for the Live Work units and 51 parking spaces are provided for the restaurant/outdoor dining areas and 4 accessible parking spaces are provided.

In section 11-86-4 of the MZO, Live/Work units are described as "a commercial or industrial unit with incidental residential accommodations that includes adequate working space reserved for office, commercial or industrial use and regularly used for such purpose by 1 or more persons residing in the unit and cooking space and sanitary facilities in conformance with applicable building standards. Up to 67 percent of the gross floor area may be reserved for and primarily used as living space." The floor plans included with this pre-submittal application illustrate that more than 30% of the net floor area is designated for work activities.

The property owners wish to create ownership in such a way that will allow for multiple users to take separate ownership of their own lot and set up an ownership association to allow for the maintenance of the common areas.

These common areas will include parking and drive aisles, service areas, and storm water retention area. The landscape character will include buffers that meet or exceed standards.

The proposed development will comply with all applicable City of Mesa regulations and standards regarding right-of-way and infrastructure improvements in Mesa's jurisdiction. Utilities on site include City of Mesa for water, sewer, police, fire, gas, and waste disposal. The property is in SRP's electric supply service area. According to estimates, there is adequate capacity in the public utilities and infrastructure to support the proposed development. Proposed water service facilities will comply with City of Mesa Standards and Details. There is a 12-inch water main on Palm Street. Wastewater services will also comply with City Standards and will connect to the City's system at the 8-inch main in Palm Street.

The property will be designed to adequately collect, convey, and store storm water flows originating on site. Runoff will be collected within existing and proposed hard surface areas and conveyed to scuppers or catch basins that discharge to retention basins. Retention basins will be designed to City Standards to retain 100 percent of the runoff from the 100-year storm event.

Live Work Units – 11-31-17 Compliance

Live-Work Units, as described in Section 11-86-4, shall be located, developed, and operated in compliance with the land use regulations in Article 2 and the following standards:

A. Establishment. Live/Work Units may be established through new construction or through the conversion of existing commercial or industrial buildings that were designed, constructed and received an occupancy permit for such non-residential uses. See Figure 11-31-17.A.

- ✓ **The proposed development is new construction.**

B. Allowable Uses. Work activities in Live-Work Units are limited to uses as permitted in the base zoning district in which the Live/Work Units are located.

- ✓ **The work activities include office and storage uses which are allowed in the base zoning district.**

C. Sale or Rental of Portions of Unit Prohibited. No portion of a Live/Work Unit may be separately rented or sold as a commercial space for a person or persons not living on the premises, or as a residential space for a person or persons not working on the premises.

- ✓ **No portion of the units will separately renter or sold as a commercial space for a person or persons not living on the premises, or as a residential space for a person or persons not working on the premises.**

D. Floor Area Distribution. At least 30 percent of the net floor area of a Live/Work Unit must be designated for work activities. An applicant shall submit a floor plan of all proposed units to the Planning Division to demonstrate compliance with this regulation.

- ✓ **Approximately 60% of the net floor area is designed for work activities. Each unit includes 4,594 SF of work area on the first floor and 3,122 SF of residential space on the second floor.**

E. Outdoor Living Area. Common or private on-site open space shall be provided for the use of occupants at a rate of at least 150 square feet per Live-Work Unit. This space may be attached to individual units or located on the roof or adjoining the building in a rear yard.

- ✓ **The outdoor living area is accommodated via three outdoor patios adjacent to the living unit on the second floor. The total square footage of the patios is 723 square feet.**

Bonus Intensity Zone Overlay

The purpose of the Bonus Intensity Zone (BIZ) Overlay District is to provide for variations from development standards to encourage unique, innovation developments of superior quality. To receive approval of a BIZ overlay, it must be demonstrated that the resulting development will further the goals and objectives of the General Plan, Specific Plans, Council policies, and will provide significant social or economic benefits to the City. This overlay district applies more frequently to individual projects which may consist of one or more building. Moreover, the purposes of the district are to:

- A. Encourage unique, innovative development of superior quality that utilizes sustainable development practices and promotes pedestrian activity.
- B. Allow for the establishment of unique land use regulations and development standards to achieve goals of the General Plan for the area.
- C. Promote development patterns that encourage conservation of natural resources and provide opportunities for renewable energy production.

The proposed live work development meets the purpose of the BIZ overlay district. It is a unique and innovative development of superior architectural quality. As previously discussed, this project complies with the General Plan Land Use designation of Employment.

The Live Work units comply with the City policies and objectives by incorporating the following:

- A creative solution to an unmet need in today’s unique economy.
- High quality architectural and site design to create a unique and more sustainable alternative to conventional development and comparable projects;
- Well designed and integrated buildings that are proportionate to the Property size;
- Pedestrian connections to the public pathways and nearby commercial uses;
- Consistency with the surrounding land use fabric;

The BIZ requested in this application is designed to establish the project’s quality design and to encourage a creative use on a challenging by-passed lot that will implement the General Plan objectives and purposes of Zoning Ordinance. The development standards for this BIZ Overlay are the same as those provided in the underlying LI Zoning District, with the exception of a few modifications shown in the table below.

Proposed BIZ Development Standards

Development Standard	MZO Required /Existing	BIZ Proposed
Accessory Outdoor Storage MZO Table 11-7-2, Footnote 5:	Accessory outdoor storage permitted only if confined to the rear one-half of the lot.	Outdoor storage permitted in front one-half of lots 2, 3 & 4
Lot require frontage on a public street MZO Section 11-30-6(H):	Every lot shall have frontage on a dedicated public street unless the lot is part of an approved Bonus Intensity Zone (BIZ).	Lots 1, 2, 3, & 4 without public frontage as part of the BIZ Overlay.
Minimum Site Area (acre) MZO Table 11-7-3:		
Lot 1	1 acre	0.3301 acre
Lot 2	1 acre	0.1893 acre
Lot 3	1 acre	0.1829 acre
Lot 4	1 acre	0.1678 acre
Minimum Lot Width (feet) MZO Table 11-7-3		
Lot 1	100 feet	97.29 feet
Lot 2	100 feet	65.00 feet
Lot 3	100 feet	65.00 feet
Lot 4	100 feet	63.33 feet
Setback of Cross Drive Aisles MZO Section 11-32-4.A	Parking spaces along main drive aisles connection directly to a street shall be set back at least 50 feet from the property line abutting the street	Parking spaces along main drive aisles connecting directly to a street shall be set back at least 30 feet, 3-inches from the property line abutting the street. (existing at Palm Street)

<p>Perimeter Landscape Required Landscape Yard Width (Non Group C-O-I) MZO Section 11-33-2(B)(2)(a)(ii), required landscape yard width: -North property line (overall site): -West property line (overall site)</p>	<p>15 feet 15 feet</p>	<p>5 feet, 2-inches with 2 feet vehicle overhang 0 feet (existing at NW corner) 4 feet 4-inches at parking</p>
<p>Perimeter Landscape MZO Section 11-33-2(B)(2)(c) -North Property line (overall site) – 3 non-deciduous trees and 20 shrubs per 100 linear feet of adjacent property line -West property line (overall site) – 3 non-deciduous trees and 20 shrubs per 100 linear feet of adjacent property line.</p>	<p>11 trees and 64 shrubs (~344 feet of adjacent property line) 10 trees and 65 shrubs (~324 feet of adjacent property line)</p>	<p>2 trees and 81 shrubs 12 trees and 32 shrubs (existing)</p>
<p>Perimeter Landscape Required Landscape Yard width (Group C-O-I) MZO Section 11-33-2(B)(2)(a)(i), required landscape yard width: -Common property line (Lot 2 & Lot 3) -Common property line (Lot 3 & Lot 4)</p>	<p>7 feet each property line 7 feet each property line</p>	<p>Minimum 5 feet each property line Minimum 5 feet each property line</p>

Justification for Modifications

As outlined in section 11-21-3 of the Zoning Ordinance, modification from development standards may be approved for project that 1) demonstrate superior quality designs and 2) meet certain site selection criteria.

As will be discussed in the next section of this narrative, the proposed development demonstrates superior, quality design. This site is also appropriate for BIZ overlay district given that it is a bypassed parcel within the Commons Industrial Park. The development of this parcel will complete the pattern of development in the Commons and contribute aesthetically to the surrounding area.

Other factors that merit approval of a BIZ Overlay include:

- The proposed use is compatible in size, type, and design with the surrounding land uses, as discussed previously in this narrative. Because the site is small, the proposed tasteful design makes the project suitable with respect to surrounding properties and will not pose any unreasonable effects.
- Building material and colors for the live work buildings will match those at the existing restaurant. All building facades have flat roofs, vertical articulation and trim detailing at the parapet. Each first-floor entrance has a glass entry door with a glass transom above.
- Safe and secure bicycle storage is provided within 200 yards of the building entrance and has convenient pedestrian access.

Special Use Permit

A Special Use Permit is required for Live Work units within the LI Zoning District. Per Section 11-70-5(E) of the Mesa Zoning Ordinance, four specific findings must be met in order for an SUP to be granted. The required findings are listed below.

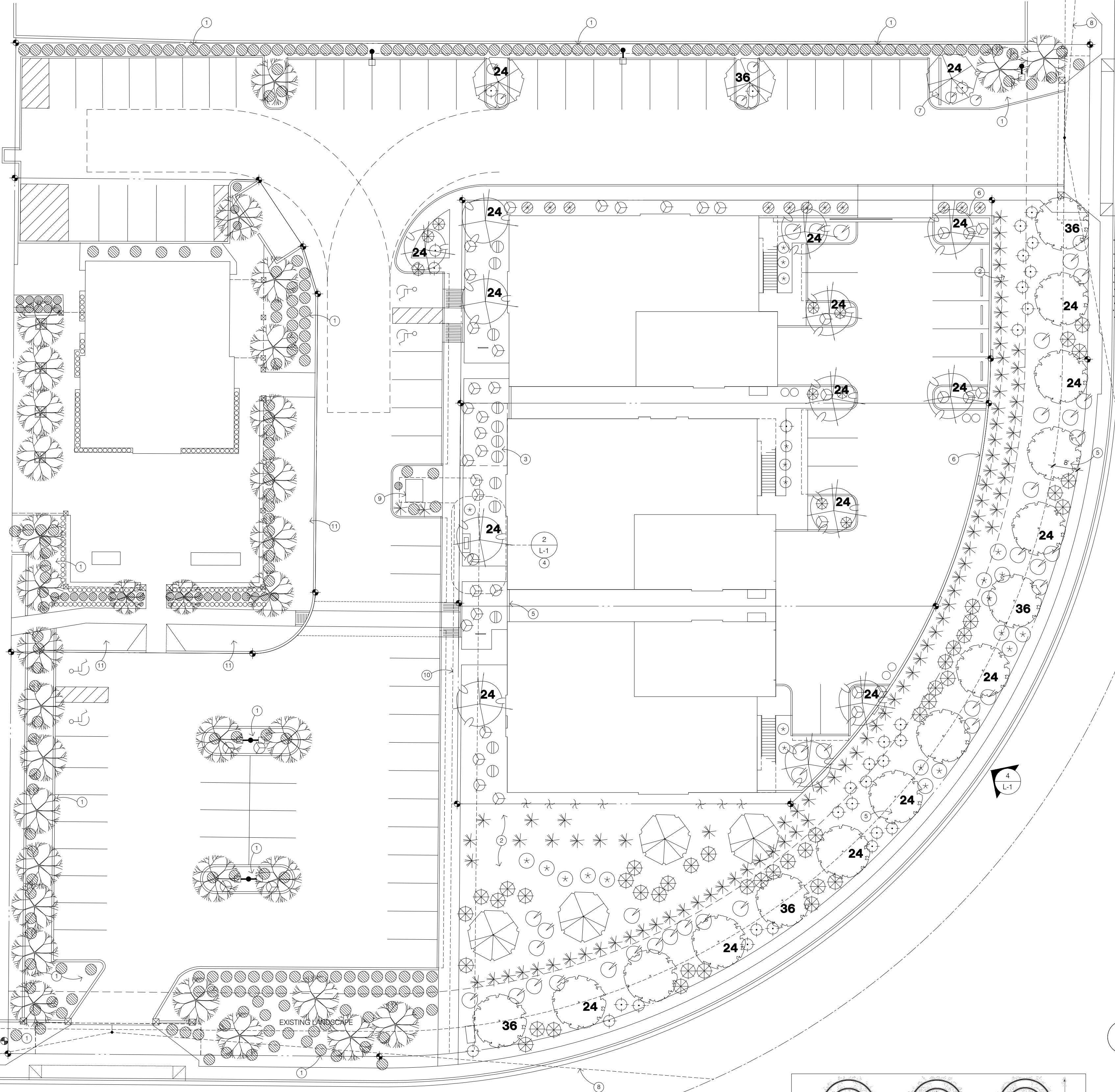
1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;

