

NARRATIVE – ANGIE’S PRIME GRILL – STORE 11002, 1118 W. GUADALUPE RD

The following narrative is provided as part of the Special Use Permit submittal package for a new Angie’s Prime Grill to be located at 1118 W. Guadalupe Road, Mesa, AZ 85210.

The site is in an existing commercial center on the northeast corner of Guadalupe Road and Alma School Road. The Assessor Parcel Number for the site is 302-87-815. The proposed Angie’s Prime site is bounded on the south by W. Guadalupe Road, on the north, east, and west by existing commercial centers. The parcel is currently a car wash to be demolished.

The site is a 35,000 square foot developed pad with an existing car wash that will be demolished as part of the project. Angie’s Prime Grill consists of an 1,840 square foot building. The building consists of a kitchen, storage, restrooms and 411 feet of indoor dining. The facility will have a drive-thru window with approximately 251 lineal feet of queuing. The queuing will consist of two drive-thru lanes at the start of the drive-thru merging into one lane just before the “ORDER” station. Customers will exit the site onto Guadalupe Road.

The current zoning of the proposed Angie’s Prime Grill parcel is LC. All the parcels surrounding the Angie’s Prime Grill parcel are also zoned LC. The purpose of this Special Use Permit application is to ask for a variance to the required number of parking stalls for this type of development.

We are requesting the following:

Variance Request		
Type of Variance	City of Mesa Requirement	Reduction Requested
Required No. of Parking Stalls	11 spaces	8 spaces

Parking Stall Reduction:

- A reduction in the number of required parking stalls for the project from the eleven stalls required to the eight parking stalls provided. Please refer to the parking study prepared by CivTech and included with this submittal for additional information.
- A reduction in parking stalls that are not needed also results in a safer site due to less conflict between pedestrians and vehicles in the parking lot.

The drive-thru nature of the project always raises concerns regarding the amount of available queuing. The following narrative along with the queuing study that has been included with this submittal, is meant to help the city understand how the queuing will work and why we feel it fulfills the intent of the city’s queuing requirements.

are the main customer focus along with quick turn-around times. Because of the limited menu and the efficient interior working space inside the restaurant, Angie's has developed a very efficient drive-thru lane model. There are 2 key points to their drive-thru model

- A limited menu
- Order Station Payments

Limited Menu - With a limited menu offering, food preparation time is reduced dramatically, which leads to greater efficiency in order preparation and delivery. Through testing and trial, Angie's has determined that they can have orders prepared and ready to deliver to the customer with approximately 42.5 feet between the order location and the pick-up window. This distance translates to one car at the order location, one car at the pick-up window and one car between the two. Orders are delivered quickly and the food is hot, two of the main objectives for Angie's.

Order Station Payments – Ordering and payment are completed at the order station. The customer uses a speaker box to place their order and then pays using a card reader. This form of ordering and payment is effective because of the limited menu and removal of the need for the employee to process the payment at the window. To keep the ordering efficient, a preview board is placed approximately twenty-four feet before the order station.

We are also providing two drive-thru lanes at the entrance of the drive-thru area. These lanes merge into one lane just before the preview board. With this configuration, we can provide enough queuing length for twelve vehicles.

This process is unique and different from the typical quick service restaurant models that have historically been developed within the City of Mesa. The queuing and parking studies included with this submittal indicate that the Angie's process addresses the city's concerns regarding traffic queuing creating congestion in surrounding areas and meets the intent of the city's new queuing requirements for quick service restaurant facilities. Because the model limits the amount of sit-down customers, the parking study shows the number of parking spaces provided will be sufficient to service this project.

After discussions with the City of Mesa, it was decided that referencing the materials of the Parts Authority building to the East was not desirable as the only finish was stucco, in three colors and Mexican tile roof that we are not using (see Exhibit 1 attached). However, referencing the materials used on the Walgreen's building to the West would be acceptable. Walgreen's uses stucco in four colors (totaling about 80% of elevations), split face C.M.U. (about 20%) and Mexican Tile Roof at drive-thru (see Exhibit 2 attached). We are adding the split face C.M.U. wainscot around the building as required (color close to Walgreen's), Cream color stucco (complimentary to Walgreen's), maintaining the vertical wood planks but in a wood composite to withstand AZ climate and metal trims in dark bronze. Existing masonry site walls with stucco finish are to be repaired and be painted to match the building CMU color.



1921 S. Alma School Road, Suite 101
Mesa, AZ 85210
480.424.2352

Jeffrey L. Williams, P.E.

We appreciate the opportunity to develop projects like this in the City of Mesa and feel that this project will be a benefit to the community in this part of the city. The Angie's team is proud to provide a new and innovative option in the fast food/drive-thru market.

Please do not hesitate to contact us with any questions.

EXHIBIT 1



EXHIBIT 2



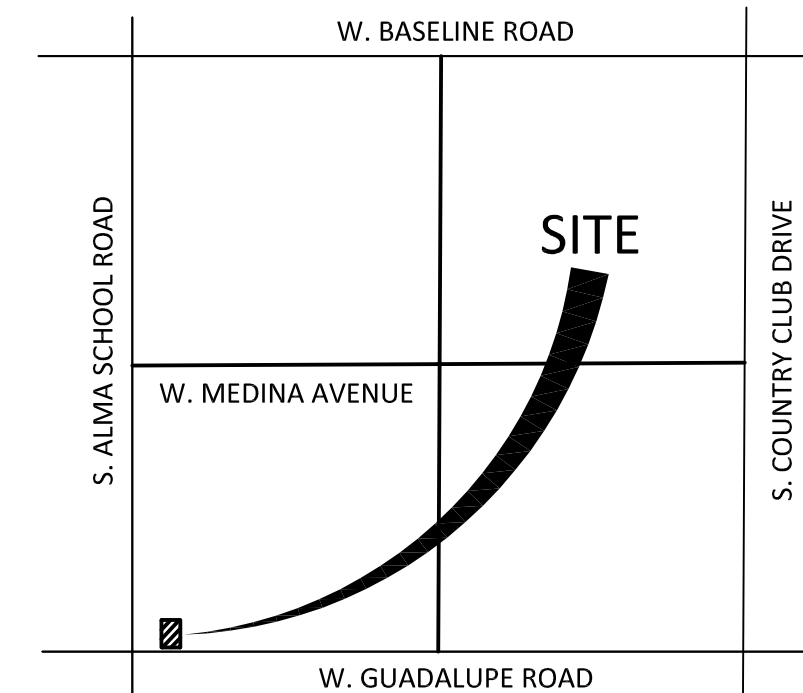
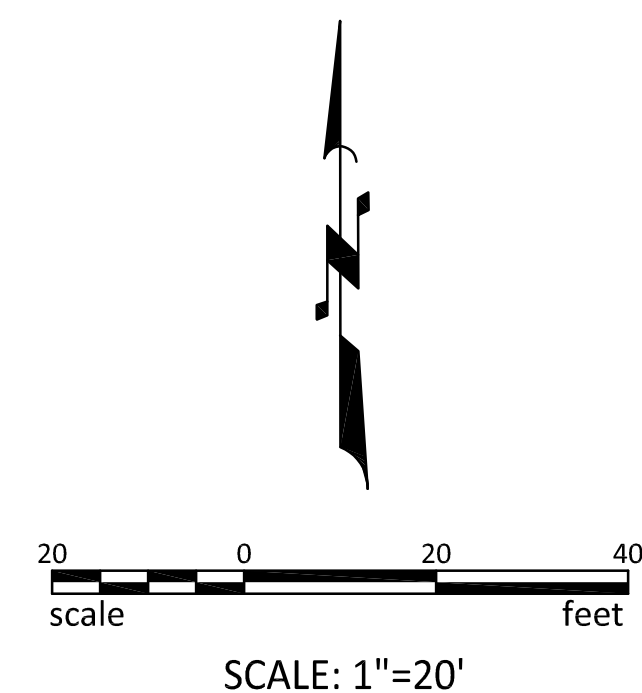
PRELIMINARY GRADING & DRAINAGE PLAN

FOR ANGIE'S PRIME GRILL 11002

1118 W GUADALUPE ROAD
MESA, ARIZONA 85210

PROJECT DESCRIPTION

SCOPE OF WORK IS FOR A NEW DETACHED ANGIE'S PRIME GRILL DRIVE-THRU RESTAURANT THAT IS A TOTAL OF 1,792 SQUARE FEET. ACCORDING TO CITY CODE, THE PRE VS. POST, SHALL BE PROVIDED FOR THE AREA OF DISTURBANCE FOR THE NEW NON-PERMEABLE FOOTPRINT. A NEW SURFACE RETENTION BASIN WILL BE DESIGNED FOR THE 2 HOUR, HUNDRED YEAR STORM EVENT FOR THE DISTURBED AREA.



VICINITY MAP
T1S, R5E, S4
(N.T.S.)

ENGINEER

R.B. WILLIAMS & ASSOCIATES, INC.
1921 SOUTH ALMA SCHOOL RD. STE 101
MESA, AZ 85210
PHONE: (480) 220-8243
CONTACT: JEFF WILLIAMS
EMAIL: JEFF@RBWILLIAMS.COM

OWNER

GUADALUPE ALMA SCHOOL EQUITIES LLC
4360 E BROWN RD UNIT 106
MESA, AZ 85205

DEVELOPER

ANGIE'S LOBSTER
PHONE: (480) 572-2443
CONTACT: BRIAN HEAWARD
EMAIL: BRIAN@ANGIESLOBSTER.COM

LEGAL DESCRIPTION

LOT 9, MERIT PARK 1, PHASE 2, ACCORDING TO BOOK 246 OF MAPS, PAGE 6,
RECORDS OF MARICOPA COUNTY, ARIZONA
APN: 302-87-815

PROPERTY DATA

PROJECT NAME: ANGIE'S PRIME - STORE 1102
PROJECT ADDRESS: 1118 W. GUADALUPE ROAD, MESA, AZ 85210
APN: 302-87-815
PROJECT DESCRIPTION: PROPOSAL FOR A NEW 124 S.F. DRIVE-THRU RESTAURANT BUILDING AND SITE WORK. BUILDING TYPE WILL BE V-B SPRINKLERED. TOTAL BUILDING AREA IS 1792 SF. SEATING AREA IS 358 SF WITH THE BALANCE SPLIT BETWEEN KITCHEN AND STORAGE.

