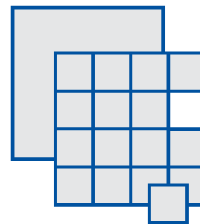




Skilled Nursing Facility Project Narrative



Submitted By:

Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

Sean B. Lake / Sarah Prince
480-461-4670
sean.lake@pewandlake.com
sarah.prince@pewandlake.com

October 25, 2024

Introduction

Pew & Lake, PLC, on behalf of our client, is pleased to submit this narrative and related exhibits for a Site Plan Review, Design Review and Special Use Permit application. The proposed Skilled Nursing Facility is committed to providing high quality medical care and is looking forward to providing services in the City of Mesa. The proposed development is located at 5456-5516 E. Main Street and can be further identified as Maricopa County Parcel Numbers 141-77-055C, 055D, and 055E. **Figure 1** below presents the site outlined in red.

Figure 1 – Site Aerial



Existing Site Conditions

The existing site is vacant, relatively flat and unremarkable land. The site has direct access from Main St. The north end of parcel 141-77-055C currently has a large warehouse that Velda Rose Methodist Church utilizes for their annual rummage sale. Velda Rose Methodist Church is working with the applicant and the City of Mesa to split this parcel separating the warehouse from the Skilled Nursing Facility site.

Zoning & General Plan Analysis

The property is currently zoned LC (Limited Commercial). Hospitals and Skilled Nursing Facilities are an allowed use within the LC District with the approval of a Council Use Permit.

According to the City of Mesa General Plan, the Property is located in the Neighborhood Character Area. The proposed use is complementary and will maintain the current character of the area. Additionally, the subject site is located in the Transit Corridor and Station Area character area designation sub-types of the Mesa 2040 General Plan.

Figure 2 and **Figure 3** on the next page illustrate the existing zoning and General Plan of the subject site.

Figure 2 – Existing Zoning

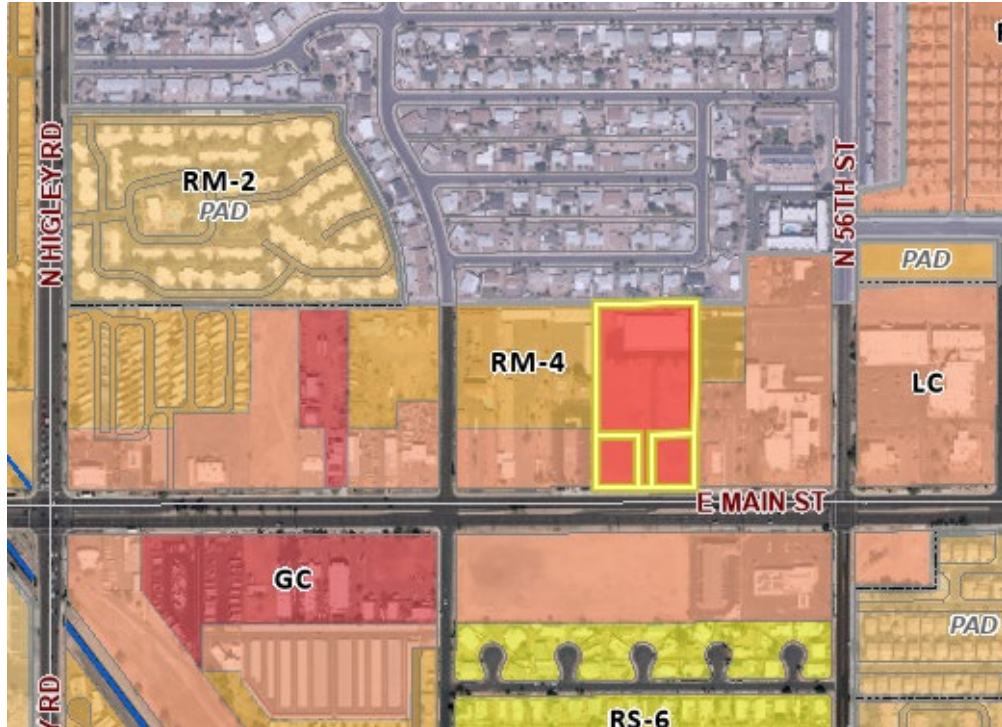
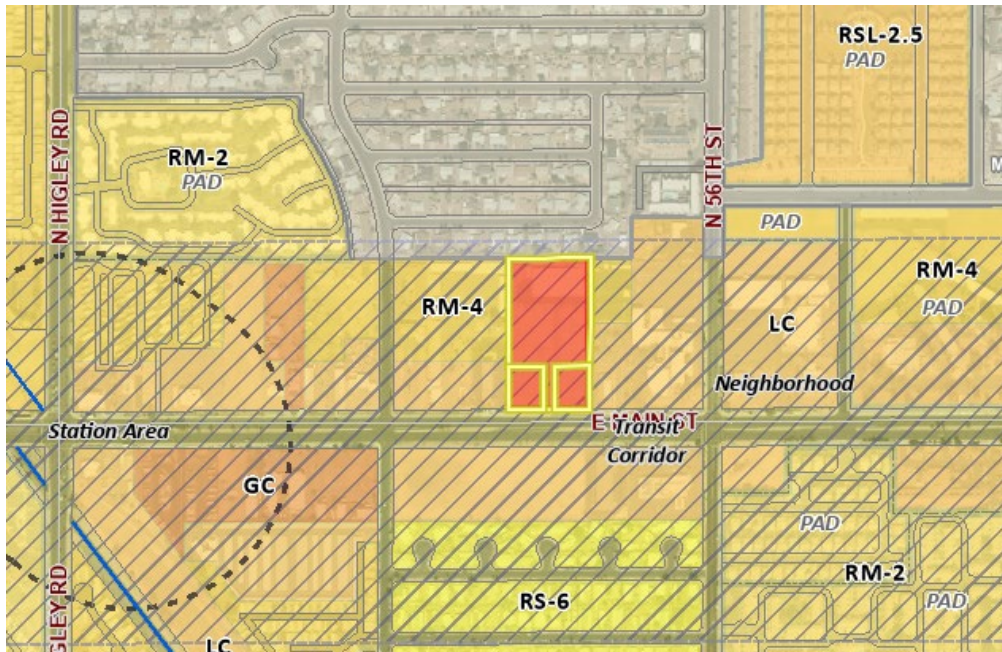


Figure 3 – Existing General Plan Designation



Relationship to Surrounding Properties

The proposed use of a Skilled Nursing Facility has minimal to no impact on this site. The property is along Main Street just east of Higley Road. On the north side of the site there is the Velda Rose Warehouse and an existing residential community further north. The east side of the Property is adjacent to a medical/professional complex and Velda Rose Church. On the west side of the site is the Colonade Motel Suites. The southern boundary is Main Street with a vacant lot on the opposite side of Main Street.

Table 1 – Relationship to Surrounding Properties

Direction	General Plan Designation	Existing Zoning	Existing Use
Project Site	Neighborhood	LC	Vacant
North	Maricopa County	Residential	Residential
East	Neighborhood	RM-4 & LC	Medical & Professional / Church
South	Neighborhood	LC	Vacant/Residential
West	Neighborhood	RM-4 / LC	Motel

Project Description

The mission of the proposed Skilled Nursing Facility is to create and deliver innovative healthcare solutions that compassionately address the medical and recuperative health care needs of men, women, and children. This facility will bring the East valley a much-needed resource for people with medical and recuperative health care needs.

The proposed project will develop a facility that is approximately 32,000 square feet in size. The facility will be single-story and provide a total of 84 beds. There will be a central courtyard which will be utilized by patients and staff. As seen on the conceptual floor plans, the rooms are divided into quads and separate space for men and women is provided. There is a common dining room, medical exam rooms, office space, staff lockers, laundry, a medical lab, a meeting room, and wound care rooms provided. As seen on the floor plan, there are four isolation rooms located near the nursing station. The isolation rooms are for patients who need to be kept away from other patients for overall safety and wellbeing. Patients will remain in isolation until a medical professional allows the patient to join a shared dorm room. This Skilled Nursing Facility has been designed to accommodate a wide variety of needs on site.

Typically, patients are referred to the facility from hospitals or other medical providers. The facility does not offer walk-in accommodation. On average, a patient will stay approximately 30 days at the facility, but some may stay longer depending on their medical needs. Patients will be discharged when proper accommodation is in place for them to continue medical care. This facility does not offer outpatient care, but case managers will assist patients with finding outpatient care prior to their release, if needed. The proposed facility is not a drug or substance abuse rehab.

Special Use Permit

This request includes a slight reduction in parking, resulting in the need for a Special Use Permit. The required amount of parking required is 75 spaces. However, the current driveway is located centrally on the site and cannot be relocated. The required turning radius for fire and trash could not be designed at the front of the site. The solution was to locate the parking area to the east of the building which allowed for a street corner aesthetic that is complementary to the prevailing street architecture and provides easy access for pedestrians and drivers.

The Skilled Nursing Facility anticipates a maximum need of 45-50 employee parking spaces, including during shift changes on peak days. The peak days are Monday through Friday with a reduction of staff in the evenings, weekends, and holidays.

The facility anticipates no more than 3-4 patient vehicles on the property as almost 100% of the patients are admitted into the Skilled Nursing Facility through emergent/non-emergent transportation directly from the discharging acute, hospital facilities.

Visitors or other administrative leadership of facility/maintenance employees accessing the facility would be about 3-5 across the course of a typical business day.

The Skilled Nursing Facility currently operates two Phoenix based locations and our historical experience indicates that 45-59 parking spaces would be adequate for the Mesa Skilled Nursing Facility. The Site Plan included with this request a total of 68 spaces which will be ample parking for this location.

A Special Use Permit shall only be granted if the approving body determines that the project as submitted or modified conforms to all of the following criteria.

1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;
 - a. The proposed project will advance the goals and objectives of the General Plan and Zoning District.
2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;
 - a. The proposed project is complementary in size, design, and operating characteristics of the area and will conform with the General Plan and any other applicable City plan or policy.
3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City; and
 - a. The proposed project will be complementary to the surrounding areas.
4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.
 - a. There are adequate public services, facilities, and infrastructure available to serve the proposed project.

Lot Combination / Split

The applicant is working with Velda Rose Church and the City of Mesa to reconfigure the existing lot lines on site. The reconfiguration will result in new lots all of which will have access to a public street. The proposed Skilled Nursing Facility parcel boundary can be seen on the Conceptual Parcel Adjustment Exhibit included on the Site Plan submitted with this application.

Conclusion

The proposed offers a complementary use that will further support the community. The applicant looks forward to receiving input on this application and working with City staff to bring this project to fruition in the City of Mesa.



PLANT LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME	QTY.	SIZE	COMMENTS
TREES				
	ACACIA ANEURA - MULGA TREE	24	24" BOX	STANDARD
	CAESALPINIA CACALACO 'SMOOTHIE' - THORNLESS CASCALOTE	3	36" BOX	STANDARD
	PISTACIA LENTISCUS - MASTIC TREE	10	24" BOX	STANDARD
	PROSOPIS HYBRID 'RIO SALADO' - THORNLESS MESQUITE	11	24" BOX	STANDARD
		25	24" BOX	STANDARD
		2	36" BOX	STANDARD
SHRUBS				
	CAESALPINIA PULCHERRIMA - RED BIRD OF PARADISE	38	5 GAL.	CAN FULL
	EREMOPHILA GLABRA SSP. CARNOSA - WINTER BLAZE	33	5 GAL.	CAN FULL
	EREMOPHILA HYGROPHANA - BLUE BELLS	82	5 GAL.	CAN FULL
	LEUCOPHYLLUM LAEVIGATUM - CHIHUAHUAN SAGE	49	5 GAL.	CAN FULL
	RUPELLIA PENINSULARIS - DESERT RUELLIA	29	5 GAL.	CAN FULL
	SIMMONDSIA CHINENSIS - JOJOBA	12	5 GAL.	CAN FULL
ACCENTS				
	AGAVE AMERICANA - AMERICAN AGAVE	11	5 GAL.	CAN FULL
	AGAVE PARRYI - PARRY'S AGAVE	17	5 GAL.	CAN FULL
	BOUTELOUA GRACILIS - BLONDE AMBITION GRASS	70	5 GAL.	CAN FULL
	DASYLIRION WHEELERI - DESERT SPOON	13	5 GAL.	CAN FULL
	EUPHORBIA ANTISYPHILITICA - CANDELILLA	60	5 GAL.	CAN FULL
	MUHLENBERGIA RIGENS - DEER GRASS	38	5 GAL.	CAN FULL
GROUND COVERS				
	LANTANA X 'NEW GOLD' - NEW GOLD LANTANA	77	5 GAL.	CAN FULL
	LANTANA MONTEVIDENSIS - PURPLE TRAILING LANTANA	53	5 GAL.	CAN FULL
	DECOMPOSED GRANITE - 1" SCREENED, 2" MIN. DEPTH. COLOR 'PAINTED DESERT' BY ROCK PROS USA.		31,010 SQ.FT	

ARCHITECT

PERLMAN ARCHITECTS OF ARIZONA
 2929 N. CENTRAL AVE., SUITE 1600
 PHOENIX, AZ 85012
 (602) 837-4625
 CONTACT: NATHANAEI MAKI
 nathanm@perلمانaz.com

LANDSCAPE ARCHITECT

MCGOUGH ADAMSON
 535 E. MCKELLIPS RD., SUITE 131
 MESA, AZ 85203
 (602) 997-9093
 CONTACT: NICK ADAMSON
 nicka@mg-az.com

NOTES:

1. DUE TO PLANT MATERIAL AVAILABILITY, SUBSTITUTIONS FOR PLANT MATERIAL LISTED ABOVE MAY BE USED. ANY ALTERNATES OR SUBSTITUTIONS MUST BE ON THE ADWR LOW WATER USE PLANT LIST.
2. SUB-SPECIES OR HYBRIDS OF PLANT MATERIAL LISTED ABOVE MAY BE USED AS ALTERNATES/SUBSTITUTIONS.
3. ADDITIONAL PLANT MATERIAL MAY BE ADDED TO THE LIST ABOVE DUE TO UTILITY COMPANY OR H.O.A. REQUESTS AND/OR PLANTING RESTRICTIONS WITHIN UTILITY EASEMENTS.
4. NO TREES TO BE LOCATED WITHIN THE P.U.E. OR ANY OTHER NOTED EASEMENTS.
5. ALL TREES ARE TO BE MIN. 7' FROM CURBS AND SIDEWALKS, 18' FROM STREETLIGHT POLES AND LIGHTING CONTROL CABINETS, 4' FROM WALLS, AND 3' RADIAL CLEARANCE FROM ALL UNDERGROUND UTILITIES. ALL SHRUBS TO BE A MIN. 3' FROM SIDEWALKS, DRIVEWAYS AND CURBS AND 7' FROM STREETLIGHT POLES AND LIGHTING CONTROL CABINETS.
6. TREES CANNOT ENCR OACH INTO 50' BACKING AREA
7. SIGHT DISTANCE LINES ARE CALCULATED PER CITY OF MESA 2023 ENGINEERING DESIGN STANDARDS, SECTION 211, FIGURE 2.3, FOR DRIVEWAY ENTRANCE TO A 50 MPH DESIGN SPEED, 662' SIGHT DISTANCE FOR 6 LANE DIVIDED ROAD, RIGHT TURN ONLY MANEUVER FROM STOP.

