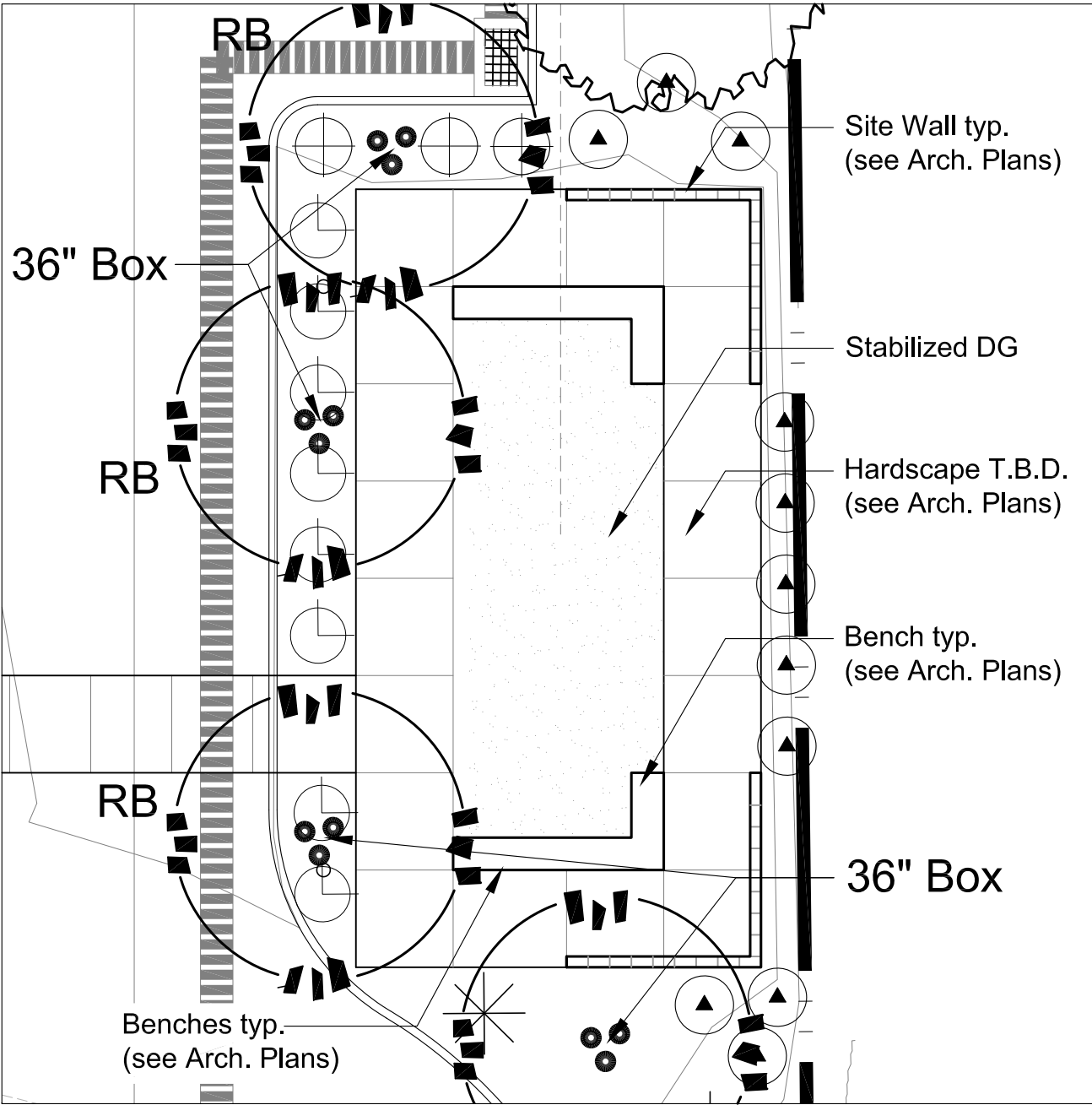


AMENITY NODE LEGEND

	Stabilized Decomposed Granite
	1/4" Minus Rock Pros Rose
	3" Minimum Thickness with 95% Compaction

	TREES		SHRUBS	
LOCATION	REQUIRED	FURNISHED	REQUIRED	FURNISHED
NORTH 674'-0"				
NORTH PERIMETER				
3 TREE / PER 100 L.F.T.	20	03		
20 SHRUBS / PER 100 L.F.T.			130	24
EAST 1114'-0"				
EAST PERIMETER				
3 TREE / PER 100 L.F.T.	13	13		
20 SHRUBS / PER 100 L.F.T.			85	89
SOUTH 609'-0"				
SEBRING AVE				
1 TREE / PER 25 L.F.T.	24	24		
4 SHRUBS / PER 25 L.F.T.			96	700
WEST 505'-0"				
80TH STREET				
1 TREE / PER 25 L.F.T.	20	21		
4 SHRUBS / PER 25 L.F.T.			80	361
PARKING LOT				
1 TREE / PER 15' ISLAND	28	28		
3 SHRUBS / PER 15' ISLAND			99	99
FOUNDATION PLANTING				
1 TREE / PER 50 L.F.T. 1,022'-0"	20	30	N/A	N/A
TOTAL REQD/FRNSHD	125	119	490	1,273
SIZE REQD/FURNISHED				
TREES 36" BOX MIN 25%	25	55 (36"/48")		
24" BOX MIN 50%	50	44		
15 GAL	0	07		
5 GAL	0	0		
Date Palms	0	04		
TOTAL TREES	75	110		
SHRUBS 15 GAL or Larger				25
5 GAL				1,191
1 GAL				310
CACTI				0
TOTAL SHRUBS				1,526

PROJECT DATA

Existing Zoning:	AG
Proposed Zoning:	LI-PAD
APN#:	304-30-015C & 304-30-015D
Gross Site Area:	+/- 410,838 S.F. (9.4 AC.)
Net Site Area:	+/- 363,109 S.F. (8.3 AC.)
Total Building Area:	119,019 S.F.
Coverage:	32.8%

Parking Required	
Office 25% - 29,754 S.F. @ 1/375 S.F.:	79 Spaces
Warehouse 75% - 89,264 S.F. @ 1/900 S.F.:	99 Spaces

Total Parking Required:	178 Spaces
Parking Provided:	179 Spaces
ADA Parking Required:	6 Spaces
ADA Parking Provided:	6 Spaces
Proposed Building Height:	44'-6" T.O.P.