- ✓ **The proposed project is in compliance with the goals of the Employment area in the Mesa General Plan.**
- 2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any applicable City plan or policies;
- ✓ **The location, size, design and operating characteristics of the Live Work units are consistent with the purposes of the LI district and conform with the General Plan by providing employment to the area.**
- 3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or the general welfare of the City; and
- ✓ **The proposed project will be complementary to the adjacent properties and will not be injurious or detrimental to the neighborhood, the Commons Industrial park or the general welfare of the City.**
- 4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.
- ✓ **There are adequate public services to serve the proposed project.**

Conclusion

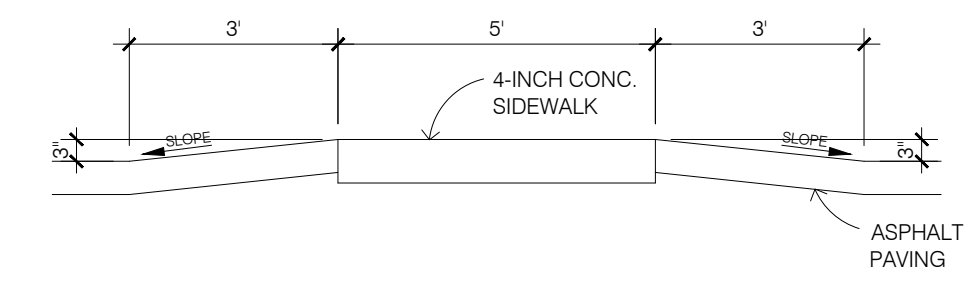
The proposed high-quality unique employment-based development will enhance the Commons Industrial Park and is compatible with the character of the overall development. Although Live / Work units are not typically considered in an industrial park, the Commons Industrial Park is not typical. The agreement between the Commons Industrial Park, the neighbors, and the City of Mesa ensured that the Commons developed in a way that is harmonious with residential. The applicants are looking forward to bringing this unique project to the City of Mesa and believe that it will offer an exceptional and sought-after option to business owners and executives who wish to have the accommodation of residential and work use within one space. Please note that the owners of ORC, LLC are longtime residents of Mesa that operate numerous businesses from their offices located at 2812 N. Norwalk St. which is located in the Commons Industrial Park. The “empty nester” owners have established semi-permanent seasonal residences in Seattle, Park City and a cattle ranch in New Mexico. This project will allow them to not relocate their businesses out-of-state and continue to operate their businesses here in Mesa. The convenience of seasonal lock-and-leave apartments at their business locations together with the proximity of the Board and Batten restaurant is crucial to their decisions to keep their businesses in Mesa.

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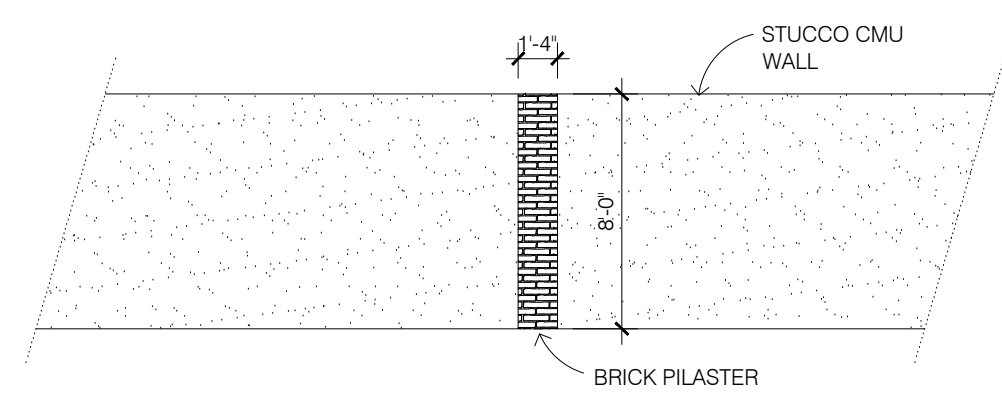


NORTH NORFOLK

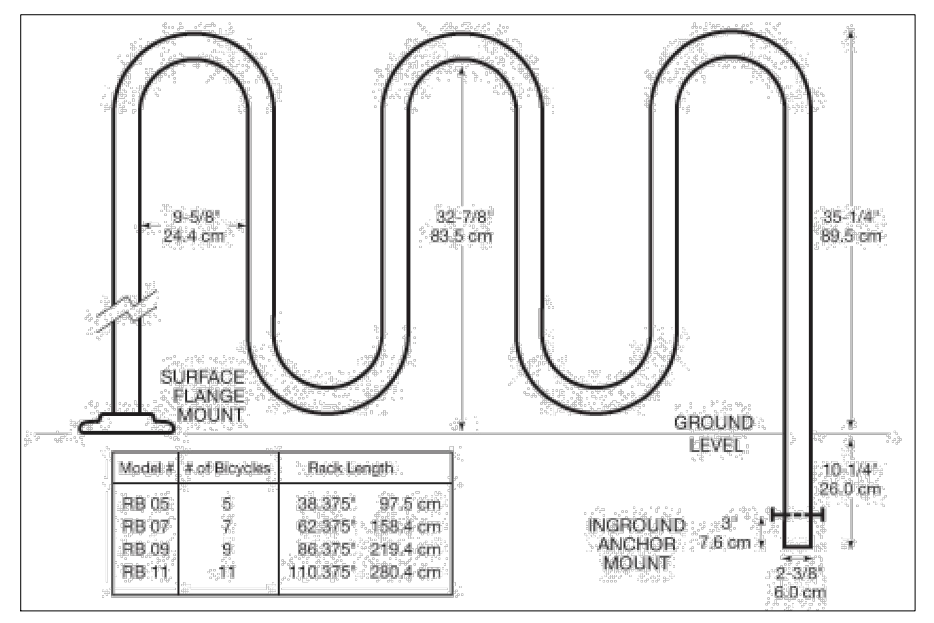
EAST PALM STREET



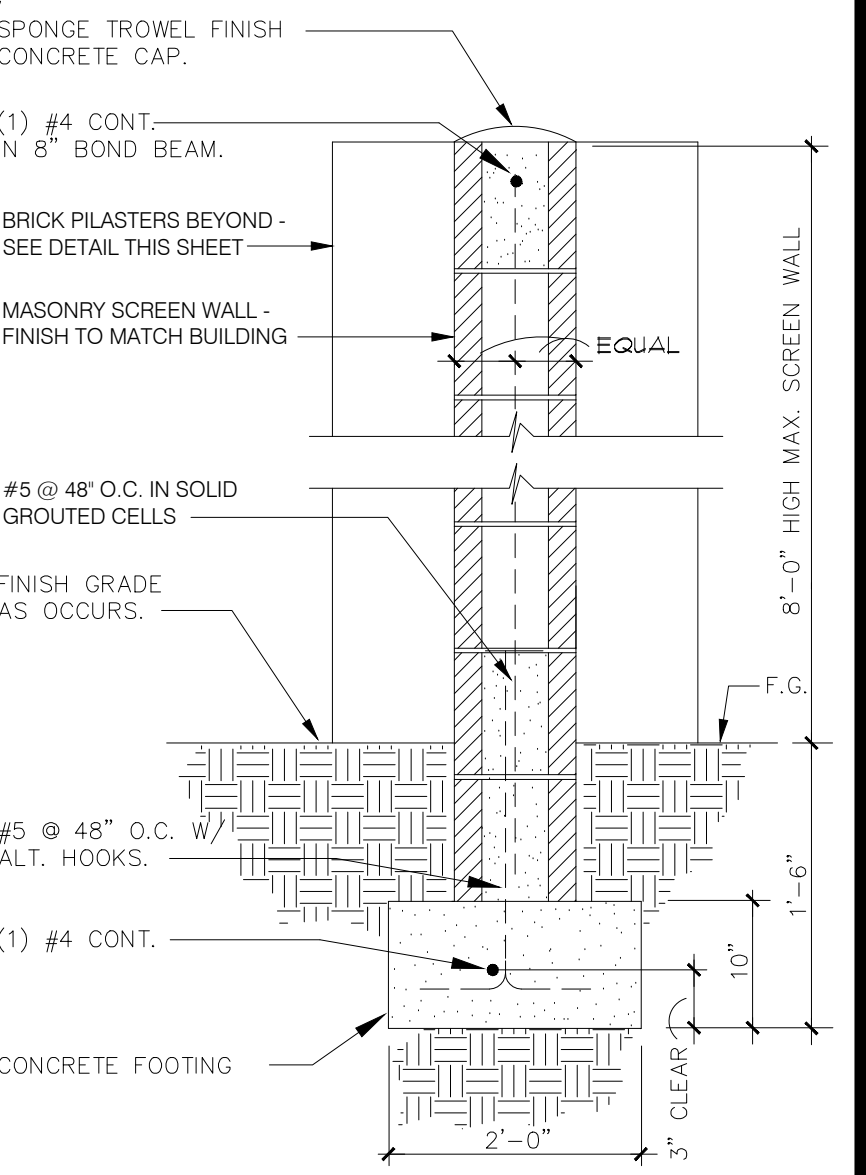
5 CROSSWALK DETAIL N.T.S.



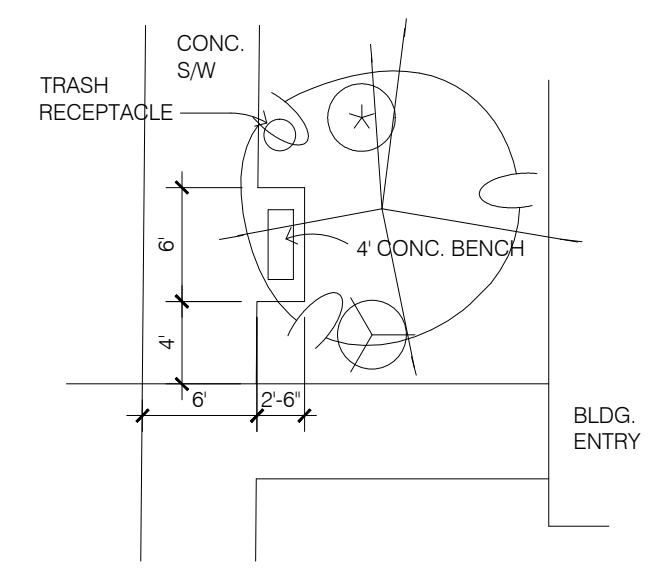
4 WALL DETAIL N.T.S.



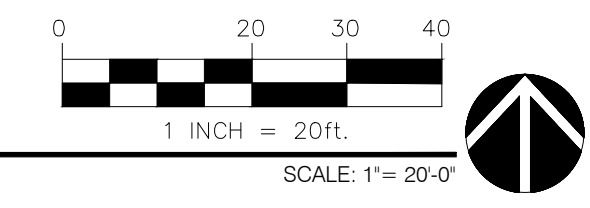
3 BIKE RACK DETAIL N.T.S.