LANDSCAPED AREA: STREET FRONTAGE

E. MAIN ST. - ARTERIAL STREET (110' - 130')

REQUIRED: TREES: (4) PER 100 LN. FT.: (12) REQ. 25% 36-INCH BOX MIN.: (3) REQ. 50% 24-INCH BOX MIN.: (9) REQ. SHRUBS: (24) PER 100 LN. FT.: (69) REQ.	PROVIDED: (3) 36-INCH BOX TREE (9) 24-INCH BOX TREE (130) SHRUBS / ACCENTS / GROUNDCOVERS
--	---

LANDSCAPED AREA: OPEN SPACE

REQUIRED: PLANT MATERIAL: 50% MIN. REQ.	PROVIDED: PLANT MATERIAL: 54% (7) 24-INCH BOX TREES (112) SHRUBS / ACCENTS / GROUNDCOVERS
---	---

LANDSCAPED AREA: W., N. & E. SIDE YARDS

NON SINGLE RESIDENCE ADJACENT TO NON SINGLE RESIDENCE USE

REQUIRED: TREES: (3) PER 100 LN. FT.: (26) REQ. 50% 24-INCH BOX MIN.: (13) REQ. SHRUBS: (20) PER 100 LN. FT.: (173) REQ.	PROVIDED: (26) 24-INCH BOX TREE (174) SHRUBS / ACCENTS / GROUNDCOVERS
--	--

LANDSCAPED AREA: EAST FOUNDATION

REQUIRED: TREES: (1) PER 50 LN. FT.: (5) REQ. 10% 36-INCH BOX MIN.: (1) REQ. 90% 24-INCH BOX: (4) REQ. PLANT MATERIAL: 35% MIN. REQ.	PROVIDED: (1) 36-INCH BOX TREES (5) 24-INCH BOX TREES (62) SHRUBS / ACCENTS / GROUNDCOVERS PLANT MATERIAL: 44%
---	---

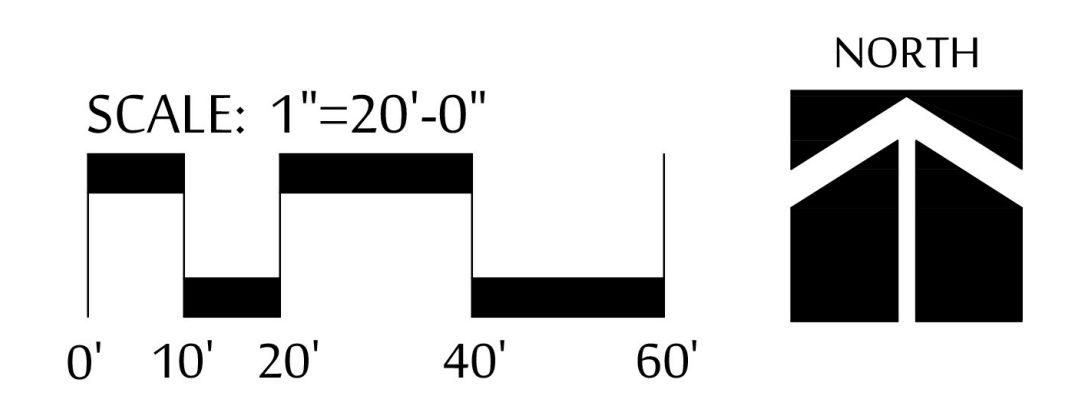
LANDSCAPED AREA: PARKING LOT

REQUIRED: TREES: (1) PER 15 FT PARKING ISLAND: (18) REQ. (1) PER SHARED MEDIAN: (2) REQ. 10% 36-INCH BOX MIN.: (2) REQ. 90% 24-INCH BOX: (16) REQ. SHRUBS: (3) PER 15 FT PARKING ISLAND: (54) REQ. (6) PER ADD'L TREE: (12) REQ.	PROVIDED: (2) 36-INCH BOX TREES (18) 24-INCH BOX TREES (93) SHRUBS / ACCENTS / GROUNDCOVERS
---	---



CIRCLE THE CITY
 PRELIMINARY LANDSCAPE PLAN

5456 - 5516 E. MAIN ST., MESA, AZ 85205
 OCTOBER 21, 2024





PRELIMINARY GRADING PLAN

A PORTION OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

A.P.N.: 141-77-055C, 141-77-055D, 141-77-055E
OWNER: VELDA ROSE UNITED METHODIST CHURCH INC
DEED: 1998-1134059, M.C.R.

LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- CONCRETE SURFACE
- 24 INCH VERTICAL CURB & GUTTER
- 24 INCH ROLLED CURB
- 6 INCH CONCRETE CURB
- INDICATES DRIVEWAY
- ADDRESS
- FENCE
- O.H.E. OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND GAS LINE
- UNDERGROUND SEWER LINE
- UNDERGROUND STORM SEWER LINE
- UNDERGROUND TELEVISION LINE
- UNDERGROUND WATER LINE
- SET 1/2" REBAR WITH ALUMINUM CAP STAMPED "KLEIN 42137"
- FOUND 1/2" REBAR WITH ILLEGIBLE CAP SET ALUMINUM CAP STAMPED "KLEIN 42137"
- FOUND 1/2" REBAR WITH NO IDENTIFICATION SET ALUMINUM CAP STAMPED "KLEIN 42137"
- MONUMENT FOUND AS NOTED
- FOUND NAIL IN BRASS TAG WITH NO IDENTIFICATION (BENCHMARK=1364.05')
- CALCULATED POSITION NO MONUMENT FOUND OR SET
- SCHEDULE B ITEM
- SPRINKLER HOOK-UP
- BACK FLOW PREVENTER
- DOWN GUY
- ELECTRIC BOX
- ELECTRIC CABINET
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- GUARD POST OR GATE POST
- HANDICAPPED SPACE
- METAL GRATE (RECTANGULAR)
- LIGHT POLE
- PEDESTRIAN ACCESS RAMP
- POWER POLE
- POWER POLE W/ UNDERGROUND ELEC
- SEWER CLEAN OUT
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- STREET SIGN
- TELEPHONE RISER
- TRAFFIC SIGNAL BOX
- CABLE TELEVISION RISER
- WATER METER
- WATER VALVE
- FLOW LINE
- FINISHED FLOOR ELEVATION
- TOP OF CURB
- NATURAL GROUND
- PAVEMENT
- CONCRETE
- TOP OF RIM
- INVERT ELEVATION
- HEIGHT
- ASSESSORS PARCEL NUMBER
- MARICOPA COUNTY RECORDS
- RIGHT OF WAY
- BOOK
- PAGE
- (TYP.) TYPICAL
- (R) RECORD PER DESCRIPTION
- (M) MEASURED
- ELEC ELECTRICAL
- EXIST EXISTING
- HW HIGH WATER LEVEL
- SD STORMDRAIN

CONSTRUCTION KEYNOTES

- 1 CURB OPENING.
- 2 NYLOPLAST 36" CATCH BASIN
- 3 12" ADS N-12 HDPE SD.
- 4 UNDERGROUND RETENTION - CONSTRUCT 5 FOOT DIAMETER HDPE STORAGE TANK LENGTH 120 FEET
- 6 6" ADS N-12 HDPE BUILDING ROOF DRAIN. SEE ARCHITECT PLANS FOR LOCATION.
- 7 CONNECT STORM DRAIN PIPE TO EXISTING 60" CIPP SD PIPE
- 8 TRASH ENCLOSURE. SEE ARCH. PLANS.
- 9 RETAINING WALL.
- 10 MONOLITHIC TURNDOWN SIDEWALK
- 11 CONCRETE SINGLE CURB
- 12 CONCRETE VERTICAL CURB AND GUTTER
- 13 ACCESSIBLE RAMP
- 14 24" ADS N-12 HDPE FOR EQUALIZER PIPE.

GENERAL NOTES

1. SLOPES ARE CALCULATED FROM DRAINAGE STRUCTURE CENTER TO DRAINAGE STRUCTURE CENTER.

DRAINAGE STATEMENT

OFF-SITE FLOWS: FROM VISUAL INSPECTION, NO OFF-SITE FLOWS ENTERS THE PARCEL.

RETENTION:

RETENTION HAS BEEN ANALYZED PER THE CITY OF MESA STANDARDS. THE 100-YR 2-HR AT 2.2 INCHES WAS USED TO CALCULATE THE REQUIRED RETENTION.

THE LOW CURB ELEVATION IS 1359.33 AT THE SOUTHWEST PROPERTY CORNER ALONG MAIN STREET AND THE HIGH CURB ELEVATION IS 1361.83 AT THE SOUTHEAST PROPERTY CORNER ALONG MAIN STREET. USING A MINIMUM 14 INCHES ABOVE LOW CURB THE FINISHED FLOOR ELEVATIONS OF NEW BUILDINGS MUST BE GREATER THAN OR EQUAL TO 1360.50. THE NEW BUILDING HAS A FINISHED FLOOR ELEVATIONS OF 1361.30

THE UNDERGROUND RETENTION SYSTEM CONSISTS OF 88 LF OF 60" CIP PIPE WITH A 12" BLEED OFF PIPE TO THE EXISTING 60" C.I.P.P. SD PIPE IN MAIN STREET.

RETENTION CALCULATIONS

REQUIRED RETENTION	SF	CN
PROJECT SITE	90,200	0.92

PROVIDED RETENTION	CF	HW ELEV	DEPTH
POND 1	10,152	1360	36"
POND 2	1,495	1359	12"
POND 3	1,222	1359.5	12"
60" PIPE	2,350		
TOTAL	15,219		

PROVIDED RETENTION CALCULATIONS

$V = (A1+A2) \cdot (A1 \cdot A2)^{0.5} \cdot (D/3) / 43560$
 POND 1 = $V = 10,152$ CF
 POND 2 = $V = 1,495$ CF
 POND 3 = $V = 1,222$ CF
 60" PIPE = $V = 2,350$ CF

RETENTION REQUIREMENTS

$P=2.2$ INCHES
 $V(f) = C \cdot (P/12) \cdot A$
 $V(f) = 0.92 \cdot (2.2/12) \cdot 90,200$ SF
 $V(f) = 15,214$ CF

V = 15,219 CF (VOLUME PROVIDED)

Seal



These drawings are instruments of service and are the property of Howard Perlman, AIA. Howard Perlman expressly reserves its common law copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written permission and consent of Howard Perlman, AIA. Written dimensions on these drawings shall have precedence over scaled dimensions.

© COPYRIGHT 2022, HOWARD PERLMAN, A.I.A.

Rev	Date	By	Description

Project
 Skilled Nursing Facility
 5456-5516 E. Main Street
 Mesa, AZ 85205

Owner
 Velda Rose Methodist Church
 5540 E. Main Street
 Mesa, AZ 85205

DR

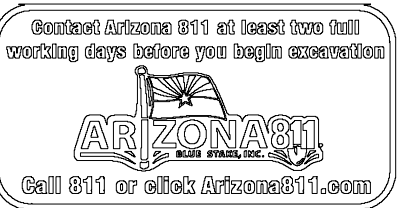
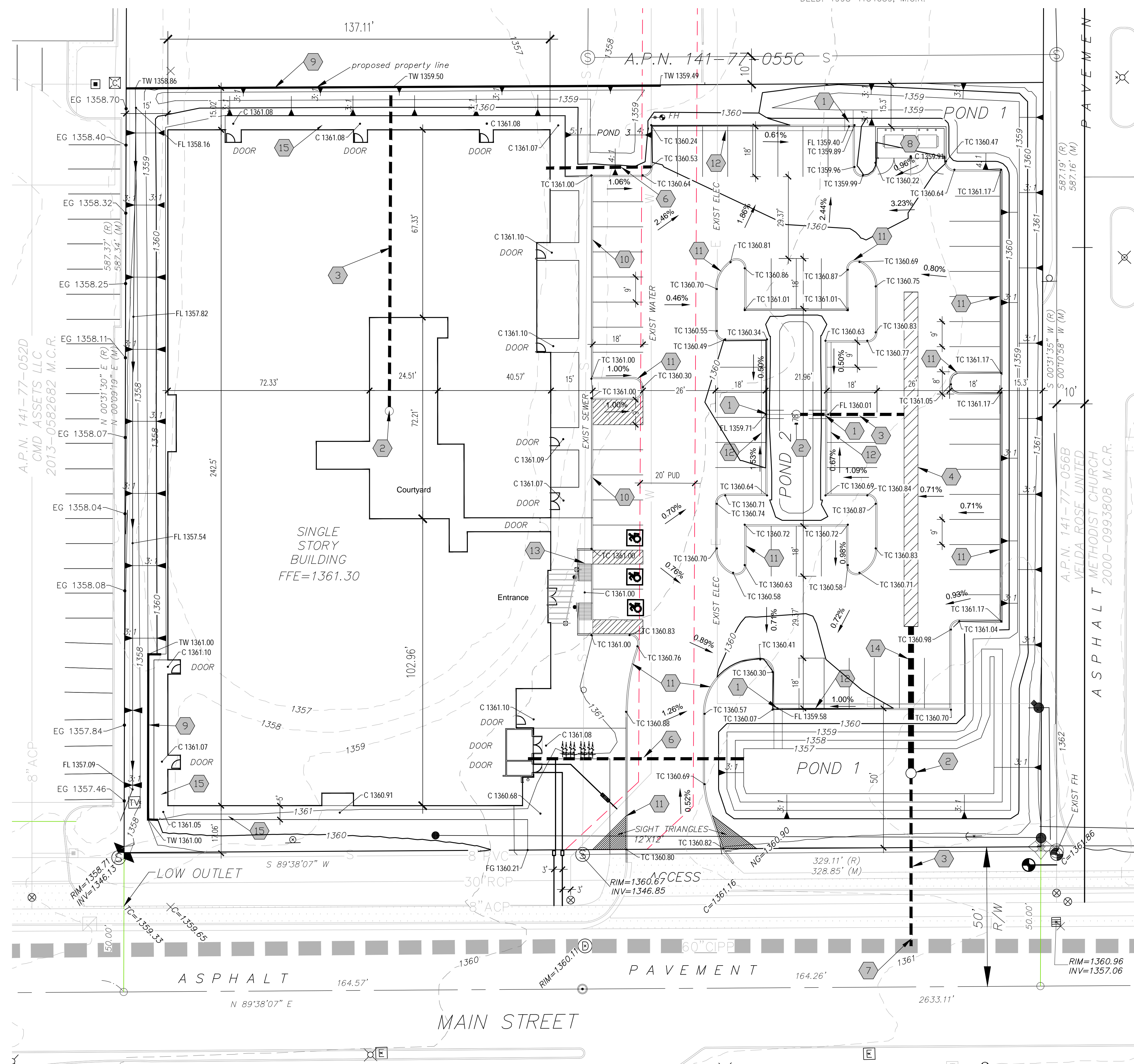
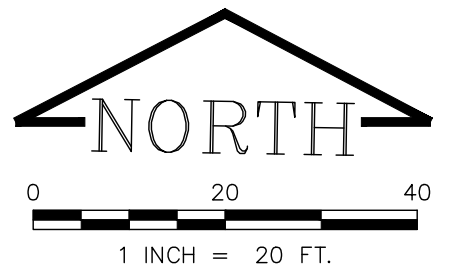
Drawn/Checked By
 BTB/WEG

Date
 4/23/2024

Project Number
 CDS#1252-23

Sheet Number

C300





These drawings are instruments of service and are the property of Howard Perlman, AIA. Howard Perlman expressly reserves its common law copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written permission and consent of Howard Perlman, AIA. Written dimensions on these drawings shall have precedence over scaled dimensions.
© COPYRIGHT 2022, HOWARD PERLMAN, AIA.