PRELIMINARY DRAINAGE CALCULATIONS

CITY OF MESA ENGINEERING AND DESIGN STANDARDS - 2023
DESIGN STORM: 100-YEAR, 2-HOUR STORM
CONTRIBUTING AREA (A): 34,980 SF
RUNOFF COEFFICIENT (C): 0.95 (ROOF, CONCRETE, PAVEMENT)
RAINFALL DEPTH (D): 2.2 IN (0.183 FT)
VOLUME REQUIRED (VR) = A * C * D
VR = 34,980 SF * 0.95 * 0.183 FT = 6,082 CF
VOLUME PROVIDED - SURFACE RETENTION = 3,420 CF
VOLUME PROVIDED - UNDERGROUND STORAGE = 2,669 CF (34 LF)
TOTAL VOLUME PROVIDED = 6,089 CF

FEMA FIRM INFORMATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE
040048	04013C2730	M	11/04/2015	X

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT
- BSL/BACK SET LINE
- DRAINAGE FLOW

SHEET INDEX

SHEET NAME	DESCRIPTION	SHEET NO.
GP01	PRELIMINARY GRADING/DRAINAGE PLAN	1/1

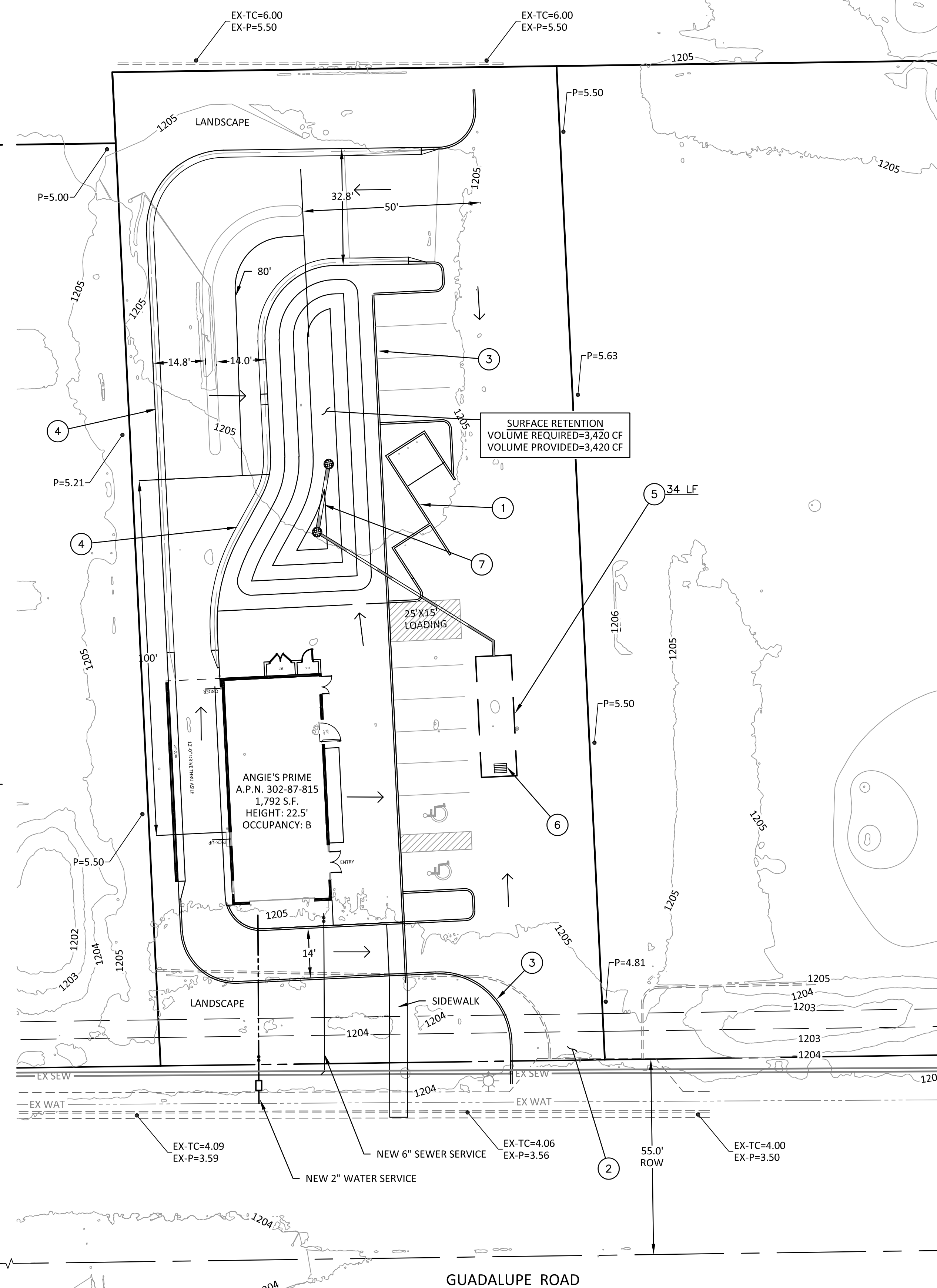
BENCHMARK

COM BM BCHH SW CORNER S4T1S5E 22033-1
ELEVATION: 1203.881
DATUM: CITY OF MESA NAVD 88 BENCHMARK

CONSTRUCTION NOTES

NOTES
1 TRASH ENCLOSURE PER COM M-62
2 DRIVEWAY PER COM M-42
3 6" VERTICAL CURB PER MAG 220 TYPE 'A'
4 4" ROLL CURB PER MAG 220 TYPE 'C'
5 10" DIA CMP UNDERGROUND STORAGE
6 CATCH BASIN
7 DRYWELL

ALMA SCHOOL ROAD



GUADALUPE ROAD

PRELIMINARY-NOT FOR CONSTRUCTION OR RECORDING

R.B. WILLIAMS & ASSOCIATES, INC.
CONSULTING ENGINEERS
1921 S. ALMA SCHOOL RD., STE 101
MESA, ARIZONA 85210
PHONE: (480) 424-2552

NOT FOR CONSTRUCTION

PROJECT NAME

ANGIE'S PRIME GRILL

SHEET TITLE

PRELIMINARY GRADING AND DRAINAGE PLAN

REVISIONS:

DATE	BY
01.18.24	JLW
	ALF
	JLW
	JLW

23082GP01.DWG

GP01

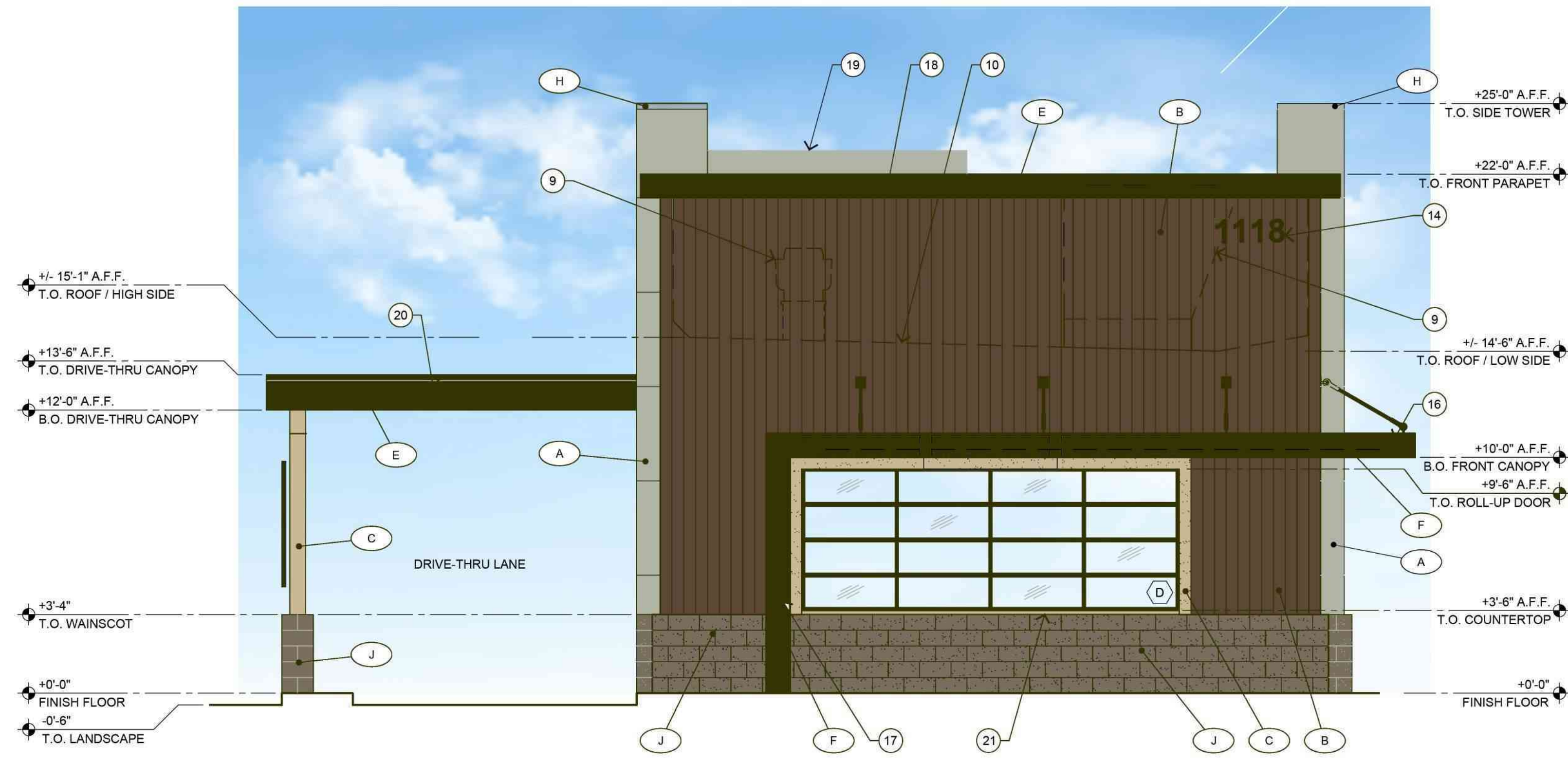
SHEET NO.

1/1



SOUTH ELEVATION - 717 SQ. FT.