1 SCREEN WALL DETAIL N.T.S.



2 ENLARGED AMENITY AREA SCALE: 1" = 10'-0"



PLANT LEGEND

SYMBOL:	COMMON NAME:	BOTANICAL NAME:	SIZE:	QNT:	AREA:	SUB TOTAL
TREES:						
[Tree Symbol]	FRUITLESS OLIVE	Olea Europaea Wilson'	36" box 24" box 15 gal	1 2 4	100 100 100	100 200 400
	LIVE OAK	Quercus Virgiana	24" box	11	100	1100
	CHINESE PISTACHE	Pistacia Chinesis	36" box 24" box 15 gal	4 8 3	100 100 100	400 800 300
SHRUBS:						
[Shrub Symbol]	LANGMANS SAGE	Leucophyllum Langmaniae Rio Bravo'	5 Gal.	39	25	975
[Shrub Symbol]	REGAL MIST	Mulenbergia Capillaris	5 Gal.	93	25	2375
[Shrub Symbol]	UPRIGHT ROSEMARY	Roosmarinus Officinalis Tuscan Blue'	5 Gal.	31	20	620
[Shrub Symbol]	NATAL PLUM	carissa macrocarpa boxwood beauty	5 Gal.	46	10	460
[Shrub Symbol]	SPARKY TECOMA	Tecoma x Sparky	5 Gal.	13	25	325
[Shrub Symbol]	AUTUMN SAGE	Salvia greggii	5 Gal.	11	10	110
GROUNDCOVERS & ACCENTS:						
[Groundcover Symbol]	GOLDEN MOUNDING LANTANA	Lantana Gold Mound'	1 Gal.	24	10	240
[Groundcover Symbol]	RED LANTANA	Lantana Dallas Red'	1 Gal.	52	10	520
[Groundcover Symbol]	RED YUCCA	Hesperaloe parvifolia	5 Gal.	7	25	175
					TOTAL	8,990
[Tree Symbol]	EXISTING TREE					
[Shrub Symbol]	EXISTING SHRUB - LARGE					
[Shrub Symbol]	EXISTING SHRUB - SMALL					

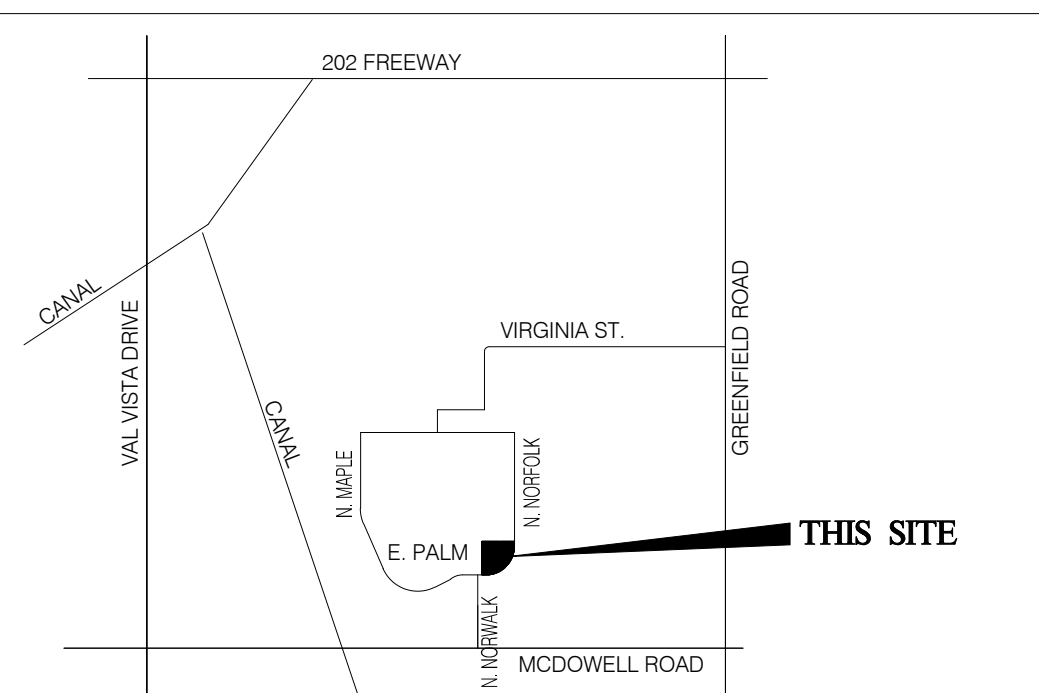
NOTES

- 1 EXISTING LANDSCAPE TO REMAIN
- 2 DECOMPOSED GRANITE - 3/4" EXPRESS ARMOR MIN. 2-INCH DEPTH
- 3 300 S.F. OF OPEN SPACE (15X20)
- 4 SEE ENLARGED AMENITY PLAN THIS SHEET.
- 5 8'-0" WIDE PUBLIC UTILITY EASEMENT
- 6 8'-0" CMU SCREEN WALL - SEE DETAIL THIS SHEET.
- 7 3'-0" CMU SCREEN WALL - SEE DETAIL THIS SHEET.
- 8 LINE OF SIGHT DISTANCE TRIANGLE. DENOTES AREA TO BE FREE OF OBSTRUCTIONS UP TO 8 FEET ABOVE THE SIDEWALK. DESIGN SPEED IS 30 MPH PER FIGURE 2-3 OF THE COM. ENGINEERING AND DESIGN STANDARDS.
- 9 REMOVE EXISTING LANDSCAPING AS NECESSARY TO MEET THIS REQUIREMENT.
- 10 ELECTRICAL TRANSFORMER.
- 11 ELECTRICAL EASEMENT.
- 12 EXISTING GRASS TO REMAIN.

LANDSCAPE CALCULATIONS

PERIMETER LANDSCAPING		
REQUIRED FRONTAGE: (PALM & NORFOLK)	448/25 = 18 TREES 18 X 6 = 108 SHRUBS	REQUIRED SIDE YARD: (WEST)
PROVIDED FRONTAGE: (PALM & NORFOLK)	21 TREES 15 (N) + 6 (E) 133 SHRUBS 103 (N) + 30 (E)	323/33 = 10 TREES 323/5 = 65 SHRUBS
REQUIRED REAR YARD: (NORTH)	343/33 = 11 TREES 343/5 = 69 SHRUBS	TOTAL NO. OF STREET TREES REQUIRED: 18
PROVIDED REAR YARD:	2 TREES 81 SHRUBS	18 X 25 = 5 TREES 18 X 50 = 9 TREES
		36' BOX PROVIDED: 8 (4 NEW + 4 EXISTING) 24' BOX PROVIDED: 9 (8 NEW + 1 EXISTING)
INTERIOR PARKING LOT LANDSCAPING		
LANDSCAPING REQUIRED:	1 TREE AND 3 SHRUBS	NUMBER OF ISLANDS: 10
LANDSCAPING PROVIDED:	1 TREE AND 3 SHRUBS	
36-INCH BOX REQUIRED:	10 X 10 = 1 TREE	
36-INCH BOX PROVIDED:	1 TREE	
24-INCH BOX REQUIRED:	BALANCE OF TOTAL = 9 TREES	
24-INCH BOX PROVIDED:	9 TREES (5 NEW & 4 EXISTING)	
FOUNDATION BASE LANDSCAPING		
PUBLIC ENTRANCE WIDTH REQUIRED:	15 FEET	
PUBLIC ENTRANCE WIDTH PROVIDED:	15 FEET	
PUBLIC ENTRANCE TREES REQUIRED:	164/50 = 4 TREES	
PUBLIC ENTRANCE TREES PROVIDED:	4 TREES	
OPEN SPACE LIVE MATERIAL		
REQUIRED LIVE PLANT MATERIAL IN OPEN SPACE:	10,420 S.F. x .50 = 5,210 S.F.	
PROVIDED LIVE PLANT MATERIAL IN OPEN SPACE:	8,990 S.F.	

VICINITY MAP



HITCHENS ASSOCIATES ARCHITECTS
 3126 N. LOS ALAMOS
 MESA, ARIZONA 85213
 TELEPHONE: 602-615-0204



REVISIONS

5-21-2024	city revisions
7-8-24	city revisions

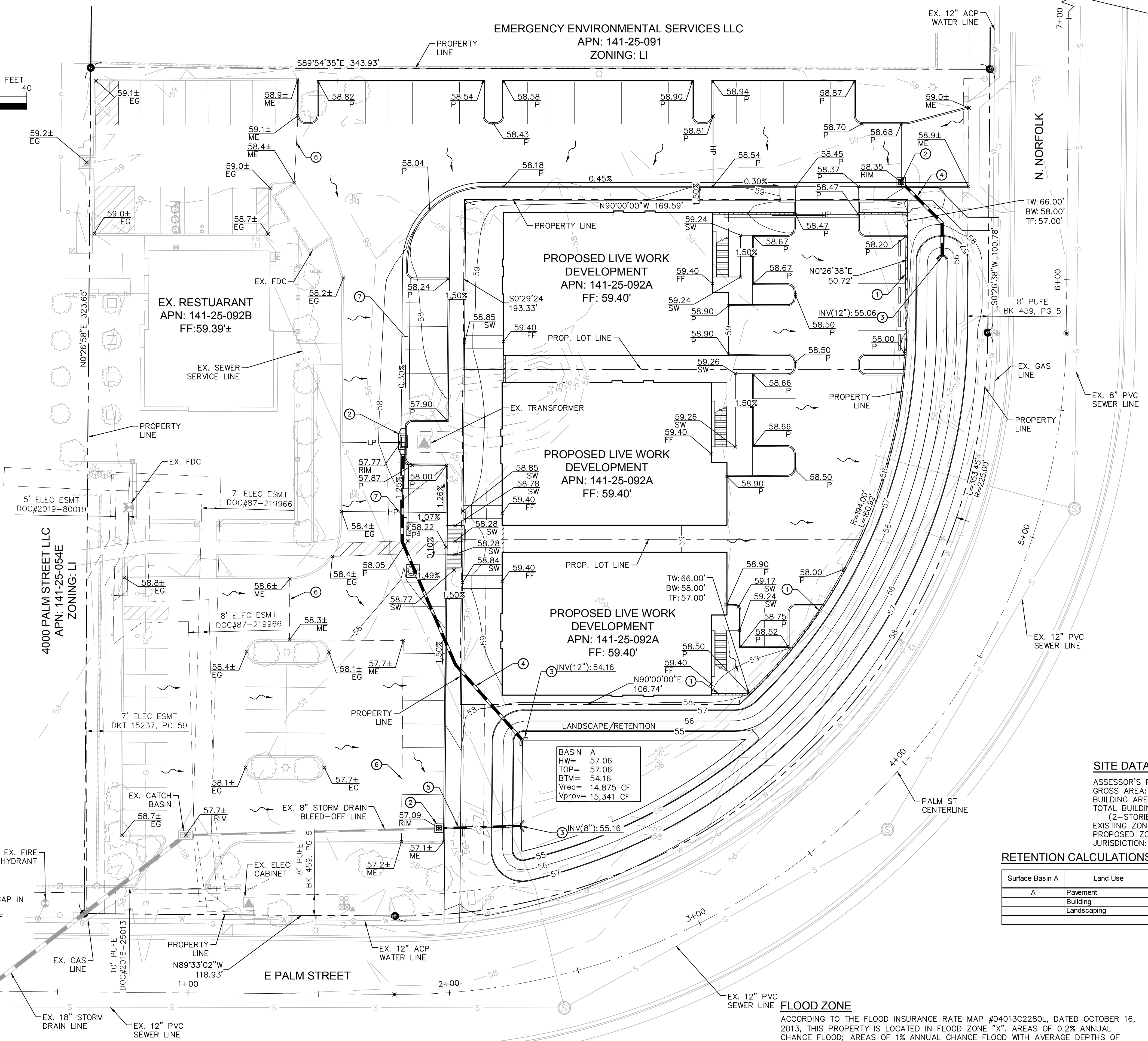
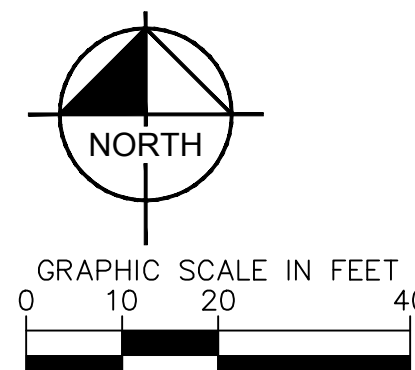
PROPOSED LIVE WORK DEVELOPMENT
 4024 E. PALM STREET
 MESA, ARIZONA