Rev	Date	By	Description

Skilled Nursing Facility
5456-5516 E. Main Street
Mesa, AZ 85205

Velda Rose Methodist Church
5540 E. Main Street
Mesa, AZ 85205

Project

Owner

Drawn/Checked By

LA

Date

10/16/2024

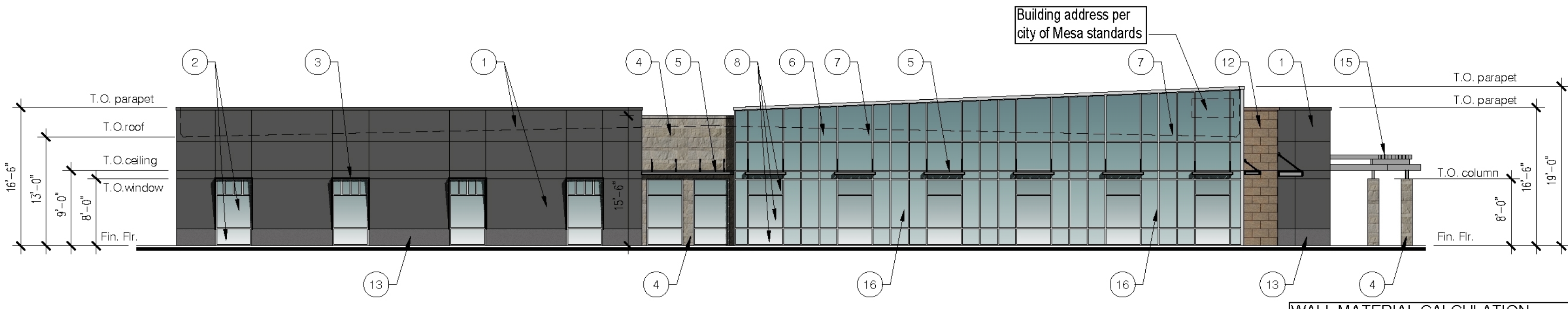
Project Number

324009

Sheet Number

EXTERIOR ELEVATIONS

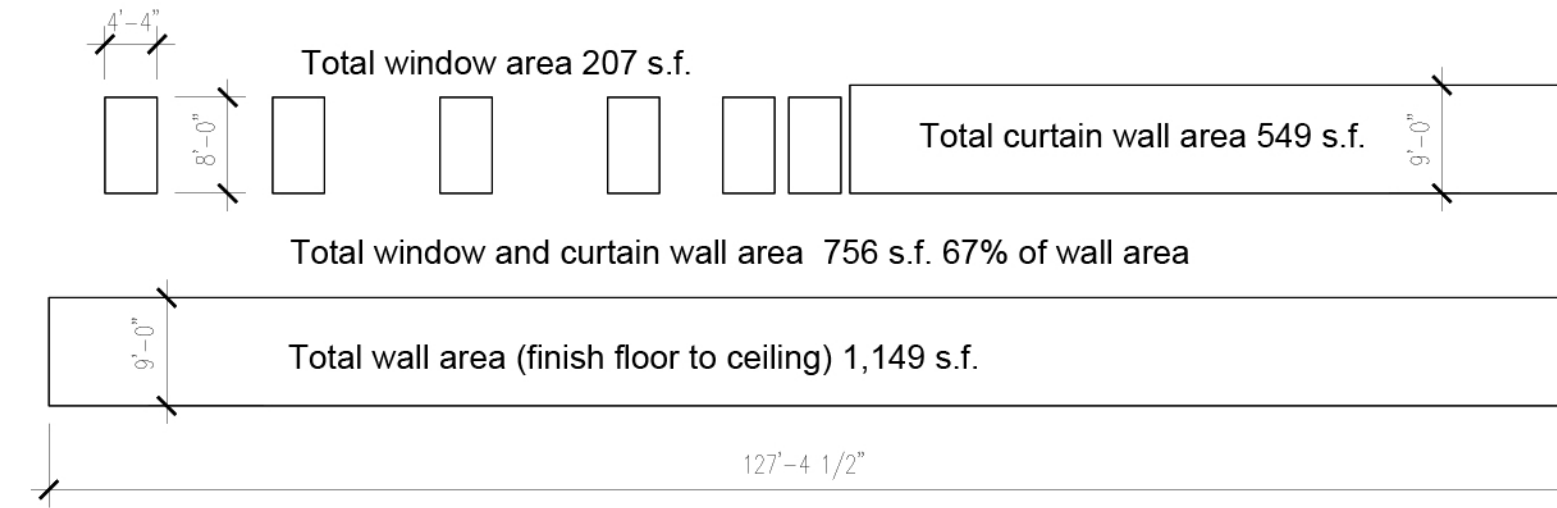
A3.1



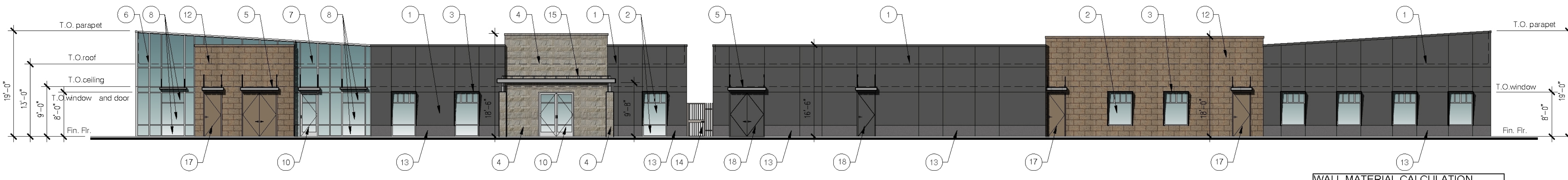
1 SOUTH EXTERIOR ELEVATION

SCALE: 3/32" = 1'-0"

WALL MATERIAL CALCULATION
TOTAL WALL: 2,126 S.F.
ALUCOBOND: 759 S.F. (35.7%)
CURTAIN WALL: 851 S.F. (40%)
STONE: 102 S.F. (5%)
GLASS (WINDOWS): 414 S.F. (19.3%)



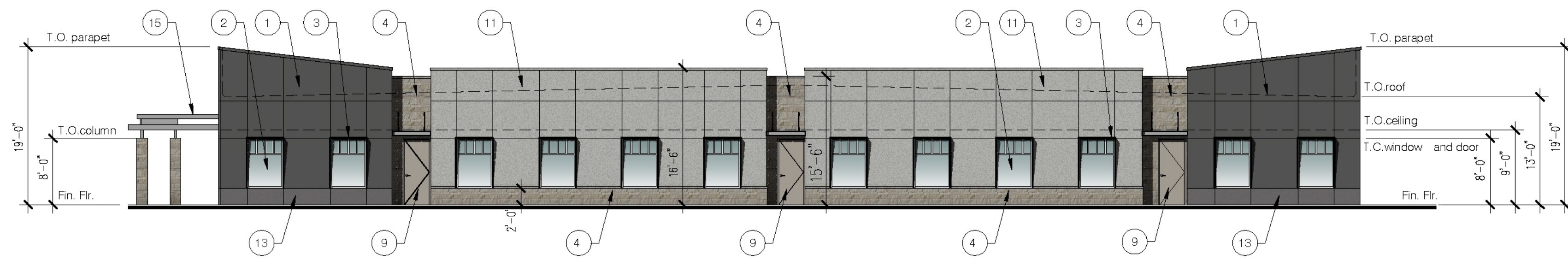
Main Street elevation ground floor transparency calculation



2 EAST EXTERIOR ELEVATION

SCALE: 3/32" = 1'-0"

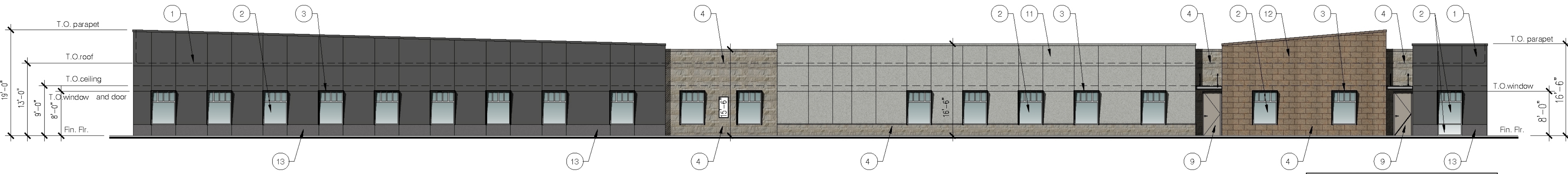
WALL MATERIAL CALCULATION
TOTAL WALL: 4,315 S.F.
ALUCOBOND: 2,012 S.F. (46.6%)
CERAMIC CLADDING: 821 S.F. (19.0%)
CURTAIN WALL: 356 S.F. (8.3%)
STONE: 293 S.F. (6.8%)
GLASS (WINDOWS): 625 S.F. (14.5%)
SOLID DOORS: 208 S.F. (4.8%)



3 NORTH EXTERIOR ELEVATION

SCALE: 3/32" = 1'-0"

WALL MATERIAL CALCULATION
TOTAL WALL: 2,242 S.F.
ALUCOBOND: 620 S.F. (27.6%)
EIFS: 918 S.F. (41%)
STONE: 311 S.F. (13.9%)
GLASS (WINDOWS): 312 S.F. (13.9%)
SOLID DOORS: 81 S.F. (3.6%)



1 WEST EXTERIOR ELEVATION

SCALE: 3/32" = 1'-0"

WALL MATERIAL CALCULATION
TOTAL WALL: 4,057 S.F.
ALUCOBOND: 1,609 S.F. (39.7%)
EIFS: 926 S.F. (22.8%)
CERAMIC CLADDING: 470 S.F. (11.6%)
STONE: 495 S.F. (12.2%)
GLASS (WINDOWS): 503 S.F. (12.4%)
SOLID DOORS: 54 S.F. (1.3%)

Exterior Elevation keynotes

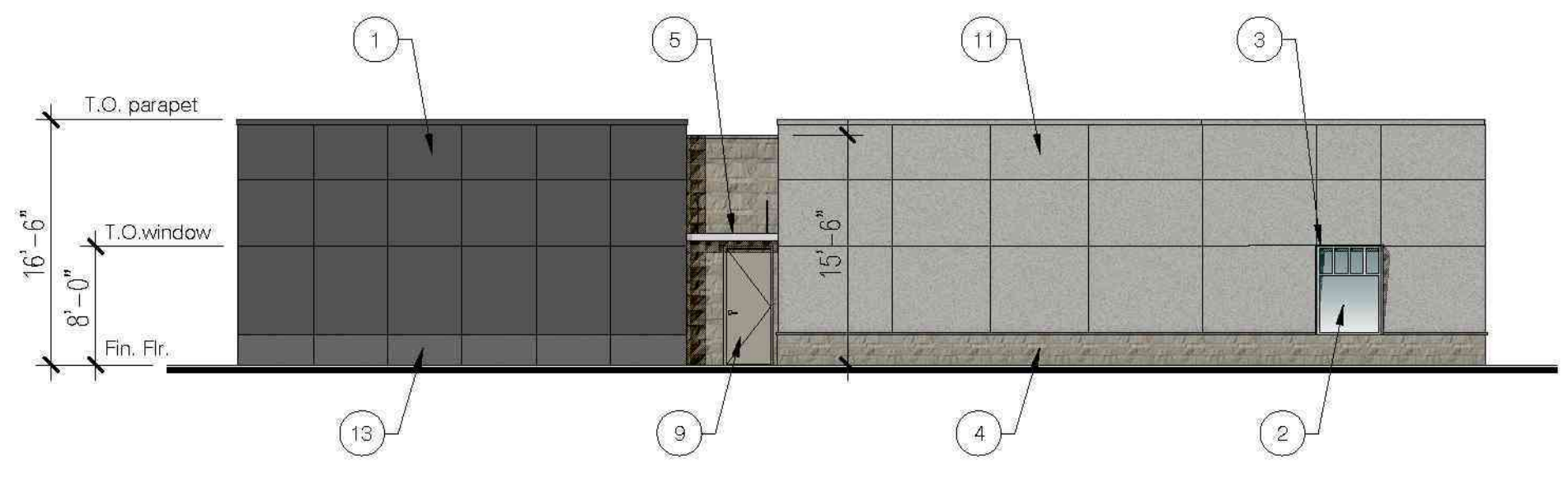
- 1 Aluminum Composite panels
Alucobond
Exterior route and return system
Color: Dusty Charcoal II
- 2 Aluminum Windows
Clear Fixed Vision Glass
Kawneer
Color: Clear anodized
- 3 Metal Plate Shade Assembly
Dunn Edwards
Color: So Chic # DET 614
- 4 Stone Veneer
Culture Stone
Hewn Stone
Color: Span
- 5 Metal Framed Canopy w/ suspended supports
Dunn Edwards
Color: So Chic # DET 614
- 6 Aluminum Curtain Wall
Kawneer
Trifab Verzglaze 450
Color: Clear Anodized
- 7 Spandrel Glass (opaque)
At curtain wall above ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria
- 8 Clear Vision Glass
Vitro Architectural Glass
Solarban 60 low-E
Color: Clear
- 9 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 10 Exterior Front Door
Aluminum/Glass
Color: Clear Anodized
- 11 Exterior Insulating Finishing System (EIFS)
StoCorp.
Sto Therm ci GPS
Color: Gray 16281 26
- 12 Porcelain Exterior Wall Cladding
Cladding Corporation
Ceramic 5 porcelain Rainscreen
Size: 12" x 24"
Color: Ocean Gray NE 13
- 13 Aluminum Composite Panels
Alucobond
Exterior route and return system
Color: Steel City Silver Mica
- 14 Steel Fence and Gate
Painted steel
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 15 Steel Entrance Canopy w/ perf. metal top
Painted steel
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 16 Tinted Glass (see through)
At curtain wall below ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria
- 17 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Grange Hall # DET 695
- 18 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Sheet Metal # DET 6356