SYMBOL	MATERIAL	SQ. FT.	PERCENT
A	CONCRETE	52	7.30%
B	VERTICAL WOOD PLANK	351	49.00%
C	STUCCO	21	3.00%
E/F	METAL CANOPIES & FLASHING	91	12.70%
J	SPLIT-FACED CMU WAINSCOT	102	14.20%
	STOREFRONT GARAGE DOOR	99	13.80%



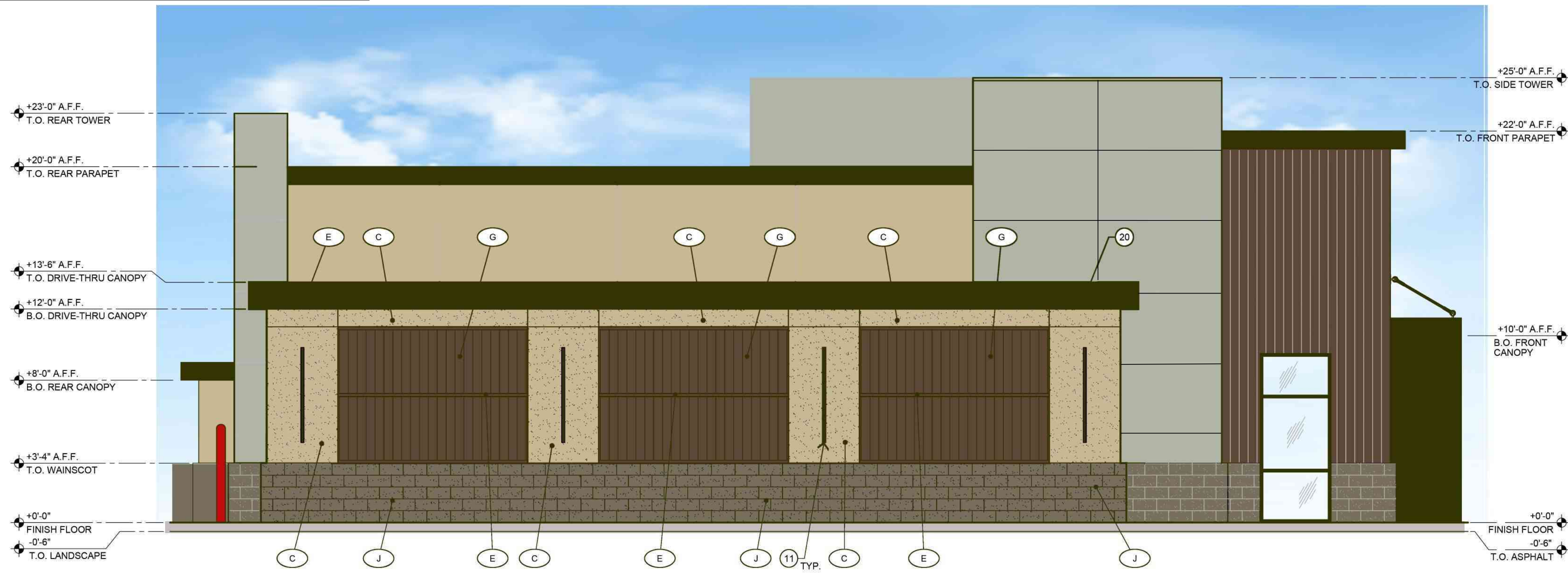
1 SOUTH ELEVATION - FRONT

SCALE: 1/4"=1'-0"

NOTE:
ALL ROOF MOUNTED MECHANICAL UNITS ARE TO BE FULLY SCREENED BY THE BUILDING PARAPET.

WEST ELEVATION - 1,426 SQ. FT.

SYMBOL	MATERIAL	SQ. FT.	PERCENT
A	CONCRETE	263	18.4%
B	VERTICAL WOOD PLANK	143	10.0%
C	STUCCO	391	27.5%
E/F	METAL CANOPIES & FLASHING	172	12.0%
G	LOUVERS	245	17.2%
J	SPLIT-FACED CMU WAINSCOT	212	14.9%



2 WEST ELEVATION - OUTSIDE DRIVE-THRU

SCALE: 1/4"=1'-0"

KEYED NOTES
(APPLIES TO SHEETS A6.0 & A6.1)

- S.E.S. CLOSET DOORS TO HAVE SIGNAGE AS REQUIRED BY THE ELECTRIC SERVICE.
- FIRE RISER ROOM DOOR TO HAVE SIGNAGE AS REQUIRED BY THE FIRE DEPARTMENT.
- SPEAKER ORDER STAND W/ CREDIT CARD READER AND WEATHER SHIELD.
- EXTERIOR RATED WALK-IN COOLER PANEL & DOOR WITH BLACK FACTORY FINISH.
- DELIVERY DOOR BELL BUTTON AT +48" A.F.F. AT REAR SERVICE DOOR.
- EXTERIOR WALL MOUNTED AIR CURTAIN, RECESSED INTO METAL CANOPY. REFER TO MECHANICAL DRAWINGS.
- EXTERIOR WALL MOUNTED AIR CURTAIN, RECESSED INTO TOWER WALL ABOVE DRIVE-THRU WINDOW. REFER TO MECHANICAL DRAWINGS.
- DRIVE-THRU WINDOW RECESSED INTO TOWER, SILL TO BE CLAD WITH 16 GA. S/S WITH 2" EDGE TURN DOWN.
- DASHED LINE INDICATES OUTLINE OF ROOFTOP EQUIPMENT.
- LINE OF ROOF DECK, SHOWN DASHED.
- EXTERIOR LIGHTING, REFER TO ELECTRICAL DRAWINGS.
- HOSE BIBB, REFER TO PLUMBING DRAWINGS.
- BOLLARD W/ 2" REFLECTIVE YELLOW TAPE AT TOP EDGE.
- 12" TALL BLACK HELVETICA BUILDING ADDRESS NUMBERS ON CONTRASTING BACKGROUND.
- MENUBOARD, ILLUMINATED FROM FIXTURES ABOVE.
- METAL CANOPY.
- METAL CLAD WATERFALL WALL, COORDINATE WITH METAL CANOPY ABOVE AND FINISH TO MATCH. MAKE WATER TIGHT.
- PARAPET CORNICE ABOVE WOOD PLANK FINISH TO HAVE RECESSED LED STRIP LIGHTING.
- BACKSIDE OF TOWER BEYOND TO BE FINISHED TO MATCH FRONT FACE AND SIDES.
- DRIVE-THRU CANOPY.
- QUARTZ COUNTERTOP TO EXTEND THROUGH WALL OPENING AT ROLL-UP DOOR.

SCALE: AS NOTED
DRAWN BY:
DATE: 06.10.2024

PROJECT NUMBER: 23-267

#	DATE	DESCRIPTION

1.0
PRIME GRILL
STORE NO. 11124

PROJECT: **ANGIE'S PRIME GRILL**
ALMA SCHOOL & GUADALUPE
1118 WEST GUADALUPE ROAD
MESA, ARIZONA 85021

SHEET TITLE: EXTERIOR ELEVATIONS

EXTERIOR FINISH SCHEDULE

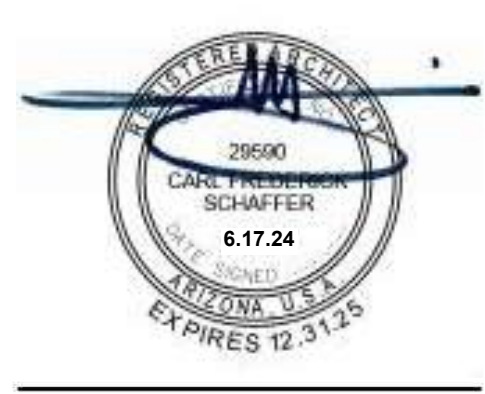
MARK	MATERIAL (NO ALTERNATIVES ALLOWED)
(A)	CONCRETE LOOK WALL PANELS ON TOWERS KOL PANELS - COLOR: TELEGREY - FINISH: SMOOTH
(B)	VERTICAL WOOD PLANKS (ENGINEERED) NEW TECHWOOD, ULTRASHIELD NATURALE, COMPOSITE SIDING TONGUE & GROOVE US09, 5-9/16" X 1/2", COLOR: PERUVIAN TEAK (TK) USE COMPLETE SYSTEM COMPONENTS AND TRIMS.
(C)	DRYVIT E.I.F.S. STUCCO SYSTEM W/ SANDBLAST TEXTURE SANDBLAST NTX 108ST MANOR WHITE BATCH #7264-QT - PASTEL BASE STRATATONE
(D)	METAL DOORS & FRAMES, PAINT TO MATCH 'C' ABOVE
(E)	ATAS POWDERCOATED METAL PARAPET CORNICE, WALL CAP, DRIVE-THRU CANOPY FASCIA, PAINT LOUVER STRAP TO MATCH. COLOR: CLASSIC BRONZE
(F)	METAL CANOPY W/ PAINT FINISH TO MATCH 'E' ABOVE
(G)	METAL LOUVERS W/ KOROSEAL, REALTEC ARCHITECTURAL FILM. COLOR: TEC-S070 WALNUT SG, CUSTOM SIZE CONTACT: MICHAEL FOCKLER - KOROSEAL #480.753.5474; MFOCKLER@KOROSEAL.COM
(H)	METAL PARAPET CAP AT TOWER. COLOR TO MATCH 'A'
(J)	OLDCASTLE SUPERLITE, SPLIT FACE C.M.U. - 4" X 8" X 16" SERIES: ECHELON - COLOR: OPAL

NOTES:
1. E.I.F.S. SYSTEM TO BE DRYVIT OUTSULATION SYSTEM OR EQUAL, INSTALLED PER ICC-ESR 1543.
2. MANUFACTURER'S PRODUCT INSTALLATION SPECIFICATIONS SHALL BE MADE AVAILABLE TO FIELD INSPECTOR UPON REQUEST.