FINAL

PROJECT NO: 2210G
 DRAWN BY: GLH
 DATE: 3-29-2024

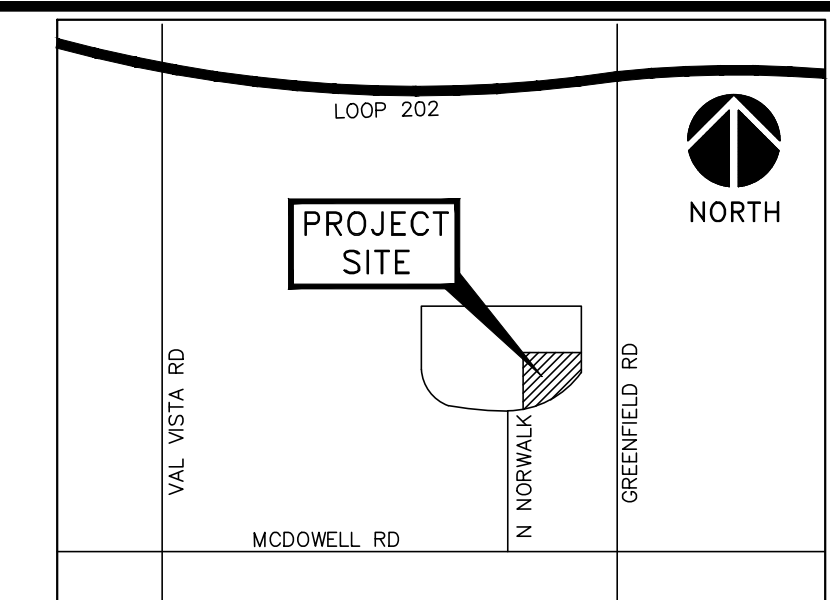
LANDSCAPE PLAN

L-1



LEGEND

---	EXISTING IMPROVEMENTS
---	PROPOSED IMPROVEMENTS
---	EXISTING EASEMENT
---	STREET CENTERLINE
---	PROPERTY LINE
F	EXISTING FIRELINE
W	EXISTING WATER MAIN/SERVICE
S	EXISTING SANITARY SEWER LINE
G	EXISTING GAS
E	EXISTING ELECTRIC
S	PROPOSED SANITARY SEWER LINE
F	PROPOSED FIRELINE
W	PROPOSED WATER SERVICE/SERVICE
X	EXISTING FENCE
IRR	EXISTING IRRIGATION LINE
O	PROPOSED FENCE
OE	
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN
HP	PROPOSED HIGH POINT
LP	PROPOSED LOW POINT
12	PROPOSED CONTOUR
2	EXISTING CONTOURS
85.00 P	PROPOSED PAVEMENT ELEVATION
85.00± EG	EXISTING PAVEMENT ELEVATION
M/E	MATCH EXISTING ELEVATION
G	GUTTER/GRATE ELEVATION
FG	FINISH GRADE ELEVATION
P	PAVEMENT ELEVATION
TC	TOP OF CURB ELEVATION
SW	SIDEWALK ELEVATION
FF	FINISHED FLOOR ELEVATION
G	GUTTER ELEVATION
→	FLOW ARROW



- ### PRELIMINARY GRADING AND DRAINAGE NOTES
- PROPOSED SITE WALL WITH WEEP HOLES. REFER TO DETAIL THIS SHEET.
 - PROPOSED CATCH BASIN.
 - PROPOSED HEADWALL. INVERT PER PLAN.
 - PROPOSED 12" HDPE STORM DRAIN PIPE.
 - PROPOSED 8" PVC STORM DRAIN PIPE.
 - MATCH LINE/SAWCUT LIMITS.
 - PROPOSED 3" WIDE VALLEY GUTTER.

SITE DATA:

ASSESSOR'S PARCEL NUMBER: 141-25-092A, 141-25-092B
 GROSS AREA: 2.31 ACRES (100,813 SF)
 BUILDING AREA: 13,578 SF
 TOTAL BUILDING AREA (2-STORIES EACH): 23,148 SF
 EXISTING ZONING: LI (LIGHT INDUSTRIAL)
 PROPOSED ZONING: LI (LIGHT INDUSTRIAL)
 JURISDICTION: CITY OF MESA, ARIZONA

RETENTION CALCULATIONS

Surface Basin A	Land Use	Runoff Coefficient	Drainage Area (ft ²)	Drainage Area (AC)	Required Volume (ft ³)	Required Volume (AC-ft)	Provided Volume (ft ³)	Provided Volume (AC-ft)
A	Pavement	0.95	72,477	1.66	12,336	0.28		
	Building	0.95	0	0.00	0	0.00		
	Landscaping	0.50	28,336	0.65	2,538	0.06		
	Total		100,813	2.31	14,875	0.34	15,341	0.35

- ### NOTES
- ADD 0.5' TO PAVEMENT (P) ELEVATIONS FOR TOP OF CURB ELEVATIONS FOR VERTICAL CURBS.
 - ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), GUTTER/GRATE (G), TOP OF CURB (TC), OR SIDEWALK (SW) ELEVATIONS UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL USE SPOT ELEVATIONS, PROPOSED CONTOURS, AND SLOPES TO ESTABLISH GRADES.
 - SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
 - REFER TO LANDSCAPE PLANS FOR SLOPE TREATMENT.
 - ALL FILL SLOPES SHALL BE COMPACTED TO 95% RELATIVE DENSITY.
 - REFER TO BUILDING ARCHITECTURE AND STRUCTURAL PLANS FOR EXACT BUILDING FOUNDATION THICKNESS CHANGES.
 - ADD 1300' TO ALL TWO-DIGIT ELEVATIONS.

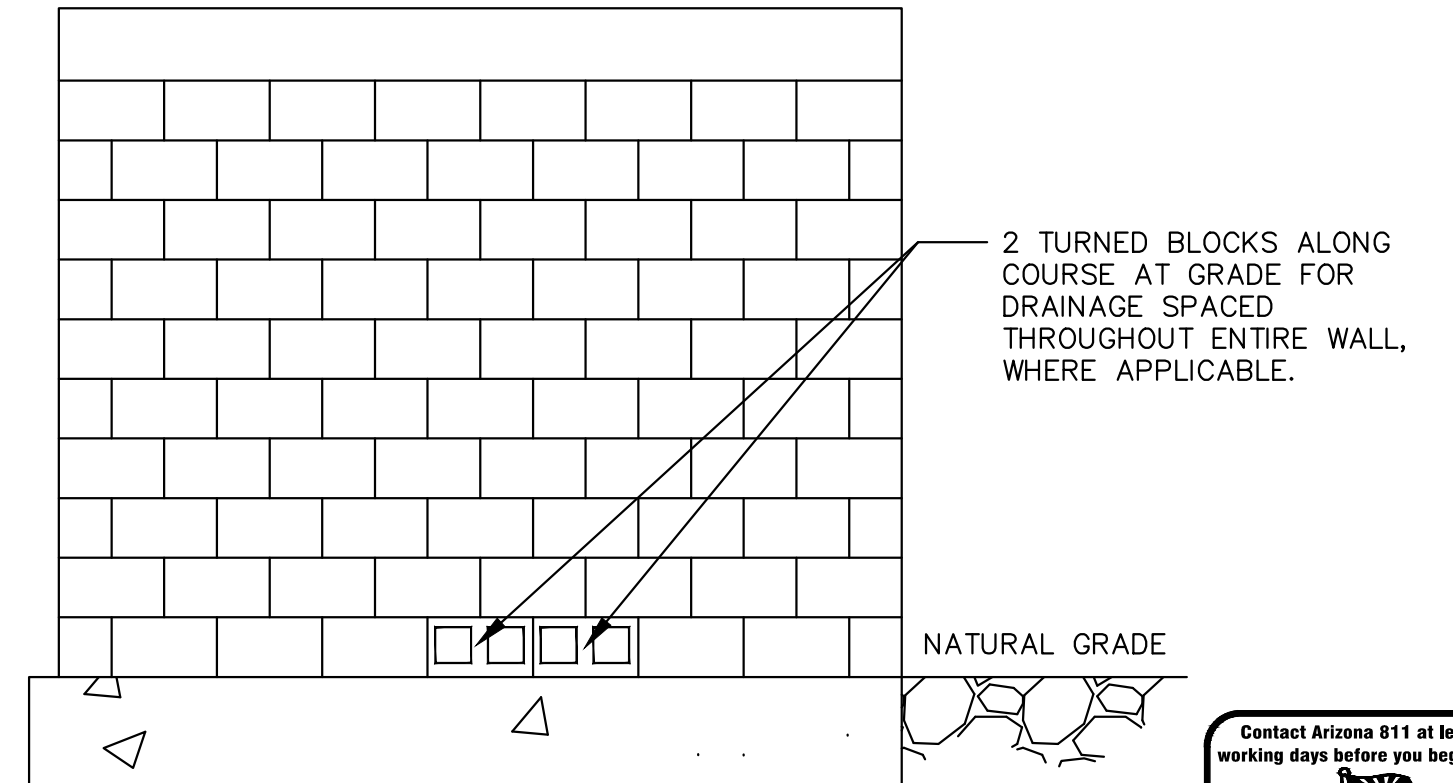
DRAINAGE STATEMENT:

THE SITE IS LOCATED IN FLOOD ZONE 'X' ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 04013C2280L, DATED OCTOBER 16, 2013. THERE ARE NO OFFSITE FLOWS THAT AFFECT THIS SITE.

THE SITE WILL PROVIDE A RETENTION BASIN SIZED TO HANDLE THE 100-YEAR 2-HOUR STORM EVENT FOR THE STONEBRIDGE LIVE WORK UNITS DEVELOPMENT THAT HAVE PROPOSED FINISH FLOORS OF 59.40'. THERE IS AN EXISTING RETENTION BASIN WITH AN 8" STORM DRAIN BLEED-OFF LINE THAT RUNS WEST AND CONNECTS TO EXISTING CITY STORM INFRASTRUCTURE IN PALM STREET. HAS AN INVERT OF 55.16' LOCATED ON THE WEST SIDE OF THE BASIN. AS PART OF THIS DEVELOPMENT, THE EXISTING BASIN WILL BE UPSIZED TO SERVICE THE NEW REQUIRED 100-YEAR 2-HOUR RUNOFF VOLUME OF 14,875 CF AND THE EXISTING 8" BLEED-OFF WILL BE UTILIZED. THE BOTTOM OF THE NEW BASIN HAS AN ELEVATION OF 54.16, A TOP ELEVATION OF 57.06', AND A HIGH-WATER ELEVATION OF 57.06' WITH A TOTAL PROVIDED VOLUME OF 15,341 CF. IT IS PROPOSED THAT THE BOTTOM 12 INCHES OF THE BASIN WILL SELF PERCOLATE WITHOUT THE USE OF DRYWELLS, HOWEVER FURTHER PERCOLATION TESTS ARE REQUIRED TO VERIFY THAT THE SOIL CONDITIONS SUPPORT THIS DESIGN. IF IT IS DETERMINED THAT THE PERCOLATION RATES ARE TOO LOW, A DRYWELL MAY BE REQUIRED TO SUPPLEMENT PERCOLATION.

FLOOD ZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2280L, DATED OCTOBER 16, 2013, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.



NO.
REVISION
BY
DATE
APPR.

Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 7740 North 16th Street, Suite 300
 Phoenix, Arizona 85020 (602) 944-5500

4024 E. PALM STREET MESA, ARIZONA 85215
 STONEBRIDGE LIVE WORK UNITS
 PRELIMINARY GRADING AND
 DRAINAGE PLAN

SCALE (H): NONE
 SCALE (V): 1"=20'
 DESIGNED BY: JCB
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 05/28/2024

Registered Professional Engineer (Civil)
 67407
 JEFFREY C. BOYD
 License No. 007284
 ARIZONA U.S.A.
 Exp. Date: 09/30/24

PROJECT NO.
091331022

DRAWING NAME
C1

1 OF 1

This drawing is the property of Hitchens Associates and unauthorized reproduction is prohibited under the Copyright Act. Hitchens Associates is not responsible for any errors or omissions in this drawing. The drawing shall not be used for construction unless properly signed and sealed by the Architect. No alteration or reproduction shall be made without written authorization from Hitchens Associates Architects. The Contractor shall check and verify all dimensions and report any discrepancies to the Architect prior to construction; no red line drawing.



WEST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

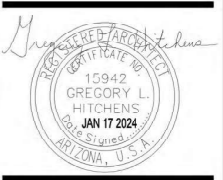
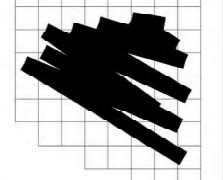
NOTES

- ROOF DOWNSPOUTS WILL BE INTERVALIZED.