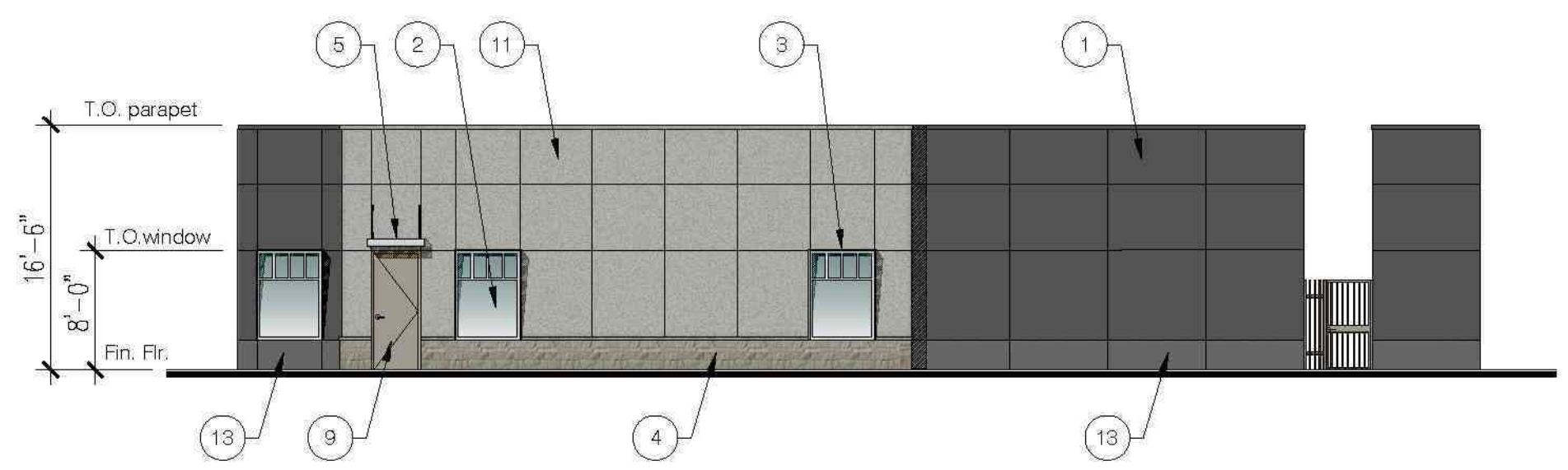
These drawings are instruments of service and are the property of Howard Perlman, AIA. Howard Perlman expressly reserves its common law copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written permission and consent of Howard Perlman, AIA. Written dimensions on these drawings shall have precedence over scaled dimensions.
©COPYRIGHT 2022, HOWARD PERLMAN, A.I.A.

Exterior Elevation keynotes

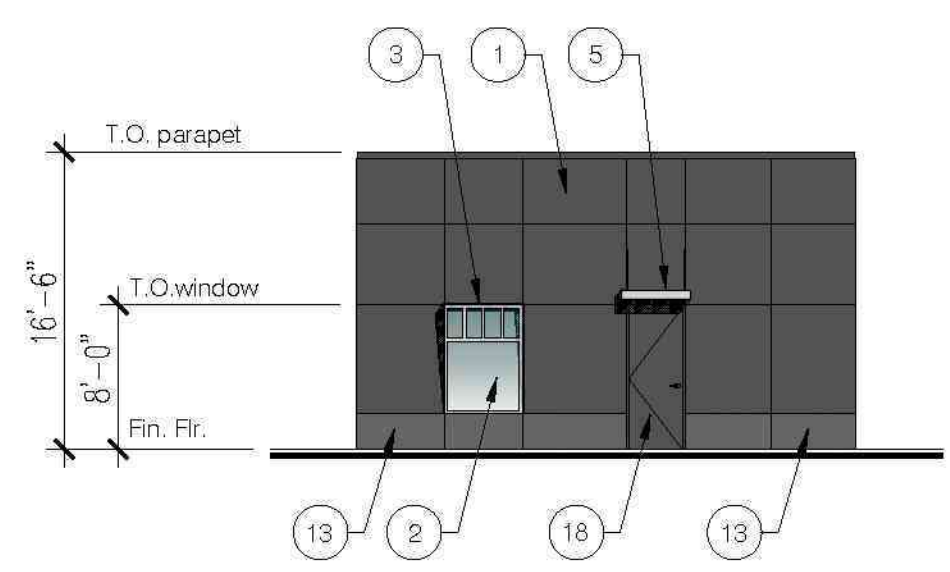
- 1 Aluminum Composite panels
Alucobond
Exterior route and return system
Color: Dusty Charcoal II
- 2 Aluminum Windows
Clear Fixed Vision Glass
Kawneer
Color: Clear anodized
- 3 Metal Plate Shade Assembly
Dunn Edwards
Color: So Chic # DET 614
- 4 Stone Veneer
Culture Stone
Hewn Stone
Color: Span
- 5 Metal Framed Canopy w/ suspended supports
Dunn Edwards
Color: So Chic # DET 614
- 6 Aluminum Curtain Wall
Kawneer
Trifab Verzaglaze 450
Color: Clear Anodized
- 7 Spandrel Glass (opaque)
At curtain wall above ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria
- 8 Clear Vision Glass
Vitro Architectural Glass
Solarban 60 low-E
Color: Clear
- 9 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 10 Exterior Front Door
Aluminum/Glass
Color: Clear Anodized
- 11 Exterior Insulating Finishing System (EIFS)
StoCorp.
Sto Therm ci GPS
Color: Gray 16281 26
- 12 Porcelain Exterior Wall Cladding
Cladding Corporation
Ceramic 5 porcelain Rainscreen
Size: 12" x 24"
Color: Ocean Gray NE 13
- 13 Aluminum Composite Panels
Alucobond
Exterior route and return system
Color: Steel City Silver Mica
- 14 Steel Fence and Gate
Painted steel
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 15 Steel Entrance Canopy w/ perf. metal top
Painted steel
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 16 Tinted Glass (see through)
At curtain wall below ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria
- 17 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Grange Hall # DET 695
- 18 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Sheet Metal # DET 6356



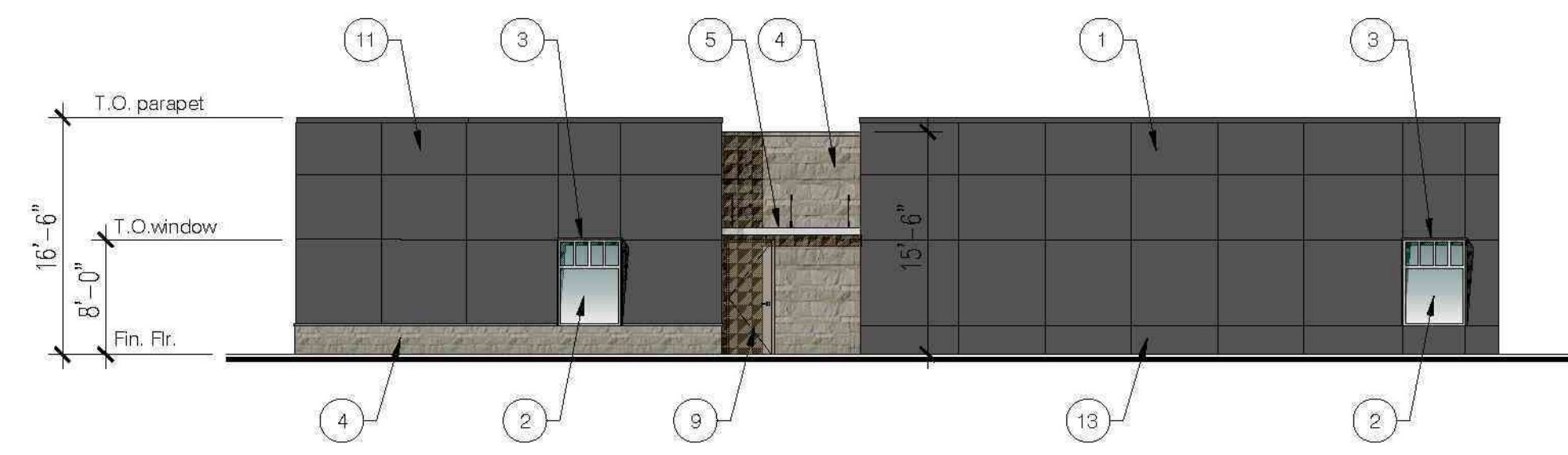
1 SOUTH EXTERIOR ELEVATION - COURTYARD
SCALE: 3/32" = 1'-0"
0' 4' 8' 16'



2 EAST EXTERIOR ELEVATION - COURTYARD
SCALE: 3/32" = 1'-0"
0' 4' 8' 16'



3 NORTH EXTERIOR ELEVATION - COURTYARD
SCALE: 3/32" = 1'-0"
0' 4' 8' 16'



1 WEST EXTERIOR ELEVATION - COURTYARD
SCALE: 3/32" = 1'-0"
0' 4' 8' 16'

Rev	Date	By	Description

Project: Skilled Nursing Facility
5456-5516 E. Main Street
Mesa, AZ 85205

Owner: Velda Rose Methodist Church
5540 E. Main Street
Mesa, AZ 85205

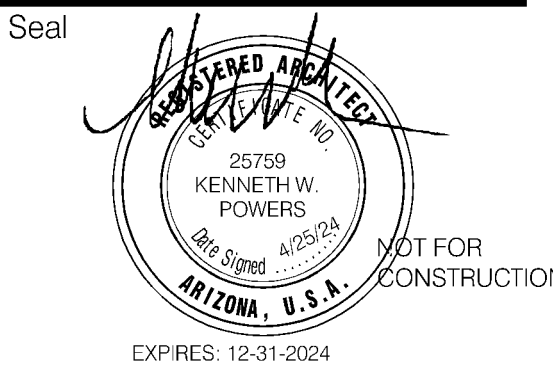
Drawn/Checked By: LA

Date: 10/16/2024

Project Number: 324009

Sheet Number

EXTERIOR ELEVATIONS
A3.3



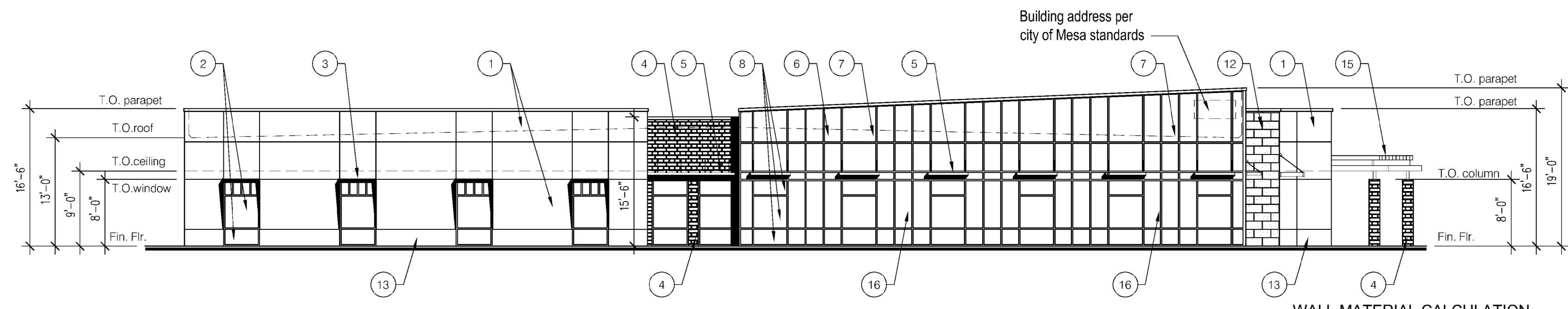
These drawings are instruments of service and are the property of Howard Perlman, AIA. Howard Perlman expressly reserves its common law copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written permission and consent of Howard Perlman, AIA. Written dimensions on these drawings shall have precedence over scaled dimensions.
© COPYRIGHT 2022, HOWARD PERLMAN, AIA.

Rev	Date	By	Description

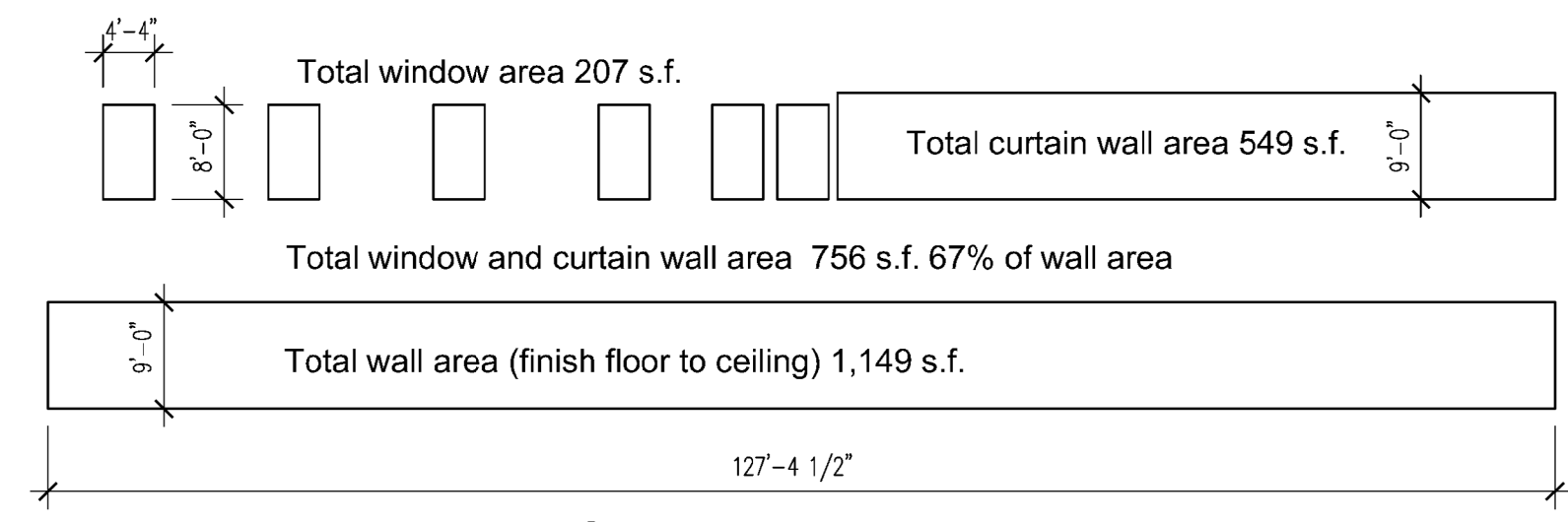
Skilled Nursing Facility
5456-5516 E. Main Street
Mesa, AZ 85205

Velda Rose Methodist Church
5540 E. Main Street
Mesa, AZ 85205

Project: _____
Owner: _____
Drawn/Checked By: **LA**
Date: **10/16/2024**
Project Number: **324009**
Sheet Number: _____