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DESIGN GROUP

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tel 602.792.1846
fax 602.792.1846

4885 EAST WASHINGTON STREET
tel 602.792.1781
INTERIOR DESIGN | FOODSERVICE DESIGN | ARCHITECTURE



DRB SUBMITTAL - 06.17.2024

A6.0

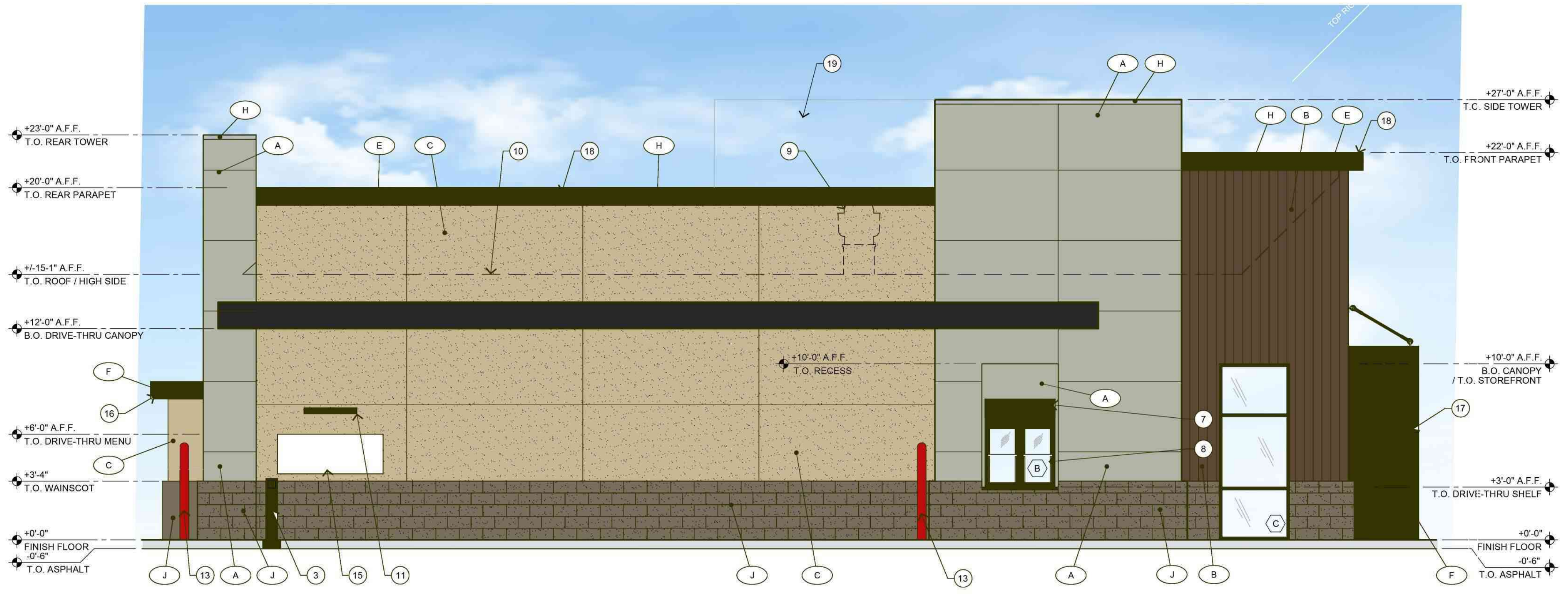
#	DATE	DESCRIPTION

Angie's
PRIME GRILL
 STORE NO. 11124

ANGIE'S PRIME GRILL
 ALMA SCHOOL & GUADALUPE
 1118 WEST GUADALUPE ROAD
 MESA, ARIZONA 85021
 PROJECT: EXTERIOR ELEVATIONS
 SHEET TITLE: EXTERIOR ELEVATIONS

KEYED NOTES
 (APPLIES TO SHEETS A6.0 & A6.1)

- S.E.S. CLOSET DOORS TO HAVE SIGNAGE AS REQUIRED BY THE ELECTRIC SERVICE.
- FIRE RISER ROOM DOOR TO HAVE SIGNAGE AS REQUIRED BY THE FIRE DEPARTMENT.
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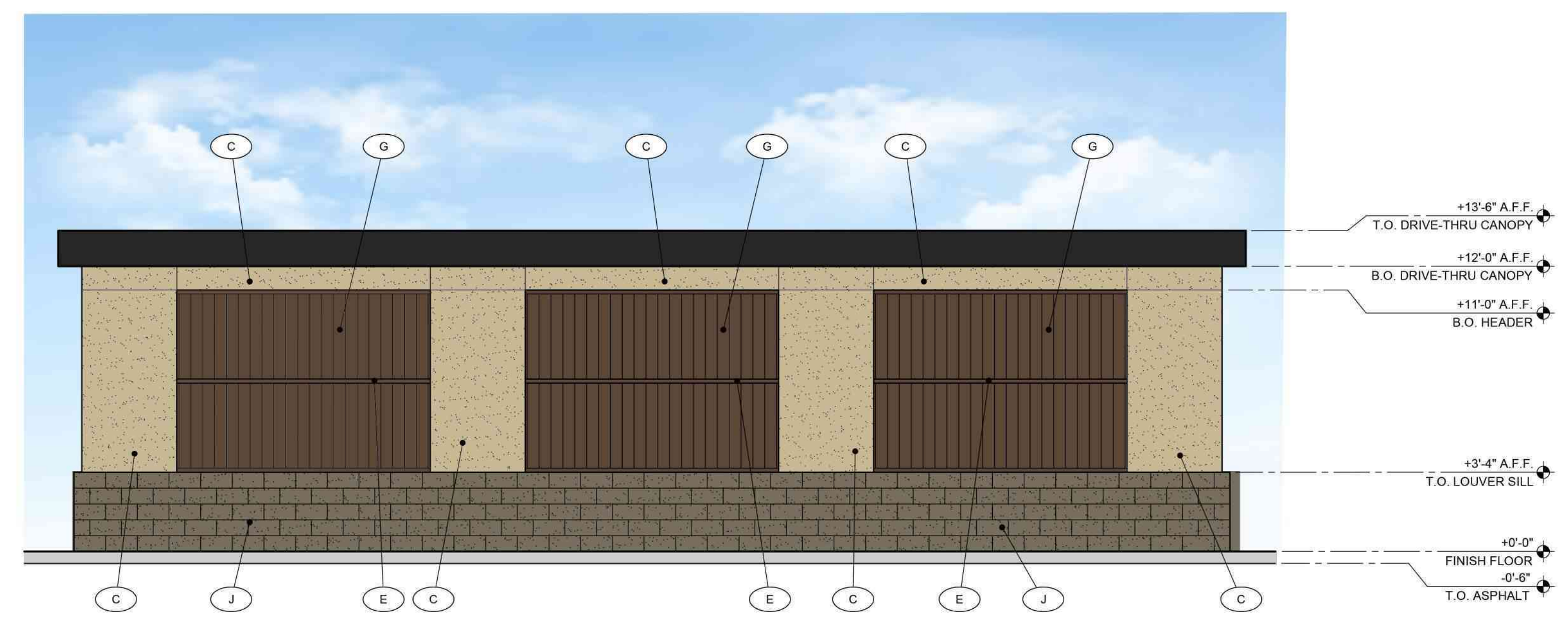


5 WEST ELEVATION - INSIDE DRIVE-THRU BUILDING WALL

SCALE: 1/4"=1'-0"

WEST ELEVATION

SYMBOL	MATERIAL	SQ. FT.	PERCENT
A	CONCRETE	263	18.4%
B	VERTICAL WOOD PLANK	143	10.0%
C	STUCCO or DOORS	391	27.4%
E/F	METAL CANOPIES & FLASHING	169	11.8%
G	LOUVERS	245	17.2%
J	SPLIT-FACED CMU WAINSCOT	212	14.9%



6 WEST ELEVATION - INSIDE DRIVE-THRU OUTER WALL

SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

MARK	MATERIAL (NO ALTERNATIVES ALLOWED)
(A)	CONCRETE LOOK WALL PANELS ON TOWERS KOL PANELS - COLOR: TELEGREY - FINISH: SMOOTH
(B)	VERTICAL WOOD PLANKS (ENGINEERED) NEW TECHWOOD, ULTRASHIELD NATURALE, COMPOSITE SIDING TONGUE & GROOVE US09, 5-9/16" X 1/2", COLOR: PERUVIAN TEAK (TK) USE COMPLETE SYSTEM COMPONENTS AND TRIMS.
(C)	DRYVIT E.I.F.S. STUCCO SYSTEM W/ SANDBLAST TEXTURE SANDBLAST NTX 108ST MANOR WHITE BATCH #7264-QT - PASTEL BASE STRATATONE
(D)	METAL DOORS & FRAMES, PAINT TO MATCH 'C' ABOVE
(E)	ATAS POWDERCOATED METAL PARAPET CORNICE, WALL CAP, DRIVE-THRU CANOPY FASCIA. PAINT LOUVER STRAP TO MATCH. COLOR: CLASSIC BRONZE
(F)	METAL CANOPY W/ PAINT FINISH TO MATCH 'E' ABOVE
(G)	METAL LOUVERS W/ KOROSEAL, REALTEC ARCHITECTURAL FILM. COLOR: TEC-5070 WALNUT SG, CUSTOM SIZE CONTACT: MICHAEL FOCKLER - KOROSEAL #480.753.5474; MFOCKLER@KOROSEAL.COM
(H)	METAL PARAPET CAP AT TOWER. COLOR TO MATCH 'A'
(J)	OLDCASTLE SUPERLITE, SPLIT FACE C.M.U. - 4" X 8" X 16" SERIES: ECHIELON - COLOR: OPAL

NOTES:
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DRB SUBMITTAL - 06.17.2024

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 INTERIOR DESIGN | FOODSERVICE DESIGN | ARCHITECTURE



A6.2

Angie's

PRIME

GRILL 

ALMA SCHOOL & GUADALUPE ROAD, MESA
ANGIE'S PRIME GRILL





Citizen Participation Plan
Angie's Prime Grill – Store 11002
1118 W. Guadalupe Road

The proposed Angie's Prime Grill – Store 11002 project will be located at 1118 W. Guadalupe Road. The project consists of a 1,641 square foot drive-thru restaurant with a 379 square foot dining area inside the building. The dining area will accommodate sixteen fixed seats. The majority of the customer traffic will be drive-thru.

The site is currently a vacant car wash facility. The existing structures and parking lot will be demolished in order to develop the proposed Angie's Prime Grill store project. In order to accomplish the development of the proposed project, we need to rezone the property from the existing LC zoning to a BIZ zoning. As part of the rezoning process, Angie's Prime Grill will follow the Citizen Participation Plan as outlined below.