Common Open Space Required:	
BLDG. 119,019 SF @ 1%:	1,190 S.F.
Total Open Space Required:	1,190 S.F.
Open Space Provided:	1,200 S.F.

AVERAGE FOUNDATION NOTES:

Front Entry Foundation Base Required: 15'-0"
Non Entry Foundation Base Required: 10'-0"

South Front Entry Foundation Base Required: 15' x 457'-6" = 6,863 SF
Provided: 8,643 SF
West Non Entry Foundation Base Required: 5' x 281'-6" = 1,408 SF
Provided: 2,627 SF
East Non Entry Foundation Base Required: 5' x 281'-6"= 1,408 SF
Provided: 3,129 SF

OPEN SPACE CALCULATIONS

TOTAL LANDSCAPE AREA
+/- 20.7% OF ENTIRE SITE: 85,181 S.F. (1.96 ACRES)

LANDSCAPE COVERAGE:
- EVERGREEN TREES 6,900 SF
- SHADE TREES 1,200 SF
- ORNAMENTAL TREES 425 SF
- LARGE SHRUBS 9,400 SF
- MEDIUM SHRUBS 15,125 SF
- SMALL SHRUBS 380 SF
- GROUNDCOVER 17,200 SF
85,181 SF LS AREA / 50,630 SF OPEN SPACE COVERAGE = 59.4%
(MINIMUM 50% REQUIRED PER 11-33-2: GENERAL REQUIREMENTS SECTION E - OPEN SPACE)

AMENITY NODES AREA:
- SINGLE NODE: MINIMUM 256 S.F. (16' X 16')
- REQUIRED: 1,190 SF
- SITE AMENITY AREA TOTAL PROVIDED: 1,200 S.F. (0.03 ACRES)

PROJECT TEAM

Developer / Owner	Architect
EastGroup Properties	Butler Design Group
2141 E. Camelback Rd, # 250	5013 E. Washington St, # 100
Phoenix, Arizona 85016	Phoenix, Arizona 85034
Contact: Mike Sacco	Contact: Toby Rogers
Ph: (602) 840-8600	Ph: (602) 957-1800
Mike.Sacco@eastgroup.net	trogers@butlerdesigngroup.com

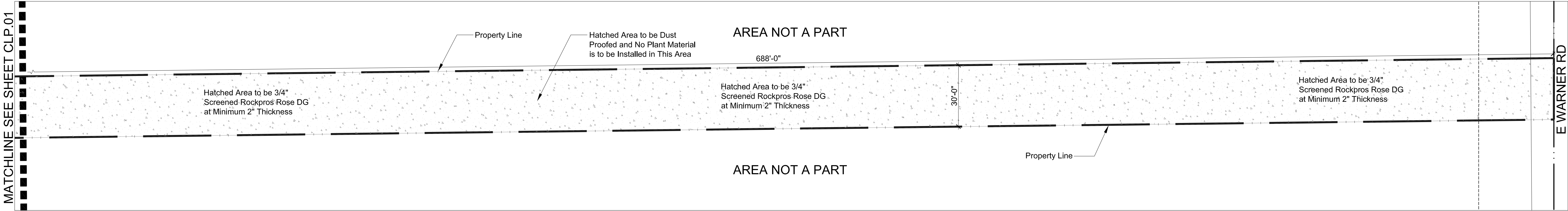
Civil Engineer	Landscape Architect
Hilgart Wilson	Laskin & Associates, Inc
2141 E Highland Avenue, Ste 250	5013 E. Washington Street, Ste 110
Phoenix, Arizona 85016	Phoenix, Arizona 85034
Contact: Casey Whiteman	Contact: Stanley Berinson
Ph: (602) 730-3835	Ph: (602) 840-7771
Em: CVWhiteman@HilgartWilson.com	stanley@laskindesign.com

PRELIMINARY LANDSCAPE PLAN GENERAL NOTES:

1. THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY OF MESA STANDARDS.
2. ALL TREES WILL BE 15 GALLON OR LARGER.
3. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.
4. DECOMPOSED GRANITE, 2" MINIMUM THICKNESS, TO BE PLACED IN ALL LANDSCAPE AREAS NOT DESIGNATED FOR RIP-RAP OR LAWN.
5. ALL EARTHWORK WILL BE DONE SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS, STRUCTURES AND WILL NOT IMPEDE NATURAL DRAINAGE EASEMENTS.
6. STRUCTURES AND LANDSCAPING WITHIN A SIGHT VISIBILITY TRIANGLE OR SIGHT VISIBILITY LINE WILL NOT EXCEED 24" INCHES.
7. FINAL LANDSCAPE PLANS TO MEET OR EXCEED MINIMUM CITY STANDARDS.

GENERAL BUILDING FOUNDATION / IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.



GATEWAY INTERCHANGE - PHASE III

N.W.C. Loop 202 & Hawes Road
Proposed Industrial Development
Mesa, Arizona