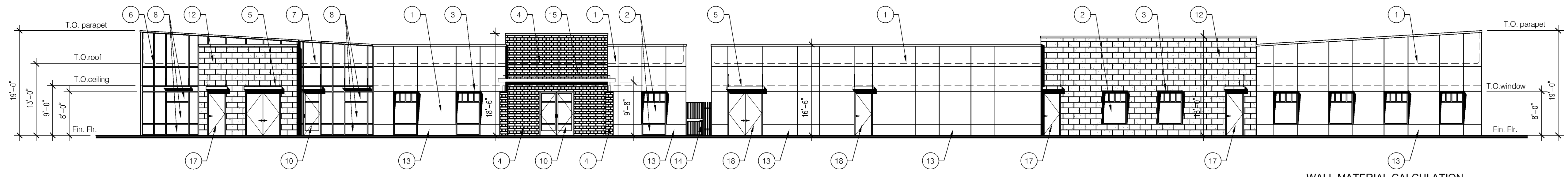


1 SOUTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



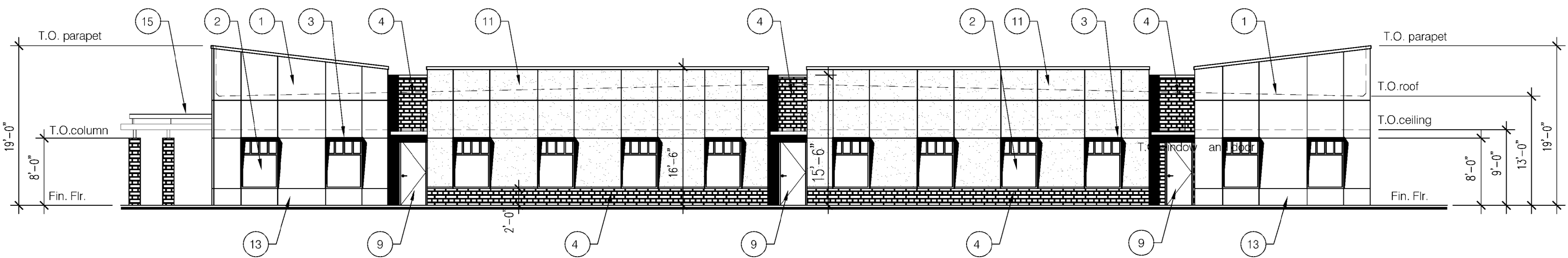
Main Street elevation ground floor transparency calculation

WALL MATERIAL CALCULATION
TOTAL WALL: 2,126 S.F.
ALUCOBOND: 759 S.F. (35.7%)
CURTAIN WALL: 851 S.F. (40%)
STONE: 102 S.F. (5%)
GLASS (WINDOWS): 414 S.F. (19.3%)



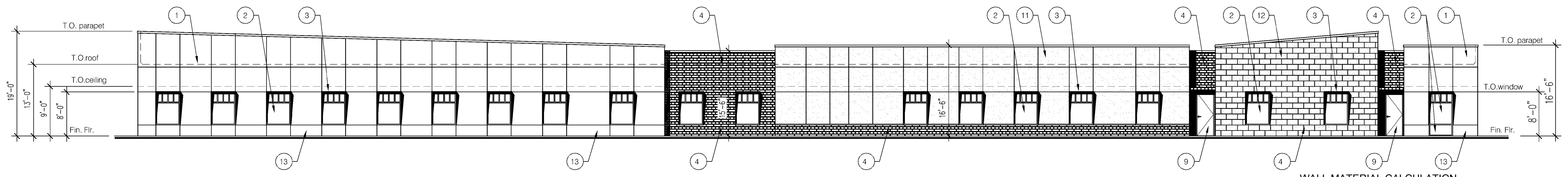
2 EAST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

WALL MATERIAL CALCULATION
TOTAL WALL: 4,315 S.F.
ALUCOBOND: 2,012 S.F. (46.6%)
CERAMIC CLADDING: 821 S.F. (19.0%)
CURTAIN WALL: 356 S.F. (8.3%)
STONE: 293 S.F. (6.8%)
GLASS (WINDOWS): 625 S.F. (14.5%)
SOLID DOORS: 208 S.F. (4.8%)



3 NORTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

WALL MATERIAL CALCULATION
TOTAL WALL: 2,242 S.F.
ALUCOBOND: 620 S.F. (27.6%)
EIFS: 918 S.F. (41%)
STONE: 311 S.F. (13.9%)
GLASS (WINDOWS): 312 S.F. (13.9%)
SOLID DOORS: 81 S.F. (3.6%)

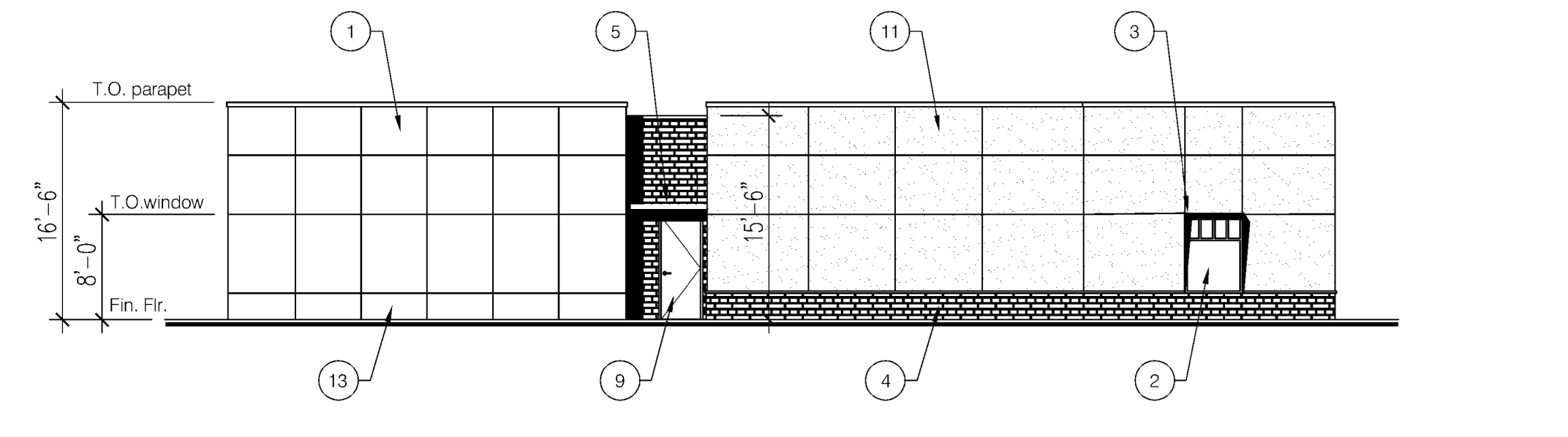


1 WEST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

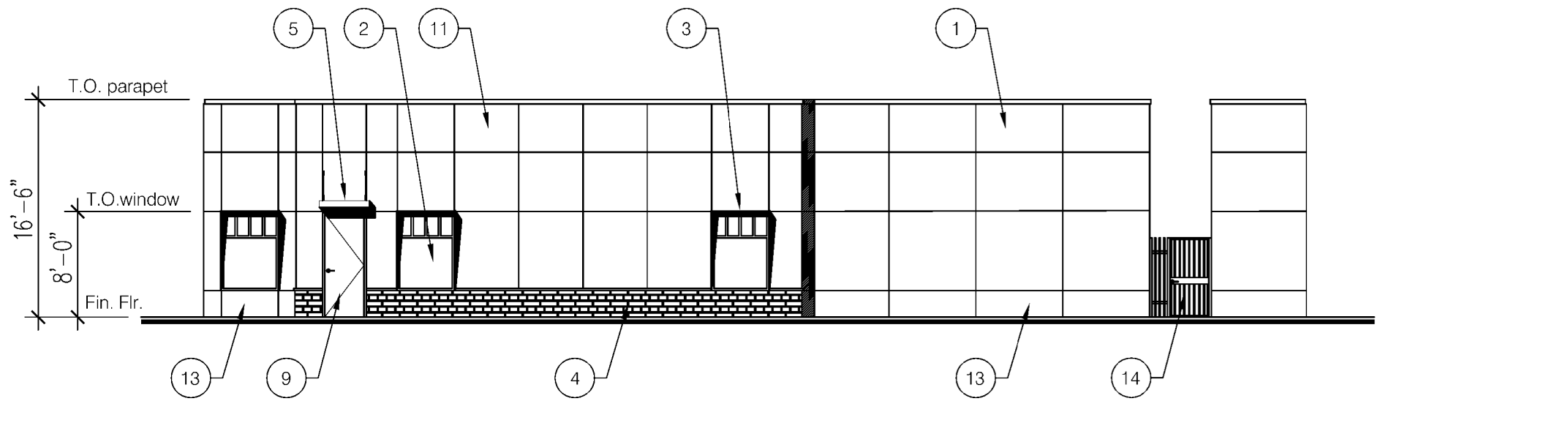
WALL MATERIAL CALCULATION
TOTAL WALL: 4,057 S.F.
ALUCOBOND: 1,609 S.F. (39.7%)
EIFS: 926 S.F. (22.8%)
CERAMIC CLADDING: 470 S.F. (11.6%)
STONE: 495 S.F. (12.2%)
GLASS (WINDOWS): 503 S.F. (12.4%)
SOLID DOORS: 54 S.F. (1.3%)

Exterior Elevation keynotes

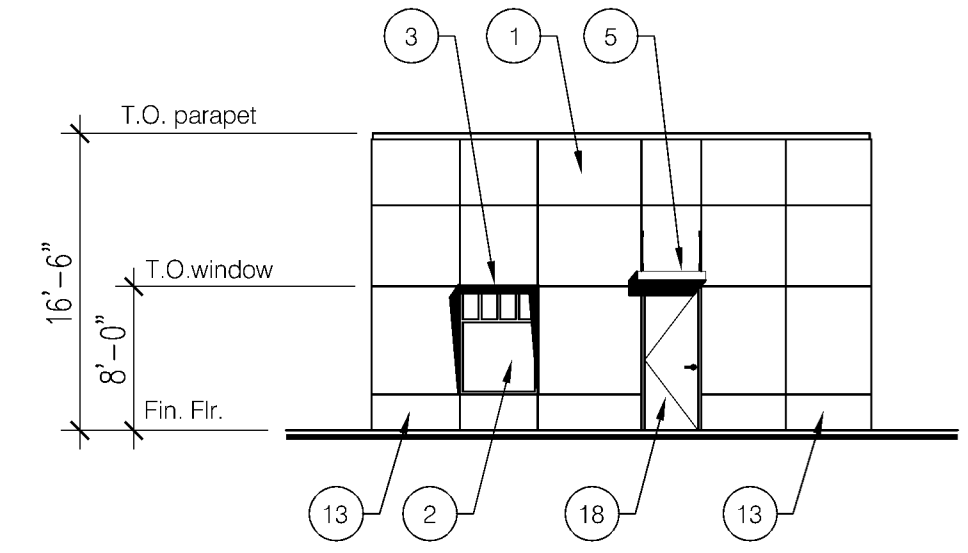
- 1 Aluminum Composite panels
Alucobond
Exterior route and return system
Color: Dusty Charcoal II
- 2 Aluminum Windows
Clear Fixed Vision Glass
Kawneer
Color: Clear anodized
- 3 Metal Plate Shade Assembly
Dunn Edwards
Color: So Chic # DET 614
- 4 Stone Veneer
Culture Stone
Hewn Stone
Color: Span
- 5 Metal Framed Canopy w/ suspended supports
Dunn Edwards
Color: So Chic # DET 614
- 6 Aluminum Curtain Wall
Kawneer
Trifab Verzaglaze 450
Color: Clear Anodized
- 7 Spandrel Glass (opaque)
At curtain wall above ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria
- 8 Clear Vision Glass
Vitro Architectural Glass
Solarban 60 low-E
Color: Clear
- 9 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 10 Exterior Front Door
Aluminum/Glass
Color: Clear Anodized
- 11 Exterior Insulating Finishing System (EIFS)
StoCorp.
Sto Therm ci GPS
Color: Gray 16281 26
- 12 Porcelain Exterior Wall Cladding
Cladding Corporation
Ceramic 5 porcelain Rainscreen
Size: 12" x 24"
Color: Ocean Gray NE 13
- 13 Aluminum Composite Panels
Alucobond
Exterior route and return system
Color: Steel City Silver Mica
- 14 Steel Fence and Gate
Painted steel
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 15 Steel Entrance Canopy w/ perf. metal top
Painted steel
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 16 Tinted Glass (see through)
At curtain wall below ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria
- 17 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Grange Hall # DET 695
- 18 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Sheet Metal # DET 6356



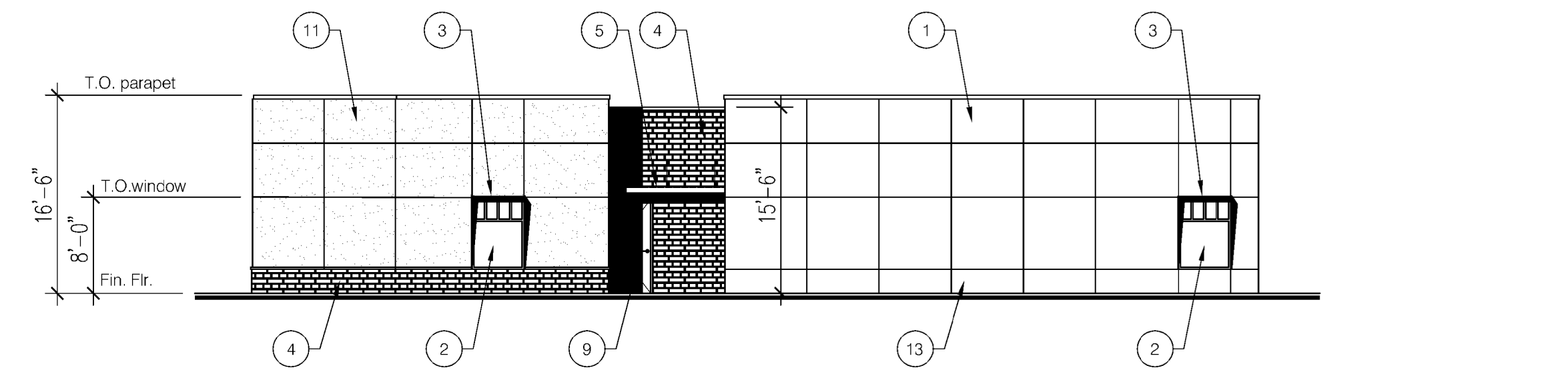
1 SOUTH EXTERIOR ELEVATION - COURTYARD
SCALE: 3/32" = 1'-0"
0' 4' 8' 16'



2 EAST EXTERIOR ELEVATION - COURTYARD
SCALE: 3/32" = 1'-0"
0' 4' 8' 16'



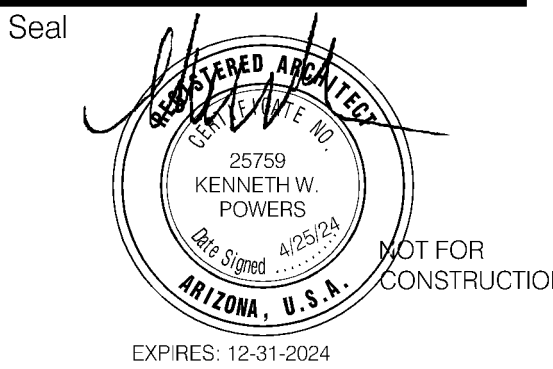
3 NORTH EXTERIOR ELEVATION - COURTYARD
SCALE: 3/32" = 1'-0"
0' 4' 8' 16'