- Submit this plan with the first rezoning submittal application
- Receive from the city a list of all registered neighborhood associations and Homeowners Associations within one mile of the project site.
- Prepare a package that will be mailed to all the property owners provided by the city. The packet will consist of the site plan, the project narrative, and contact information for the project representative. In the package, we will encourage feedback and questions from all the property owners. They will be encouraged to reach out to the project representative prior to any public meetings
- The Citizen Participation Plan will be implemented within one week after receiving the list of property owners from the city
- The project representative will keep a log of questions/comments from the property owners and how the questions/comments will be and/or were addressed by the developer
- The project representative will be available to update the city at any time before any public meeting

We appreciate the city's help with this process and look forward to working with city staff and all interested property owners in the area as we develop this project.

Citizen Participation Plan Report
Angie's Prime Grill – Store 11002
1118 W. Guadalupe Road

The proposed Angie's Prime Grill, Store 11002, project will be located at 1118 W. Guadalupe Road. The project consists of an 1,840 square foot drive-thru restaurant with a 379 square foot dining area inside the building. The dining area will accommodate sixteen fixed seats. The majority of the customer traffic will be drive-thru.

The site is currently a vacant car wash facility. The existing structures and parking lot will be demolished in order to develop the proposed Angie's Prime Grill store project. In order to accomplish the development of the proposed project, we need to obtain a special use permit to reduce the number of required parking spaces from 17 to 8 provided. As part of the community outreach for the project, Angie's has done the following:

- Submit this plan with the DRB and P&Z submittals
- Receive from the city a list of all the property owners, registered neighborhood associations and Homeowner Associations within 500-1000 feet of the project site.
- Prepare a package that was mailed to all the property owners, registered neighborhood associations and Homeowner Associations provided by the city. The packet consisted of the site plan, the project narrative, building elevations and contact information for the project representative. In the package, we encouraged feedback and questions from all the property owners. They were encouraged to reach out to the project representative prior to the public neighborhood meeting
- Advertise and hold a virtual public meeting for all property owners, neighborhood associations and Homeowner Associations. In the meeting, we will review the site plan, the need for reduced parking through the special use permit process and provide a forum for any public comment during the meeting.
- Advertise and notify the all the property owners, neighborhood associations, and Homeowner Associations of the DRB and P&Z public meetings to held on the 13th and 28th of August respectively.
- The Citizen Participation Plan will be implemented within one week after receiving the list of property owners from the city
- The project representative will keep a log of questions/comments from the property owners and how the questions/comments will be and/or were addressed by the developer
- The project representative will be available to update the city at any time before any public meeting



1921 S. Alma School Road, Suite 101
Mesa, AZ 85210
480.424.2352

Jeffrey L. Williams, P.E.

The virtual Neighborhood Public Meeting was held on May 13th, 2024. Jeff Williams ran the meeting for the developer. The meeting started at 5:30 pm. Those in attendance included several staff from RBW, Angie's Prime Grill, Glenwood Development, City of Mesa Staff and several individual property owners. Mr. Williams reviewed the site plan and the need for a special use permit that would allow reduced parking stalls, the landscape plan and building elevations. There was not any public comment. A DRB meeting has been scheduled for August 13th and a P&Z meeting for the special use permit has been scheduled for August 28th.

We appreciate the city's help with this process and look forward to working with city staff and all interested property owners in the area as we develop this project.

April 24, 2024

Dear Property Owner:

The purpose of this letter is to inform you that R.B. Williams & Associates, on behalf of Angie's Food Concepts, have recently filed a re-zoning application (ZON24-00066) for a site located at 1118 W. Guadalupe Road, Mesa, AZ 85210.

Per the City of Mesa's request, we are holding a Neighborhood Meeting to satisfy the requirement of the Citizen Participation Plan as part of the rezoning process. We are requesting to rezone the subject site from the current zoning of Limited Commercial (LC) to the Limited Commercial {LC} zoning with a Bonus Intensity Zone (BIZ) overlay. This will allow the development of an Angie's Prime Grill quick service restaurant with a drive-thru.

During the meeting, we will have a short presentation regarding the project and then we will allow everyone the opportunity to ask questions and provide feedback. I have included a preliminary site plan with this mailing for your informative use.

The neighborhood meeting will be held virtually via Zoom on Monday, May 13th at 5:30 p.m.

If you would like to participate in the virtual meeting, please utilize the Zoom link below along with meeting ID and passcode.

[b.https://tJs06web.9oll1.usL;i.l86738J.69829?_g_wd=OoJbagOJOTFOPbgg3duLCBUEpHDEZo.1](https://tJs06web.9oll1.usL;i.l86738J.69829?_g_wd=OoJbagOJOTFOPbgg3duLCBUEpHDEZo.1)

Meeting ID: 867 3816 9829

Passcode: 311881

If you have any questions or concerns regarding the project, please reach out to me via email or phone at jeff@rbwilliams.com or 480-424-2352. If you are reaching out via email, please reference ZON24-00066 5/13/2024 in the subject of your email to expedite a response.

Sincerely,



Jeffrey L. Williams, P.E.
Developer's Representative
Attachment(s)

(Planning & Zoning Board Hearing - Sample Notification Letter)

Dear Neighbor,

We have applied for a zoning application for the property located within the 1100 block of West Guadalupe Road (north side). This request is for development of a limited service restaurant with drive-thru facilities. The case number assigned to this project is ZON24-00066.

This letter is being sent to all property owners within 500 or 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480-424-2352 or e-mail me at jeff@rbwilliams.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on August 28, 2024 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Charlotte Bridges of their Planning Division staff. She can be reached at 480-644-6712 or charlotte.bridges@mesa.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,



Jeffrey L. Williams, P.E.

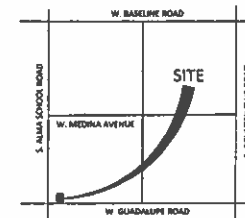
SITE PLAN

FOR

ANGIE'S PRIME GRILL 11002

1118 W GUADALUPE ROAD
MESA, ARIZONA 85210

APH: 302-87-815 LOT 9, MCINT PARK L, PHASE 2



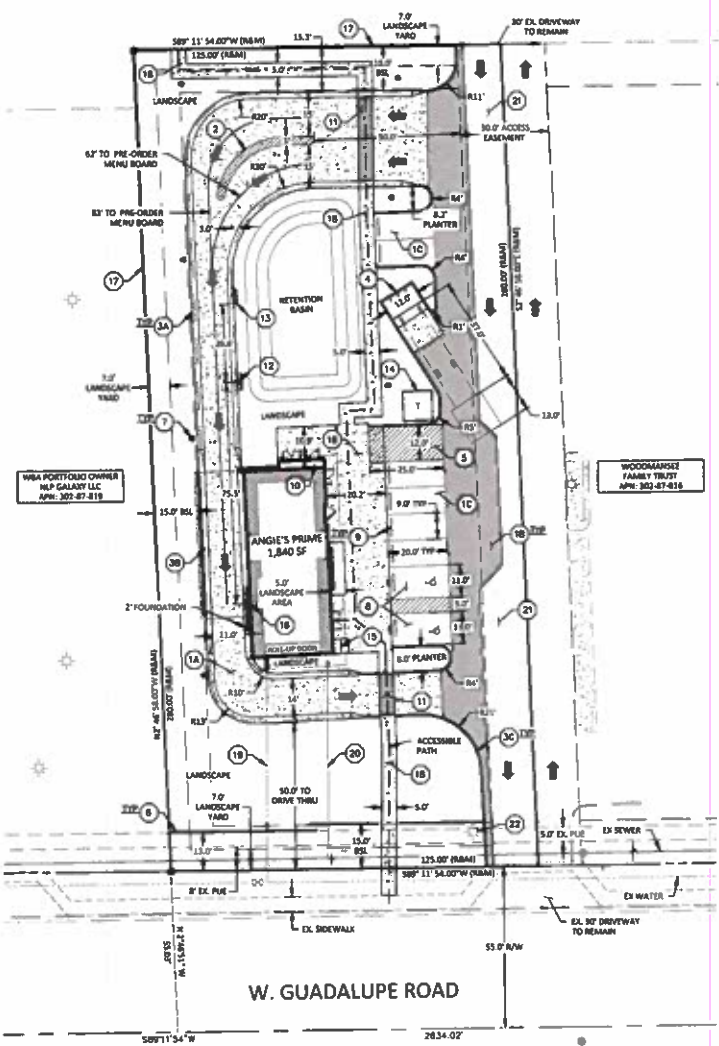
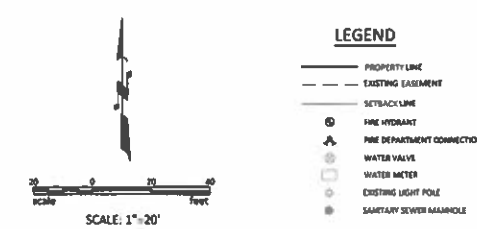
VICINITY MAP
T11, T12, S4
M1, L1

KEY NOTES

(1)	SITE PLAN NOTES
(2)	ROAD CONCRETE PAVEMENT, SEE CIVIL PLANS
(3)	FLEXIBLE HEAVY-DUTY ASPHALTIC CONCRETE PAVEMENT, SEE CIVIL PLANS
(4)	FLEXIBLE LIGHT-DUTY ASPHALTIC CONCRETE PAVEMENT, SEE CIVIL PLANS
(5)	STRIPPED OVERLAY
(6)	4" RIGID CURB, SEE CIVIL PLANS
(7)	MODIFIED 6" VERTICAL CURB - 34" WIDE, SEE CIVIL PLANS
(8)	4" VERTICAL CURB, SEE CIVIL PLANS
(9)	TRASH ENCLOSURE PER COM STD DTL M-42
(10)	LOADING SPACE
(11)	VARIABLE HEIGHT (3' TO 4') SCREEN WALL PER DETAIL ON SP02
(12)	12" LIGHT POLE PER DETAIL ON SP02
(13)	ACCESSIBLE PARKING STALL AND SIGN PER COM STD DTL M-23.06
(14)	WHEEL STOP, SEE CIVIL PLANS
(15)	FIRE RISER ROOM
(16)	YELLOW, BRICK-FINISHED CONCRETE CROSSWALK RAISED 1" ABOVE ADJACENT GRADE, SEE SHEET SP02 AND CIVIL PLANS
(17)	ORDER STAND/MENU BOARD WITH CANOPY PER DETAIL ON SP02
(18)	PRE-ORDER MENU BOARD
(19)	TRANSFORMER
(20)	BIKE RACK PER DETAIL ON SP02
(21)	PICK-UP WINDOW
(22)	PAINT PROPERTY-FACING SIDE OF EXISTING CMU WALL TO MATCH SPLIT FACE BLOCK ON NEW BUILDING, SEE ARCHITECTURAL PLANS
(23)	CONCRETE SIDEWALK - WIDTH PER PLAN, SEE CIVIL PLANS
(24)	WATER SERVICE, SEE CIVIL PLANS
(25)	SEWER SERVICE, SEE CIVIL PLANS
(26)	EXISTING ON-SITE PAVEMENT TO REMAIN
(27)	EXISTING STREET LIGHT TO REMAIN