FACADE MATERIAL CALCULATIONS									
SYMBOL	MATERIAL	WEST ELEVATION		SOUTH ELEVATION		NORTH ELEVATION		EAST ELEVATION	
		AREA	PERCENT	AREA	PERCENT	AREA	PERCENT	AREA	PERCENT
(1)	STUCCO	279 SF	21	987 SF	50	549 SF	27	553 SF	43
(2)	METAL SIDING	317 SF	25	188 SF	9	389 SF	19	261 SF	19
(3)	USED BRICK	386 SF	31	441 SF	24	456 SF	22		
(4)	WINDOWS/STOREFRONT DOORS	238 SF	18	379 SF	14	604 SF	29	393 SF	18
(5)	METAL	62 SF	5	70 SF	3	61 SF	3	40 SF	3
(6)	OVERHEAD DOOR							224 SF	17
		1281 SF	100	1973 SF	100	2246 SF	100	1281 SF	100

MATERIAL/COLOR SCHEDULE:	
(1) STUCCO	COLOR: WHITE
(2) HORIZONTAL METAL SIDING	AEP SPAN PRESTIGE SERIES METAL SIDING COLOR: OLD TOWN GRAY
(3) USED BRICK	COLORADO STONE SPECIAL USED BRICK COLOR: WHITE
(4) ALUMINUM WINDOWS/STOREFRONT	COLOR: BLACK
(5) METAL CAP FLASHING	COLOR: BLACK
(6) STUCCO	COLOR: BLACK
(7) MANDOOR/OVERHEAD DOOR	COLOR: MATCH OLD TOWN GRAY
(8) METAL CAP	COLOR: BLACK
(9)	

HITCHENS ASSOCIATES
ARCHITECTS
 3126 N. LOS ALAMOS
 MESA, ARIZONA 85215
 TELEPHONE:
 602-615-0214

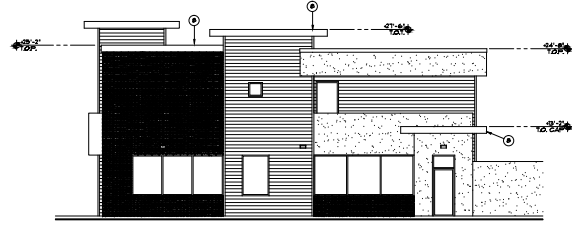


REVISIONS

PROPOSED
 LIVE WORK DEVELOPMENT
 4024 E. PALM STREET
 MESA, ARIZONA

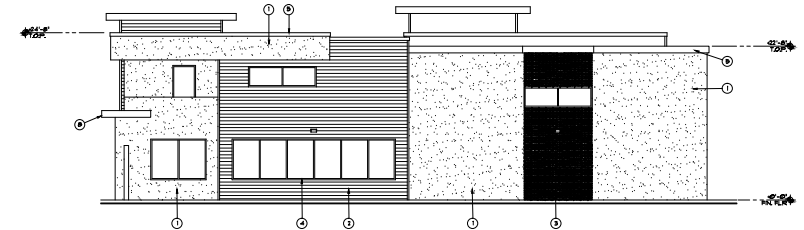
PROJECT NO: 22106
 DRAWN BY: GU1
 DATE: 1-17-2024

The drawings shall be the property of the Architect and shall remain the confidential property of the Architect. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Contractor shall obtain and pay for all necessary permits for construction of the building prior to construction and shall be responsible for the same.



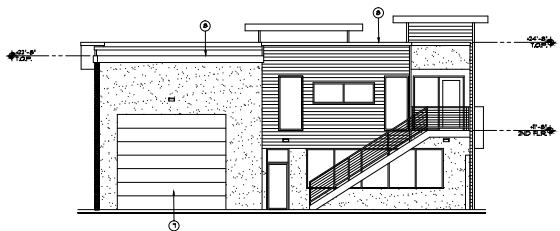
WEST ELEVATION

SCALE: 3/8" = 1'-0"



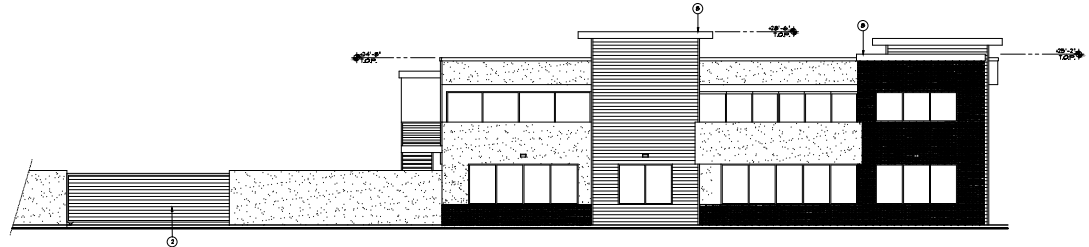
SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



EAST ELEVATION

SCALE: 3/8" = 1'-0"



NORTH ELEVATION

SCALE: 3/8" = 1'-0"

NOTES

1. SEE DIMENSIONS ON ALL ELEVATIONS.

ITEM	WEST ELEVATION		SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION	
	AREA	PERCENT	AREA	PERCENT	AREA	PERCENT	AREA	PERCENT
1. BRICK	1150	11	1800	18	1200	12	1200	12
2. STUCCO	8700	85	8700	85	8700	85	8700	85
3. METAL CAP FLASHING	100	1	100	1	100	1	100	1
4. ALUMINUM WINDOW/DOOR FINISH	100	1	100	1	100	1	100	1
5. METAL CAP FLASHING	100	1	100	1	100	1	100	1
6. BRICK	100	1	100	1	100	1	100	1
7. HORIZONTAL METAL SIDING	100	1	100	1	100	1	100	1
8. METAL CAP FLASHING	100	1	100	1	100	1	100	1
9. BRICK	100	1	100	1	100	1	100	1
10. HORIZONTAL METAL SIDING	100	1	100	1	100	1	100	1
11. METAL CAP FLASHING	100	1	100	1	100	1	100	1
12. METAL CAP FLASHING	100	1	100	1	100	1	100	1
13. METAL CAP FLASHING	100	1	100	1	100	1	100	1
14. METAL CAP FLASHING	100	1	100	1	100	1	100	1
15. METAL CAP FLASHING	100	1	100	1	100	1	100	1
16. METAL CAP FLASHING	100	1	100	1	100	1	100	1
17. METAL CAP FLASHING	100	1	100	1	100	1	100	1
18. METAL CAP FLASHING	100	1	100	1	100	1	100	1
19. METAL CAP FLASHING	100	1	100	1	100	1	100	1
20. METAL CAP FLASHING	100	1	100	1	100	1	100	1

MATERIAL/COLOR SCHEDULE	
① BRICK	COLOR: WHITE
② HORIZONTAL METAL SIDING	USE SPAN PRESTIGE SERIES METAL SIDING COLOR: OLD TOWN GRAY
③ USED BRICK	COLOR: SPECIAL USED BRICK COLOR: WHITE
④ ALUMINUM WINDOW/DOOR FINISH	COLOR: BLACK
⑤ METAL CAP FLASHING	COLOR: BLACK
⑥ BRICK	COLOR: BLACK
⑦ HORIZONTAL METAL SIDING	COLOR: MATCH OLD TOWN GRAY
⑧ METAL CAP FLASHING	COLOR: BLACK
⑨	

HITCHENS ASSOCIATES ARCHITECTS
 306 N. LOS ALAMOS
 MESA, ARIZONA 85201
 TELEPHONE: 602-885-0284

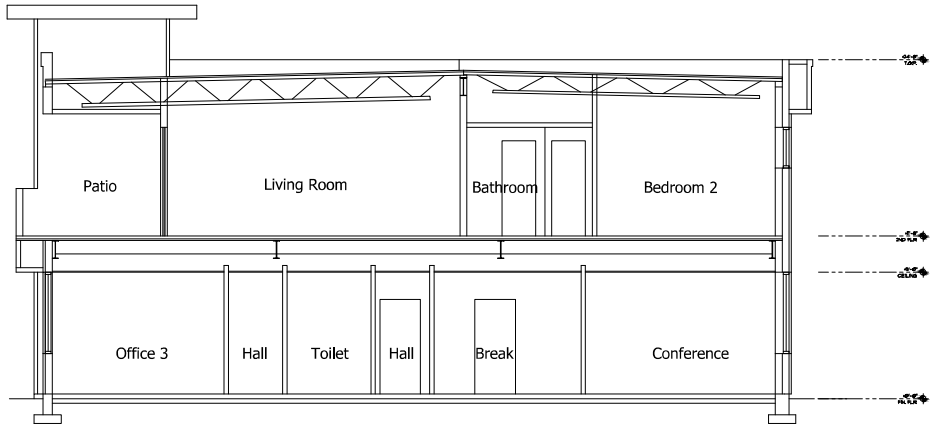
REVISIONS

PROPOSED
 LIVE WORK DEVELOPMENT
 4024 E. PALM STREET
 MESA, ARIZONA

PROJECT NO: 22106
 DRAWING NO: 01P
 DATE: 3-29-2004

ELEVATIONS
A-2

This drawing is the property of the Architect and is to be used only for the project and site specified. It is not to be used for any other project or site without the written consent of the Architect. The Contractor shall obtain all necessary permits, licenses, and approvals from the appropriate authorities. The Architect shall not be responsible for any errors or omissions in this drawing, nor shall the Architect be held liable for any damages, claims, or lawsuits arising from the use of this drawing.



SECTION A-A

SCALE: 3/8" = 1'-0"

**HITCHENS ASSOCIATES
ARCHITECTS**
 306 N. LOS ALAMOS
MESA, ARIZONA 85201
 TELEPHONE
602-837-0284



REVISIONS

PROPOSED
 LIVE WORK DEVELOPMENT
 4024 E. PALM STREET
 MESA, ARIZONA

PROJECT NO: 221 016
 DRAWN BY: GJH
 DATE: 3-29-2004

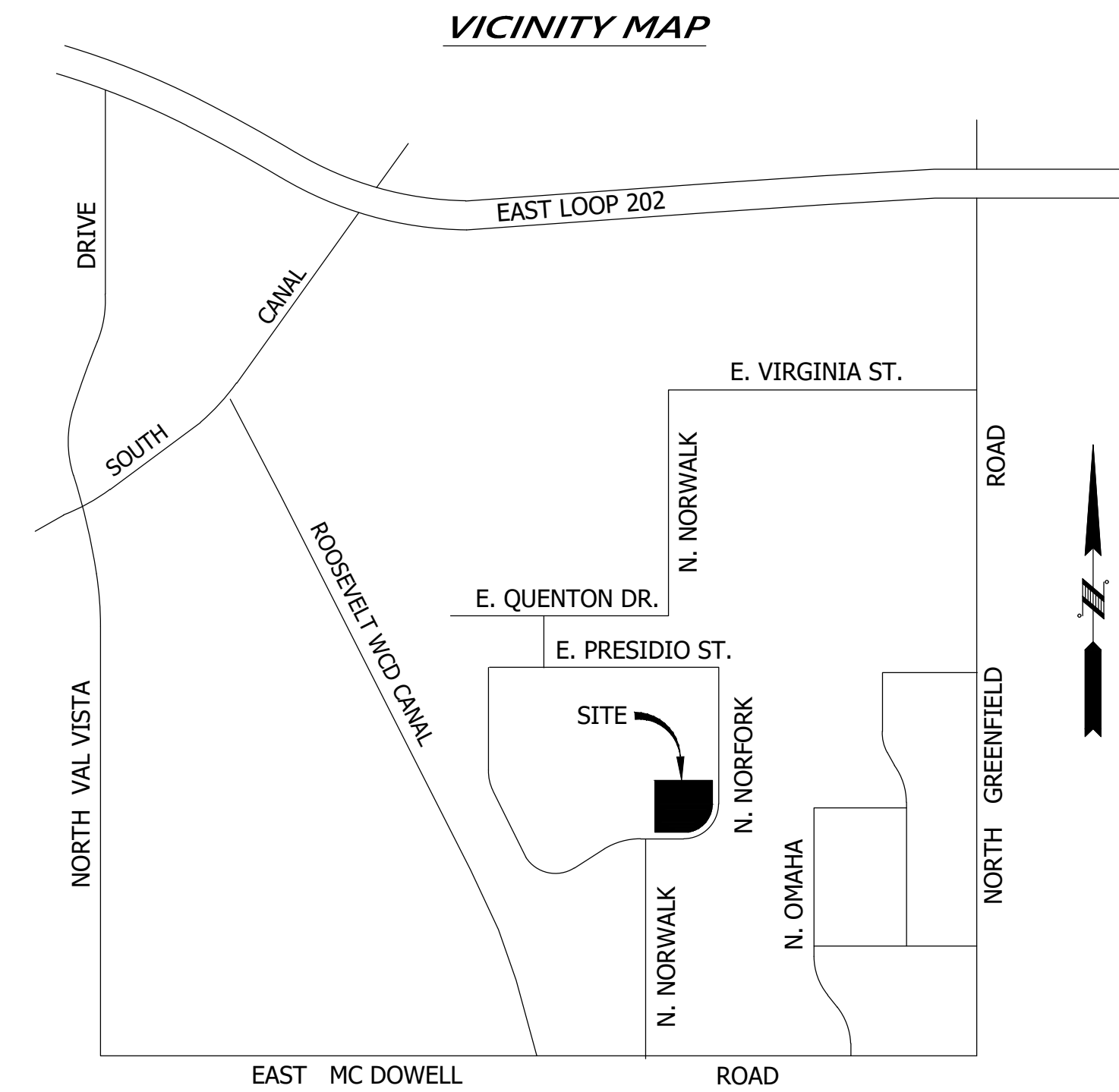
**SECTION
A-3**





PRELIMINARY PLAT OF STONEBRIDGE COURT

A RESUBDIVISION OF LOT 13, OF THE COMMONS INDUSTRIAL PARK AT FALCON VIEW UNIT 2, ACCORDING TO THE PLAT OF RECORD IN BOOK 459 OF MAPS, PAGE 5, RECORDS OF MARICOPA COUNTY, ARIZONA AND LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 33, T2N, R6E, G.&S.R.B.M., MARICOPA COUNTY, ARIZONA



OWNER & DEVELOPER

Michael Mills, Manager
4024 Palm Street LLC
4024 E. Palm Street
Mesa, AZ 85215
480-861-3679
mjmill963@gmail.com

Mark Reeb, Manager
ORC, LLC
2812 N. Norwalk St., Ste 105
Mesa, AZ 85215
480-898-9090
markreeb@reebgroup.com

SURVEYOR

Thomas Rope, RLS
Land Survey Services, PLC
20651 W. Pasadena Ave
Buckeye, AZ 85396
Phone (602) 703-7010
landsurveyservices@cox.net

ZONING

Zoned LI-PAD-BIZ by the City of Mesa

BASIS OF BEARINGS

The Basis of Bearings shown hereon is the monument line of North Norfolk, being South 00° 26' 38" West as taken from the plat of this subdivision.