1 WEST EXTERIOR ELEVATION - COURTYARD
SCALE: 3/32" = 1'-0"
0' 4' 8' 16'

Exterior Elevation keynotes

- 1 Aluminum Composite panels
Alucobond
Exterior route and return system
Color: Dusty Charcoal II
- 2 Aluminum Windows
Clear Fixed Vision Glass
Kawneer
Color: Clear anodized
- 3 Metal Plate Shade Assembly
Dunn Edwards
Color: So Chic # DET 614
- 4 Stone Veneer
Culture Stone
Hewn Stone
Color: Span
- 5 Metal Framed Canopy w/ suspended supports
Dunn Edwards
Color: So Chic # DET 614
- 6 Aluminum Curtain Wall
Kawneer
Trifab Verzaglaze 450
Color: Clear Anodized
- 7 Spandrel Glass (opaque)
At curtain wall above ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria
- 8 Clear Vision Glass
Vitro Architectural Glass
Solarban 60 low-E
Color: Clear
- 9 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 10 Exterior Front Door
Aluminum/Glass
Color: Clear Anodized
- 11 Exterior Insulating Finishing System (EIFS)
StoCorp.
Sto Therm ci GPS
Color: Gray 16281 26
- 12 Porcelain Exterior Wall Cladding
Cladding Corporation
Ceramic 5 porcelain Rainscreen
Size: 12" x 24"
Color: Ocean Gray NE 13
- 13 Aluminum Composite Panels
Alucobond
Exterior route and return system
Color: Steel City Silver Mica
- 14 Steel Fence and Gate
Painted steel
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 15 Steel Entrance Canopy w/ perf. metal top
Painted steel
Dunn Edwards
Color: Stieglitz Silver # DET 612
- 16 Tinted Glass (see through)
At curtain wall below ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria
- 17 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Grange Hall # DET 695
- 18 Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Sheet Metal # DET 6356



These drawings are instruments of service and are the property of Howard Perlman, AIA. Howard Perlman expressly reserves its common law copyright and other property rights to these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written permission and consent of Howard Perlman, AIA. Written dimensions on these drawings shall have precedence over scaled dimensions.
© COPYRIGHT 2022, HOWARD PERLMAN, AIA.

Rev	Date	By	Description

Skilled Nursing Facility
5456-5516 E. Main Street
Mesa, AZ 85205

Velda Rose Methodist Church
5540 E. Main Street
Mesa, AZ 85205

Project
Owner

Drawn/Checked By
LA

Date
10/16/2024

Project Number
324009

Sheet Number

COURTYARD EXTERIOR ELEVATIONS

A3.2

Skilled Nursing Facility - Southeast Corner View

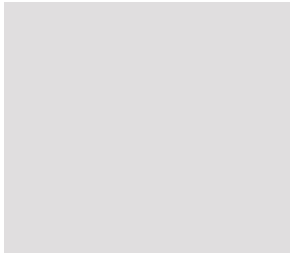


Skilled Nursing Facility - Front Looking at the Entrance





1
Aluminum Composite Panels
Alucobond
Exterior route & return system
Color: Dusty Charcoal II



2
Aluminum Windows
Clear Fixed Vision Glass
Kawneer
Color: Clear Anodized



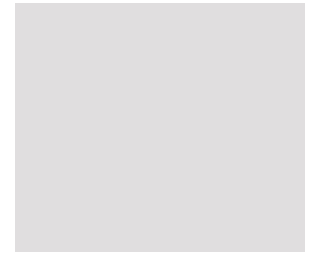
3
Metal Plade Shade Assembly
Dunn Edwards
Color: So Chic #DET 614



4
Stone Veener
Culture Stone
Hewn Stone
Color: Span



5
Metal Framed Canopy
with suspended supports
Dunn Edwards
Color: So Chic #DET 614



6
Aluminum Curtain Wall
Kawneer
Trifab Verzaglase 450
Color: Clear Anodized



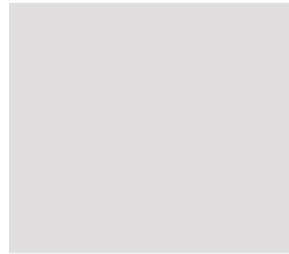
7
Spandrel Glass (Opaque) at
Curtain Wall
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria



8
Clear Vision Glass
Vitro Architectural Glass
Solarban 60 low-E
Color: Clear



9
Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Stieglitz Silver #DET 612



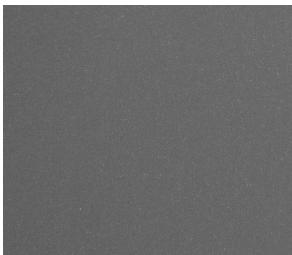
10
Exterior Storefront Door
Aluminum/Glass
Color: Clear Anodized



11
Exterior Insulating Finishing
System (EIFS)
Sto Corp.
Sto Therm ci GPS
Color: Gray 16281 26



12
Porcelain Exterior Wall Cladding
Cladding Corporation
Ceramic 5 Porcelain Rainscreen
Size: 12"x24"
Color: Ocean Grey NE 13



13
Aluminum Composite Panel
Alucobond
Exterior route and return system
Color: Steel City Silver Mica



14
Steel Fence, Gate
Painted Steel
Dunn Edwards
Color: Stieglitz Silver # DET612



15
Entrance Canopy
Painted Steel
Dunn Edwards
Color: Stieglitz Silver # DET612



16
Tinted Glass (See through)
at Curtain Wall Below ceiling
Vitro Architectural Glass
Performance Tinted Glass
Color: Azuria



17
Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Grage Halle #DET 695



18
Exterior Door
Steel Clad Solid Core
Dunn Edwards
Color: Sheet Metal #DE6356

**Skilled Nursing Facility
5456-5516 E. Main St.
Citizen Participation Plan
May 6, 2024**

Purpose:

The purpose of this Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts to be made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's requests to the City of Mesa for Site Plan Review, Design Review and Council Use Permit Review. These requests are being made for a proposed development located on 2.07 acres at 5456-5516 E. Main St. The site is further identified as Maricopa County APNs 141-77-055C, 055D and 055E. The proposed project is a new development of a Skilled Nursing facility.

By providing opportunities for citizen participation, the Applicant will ensure that those affected by this application have an adequate opportunity to learn about and comment on the proposed plan. The Applicant will provide neighborhood notice for future public hearings and any other meetings requested by citizens or Mesa staff.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Sean B. Lake

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
sean.lake@pewandlake.com

Sarah Prince

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
sarah.prince@pewandlake.com

Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. The Applicant will use a contact list provided by the City of Mesa for citizens and agencies in this area including interested neighbors (focused on neighbors within 500 or 1,000 feet of the site per Mesa staff's direction) and registered neighborhood associations and Homeowners Associations within 1 mile of the project.
2. The applicant will host a meeting with neighbors.
3. For public hearing notice, the applicant will post a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be

coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Projected Schedule:

Pre-Application Conference (PRS24-00040)	January 12, 2024
Neighborhood Meeting	TBD
Formal Submittal to City	May 6, 2024
Resubmittal	TBD
Submittal of Citizen Participation Report and Notification materials	TBD
Planning & Zoning Public Hearing	TBD
City Council Public Hearings	TBD

**Skilled Nursing Facility
5456-5516 E. Main St.
Citizen Participation Report
July 15 2024**

Purpose:

The purpose of this Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's requests to the City of Mesa for Site Plan Review, Design Review. These requests are being made for a proposed development located on 2.07 acres at 5456-5516 E. Main St. The site is further identified as Maricopa County APNs 141-77-055C, 055D and 055E. The proposed project is a new development of a Skilled Nursing facility.

By providing opportunities for citizen participation, the Applicant ensured that those affected by this application had adequate opportunity to learn about and comment on the proposed plan. The Applicant will provide neighborhood notice for future public hearings and any other meetings requested by citizens or Mesa staff.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Sean B. Lake

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
sean.lake@pewandlake.com

Sarah Prince

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
sarah.prince@pewandlake.com

Action Plan:

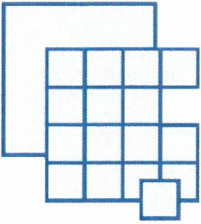
To provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. The Applicant used a contact list provided by the City of Mesa for citizens and agencies in this area including interested neighbors (focused on neighbors within 500 or 1,000 feet of the site per Mesa staff's direction) and registered neighborhood associations and Homeowners Associations within 1 mile of the project.
2. The applicant hosted a meeting with neighbors on July 15, 2024
3. For public hearing notice, the applicant will post a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be

coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Projected Schedule:

Pre-Application Conference (PRS24-00040)	January 12, 2024
Neighborhood Meeting	July 15, 2024
Formal Submittal to City	May 6, 2024
Resubmittal	July 15, 2024
Resubmittal	September 19, 2024
Submittal of Citizen Participation Report	September 19, 2024
Public Notices & Site Posting	TBD
Planning & Zoning Public Hearing	TBD
City Council Public Hearings	TBD



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew

Certified Real Estate Specialist

Sean B. Lake

Reese L. Anderson

July 26, 2024

RE: SKILLED NURSING FACILITY - NEIGHBORHOOD MEETING

Dear Neighbor:

Pew & Lake PLC., on behalf of our client, is pleased to inform you of the proposed development of a skilled nursing facility located on Main Street just west of 56th Street. The property is known as Maricopa County Parcel numbers 141-77-055C, 055D, and 055E and is shown below outlined in red.



As a part of the Citizen Participation Process, our team has set up a neighborhood meeting where we will present the project and provide more information. The meeting information is listed below.

Meeting Date: July 15, 2024 **Time:** 6:00 PM
Location: Velda Rose United Methodist Church
5540 E Main St, Mesa, AZ 85205

Should you have any questions, please contact me or Sarah Prince in my office by email at sean.lake@pewandlake.com or sarah.prince@pewandlake.com or by phone at 480-461-4670. We welcome any comments and feedback on this case. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,

Sean B. Lake
Pew & Lake, PLC

Neighborhood Meeting
Sign-In Sheet

Applicant:
Pew & Lake, PLC/ Circle the City

Property Location:
Main Street just west of 56th Street
APN: 141-77-055C, 055D and 055E

Date:
July 15th, 2024

Meeting Location:
Velda Rose United Methodist Church
5540 E Main St. Mesa AZ 85205

Time:
6:00 PM

Case:

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Duane Clark	602 E. Stonebridge Trl, Gilbert	85234	dbclarkaz@gmail.com	602-291-8996
2	BOYD ARNOLD	8865 E. Baseline Rd #938, Mesa, AZ	85209	azarno1ds2@gmail.com	480-354-5382
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

This sign-in sheet will be provided to the reviewing jurisdiction and will become a part of the public record for this case.

4 TROUBLE LLC
29575 N 74TH ST
SCOTTSDALE, AZ 852668113

5324 E MAIN STREET LLC
2556 E INVERNESS AVE
MESA, AZ 85204

5478 DREAMLAND LLC
640 N 65TH PL
MESA, AZ 85205

56TH MD INC
5701 E MAIN ST
MESA, AZ 85205

56TH STREET EAST MESA LLC
23223 NORMANDIE AVE
TORRANCE, CA 90501

ACHKOUTI ELIAS
5455 E ALBANY ST
MESA, AZ 85205

ACKERMAN ROSE A
5464 E BOSTON ST
MESA, AZ 85205

ADILYAR ROHULLAH
5644 E ANSEL AVE
MESA, AZ 85206

AISNER MICHELLE
5426 E BOSTON ST
MESA, AZ 85205

ALBANY VILLAGE COMMUNITY
ASSOCIATION
8840 E CHAPARRAL RD 200
SCOTTSDALE, AZ 85250

ALPHA BRAVO ASSOCIATES LLC
6926 GROVE ST
MARYSVILLE, WA 98270

ALVAREZ LEONARD/COCKMAN JULIE
5510 E BOSTON ST
MESA, AZ 85205

ALVAREZ YAZMINA VALENCIA
5528 E ALDER AVE
MESA, AZ 85206

AMOROSO MICHELE A
5407 E ALDER AVE
MESA, AZ 85206

ANAGNOSTOU LARISSA KAE
5614 E ALDER AVE
MESA, AZ 85206

ANGELUCCI LOUIS C/BARENZ JILL
MARIE
5472 E AKRON ST
MESA, AZ 85205

ARIZONA GOLF CART REPAIR LLC
1952 N 39TH ST
MESA, AZ 85205

ARMSTRONG GARY J/VICKEE L
5401 E ALBANY ST
MESA, AZ 85205

ARQUERO AUGUSTUS D/MA LAVINA
5438 E ALBANY ST
MESA, AZ 85205

BADAMI JAMES M
5472 E BOSTON ST
MESA, AZ 85205

BAGBY INVESTMENT PROPERTIES
LLC
34554 N BELL RD
QUEEN CREEK, AZ 85142

BAKER EARLE L/ANDERSON-BAKER
TONYA J
5460 E BOISE ST
MESA, AZ 85205

BALLESTEROS JESUS ALBERTO
ALCALA-
5422 E ALPINE AVE
MESA, AZ 85206

BARBOZA ALEJANDRO SALINAS
5431 E ALDER AVE
MESA, AZ 85206

BARNES DAVID/EVEA L
131 N HIGLEY RD UNIT 18
MESA, AZ 852058089

BARRIOS JESUS/CRUZ
5433 E CAROL AVE
MESA, AZ 85206

BARRIOS JESUS/CRUZ ELENA
5433 E CAROL AVE
MESA, AZ 85206

BEQUEAITH CLARENCE
5427 E BOSTON ST
MESA, AZ 85205

BESHARA EMAD/GERGES MONIRA B
5462 E ALBANY ST
MESA, AZ 852058710

BHAKTA BHARATBHAI R
5414 E MAIN ST
MESA, AZ 85205

BHAKTA
SURESHBHIA/SUNANDABEN/ETAL
5414 E MAIN ST
MESA, AZ 85205

BHAKTA TARUNBHAI
5531 E MAIN ST
MESA, AZ 85206

BITZ VERNON F/SHARON M
PO BOX 5306
BOZEMAN, MT 59717

BJORKLUND ERIC P/NICKOLE L
5632 E ALDER AVE
MESA, AZ 85206

BOBCAT TRUST
1102 N CAMELOT DR
PAYSON, AZ 85541

BOEHNLEIN ROBERT/ROSEMARY
5613 E ALDER AVE
MESA, AZ 85206

BOROST LLC
617 E PONY LN
GILBERT, AZ 85295

BOSTON PROPERTIES AND HOLDINGS
LLC
2433 E JAVELINA AVE
MESA, AZ 85204

BRANDT RICHARD A
1702 W CAMELBACK RD
PHOENIX, AZ 85015

BREWER PRISCILLA YANNINA
811 LYONS CIR NW
PALM BAY, FL 32907

BRIDGES JAMES ALAN/JULIA L
5452 E BOISE ST
MESA, AZ 85205

BRILIN HOLDINGS LLC
1551 E UNIVERSITY DR
MESA, AZ 85203

BROWN RANDALL/MARY
1229 MILLVIEW ROAD SW
CALGARY, AB 0

BROWN STEPHANIE PACE
2642 KOUSA DR
WINSTON SALEM, NC 27106

BRYANT JOHANNA L
5419 E ALDER AVE
MESA, AZ 85206

BURCH ROBERTA L
5526 E BOSTON ST
MESA, AZ 85205

BURRELL MARK
5521 E ALDER AVE
MESA, AZ 85206

BUTLER SANDRA L/MICHAEL P
5443 E BOSTON ST
MESA, AZ 85205

BXS PROPERTIES LLC
3686 E BARANCA CT
GILBERT, AZ 85297

CANNEDY FAMILY LIVING TRUST
5548 E ALDER AVE
MESA, AZ 85206

CAPPELLO GARY/HEIDI L
13470 ENTREKEN AVE
SAN DIEGO, CA 92129

CAROLAN LORI
5441 E BOISE ST
MESA, AZ 85205

CARPENTER FAMILY LIVING TRUST
2057 E COVINA ST
MESA, AZ 85213

CARPENTER VERNON H
5408 E AKRON ST
MESA, AZ 85205

CASTANEDA AMADEO
5433 E BOISE ST
MESA, AZ 85205

CDO LLC
7642 E HERMOSA VISTA DR
MESA, AZ 85207

CHAVEZ ELOY A/KATIE V
5497 E BOSTON ST
MESA, AZ 85205

CHERYL HUFFMAN TRUST
131 N HIGLEY RD UNIT 76
MESA, AZ 85205

City of Mesa Development Services
Department
ATTN: Jennifer Merrill
PO Box 1466
Mesa, AZ 85201