SITE PLAN ZONING MATRIX

EXISTING ZONING	LC	PERMITTED USE
JURISDICTION	CITY OF MESA	
GROSS SITE AREA	43,862 SF/0.96 ACRES	
NET SITE AREA	34,822 SF/0.80 ACRES	
APH	302-87-815	
BUILDING OCCUPANCY	B	22.5' PROPOSED
MAX. BUILDING HEIGHT	30' ALLOWED	
REQUIRED PARKING	1 SPACE PER 300 SF - INDOOR AREA 1 SPACE PER 200 SF - OUTDOOR SEATING 3 BICYCLE SPACES	17 SPACES REQUIRED NO OUTDOOR SEATING 3 BICYCLE SPACES
PROVIDED PARKING	6 RECS SPACES/2 ADA SPACES = 8 TOTAL 3 BICYCLE SPACES	11 SPACE REDUCTION REQUIRED WITH SPECIAL USE PERMIT
GROSS BUILDING AREA	1,840 SF	
INTERIOR DINING AREA	411 SF	
LOT COVERAGE	80% MAXIMUM ALLOWED	61% PROVIDED
BUILDING SETBACKS	15' FRONT 15' SIDE	
DRIVE-THRU CLEARING PROVIDED	254 FEET	13 CARS (13' AVERAGE LENGTH) OR 10 CARS (25' AVERAGE LENGTH)



ENGINEER

R.B. WILLIAMS & ASSOCIATES, INC.
1302 SOUTH ALMA SCHOOL RD. STE 101
MESA, AZ 85202
PHONE: (480) 220-8949
CONTACT: RBF WILLIAMS
EMAIL: RBF@RBWILLIAMS.COM

BENCHMARK

COM 8th BORN SW CORNER 541554 22013-1
ELEVATION: 2302.893
DATUM: CITY OF MESA NAVD83 BENCHMARK

OWNER

GUADALUPE ALMA SCHOOL EDUTIES LLC
1380 E BROWN RD UNIT 108
MESA, AZ 85205

DEVELOPER

ANGIE'S PRIME CONCEPTS LLC
3104 E CAMELBACK ROAD, #2199
PHOENIX, AZ 85016
CONTACT: MARCELA RODRIGUEZ
PHONE: (480) 572-2443
EMAIL: MARCELA@ANGIESFOODCONCEPTS.COM

LEGAL DESCRIPTION

LOT 9, MCINT PARK L, PHASE 2, ACCORDING TO BOOK 246 OF MAPS, PAGE 4,
RECORDS OF MARICOPA COUNTY, ARIZONA

APH: 302-87-815

PROJECT DESCRIPTION

SCOPE OF WORK IS FOR A NEW DETACHED ANGIE'S PRIME GRILL DRIVE-THRU RESTAURANT THAT IS A TOTAL OF 1,840 SQUARE FEET. ACCORDING TO CITY CODE, THE PRE VS. POST, SHALL BE PROVIDED FOR THE AREA OF DISTURBANCE FOR THE NEW NON-PERMISSIBLE FOOTPRINT. A NEW SURFACE RETENTION BASIN WILL BE DESIGNED FOR THE 2 HOUR, 100-YEAR STORM EVENT FOR THE DISTURBED AREA.

PROPERTY DATA

PROJECT NAME: ANGIE'S PRIME - STORE 1102
PROJECT ADDRESS: 1118 W. GUADALUPE ROAD, MESA, AZ 85210
APH: 302-87-815

PROJECT DESCRIPTION:

PROPOSAL FOR A NEW 1,792 S.F. DRIVE-THRU RESTAURANT BUILDING AND SITE WORK. BUILDING TYPE WILL BE 10-0 SPRINKLED. TOTAL BUILDING AREA IS 1,840 SF. SEATING AREA IS 579 SF WITH THE BALANCE SPLIT BETWEEN KITCHEN AND STORAGE.

FLOOD PLAIN INFORMATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF PBM (PRED DATED)	1984 CODE
00008	000002700	M	11/04/2015	X



R.B. WILLIAMS & ASSOCIATES, INC.
CONSULTING ENGINEERS
10713 ALMA SCHOOL RD. STE 101
MESA, ARIZONA 85210
PHONE: (480) 220-8949
FAX: (480) 220-8950



ANGIE'S PRIME GRILL

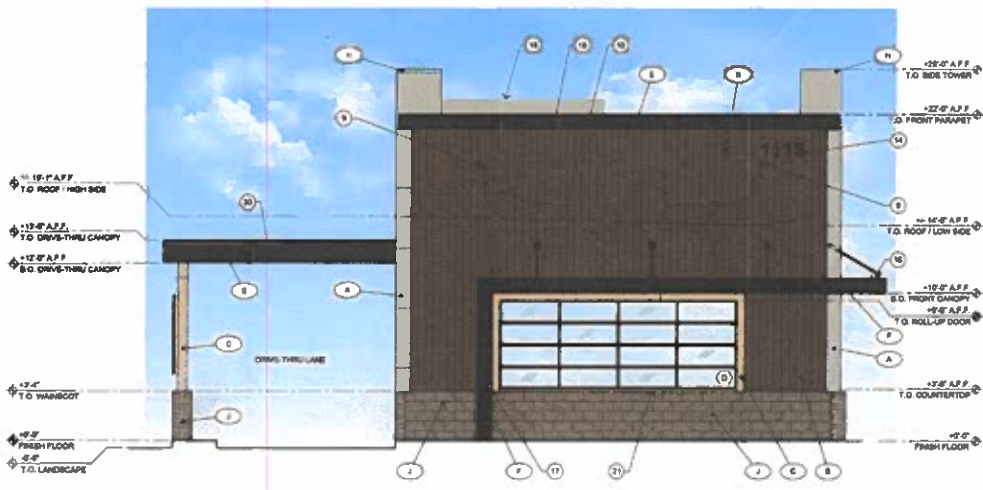
SITE PLAN

DATE	BY
07-20-24	ALP
DESIGN	ALP
DRAWN	ALP
CHECK	ALW
TITLE	ALW
PROJECT NO.	230875901.DWG
SHEET NO.	SP01
TOTAL SHEETS	1/2

PRELIMINARY-NOT FOR CONSTRUCTION OR RECORDING

SOUTH ELEVATION - 717 SQ. FT.

SYMBOL	MATERIAL	SQ. FT.	PERCENT
A	CONCRETE	52	7.30%
B	VERTICAL WOOD PLANK	351	49.00%
C	STUCCO	21	3.00%
E/F	METAL CANOPIES & FLASHING	91	12.70%
J	SPLIT-FACED CMU WAINSCOT	102	14.20%
	STOREFRONT GARAGE DOOR	89	13.80%

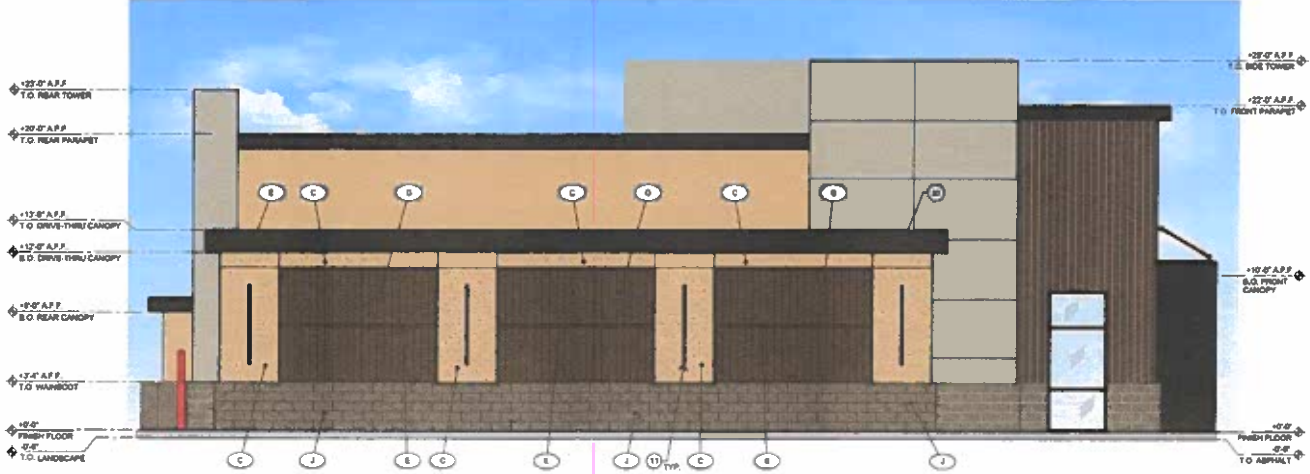


1 SOUTH ELEVATION - FRONT

NOTE:
ALL ROOF MOUNTED MECHANICAL UNITS ARE TO BE FULLY RECESSED BY THE BUILDING PARAPET.

WEST ELEVATION - 1,426 SQ. FT.