FLOOD ZONE

This property lies in Flood Zone X-Shaded (areas of 0.2% annual chance of flood; areas of 1% annual chance of flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood) according to FIRM 04013C2280L as published by FEMA on October 16, 2013.

CERTIFICATION

I, Thomas L. Rope, hereby certify that the plat as shown hereon was prepared under my direct supervision during the month of May, 2024; That the survey is true and complete as shown; That the survey is mathematically correct; That all monuments shown actually exist or will be set as shown within one year of recordation; That their positions are correctly shown and that said monuments are sufficient to enable the survey to be retraced.

NOTES

1. This survey is based upon a title commitment prepared by Pioneer Title Agency, Inc., File No. 76509153-065-SBM, dated March 19, 2021.
2. The Surveyor has relied on said title commitment to disclose all matters of record affecting the subject property. The Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other matters that may affect the property.
3. Construction within easements, except by public agencies and utility companies, shall be limited to utilities, and wood, wire, or removable section type fencing.
4. This development is located within the City of Mesa Water Service Area and has been certified as having an assured water supply.
5. All new or relocated utilities will be placed underground.
6. © Copyright 2024. These drawings are an instrument of service and are the property of Land Survey Services, PLC. No reproduction or use of design concepts are allowed without written permission of Land Survey Services, PLC. Any violation of this copyright shall be subject to legal action.

PROJECT DESCRIPTION

The proposed development in addition to the existing restaurant will include three 2-story buildings, each on their parcel. The first floor of the new buildings will be used as office space and the second floor will be livable area. The local school district is Mesa Public Schools. Utilities on site include City of Mesa for water, sewer, police, fire, and waste disposal. The property is in SRP's electric supply service area. Maintenance responsibilities will be by a private ownership association.

FINAL



Drawn By:	Thomas Rope
Date:	MAY 2024
Job No.:	21033
Sheet No.:	1 of 2

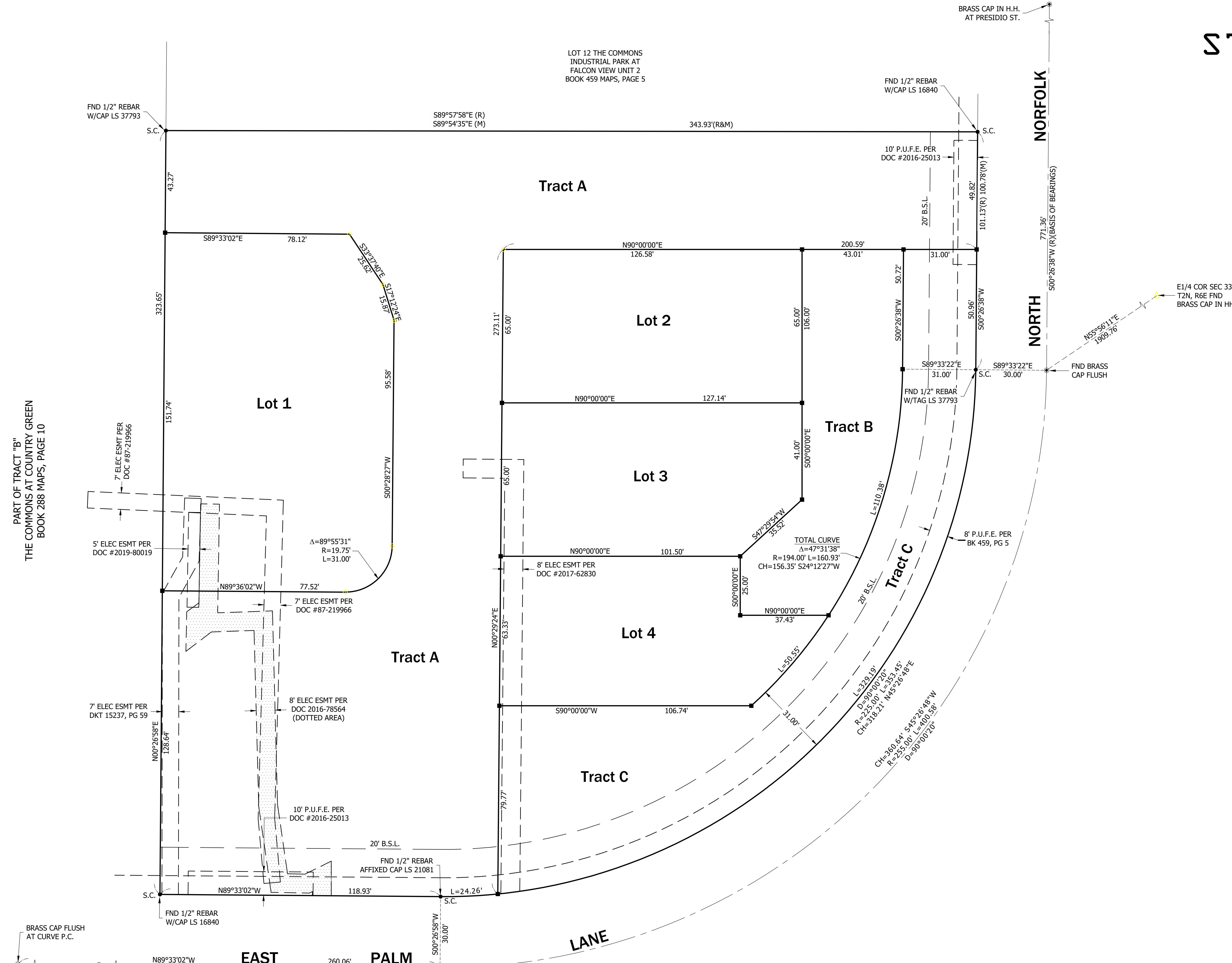
Land Survey Services PLC

20651 W. PASADENA AVENUE
BUCKEYE, AZ 85396-1255
PHONE NO. 602.703.7010
LANDSURVEYSERVICES@COX.NET

PRELIMINARY PLAT OF STONEBRIDGE COURT

LOT 12 THE COMMONS
INDUSTRIAL PARK AT
FALCON VIEW UNIT 2
BOOK 459 MAPS, PAGE 5

PART OF TRACT "B"
THE COMMONS AT COUNTRY GREEN
BOOK 288 MAPS, PAGE 10

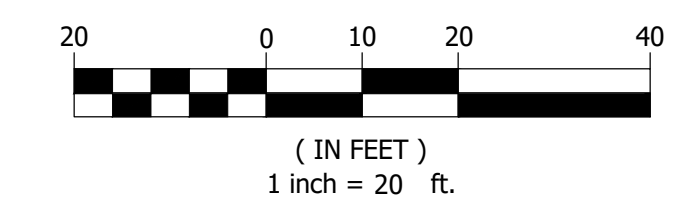
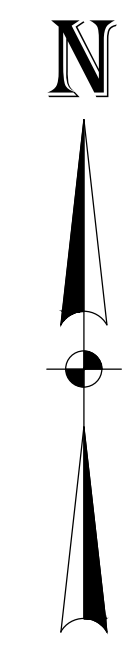


LEGEND

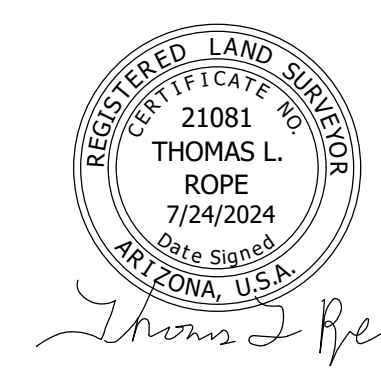
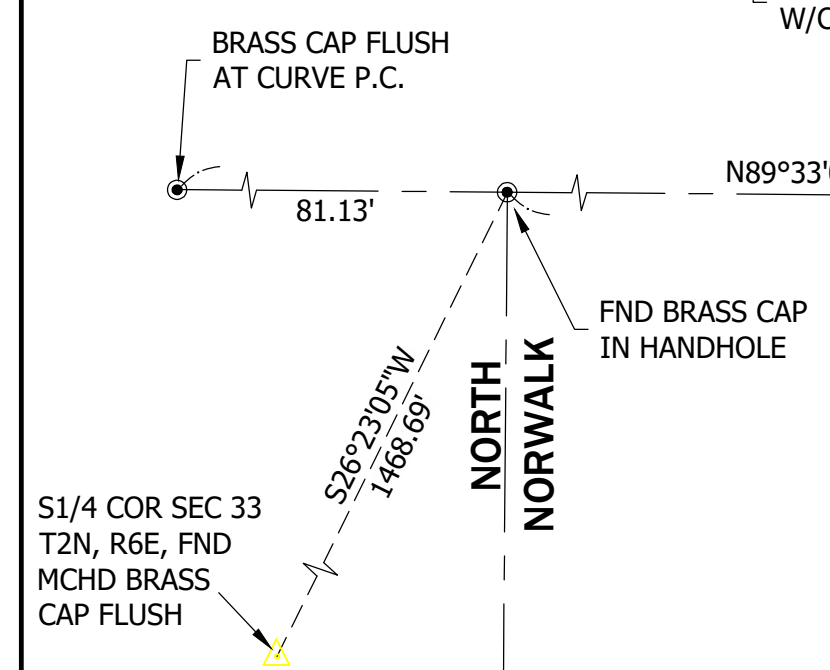
- S.C. SUBDIVISION CORNER FOUND OR SET AS NOTED
- SUBDIVISION LINE
- SET 1/2" REBAR WITH CAP LS 21081 (UNLESS NOTED OTHERWISE)
- ◆ SET PK NAIL W/TAG LS 21081
- BRASS CAP FLUSH
- MONUMENT AS NOTED
- (M) MEASURED
- (R) RECORD
- P.U.F.E. PUBLIC UTILITIES & FACILITIES ESMT
- BLDG SETBACK LINE (B.S.L.)
- PROPERTY LINE
- - - EASEMENT LINE

AREAS

LOT 1	14,381 S.F.	0.3301 AC.
LOT 2	8,246 S.F.	0.1893 AC.
LOT 3	7,968 S.F.	0.1829 AC.
LOT 4	7,308 S.F.	0.1678 AC.
TRACT A	42,062 S.F.	0.9656 AC.
TRACT B	6,517 S.F.	0.1496 AC.
TRACT C	14,338 S.F.	0.3292 AC.
TOTAL	100,819 S.F.	2.3145 AC.



FINAL



Drawn By: Thomas Rope
Date: MAY 2024
Job No.: 21033
Sheet No.: 2 of 2

Land Survey Services PLC
20651 W. PASADENA AVENUE
BUCKEYE, AZ 85396-1255
PHONE NO. 602.703.7010
LANDSURVEYSERVICES@GDX.NET

CITIZEN PARTICIPATION PLAN

STONEBRIDGE – LIVE WORK

4024 E. PALM STREET

Purpose:

The purpose of this Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts to be made by the applicant to inform citizens and property owners in the vicinity concerning the applicant's requests to the City of Mesa for Site Plan Review, SUP, SCIP, and DRB. These requests are for the proposed Live/Work development on the approximately 2.3 acres located at 4024 E. Palm Street, which is within the Commons Industrial Park on McDowell Road just east of Greenfield Road. The Property is further identified on the Maricopa County Assessor's Map as parcel numbers 141-25-092 & 141-25-092A.