CLAR GLORIA ANDREA TR
11417 E MCDOWELL RD
APACHE JUNCTION, AZ 85220

CMD ASSETS LLC
6040 E MAIN ST STE 466
MESA, AZ 85205

CNK MANAGEMENT LLC
5504 E ALDER AVE
MESA, AZ 85206

COLES GEORGE/ROSETTA
1775 LEISURE WORLD
MESA, AZ 85206

COMPTON RANDY S
5420 E ALDER AVE
MESA, AZ 85206

COOK HOLLY ANN
3350 DEPEW ST
WHEAT RIDGE, CO 80212

COPLIN JANICE K
2746 ASHTON DR
SAGINAW, MI 48603

CORAZZOL BARBARA A
5464 E AKRON ST
MESA, AZ 85205

CORDES CLIFTON WALTER
5430 E ALBANY ST
MESA, AZ 85205

CORDOBA PROPERTIES LLC
5450 E CAPRI AVE
MESA, AZ 85206

CORVERA LUIS A
5544 E ALPINE AVE
MESA, AZ 85206

Councilmember Julie Spilsbury
PO Box 1466
Mesa, AZ 0

CROFTS JAMES/CHERYL
5541 E BOISE ST
MESA, AZ 85205

CURRAN CHRISTOPHER J
3692 S ROSEMARY DR
CHANDLER, AZ 85248

DALSGAARD DELBERT/JODI
519 N WASHINGTON AVE
SPRINGFILED, MN 56087

DARRYL W MORGAN AND LORETTA A
MORGAN TRUST
12220 GREGORY RD
ANCHORAGE, AK 99516

DAVID C GEORGE AND HELEN G
GEORGE REV LIV TR
3807 N 195TH DR
BUCKEYE, AZ 85396

DAVIS FAMILY TRUST
131 N HIGLEY RD UNIT 17
MESA, AZ 85205

DAVIS LORNA RAE
3142 S 700 W
BOUNTIFUL, UT 84010

DAVIS WILLARD MICHAEL
131 N HIGLEY RD UNIT 35
MESA, AZ 85205

DE BARTOLO SHARLENE
5518 E BOISE ST
MESA, AZ 85205

DE LA SANCHA MOISES OCHOA
235 N ELLSWORTH RD LOT 48
MESA, AZ 85207

DEGREEFF ANTHONY THOMAS
5410 E ALDER AVE
MESA, AZ 85206

DELIJANI BRANDON
314 N DOHENY DR STE 100
BEVERLY HILLS, CA 90211

DENIZ EZEQUIEL GARCIA/NOHEMI
QUINTERO VASQUEZ
5449 E ALDER AVE
MESA, AZ 85206

DORMAN KAREN K
5470 E ALBANY ST
MESA, AZ 85205

DOUGLAS L ANDERSON REVOCABLE
TRUST/ETAL
4210 COLFAX AVE
LINCOLN, NE 68504

DUARTE-GARCIA GABRIEL F
428 S 97TH WAY
MESA, AZ 85208

DUNLAP DONALD F/VERNETTA F
39 N MAPLE
MESA, AZ 85205

DUPONT PATRICK
5439 E ALBANY ST
MESA, AZ 85205

EAST VIEW APARTMENTS LLC
614 N ROBSON
MESA, AZ 85201

EGGUM CLARENCE/JESSIE
301 S SIGNAL BUTTE RD G12
APACHE JUNCTION, AZ 85120

ELIZABETH A DESATNIK FAMILY
TRUST
131 N HIGLEY RD UNIT 13
MESA, AZ 85205

ELIZABETH MARDINI TRUST
PO BOX 31630
MESA, AZ 85275

ELLER SHARA J/SIENER STACEY P
5482 E BOISE ST
MESA, AZ 85205

ELY MANUEL J/KELLY K
5556 E ALDER AVE
MESA, AZ 85206

EMBLETON ROBERT D/LOGAN LINDA
JEAN
131 N HIGLEY RD UNIT 25
MESA, AZ 85205

ENGLLEN RENEE LOUISE
131 N HIGLEY RD UNIT 26
MESA, AZ 85205

ENGLUND WAYNE C/LINDA/JOHNSON
BARBARA/BRIAN
101 N 55TH ST
MESA, AZ 85205

ESCOBEDO DONNIE/RAYMUNDO
MARISSA
5656 E ANSEL AVE
MESA, AZ 85206

ESCOBEDO EDWARD B/JOSEPHINE B
5481 E BOSTON ST
MESA, AZ 85205

FARNSWORTH RESIDENTIAL LP LLP
460 S GREENFIELD STE 2
MESA, AZ 85206

FAVAZZO BRANDON/SABRINA
5639 E ADRIAN AVE
MESA, AZ 85206

FAWLEY CHAD ALLEN/ALICIA ANN
12805 FELLOWSHIP WAY
RENO, NV 89511

FERRARI JAY DEE/FONDA MATTHIS
5407 E ALBANY ST
MESA, AZ 85205

FIFTY FIFTH STREET PROPERTIES
LLC ETAL
5501 E BOSTON ST
MESA, AZ 85205

FLAVIN CAITLIN L/XAVIER M
220 N GREENFIELD RD APT 20-11
MESA, AZ 85205

FLEET LNE PROPERTIES LLC
34211 PACIFIC COAST HWY
DANA POINT, CA 92629

FLOROM HARVEY D
5488 E BOSTON ST
MESA, AZ 85205

FLOWERS ROBERT A/THOMPSON
MELISSA E
9325 E DOVE ROOST RD
QUEEN CREEK, AZ 85142

FYR SFR BORROWER LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

GALLARDO TARA KAY
5449 E AKRON ST
MESA, AZ 85205

GASKINS VIVIAN J
5332 E APACHE TR
MESA, AZ 85205

GEORGE PAUL R
131 N HIGLEY RD UNIT 36
MESA, AZ 85205

GLENVIEW AND ALPINE PROPERTIES
LLC
6538 E EL PASO ST
MESA, AZ 85205

GMC 2012 LLC
1320 N AMBROSIA
MESA, AZ 85205

GONZALEZ NATHON
1038 S 98TH ST
MESA, AZ 85208

GRAFF SARA K
5457 E BOISE ST
MESA, AZ 85205

GRAY GHOST HOLDINGS LLC
411 S HONEYSUCKLE LN
GILBERT, AZ 85296

GREEN HOME RENTALS LLC
111 E DUNLAP AVE STE 1-293
PHOENIX, AZ 85020

GRISWOLD JAMES H
152 N 54TH ST
MESA, AZ 85205

GROVER T MOORE AND SHIRLEY F
MOORE REV TRUST
448 N 56TH PL
MESA, AZ 85205

GUY AVERETT AND BARBARA
SHERER TR
5435 E BOSTON ST
MESA, AZ 85205

H & I HOLDINGS MESA LLC
4550 S HIGLEY RD
GILBERT, AZ 85297

HARDWICK WILLIAM J/LINDA L
4235 N VASSAULT ST
TACOMA, WA 98407

HARMON RACHEL/LATAS DANIEL
125 S 56TH ST UNIT 95
MESA, AZ 85206

HARSHAW JOHN H/DALY KATHLEEN
5607 E ADLER AVE
MESA, AZ 85206

HATHAWAY BONNIE LEE
440 E 4TH N
SAINT ANTHONY, ID 83445

HAYWOOD ADAM D
5508 E ALDER AVE
MESA, AZ 85206

HEBERT ALEX JAMES/ASHLEY
148 N 56TH PL
MESA, AZ 85205

HEFNER JR WILLIAM A JR/ETHEL
2240 E KENWOOD ST
MESA, AZ 85213

HEGER JAMES J
131 N HIGLEY RD UNIT 39
MESA, AZ 85205

HEITKAMP-MADSON BETH A
PO BOX 561
BATTLE LAKE, MN 56515

HELPING HAND RENTAL L L C
110 N NOTTINGHAM LN
PAYSON, AZ 85541

HOCKINS RUSSELL W
117 N 55TH ST
MESA, AZ 85205

HOISETH TERESA
2240 LILY DR
LOVELAND, CO 80537

HOLLEY JOY C
156 N 56TH PL
MESA, AZ 85205

HOOTEN SANDRA L/BRIESE SHARON
ALLEEN/WARREN DEE
131 N HIGLEY RD UNIT 31
MESA, AZ 85205

HORNER JOCELYN/EBERLY TRIPP
5418 E BOSTON ST
MESA, AZ 852058146

HUNT WILLIAM H/GLADYS L
5406 E ALBANY ST
MESA, AZ 85205

HUYSEN RICHARD
3920 S RURAL RD STE 110
TEMPE, AZ 85282

ICZKOWSKI CHARLENE
125 S 56TH ST 94
MESA, AZ 85206

IH6 PROPERTY PHOENIX LP
1717 MAIN ST 2000
DALLAS, TX 75201

INCLAN OLGA ALICIA
5401 E AKRON ST
MESA, AZ 85205

JENKINS MITCHELL/ERICA
5609 E ADRIAN AVE
MESA, AZ 85206

JIMENEZ LADISLAO SALAZAR
PO BOX 9011
MESA, AZ 85214

JOHNSON CLIFFORD A/SHIRLEY
1709 6TH ST W
WEST FARGO, ND 58078

JOHNSON LARRY
720 BROWNING AVE
BISMARCK, ND 58503

JOHNSTAR LLC
306 N FRASER DR W
MESA, AZ 85203

JONES JOLE G/ERLANDSON JODY
5402 E ALBANY ST
MESA, AZ 85205

KAREN M SCHENEKER LIVING TRUST
133 N 55TH ST
MESA, AZ 85205

KASAL PROPERTY MANAGEMENT
LLC
2006 E JEROME AVE
MESA, AZ 85204

KEELEY M LYNN
131 N HIGLEY RD UNIT 11
MESA, AZ 85209

KEISTER ANNA M
5412 E ALDER AVE
MESA, AZ 85206

KELASH DIANNA J
5463 E BOISE ST
MESA, AZ 85205

KIRKEY JULIE ANNA
11321 KATRINE DR
FENTON, MI 48430

KLINGHAGEN GARY
225 N CARLA AVE
TEA, SD 57064

KOZINSKI ROBERT J
125 S 56TH ST 93
MESA, AZ 85206

KRAMER DAVID M SR/GENEVIEVE M
131 N HIGLEY RD UNIT 80
MESA, AZ 85205

KRAUSE FAMILY LIVING TRUST
11502 E ONZA AVE
MESA, AZ 85212

LAINÉ NIKI/FROST RONALD B
5442 E BOSTON ST
MESA, AZ 85205

LANDWEHR JERRY
5401 E BOSTON ST
MESA, AZ 85205

LARRY L AND RUTH ADELL
LEPOIDEVIN LIV TRUST
5417 E BOISE ST
MESA, AZ 85205

LAWRENCE TERRY
5441 E AKRON ST
MESA, AZ 85205

LEE AUSTIN CHANDLER/COURTNEY
NOELLE
154 N 56TH PL
MESA, AZ 85205

LEIX FAMILY TRUST
5518 E BOSTON ST
MESA, AZ 85205

LEONARD AND KATHLEEN COOPER
TRUST
5357 E MAIN ST
MESA, AZ 85205

LEONARD ROBIN
210 N 56TH ST
MESA, AZ 85205

LINARES JEANETTE
502 E AVENIDA SIERRA MADRE
GILBERT, AZ 85296

LIPSON THERESE A
5444 E BOISE ST
MESA, AZ 85205

LOPEZ ABRAHAM SUAREZ
3927 E ASPEN AVE
MESA, AZ 85206

LUONG MINH TRAN/PRISCILLA
5602 E MAIN ST
MESA, AZ 85205

LY NICK/HUYNH MONG THI NHU
204 N 56TH PL
MESA, AZ 85205

MADISON DAVID D
5409 E AKRON ST
MESA, AZ 85205

MAIN STREET CASITAS
HOMEOWNERS ASSOCIATION
450 N DOBSON RD STE 201
MESA, AZ 85201

MANLOVE CAROLYN L
PO BOX 7
CUSTER, SD 57730

MARIE B REINHARD LIVING TRUST
131 N HIGLEY RD UNIT 14
MESA, AZ 85205

MARILYN K SCHUSTER LIFETIME
TRUST
6687 14TH AVE NE
KEIZER, OR 97303

MARTIN DANA E
5415 E ALBANY ST
MESA, AZ 85205

MARTIN EVANGELINE A
5440 E AKRON ST
MESA, AZ 85205

MARTINEZ SHIRLEY M
5502 E BOSTON ST
MESA, AZ 85205

MAXTON BEVERLY
5650 E ANSEL AVE
MESA, AZ 85206

MAXWELL JANET T
128 N 54TH ST
MESA, AZ 85205

MAZA GUSTAVO/AMALIA
5645 E ADRIAN AVE
MESA, AZ 85206

MEJIA LAURA/CALDERON JOHN
131 N HIGLEY RD UNIT 29
MESA, AZ 85205

MELANIE SMITH BULSECO TRUST
197 KING PALM CT
VENICE, FL 34292

Melissa Hollenbeck
PO Box 1466
Mesa, AZ 85201

MICHAEL & MARY ROOS FAMILY
TRUST
131 N HIGLEY RD UNIT 30
MESA, AZ 85205

MICHAEL & TERI COLE TRUST
5554 E ALDER AVE
MESA, AZ 85206

MICHAEL AND ANN FINNEGAN
TRUST
25 LAKELAND SHORES RD
LAKELAND SHORES, MN 55043

MIDDENDORF MICHAEL J/DEBORAH
131 N HIGLEY RD 27
MESA, AZ 85205

MIKALACKI DRAGOMIR/SLAVICA
1807 E MENLO ST
MESA, AZ 85203

MILLER ISAAH A/HALL BRIAN E
1068 N PANTHER CREEK RD
OTIS, OR 94368

MISSION BANK
5555 E MAIN ST
MESA, AZ 85205

MORALES REGINO MIGUEL
MARQUEZ
5549 E ALPINE AVE
MESA, AZ 85206

MORENO LEROY A
5458 E ALDER AVE
MESA, AZ 85206

MORGAN LAURIE ANNIS/CHRISTINA
NOEL
5436 E ALDER AVE
MESA, AZ 85206

MSL ASSETS LLC
2338 W ROYAL PALM RD STE J
PHOENIX, AZ 85021

MUTH CLARENCE J TR
125 N 55TH ST
MESA, AZ 85205

MUTH DAVID C & VICKI L
5526 E ALPINE
MESA, AZ 85206

NAVARRETE JUAN
5468 E BOISE ST
MESA, AZ 85205

NAVARRETE TRUST
5417 E AKRON ST
MESA, AZ 85205

NAZARY ABDUL SHOHAB
5644 E ALDER AVE
MESA, AZ 85206

NELMS BRANDY
5556 E ALPINE AVE
MESA, AZ 85206