SYMBOL	MATERIAL	SQ. FT.	PERCENT
A	CONCRETE	263	18.4%
B	VERTICAL WOOD PLANK	143	10.0%
C	STUCCO	391	27.5%
E/F	METAL CANOPIES & FLASHING	172	12.0%
G	LOUVERS	245	17.2%
J	SPLIT-FACED CMU WAINSCOT	212	14.9%



2 WEST ELEVATION - OUTSIDE DRIVE-THRU

KEYED NOTES
(APPLIES TO SHEETS A6.0 & A6.1)

- 2" S. G. CLOSET DOORS TO HAVE SIGNAGE AS REQUIRED BY THE ELECTRIC SERVICE
- FINISH REAR ROOM DOOR TO HAVE SIGNAGE AS REQUIRED BY THE FIRE DEPARTMENT
- BREAKER ORDER STAND W/ CREDIT CARD READER AND WEATHER SHIELD
- EXTERIOR RATED WALK-IN COOLER PANEL & DOOR WITH BLACK FACTORY FINISH
- DELIVERY DOOR BELL SWITCH AT +0' A.F.F. AT REAR SERVICE DOOR
- EXTERIOR WALL MOUNTED AIR CURTAIN RECESSED INTO TOWER WALL ABOVE DRIVE-THRU WINDOW. REFER TO MECHANICAL DRAWINGS.
- EXTERIOR WALL MOUNTED AIR CURTAIN RECESSED INTO TOWER WALL ABOVE DRIVE-THRU WINDOW. REFER TO MECHANICAL DRAWINGS.
- DRIVE-THRU WINDOW RECESSED INTO TOWER. BELL TO BE CLAD WITH 1/2" GA. MS WITH 2" EDGE TURN DOWN
- DASHED LINE INDICATES OUTLINE OF ROOFTOP EQUIPMENT
- LINE OF ROOF DECK, SHOWN DASHED
- EXTERIOR LIGHTING, REFER TO ELECTRICAL DRAWINGS
- HOSE BIBB, REFER TO PLUMBING DRAWINGS
- BOLLARD W/ 2" REFLECTIVE YELLOW TAPE AT TOP EDGE
- 12" TALL BLACK HELMETICA BUILDING ADDRESS NUMBERS ON CONTRASTING BACKGROUND
- MIRRORED, ILLUMINATED PICTURE FRAMES ABOVE METAL CANOPY
- METAL CLAD WATERFALL WALL. COORDINATE WITH METAL CANOPY ABOVE AND FINISH TO MATCH. MAKE WATER TIGHT.
- PARAPET CORNICE ABOVE WOOD PLANK FINISH TO HAVE RECESSED LED STRIP LIGHTING
- BACKSIDE OF TOWER BEYOND TO BE FINISHED TO MATCH FRONT FACE AND SIDES
- DRIVE-THRU CANOPY
- GLASSITE OPERATOR TO EXTEND THROUGH WALL DRIVING AT ROLL-UP DOOR

EXTERIOR FINISH SCHEDULE

MARK	MATERIAL (NO ALTERNATIVES ALLOWED)
A	CONCRETE LOOK WALL PANELS ON TOWERS. NO PANELS. COLOR: TELEPORT - FINISH: SMOOTH
B	VERTICAL WOOD PLANKS (SHOWN HERE) NEW TECHNOLOG ULTRATHIN 2.0 NATURAL, COMPOSITE BOARD TONGUE & GROOVE US38, 5-8 1/2" X 1/2", COLOR: PERUVIAN TEAK (TK) USE COMPLETE SYSTEM COMPONENTS AND TRIMS
C	DRYWIT 5/8" STUCCO SYSTEM W/ SANDBLAST TEXTURE SANDBLAST SETS BEST BRAND WHITE BATCH #284047 - PANEL BASE STRATITORE
D	METAL DOORS & FRAMES, PAINT TO MATCH 'C' ABOVE
E	ALTAIR POWERCOATED METAL PARAPET CORNICE, WALL CAP, DRIVE-THRU CANOPY FABRIC, PAINT LOUVER STRAP TO MATCH COLOR CLASICO BRONZE
F	METAL CANOPY W/ PAINT FINISH TO MATCH 'F' ABOVE
G	METAL LOUVERS W/ HORIZONTAL, REAL TEC ARCHITECTURAL PLM COLOR: RED-SPRINKLE/SLY. CUSTOM SIZE CONTACT: MICHAEL FOCULIER - HORIZONTAL 888.793.8474. MFOCULIER@MICROSOFT.COM
H	METAL PARAPET CAP AT TOWER. COLOR TO MATCH 'A'
J	OLDCASTLE SUPERFLO, SPLIT FACE CMU - 4" X 8" X 16" SERIES: ECHOLON - COLOR: OPA

- NOTES:
1. S.I.P.S. SYSTEM TO BE DRYVIT OUTBLATION SYSTEM OR EQUAL, INSTALLED PER ICC-ESR 1343.
2. MANUFACTURER'S PRODUCT INSTALLATION SPECIFICATIONS SHALL BE MADE AVAILABLE TO FIELD INSPECTOR UPON REQUEST.

SCALE: AS NOTED
DRAWN BY: [Signature]
DATE: 06.16.2024

PROJECT NUMBER: 23-267

#	DATE	DESCRIPTION

1.C
PRIME GRILL
STORE NO. 11124

PROJECT: **ANGIE'S PRIME GRILL**
ALMA SCHOOL & GUADALUPE
1118 WEST GUADALUPE ROAD
MESA, ARIZONA 85021

SHEET TITLE: EXTERIOR ELEVATIONS

DRB SUBMITTAL - 06.17.2024

ideation
DESIGN GROUP

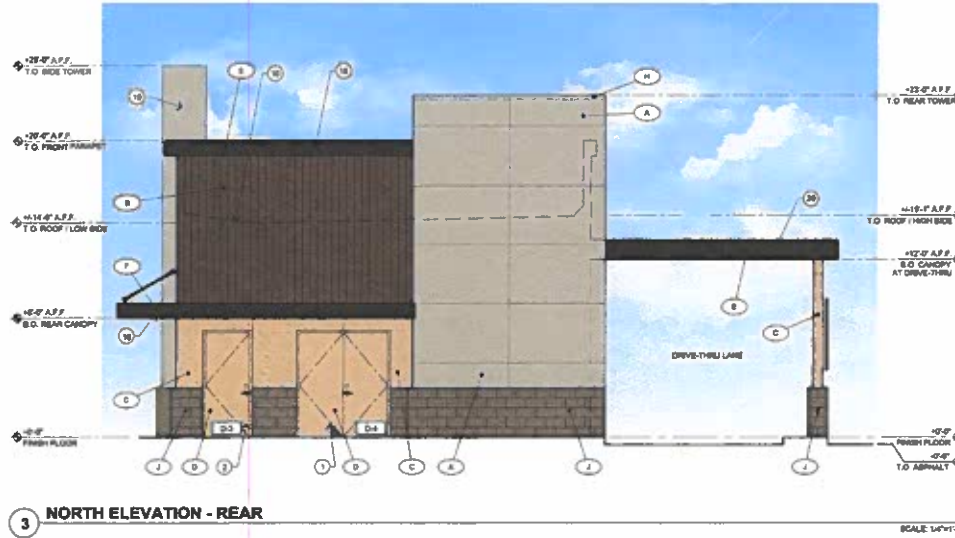
FOR THE ARCHITECT/ENGINEER/INTERIOR DESIGNER
MICHAEL FOCULIER
1118 WEST GUADALUPE ROAD
MESA, ARIZONA 85021
PH: 480.444.8888
WWW.IDEATIONDESIGN.COM



A6.0

NORTH ELEVATION - 695 SQ. FT.

SYMBOL	MATERIAL	SQ. FT.	PERCENT
A	CONCRETE	291	41.9%
B	VERTICAL WOOD PLANK	160	23.0%
C	STUCCO	113	15.3%
E/F	METAL CANOPIES & FLASHING	58	8.3%
J	SPLIT-FACED CMU WAINSCOT	73	10.5%



3 NORTH ELEVATION - REAR

SCALE 1/4"=1'-0"

KEYED NOTES
(APPLIES TO SHEETS A6.0 & A6.1)

- S.B.S. CLOSET DOORS TO HAVE BORINGS AS REQUIRED BY THE ELECTRIC SERVICE.
- FIRE RISER ROOM DOOR TO HAVE BORINGS AS REQUIRED BY THE FIRE DEPARTMENT.
- SPEAKER ORDER STAND W/ CREDIT CARD READER AND WEATHER SHIELD.
- EXTERIOR RATED WALK-IN COOLER PANEL & DOOR WITH BLACK FACTORY FINISH.
- OBSERVY DOOR BELL BUTTON AT +12'-0" A.F.F. AT REAR SERVICE DOOR.
- EXTERIOR WALL MOUNTED AIR CURTAIN, RECESSED INTO TOWER WALL ABOVE DRIVE-THRU WINDOW PANEL TO MECHANICAL DRAWINGS.
- EXTERIOR WALL MOUNTED AIR CURTAIN, RECESSED INTO TOWER WALL ABOVE DRIVE-THRU WINDOW PANEL TO MECHANICAL DRAWINGS.
- DRIVE-THRU WINDOW RECESSED INTO TOWER WALL TO BE CLAD WITH 1/8 GA. S&W WITH 2" EDGE TURN DOWN.
- DASHED LINE INDICATES OUTLINE OF ROOFTOP EQUIPMENT.
- LINE OF ROOF DECK, SHOWN DASHED.
- EXTERIOR LIGHTING, REFER TO ELECTRICAL DRAWINGS.
- HOSE BIBS, REFER TO PLUMBING DRAWINGS.
- BOLLARD W/ 2" REFLECTIVE YELLOW TAPE AT TOP EDGE.
- 12" TALL BLACK ABS VERTICAL BUILDING ADDRESS NUMBERS ON CONTRASTING BACKGROUND.
- MSBUBBOARD, ILLUMINATED FROM FIXTURES ABOVE.
- METAL CANOPY.
- METAL CLAD MATERIAL WALL, COORDINATE WITH METAL CANOPY ABOVE AND FRESH TO MATCH, NAME WATER TIGHT.
- PARAPET CORNICE ABOVE WOOD PLANK PANEL TO HAVE RECESSED LED STRIP LIGHTING.
- SACHSIDE OF TOWER BEYOND TO BE FINISHED TO MATCH FRONT FACE AND SIDES.
- DRIVE-THRU CANOPY.
- QUARTZ COUNTERTOP TO EXTEND THROUGH WALL OPENING AT ROLL-UP DOOR.
- ROOF DRAIN OUTLETS, ROOF DRAINS TO BE ONCEALD IN EXTERIOR WALL CONSTRUCTION.

SCALE AS NOTED
DRAWN BY
DATE 09.10.2024

PROJECT NUMBER **23-267**

#	DATE	DESCRIPTION

PRIME GRILL
STORE NO. 11124

1.0
PRIME GRILL
STORE NO. 11124

ANGIE'S PRIME GRILL
ALMA SCHOOL & GUADALUPE
1118 WEST GUADALUPE ROAD
MESA, ARIZONA 85021

PROJECT
SHEET TITLE
EXTERIOR ELEVATIONS

EAST ELEVATION - 1,449.5 SQ. FT.