By providing opportunities for citizen participation, the applicant will ensure that those affected by this application have had an adequate opportunity to learn about and comment on the proposed plan. The applicant will provide neighborhood notice for a neighborhood meeting and future public hearings.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Sean B. Lake

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
Sean.Lake@pewandlake.com

Sarah Prince

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
sarah.fitzgerald@pewandlake.com

Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. A contact list provided by the City of Mesa will be developed for citizens and agencies in this area including:
 - a. All property owners within 1000+ feet from parent parcel, but may include more;
 - b. Registered neighborhood associations within 1 mile of the subject property and Homeowners Associations within 1/2 mile of the project (lists provided by the City).
2. A neighborhood meeting will be held by the applicant to provide the opportunity for members of the public to discuss the proposed project. An attendance/participation list

and a summary of the meeting will be included with this application and submitted to the City.

3. The notification list for the neighborhood meeting will include the above-referenced contact list of all property owners within 1000+ ft. of the subject property, HOAs within 1/2 mile, and neighborhood associations within 1 mile (The HOAs and registered neighborhood contact lists provided by the City of Mesa). A copy of the notification letter for the neighborhood meeting and contact list will be submitted to the City.
4. Those who provide contact information to the applicant will be added to the public hearing notification list. A meeting summary and outline of the comments and issues provided to the applicant will be submitted to the City Staff along with the Citizen Participation Report for this case.
5. For public hearing notice, applicant will comply with City requirements, which requires posting a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Proposed Schedule:

Pre-Submittal	April 17, 2023
Formal Submittal	January 15, 2024
Neighborhood Meeting	TBD
Follow up Submittals	TBD
Public Hearings	<i>TBD</i>

CITIZEN PARTICIPATION REPORT

STONEBRIDGE – LIVE WORK

4024 E. PALM STREET

Purpose:

The purpose of this Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the applicant to inform citizens and property owners in the vicinity concerning the applicant's requests to the City of Mesa for Site Plan Review, SUP, BIZ, and DRB. These requests are for the proposed Live/Work development on the approximately 2.3 acres located at 4024 E. Palm Street, which is within the Commons Industrial Park on McDowell Road just east of Greenfield Road. The Property is further identified on the Maricopa County Assessor's Map as parcel numbers 141-25-092 & 141-25-092A.

By providing opportunities for citizen participation, the applicant has ensure that those affected by this application have had an adequate opportunity to learn about and comment on the proposed plan. The applicant provided neighborhood notice for a neighborhood meeting and future public hearings.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Sean B. Lake

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
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(480) 461-4670 (office)
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Sarah Prince

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Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
sarah.fitzgerald@pewandlake.com

Action Plan:

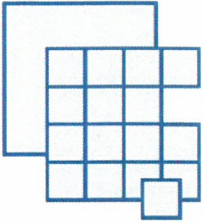
To provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. A contact list provided by the City of Mesa was developed for citizens and agencies in this area including:
 - a. All property owners within 1000+ feet from parent parcel, but may include more;
 - b. Registered neighborhood associations within 1 mile of the subject property and Homeowners Associations within 1/2 mile of the project (lists provided by the City).

2. A neighborhood meeting was held by the applicant to provide the opportunity for members of the public to discuss the proposed project. An attendance/participation list and a summary of the meeting is included with this application and submitted to the City.
3. The notification list for the neighborhood meeting will include the above-referenced contact list of all property owners within 1000+ ft. of the subject property, HOAs within ½ mile, and neighborhood associations within 1 mile (The HOAs and registered neighborhood contact lists provided by the City of Mesa). A copy of the notification letter for the neighborhood meeting and contact list has been submitted to the City.
4. Those who provide contact information to the applicant will be added to the public hearing notification list. A meeting summary and outline of the comments and issues provided to the applicant will be submitted to the City Staff along with the Citizen Participation Report for this case.
5. For public hearing notice, applicant complied with City requirements, which requires posting a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) was submitted to the Planning Staff to be kept in the case file.

Proposed Schedule:

Pre-Submittal	April 17, 2023
Formal Submittal	February 5, 2024
Neighborhood Meeting	April 2, 2024
Follow up Submittal	April 10, 2024
Follow up Submittal	<i>June 14, 2024</i>
Design Review Board	<i>August 13, 2024</i>
Planning and Zoning Meeting	<i>August 28, 2024</i>



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

March 14, 2024

NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor,

Together with our client, ORC LLC, we are pleased to invite you to participate in a neighborhood meeting for the property located at 4024 E. Palm Street. Specifically, our requests to the City of Mesa are for Site Plan Review, Special Use Permit, Design Review and Substantial Conformance Improvement Permit applications. The proposed development are live/work units within the Commons Industrial Park.

Our project team has set up an in-person meeting where we will present the project and provide more information.

Date:	April 2, 2024
Time:	6:00 p.m.
Location:	Reeb Group 2812 N Norwalk Suite 105 Mesa, AZ, 85215

Should you have any questions, please contact me or Sarah Prince in my office by email at sean.lake@pewandlake.com or sarah.prince@pewandlake.com or by phone at 480-461-4670. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,

Sean B. Lake
PEW & LAKE, PLC

Stonebridge Live/Work Neighborhood Meeting

April 2, 2024

6:00 pm

2812 N. Norwalk Suite 105 Mesa, AZ 85215

Hosts:

Sean B. Lake, Sarah Prince – Pew & Lake PLC

Mark Reeb – Owner

Greg Hitchens – Architect

Charlotte Bridges – City of Mesa

Number of Neighbors in attendance: 2

Summary:

Mr. Lake started the meeting at 6:05 pm by providing the neighbors with an overview of the site and renderings. Mr. Lake explained the entitlement process and the purpose of the meeting. The neighbors did not have any questions but expressed their support of the project and explained that they thought it was a very nice design.

The meeting ending around 6:20 pm. Mr. Lake and Mr. Reeb provided their contact information to the neighbors and explained that they would receive public hearing information once the project was placed on a agenda.

Neighborhood Meeting
Sign-In Sheet

Applicant:
Pew & Lake, PLC/ ORC, LLC/Reeb

Property Location:
4024 E Palm Street

Date:
April 2nd 2024

Meeting Location:
Reeb Group
2812 N. Norwalk Suite 105 Mesa, AZ 85215

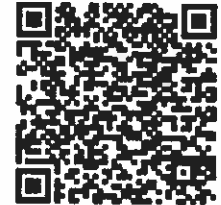
Time:
6:00 PM

Case:

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Cade Lortie	3954 E. Oasis Circle	85210	thelortiecompany@gmail.com	480-510-1512
2	Alejandra Lortie	3954 E Oasis Circle	85210	ca alejandramurch@gmail.com	5072731543
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys



W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

NOTICE OF PLANNING AND ZONING BOARD HEARING

Dear Neighbor,

We have applied for Rezoning, Site Plan Review, and Special Use Permit for the property located within the 4000 block of East Palm (north side) and within the 2900 to 3100 blocks of North Norfolk (west side). This request is for development of Live/Work units. The case number assigned to this project is ZON24-00101.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me or Sarah Prince at 480-461-4670 or e-mail us at sean.lake@pewandlake.com / sarah.prince@pewandlake.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on August 28, 2024 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Charlotte Bridges of their Planning Division staff. She can be reached at 480-644-6712 or charlotte.bridges@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Sean B. Lake
Pew & Lake, PLC.

ENCLOSURES

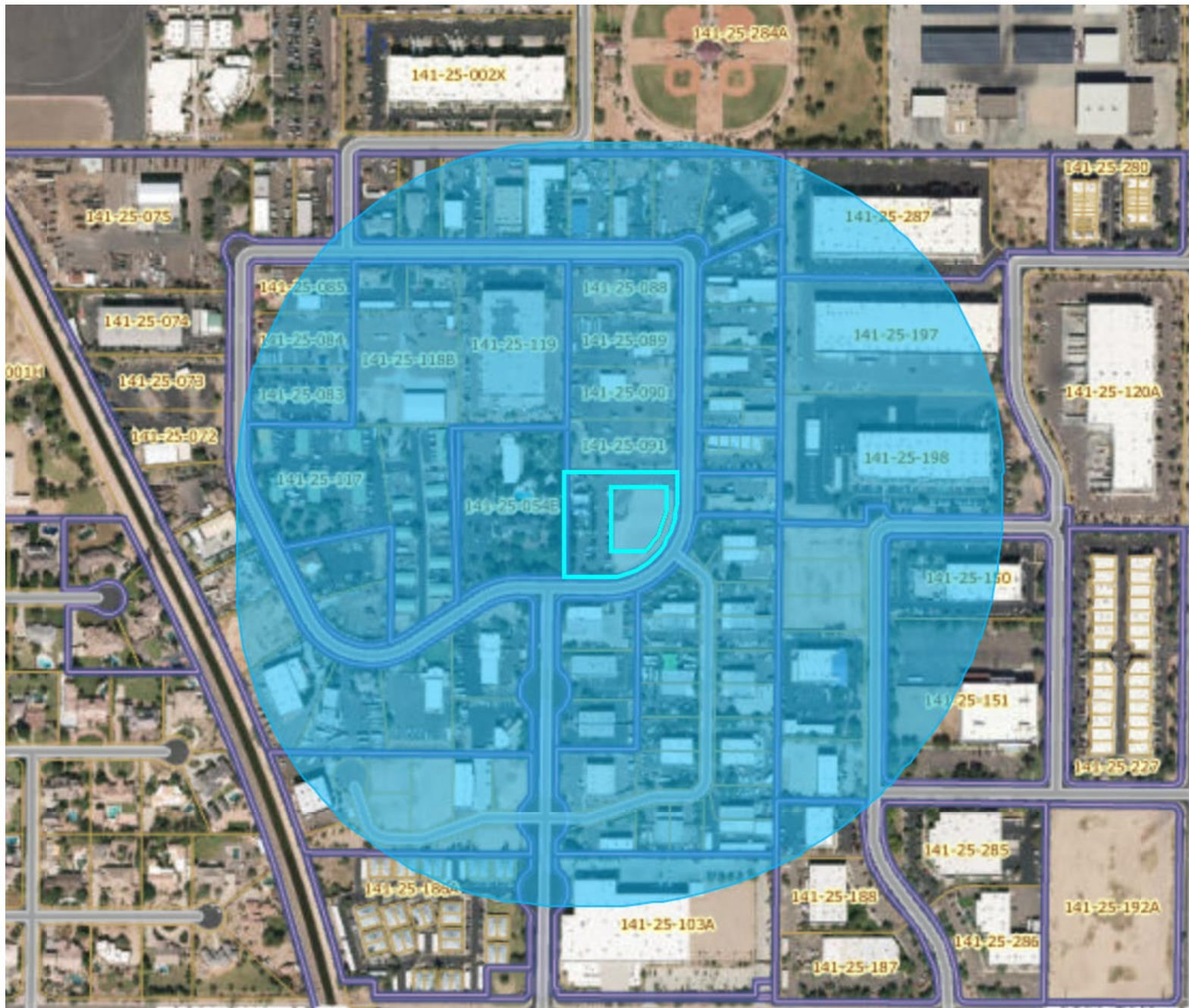
View From Northeast



View from southwest



ZON24-00101 1,000 FEET NOTIFICATION MAP



2812 NORTH NORWALK LLC
360 S SMITH RD STE 211
TEMPE, AZ 85281

2950 N NORFOLK LLC
4955 E MCKELLIPS RD
MESA, AZ 85215

3041 N NORFLOK SUITE 101 LLC
2251 N 32ND ST UNIT 8
MESA, AZ 85213

4000 PALM STREET LLC
4000 E PALM ST
MESA, AZ 85215

4024 PALM STREET LLC
4000 E PALM ST
MESA, AZ 85215

6886 PROPERTIES LLC
4025 E PRESIDIO
MESA, AZ 85201

ALLIED FIRE PROPERTIES LLC
2845 N NORFOLK
MESA, AZ 85215

AMERICAN SHOTCRETE
CONSTRUCTION INC
120 E LEHI RD
MESA, AZ 85201

AMNKGN HOLDINGS LLC
1243 N LOMA VIS
MESA, AZ 85210

APPEL HOLDINGS LLC
3045 N NORFOLK
MESA, AZ 85215

ASH TRESSA A ESTATE OF
2812 N NORWALK ST STE 105
MESA, AZ 85215

AT PROPERTIES PRESIDIO LLC/TRH
ETAL
PO BOX 15342
SCOTTSDALE, AZ 85267

BALLANTYNE OMAHA 2848 LLC
2848 N OMAHA
MESA, AZ 85215

BLUE WATER GROUP LLC
3062 N MAPLE ST
MESA, AZ 85215

CANCERIAN PROPERTIES LLC
926 E KNOLL ST
MESA, AZ 85203

CARUFEL PROPERTIES V LLC
6532 E RUSTIC DR
MESA, AZ 85215

CBM PRESIDIO LLC
PO BOX 21689
MESA, AZ 85277

City of Mesa Development Services
Department ATTN: Charlotte Bridges
PO Box 1466
Mesa, AZ 85211-1466