NELSON LEO K/CAROL L
19962 FURUBY RD
TAYLORS FALLS, MN 55084

NELSON PAUL DAVID
140 N 56TH PL
MESA, AZ 85205

NIEMI KATHRYN
5447 E ALBANY ST
MESA, AZ 85205

NISSEN STEVEN
5450 E BOSTON ST
MESA, AZ 85205

NIX BILL H/DIANE R
12711 CARDINAL CIR
ANCHORAGE, AK 99516

OCALAGHAN BENJAMIN
5550 E ALPINE AVE
MESA, AZ 85206

OFFERPAD POINT LLC
2150 E GERMANN RD STE 1
CHANDLER, AZ 85286

OLD PUEBLO EMERGENCY
PHYSICIANS PC PROFIT SHA
901 W LAS LOMITAS RD
TUCSON, AZ 85704

OLIVA LEGACY HOUSES LLC
1442 N EL DORADO DR
CHANDLER, AZ 85224

OLLAR EDGAR LEONARD/DEBORAH
SUE
5490 E BOISE ST
MESA, AZ 85205

OLSON ROBERT D/PAMELA J/DOAN
CAROLINE
5514 E ALPINE AVE
MESA, AZ 85206

OPATZ LIVING TRUST
2575 PALISADES CREST DR
LAKE OSWEGO, OR 97034

PAGAN EDWIN S ORTEGA/ORTEGA
CENTENO SATURNINO/WILFREDO
1513 W 1ST PL
MESA, AZ 85201

PANTE REBECCA G
5480 E AKRON ST
MESA, AZ 85205

PATRICK LAWLOR LLC
6516 GUIDE MERIDIAN RD
LYNDEN, WA 98264

PAULA LOUISE GOETSCH TRUST
5487 E BOISE ST
MESA, AZ 85205

PERREAULT SOILA
5476 E BOISE ST
MESA, AZ 85205

PETTY KATHLEEN L
131 N HIGLEY UNIT 24 #100
MESA, AZ 85205

PIKE LINDA S
1742 E QUEEN PALM DR
GILBERT, AZ 85234

PRIDE TINTING LLC
5422 E ALPINE AVE
MESA, AZ 85206

PROGRESS PHOENIX LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PROGRESS RESIDENTIAL BORROWER
19 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PROGRESS RESIDENTIAL BORROWER
21 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

RAMOS JESUS ONOFRE ALVAREZ
5452 E ALPINE AVE
MESA, AZ 85206

RANSCHAU CLARA MAE TR
2517 S MAIN
SIOUX FALLS, SD 57105

RAU FAMILY ASSET PROTECTION
TRUST
2243 E JACARANDA ST
MESA, AZ 85213

RAYMOND CHARLES JORDAN LIVING
TRUST
150 N 56TH PL
MESA, AZ 85205

REACT FINANCIAL LLC
10632 N SCOTTSDALE RD B466
SCOTTSDALE, AZ 85254

RENSTED RODNEY LEE
5416 E ALDER AVE
MESA, AZ 85206

REVOCABLE LIVING TRUST
1030 N GRAND
MESA, AZ 85201

RICHARD P ABERWALD LIVING
TRUST
5479 E BOISE ST
MESA, AZ 85205

RICHARDS JOSEPH C
141 N 56TH PL
MESA, AZ 85205

RICKS INVESTMENTS LIMITED
PARTNERSHIP
6001 E UNIVERSITY DR
MESA, AZ 852057517

RICO LUCIO CARLOS/URIAS IMNA
EDILIA GARCIA
625 W MCKELLIPS RD UNIT 320
MESA, AZ 85201

RIGHI CARTER
VALENTINO/ELIZABETH H
160 N 56TH PL
MESA, AZ 85205

RJ MAIN LLC
2470 E DESERT WILLOW DR
PHOENIX, AZ 85048

ROACH CHARLES FREDRICK
5527 E ALDER AVE
MESA, AZ 85206

ROB ROY INVESTMENTS LLC
1703 N THORNTON RD
CASA GRANDE, AZ 85122

ROCHA DANIEL PEREZ
728 S HORNE UNIT 3
MESA, AZ 85204

ROCK CREEK BAY HOLDINGS LLC
4245 E PALM ST
MESA, AZ 85215

RONK JEFFREY A/BOSTON CAROL A
5413 E ALDER AVE
MESA, AZ 85206

ROSE CLEO D
PO BOX 2167
APACHE JUNCTION, AZ 85117

ROSS NOLAN
5621 E ADRIAN AVE
MESA, AZ 85206

SABADO REY DAVID FLORES
5825 W MARYLAND AVE LOT 13 #11
GLENDALE, AZ 85301

SALAMON LIVING TRUST
5425 E BOISE ST
MESA, AZ 85205

SALAS ANDREW J/LOPEZ RENEE C
225 N STANDAGE 21
MESA, AZ 85201

SALIBA HOGAN INVESTMENTS LLC
5533 W RIVIERA DR
GLENDALE, AZ 85304

SAMM MICHAEL BRUCE
131 N HIGLEY RD UNIT 34 #120
MESA, AZ 85205

SANDERSON AMY/MAJOR TIMOTHY
5638 E ALDER AVE
MESA, AZ 85206

SANDOVAL JANET
400 E SAN ANGELO AVE
GILBERT, AZ 85234

SARGENT VINCENT
120 N 54TH ST
MESA, AZ 85205

SAWYER RYAN
5625 E ALDER AVE
MESA, AZ 852061498

SCANNELL MICHAEL A
PO BOX 1053
GRAND BLANC, MI 48480

SCHAFROTH KIMBERLY A
5506 E ALDER AVE
MESA, AZ 85206

SCHAMER FAMILY TRUST
5465 E BOSTON ST
MESA, AZ 85205

SCHAUMBURG JESSICA LYNN/LUKE
WILLIAM
5615 E ADRIAN AVE
MESA, AZ 85206

SCHILT ANNETTE
5631 E ALDER AVE
MESA, AZ 85206

SERAFIN MARIAN
5338 E MAIN ST
MESA, AZ 85205

SHERWOOD INVESTMENTS LLC
456 W MAIN ST
MESA, AZ 85201

SHINKO PAUL
5425 E AKRON ST
MESA, AZ 85205

SHOBERG SHARON L
9379 HERITAGE DR
BLACK HAWK, SD 57718

SHOWALTER ASHLEY J
5662 E ANSEL AVE
MESA, AZ 85206

SIBEL RAYNELLE
5622 E ADRIAN AVE
MESA, AZ 85206

SILVA DEBRA
131 N HIGLEY RD UNIT 41
MESA, AZ 85205

SILVA VANESSA A
5513 E ALPINE AVE
MESA, AZ 85206

SIMMONS GEORGE E/HOUSER
JORDAN A
5509 E ALDER AVE
MESA, AZ 85206

SIRRINE RONALD K/SANDRA B TR
1117 N BARKLEY ST
MESA, AZ 85203

SMITH DONALD/CAROL
5473 E AKRON ST
MESA, AZ 85205

SMITH FAMILY TRUST
5458 E ALPINE AVE
MESA, AZ 85206

SMITH JAMES G
109 N 55TH ST
MESA, AZ 85205

SMITH PAMELA
131 N HIGLEY RD UNIT 79
MESA, AZ 85205

SMYTHE CHARLENE M
5495 E BOISE ST
MESA, AZ 85205

SNYDER CAROL
5422 E ALBANY ST
MESA, AZ 85205

SNYDER WILLIAM E/EVELYN D
5502 E BOISE ST
MESA, AZ 85205

SOBA MESA LLC
6262 E BROADWAY RD
MESA, AZ 85206

SOLANO CAROLYN/WALTER TONI
SOLANO
5449 E BOISE ST
MESA, AZ 85205

SOLTERO ESTHER
5451 E BOSTON ST
MESA, AZ 85205

SPIVEY CLIFTON E JR/MASON ORTIE
5608 E ALDER AVE
MESA, AZ 85206

ST JAMES JANICE LOUISE
131 N HIGLEY RD UNIT 32
MESA, AZ 85205

STANNY LORAYNE
5456 E AKRON ST
MESA, AZ 85205

STEVENS EDWARD JAY
5402 E AKRON ST
MESA, AZ 85205

STINEBUCK CHRISTOPHER
5520 E ALPINE AVE
MESA, AZ 85206

STOREY BARBARA A
5558 E ALDER
MESA, AZ 85206

STUYCK BETTIE TR
5501 E BOISE ST
MESA, AZ 85205

SUAREZ BLANCA PAULINA
OCHOA/TORRE ADRIAN ZAPIEN DE LA
5534 E ALDER AVE
MESA, AZ 85206

SUMMIT ADVISORY GROUP LLC 401K
PROFIT SHARING PLAN
PO BOX 1023
GILBERT, AZ 85299

SUNFLOWER FUNERAL HOLDINGS
LLC
5650 E MAIN ST
MESA, AZ 852058813

SUSA MESA L P
PO BOX 71870
SALT LAKE CITY, UT 84171

URBINA CARLOS GUSTAVO
144 N 54TH ST
MESA, AZ 85205

VALDEZ DAVID/IRENE
5440 E ALPINE AVE
MESA, AZ 85206

VALDEZ DAVID/IRENE J
5440 E ALPINE AVE
MESA, AZ 85206

VALDEZ PERLA IRENE
5433 E ALPINE AVE
MESA, AZ 85206

VALIQUETTE RONALD G
5537 E ALPINE AVE
MESA, AZ 85206

VAN VORST MELVIN E & JUDITH A
131 N HIGLEY RD 78
MESA, AZ 85205

VAZQUEZ JOSE SOCORRO
G/GUTIERREZ IDALY
5464 E ALPINE AVE
MESA, AZ 85206

VELDA ROSE METHODIST CH OF
MESA
5540 E APACHE TRL
MESA, AZ 85205

VELDA ROSE UNITED METHODIST CH
OF MESA
5540 E APACHE TRL
MESA, AZ 85205

VELDA ROSE UNITED METHODIST
CHURCH
5540 E APACHE TRL
MESA, AZ 85205

VELDA ROSE UNITED METHODIST
CHURCH
5540 E MAIN ST
MESA, AZ 85205

VELDA ROSE UNITED METHODIST
CHURCH INC
5540 E MAIN ST
MESA, AZ 85205

VICEDO LORELEI IAN MARIE
B/REGALADO D
5633 E ADRIAN AVE
MESA, AZ 85206

VILLANYI LISA
5432 E AKRON ST
MESA, AZ 85205

VOSSMER RALPH/SUSAN
131 N HIGLEY RD UNIT 23
MESA, AZ 85205

WALL ARTHUR/DENISE
5473 E BOSTON ST
MESA, AZ 85205

WARNECKE AUDREY
5448 E AKRON ST
MESA, AZ 85205

WARREN DAVID P/DEBORAH L
5481 E AKRON ST
MESA, AZ 85205

WASMUNDT SHIRLEY/MORGAN
SANDRA J
5434 E ALPINE AVE
MESA, AZ 85206

WATSON MATTHEW
NATHANEAL/VANESSA MADRIGAL
5626 E ALDER AVE
MESA, AZ 85206

WEDDING KATHY L
131 N HIGLEY RD UNIT 77
MESA, AZ 85205

WEIS MAYNARD G
202 22ND ST NW
AUSTIN, MN 55912

WENDT CARL A
136 N 54TH ST
MESA, AZ 85205

WESTLAND PARTNERS LLC
757 EMORY ST 105
IMPERIAL BEACH, CA 91932

WHICKER JOHN
PO BOX 7265
MESA, AZ 85216

WILKIN BRANDON R/NOBLE
BREANNA BAEZA
206 N 56TH PL
MESA, AZ 85205

WILLIAMS CHARLES/SA-ARD W
5489 E BOSTON ST
MESA, AZ 85205

WILLIAMS JEFFREY OWEN
5410 E ALPINE
MESA, AZ 85206

WINDMILLER GLORIA J
101 S YUCCA ST, UNIT 196
CHANDLER, AZ 85224

WINN WENDELL W TR
160 N 54TH ST
MESA, AZ 85205

WOLOWICZ ELWYN H TR
604 WHIPPLE AVE
OAKLAND, RI 02858

YARRINGTON DALLIN M
1265 CORONA POINTE CT 301
CORONA, CA 92879

ZHAO XIANG
158 N 56TH PL
MESA, AZ 85205

ZORKO REINHARD V/PAMELA L
5341 E MAIN ST 101
MESA, AZ 85205

**Skilled Nursing Facility
ZON24-00405
Neighborhood Meeting
Velda Rose Church
July 15, 2025
6:00 PM**

Hosted by: Pew & Lake, PLC. – Sean B. Lake & Sarah Prince

Neighbors in attendance: See sign in sheets

Summary:

Mr. Lake began the meeting at 6:03 pm with an introduction of the development team and a PowerPoint presentation. The PowerPoint presentation provided renderings, a project descriptions, and a description of the requests being made to the City of Mesa.

At 6:12 PM, Mr. Lake completed the presentation and opened the meeting up for questions. The questions and answers provided are listed below.

1. When does the developer anticipate that the construction will be completed?
 - a. The developer hopes to have the project completed by the end of 2025 or early 2026.

2. Who is responsible for the building, the City or a Private agency?
 - a. This is not a City or government owner operation. A private company will be responsible for the building and the maintenance.

3. Is this a for profit facility?
 - a. No. The facility is owned by a non-profit organization.

Conclusion: The meeting ended at 6:18 PM. The neighbors did not voice any opposition to the project and had positive comments about the design and compatibility with the adjacent church site.