CJP PROPERTY LLC
2621 E ODESSA CIR
MESA, AZ 85213

COMMERCE COURT II AT THE COMMONS
PROPERTY OWNERS ASSOCIATION
2812 N NORWALK STE 105
MESA, AZ 85215

COMMONS BUILDING I LLC
PO BOX 21835
MESA, AZ 85277

COMMONS BUILDING II LLC
PO BOX 21835
MESA, AZ 85277

COMMONS BUILDING III LLC
4020 E OASIS ST STE 1
MESA, AZ 85215

COMMONS INDUST PK @FALCON
VIEW UN 4 P O ASSOC
2812 N NORWALK 105
MESA, AZ 85215

COMMONS INDUSTRIAL PARK AT
FALCON VIEW ASSOC
2812 N NORWALK 105
MESA, AZ 85215

Councilmember Mark Freeman
PO Box 1466
Mesa, AZ 85211-1466

COURT AT THE COMMONS PROPERTY
OWNERS ASSOC
2812 N NORWALK 105
MESA, AZ 85215

DANDI VILLAGE PROPERTIES LLC
PO BOX 22273
MESA, AZ 85277

DANDI VILLAGE PROPERTIES LLC
3114 S 98TH ST
MESA, AZ 85212

DANDI VILLAGE PROPERTIES LLC
3935 E PALM ST
MESA, AZ 85215

NORWALK HOLDINGS LLC
2812 N NORWALK 101
MESA, AZ 85215

NORWALK HOLDINGS LLC
2812 N NORWALK STE 101
MESA, AZ 85215

ONE NATION FAMILY LLC
905 W STANFORD AVE
GILBERT, AZ 85233

ORC LLC
2812 N NORWALK STE 105
MESA, AZ 85215

OX ENTERPRISES LLC
1455 E MAGNUM RD
QUEEN CREEK, AZ 85140

PEGASUS MESA OWNER LLC
8888 E RAIN TREE DR 155
SCOTTSDALE, AZ 85260

PRESIDIO 4049 LLC
4049 E PRESIDIO ST STE 101
MESA, AZ 85215

RAINES BRYAN G/MORRIS JANE L
2155 E NORWOOD ST
MESA, AZ 85213

RANGLAND HOLDINGS I LLC
2812 N NORWALK STE 105
MESA, AZ 85215

RBS INVESTMENTS LLC
5123 E CALLE DEL NORTE
PHOENIX, AZ 85018

REAL ESTATE HOLDINGS GROUP LLC
32531 N SCOTTSDALE RD STE 105
SCOTTSDALE, AZ 85266

REEB CAPITAL I LLC
2812 N NORWALK STE 105
MESA, AZ 85215

REEB HAROLD H
2812 N NORWALK STE 105
MESA, AZ 85215

RICHARD CRAIG ONEALL AND JANICE G
ONEALL REVOCABLE LIVING TRUST
5355 W LONESOME HAWK DR
PRESCOTT, AZ 86304

RJS AND SONS DEVELOPMENT LLC
2335 N HIGLEY RD
MESA, AZ 85215

RWI CONSTRUCTION SERVICES INC
455 W HOLMES AVE
MESA, AZ 85210

SCHAEFER GERALD J/DORO JANE M
2480 W GREGORY ST
APACHE JUNCTION, AZ 85220

SHAPECUT INC
4036 E PRESIDIO ST
MESA, AZ 85215

SOUND EFFECTS LLC
1743 S HORNE STE 100
MESA, AZ 85204

STEPHEN JAVINETT LIVING TRUST
12826 E SUMMIT DR
SCOTTSDALE, AZ 85259

TIPPETTS NORWALK PROPERTY LLC
1837 N ROSEMONT
MESA, AZ 85205

VOSSLAER MICHAEL G/JOCELYN F
4134 E PRESIDIO ST
MESA, AZ 85215

WAGNER BROTHERS PROPERTIES
LLC
2925 N NORWALK ST
MESA, AZ 85215

WAX PROPERTIES LTD
PO BOX 23506
SAN DIEGO, CA 92193

WENNERSTEN I LLC
PO BOX 20820
MESA, AZ 85277

WIERZGACZ WAYNE
3655 E HALIFAX CIR
MESA, AZ 85205

WIERZGACZ WAYNE E
3655 E HALIFAX CIR
MESA, AZ 85205

DEVELOPMENT SERVICES OF
AMERICA INC
16100 N 71ST ST 520
SCOTTSDALE, AZ 85254

DOWNSIDE RISK INVESTMENTS LLC
PO BOX 50243
IDAHO FALLS, ID 83405

EMBREY SHARON
269 N DEEP SPRING RD
ORANGE, CA 92869

EMERGENCY ENVIRONMENTAL
SERVICES LLC
563 E JUANITA AVE
MESA, AZ 85204

FINDINGKING BUILDING LLC
3007 N NORFOLK ST
MESA, AZ 85215

GEISER GROUP LLC
4040 E MCLELLAN RD 6
MESA, AZ 85205

GPO NORTH OAKLAND II LLC
260 FRANKLIN ST 1900
BOSTON, MA 02110

GPO NORTH OAKLAND LLC
260 FRANKLIN ST 1900
BOSTON, MA 02110

GURR THOMAS J/ANITA L TR
1060 MARIPOSA DR
DURANGO, CO 81303

IMPALA LLC
2339 N VAL VISTA DR
MESA, AZ 85213

INDUSTRIAL TEK PROPERTIES LLC
1635 N ROSEMONT
MESA, AZ 85205

J & H PLUMBING LLC
4616 E SOUTHERN AVE
MESA, AZ 85206

JCJ PROPERTIES LLC
2708 E PEGASUS ST
GILBERT, AZ 85234

JESPERSEN TODD
PO BOX 20972
MESA, AZ 85277

JESPERSEN TODD L
PO BOX 20972
MESA, AZ 85277

JHJ OMAHA LLC
PO BOX 7043
CAVE CREEK, AZ 85237

JP PROPERTIES LLC
PO BOX 21779
MESA, AZ 85277

KAHL TERRILL HOWARD TR
2863 N NORWALK STE 101
MESA, AZ 85215

Katie Brown
PO Box 1466
Mesa, AZ 85211-1466

KENNETH ALLAN STOUT AND
CYNTHIA LYNN STOUT TR
3138 E LOS ALTOS CT
GILBERT, AZ 85297

KGN LLC
4245 E PALM ST
MESA, AZ 85215

KGN LLC
134 E BROADWAY 102
MESA, AZ 85210

KRE22 LLC
4022 E PRESIDIO ST
MESA, AZ 85215

LAND SB&G LLC
219 S WILLIAM DILLARD DR STE 131
GILBERT, AZ 85233

LOREN HUISSH TRUST
3553 E DOWNING CIR
MESA, AZ 85213

LORTIE JOCE
11101 E RENFIELD AVE
MESA, AZ 85212

MESA CITY OF
20 E MAIN ST STE 650
MESA, AZ 85211

MONOGRAM AEROSPACE FASTENERS INC
4250 E OASIS ST
MESA, AZ 85215

MTV INVESTMENTS LLC
2840 N. NORWALK
MESA, AZ 85215-1126

NORWALK COMMONS LLC
3106 E HERMOSA VISTA DR
MESA, AZ 85213

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date:


I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # , on . The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

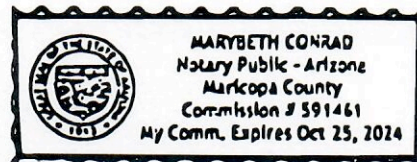
Applicant's/Representative's signature: _____



SUBSCRIBED AND SWORN before me on



Notary Public



CITY OF MESA
PUBLIC NOTICE

ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 P.M. DATE: August 28, 2024

CASE: ZON24-00101

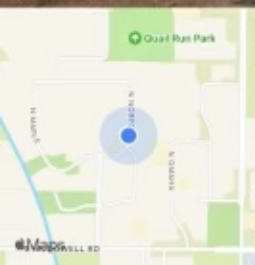
Request: Rezone from Light Industrial with a Planned Area Development Overlay (LI-PAD) to Light Industrial with a Planned Area Development Overlay and a Bonus Intensity Zone Overlay (LI-PAD-BIZ), Site Plan Review; and Special Use Permit. This request will allow the development of Live/Work Units.

APPLICANT: Pew & Lake, PLC

PHONE: 480-461-4670

Planning Division 480-644-2385

Posting date: 8/09/2024



August 9, 2024 at 5:50 AM

+33.470749,-111.741078

3000-3048 N Norfolk

Mesa AZ 85215

United States

The drawings are the property of the Architect or a Hitchens Associates registered professional engineer. All drawings are prepared under the supervision of the Architect. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Architect shall not be held responsible for any errors or omissions in the drawings.



Photo - 1



Photo - 2



Photo - 3

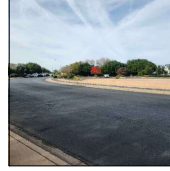


Photo - 4

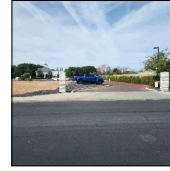


Photo - 5



Photo - 6



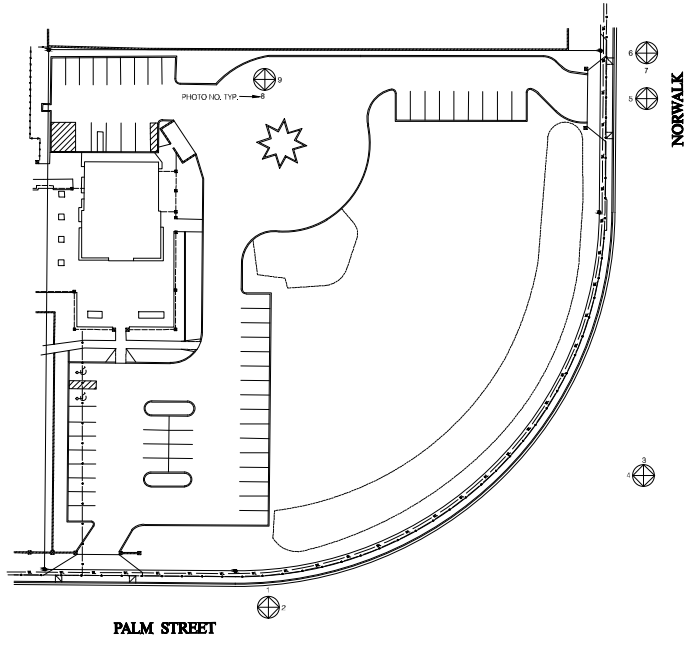
Photo - 7



Photo - 8



Photo - 9



SITE CONTEXT PLAN

NTA

HITCHENS ASSOCIATES
ARCHITECTS
 306 N. LOS ALAMOS
 MESA, ARIZONA 85205
 TELEPHONE
 602-88-0084



REVISIONS

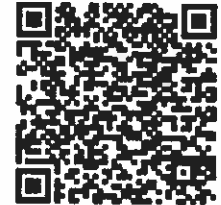
PROPOSED
 LIVE WORK DEVELOPMENT
 4024 E. PALM STREET
 MESA, ARIZONA

PROJECT NO: 22106
 DRAWN BY: GJH
 DATE: 1-17-2024

SITE
CONTEXT
PLAN
SC.1



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys



W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

NOTICE OF PLANNING AND ZONING BOARD HEARING

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Sincerely,

Sean B. Lake
Pew & Lake, PLC.

ENCLOSURES

View From Northeast



View from southwest