SYMBOL	MATERIAL	SQ. FT.	PERCENT
A	CONCRETE	322.5	22.2%
B	VERTICAL WOOD PLANK	262.0	18.0%
C	STUCCO	373.5	25.8%
E/F	METAL CANOPIES & FLASHING	144.5	10.0%
J	SPLIT-FACED CMU WAINSCOT	131.0	9.0%
STOREFRONT & WALK-IN DOOR		216.0	15.0%



4 EAST ELEVATION - ENTRANCE SIDENOR

SCALE 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

MARK	MATERIAL (NO ALTERNATIVES ALLOWED)
A	CONCRETE LOOK WALL PANELS ON TOWERS POL PANELS - COLOR: TELEGREY - FINISH: SMOOTH
B	VERTICAL WOOD PLANKS (ENGINEERED) NEW TECH WOOD ULTRASHIELD NATURAL, COMPOSITE SIDING TONGUE & GROOVE USDB, 5/8" X 1 1/2", COLOR: PERMANENT TEAK (TO USE COMPLETE SYSTEM CORNICES) AND TRIMS.
C	DRYVIT E.A.P. S. STUCCO SYSTEM W/ SANDBLAST TEXTURE SANDBLAST B7X NEST SANDER WHITE BATCH #7264-02 - PARTS BASE STRATATONE
D	METAL DOORS & FRAMES. PAINT TO MATCH 'C' ABOVE
E	ATAS POWDERCOATED METAL PARAPET CORNICE, WALL CAP, DRIVE-THRU CANOPY FASCIA, PAINT LOUVER STRIP TO MATCH COLOR, CLASSIC BRONZE
F	METAL CANOPY W/ PAINT FINISH TO MATCH 'E' ABOVE
H	METAL LOUVERS W/ KODOROLIC, REALTIC ARCHITECTURAL FILM COLOR: YES-480 WALNUT BLD. CUSTOM BLD
J	OLDCASTLE SUPERLITE, BRIT FACE C.M.U. - 4" X 8" X 16" BSRBR-BS-BLCH - COLOR: OPAL

NOTES:
1. S.F.P. SYSTEM TO BE DRYVIT OUTLATION SYSTEM OR SOCIAL, INSTALLED PER ICC-ESR 3643.
2. MANUFACTURER'S PRODUCT INSTALLATION SPECIFICATIONS SHALL BE MADE AVAILABLE TO FIELD INSPECTOR UPON REQUEST.

DRB SUBMITTAL - 06.17.2024

ideation
DESIGN GROUP

NEW MEXICO PROFESSIONAL SEAL
MICHAEL FOCKLER - ARCHITECT
NO. 482.792.1711
P.O. BOX 10048
ALBUQUERQUE, NEW MEXICO 87110

PROFESSIONAL SEAL
MICHAEL FOCKLER
ARCHITECT
NO. 482.792.1711
P.O. BOX 10048
ALBUQUERQUE, NEW MEXICO 87110

A6.1

NeighborhoodName	FirstName	LastName	Address	Unit	City	State	Zip
Dobson Ranch Association	Fran	Pawlak	2719 S. Reyes		Mesa	AZ	85202
Dobson Ranch Association	Dennis	Kavanaugh	2146 W Isabella Ave	233	Mesa	AZ	85202
Dobson Woods	John	Shurr	1109 W Madero Ave		Mesa	AZ	85210
Dobson Woods	Ryan	Winkle	911 W Jacinto Cir		Mesa	AZ	85210
Dobson Woods	Francisco	Heredia	959 W Monte Ave		Mesa	AZ	85210
Dobson Woods	Sonja	Hickman	1105 W. Meseto Ave		Mesa	AZ	85201
La Jolla Cove Condominium Unit Owners Association							
Marlborough Mesa	Alma	Jones	1031 W Posada Ave		Mesa	AZ	85210
Marlborough Mesa	Linda	Murphy	3048 S Spruce		Mesa	AZ	85210
Marlborough Mesa	James	Martin	947 W Posada		Mesa	AZ	85210
Marlborough Mesa	Nina	Williams	946 W Peralta Ave		Mesa	AZ	85210
Marlborough Mesa Villas Association							
Old West Manor II Homeowners Association							
Palo Verde Park Association	Gina	Parkey	1824 W Pampa Ave		Mesa	AZ	85202
Rancho Del Mar	Scudder	Black	2506 S Date		Mesa	AZ	85210
Rancho Del Mar	Maurice	Lue Sang	557 W Madero Ave		Mesa	AZ	85210
Woodglen Square Condominium Association							
Woodglen Square Unit II Condominium Association							

Owner Name *	Mailing Address1	Mailing Address City	Maili	Mailing /
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
S R P A I & P D	PO BOX 1980	PHOENIX	AZ	85001
SAFEWAY STORES INC	PO BOX 800729	DALLAS	TX	75380
MDC COAST 15 LLC	650 NE HOLLADAY ST 1400	PORTLAND	OR	97232
ANTOINETTE DWIGHT TRUST	2857 S PATTERSON	MESA	AZ	85202
BFS RETAIL & COMMERCIAL OPERATIONS LLC	333 E LAKE ST 300	BLOOMINGDALE	IL	60108
GUADALUPE PLAZA INC	1136 W BASELINE RD	MESA	AZ	85210
JJ INVESTMENTS 1 LLC	2918 S ALMA SCHOOL RD	MESA	AZ	85210
LAST HURRAH LLC	2722 S VINCENT	MESA	AZ	85209
NGUYEN KENNY/PHAM XUAN/PHAM LAN THI	2804 S EMERSON ST	MESA	AZ	85210
LEPAK JASON	2810 S EMERSON	MESA	AZ	85210
VOS CHRIS M	1221 E CANARY DR	GILBERT	AZ	85297
ZINKE CHRIS/MARGARET E	1805 E CHANDLER HGTS RD	GILBERT	AZ	85298
JACOBS FREDERICK T III	2828 S EMERSON AVE	MESA	AZ	85210
ROMBERG BRIAN M	2834 S EMERSON	MESA	AZ	85210
LANCE BRETZKES LIVING TRUST	2840 S EMERSON	MESA	AZ	85210
SAGE JAMES C/COUPAL MICHELLE A	2846 S EMERSON AVE	MESA	AZ	85210
7TEN14 LLC	2852 S EMERSON	MESA	AZ	85210
ELLIS JAMES W	2858 S EMERSON RD	MESA	AZ	85210
TORNERO JORGE A/KATHLEEN M	2864 S EMERSON ST	MESA	AZ	85202
LITKE JORDAN	2909 S SPRUCE	MESA	AZ	85210
TENA AARON/ALEJANDRA	2903 S SPRUCE	MESA	AZ	85210
CUMMINGS JACOB ALLEN	1026 W OBISPO AVE	MESA	AZ	85210
COUCH TYLER S/MICHELLE D	1038 W OBISPO AVE	MESA	AZ	85210
DUFOUR ELAINE V TR	1050 W OBISPO AVE	MESA	AZ	85210
WU SHON & LOIS	1062 W OBISPO AVE	MESA	AZ	85202
SERNA THOMAS JOSEPH	1104 W OBISPO AVE	MESA	AZ	85210
HANNUM CONNIE LYNN	1116 W OBISPO AVE	MESA	AZ	85210
THIBODEAU PATRICIA A	1128 W OBISPO AVE	MESA	AZ	85210
MARTINEZ ROBERTO EDGARDO/MARIA JULIE	1140 W OBISPO AVE	MESA	AZ	85210
THOMPSON TAYLOR JAMES/EMILY ELIZABETH	1152 W OBISPO AVE	MESA	AZ	85210
HENRY KAREN TR	1160 W OBISPO AVE	MESA	AZ	85210
NORTON ASHLEY L/ALEC S	2902 S MOLLERA	MESA	AZ	85210

ROSS DAVID A/KRISTI A	2904 S MOLLERA ST	MESA	AZ	85210
GOODMAN JED/KOTOWSKI SAMANTHA	2929 N 70TH ST APT 1059	SCOTTSDALE	AZ	85251
BRAMER MELODY	1133 W OBISPO AVE	MESA	AZ	85210
SMITH CALEB A/SOULE RACHEL M	1505 W ORANGEWOOD AVE	PHOENIX	AZ	85021
RAMKO L L C	3016 E LOS GATOS DR	PHOENIX	AZ	85050
RICHARD AND DENISE CHAVOSKY TRUST	1101 W OBISPO AVE	MESA	AZ	85210
CASTILLO FELIPE M/ADELITA U	1057 W OBISPO AVE	MESA	AZ	85210
SCCSS FAMILY TRUST	1045 W OBISPO AVE	MESA	AZ	85210
ARZAGA TONY/BERTHA A	964 W OLLA AVE	MESA	AZ	85210
SNELL ADRIEN L JR/MONA L	958 W OLLA AVE	MESA	AZ	85210
ST JOHN JAMES K/RAMIREZ PATRICIA	1433 E NIGHTHAWK WAY	PHOENIX	AZ	85048
PETERMAN ROBERT B/BONNIE L	946 W OLLA AVE	MESA	AZ	85210
SUMNER RICHARD MARVIN	940 W OLLA AVE	MESA	AZ	85210
WAMBLE WILLIAM H	939 W OLLA AVE	MESA	AZ	85210
HOFFER FAMILY TRUST	945 W OLLA AVE	MESA	AZ	85210
WILLIAMS CHASE/TRIM CARLA	951 W OLLA AVE	MESA	AZ	85210
BEKE ERIK G	957 W OLLA AVE	MESA	AZ	85210
BELLILE CHRISTINE JANET/SMITH KEVIN WAYNE	1955 W BASELINE RD STE 113	MESA	AZ	85202
WROBEL WILLIAM J/CAROL S	966 W OSAGE AVE	MESA	AZ	85210
KRUSE SUSAN LYNN	960 W OSAGE AVE	MESA	AZ	85210
ANIUK LARRY/GAYLE	285 CESSNA DR	ERIE	CO	80516
RYBKA GREG	948 W OSAGE AVE	MESA	AZ	85210
KOPPERUD JOHN	1511 N SINOVA	MESA	AZ	85205
KEELS LEGACY TRUST	953 W OSAGE AVE	MESA	AZ	85210
AL DAMAH NAMOS TRUST	959 W OSAGE AVE	MESA	AZ	85210
BAIRD THOMAS C TR/ETSUKO	965 W OSAGE AVE	MESA	AZ	85210
HANSON DOUGLAS A/MARY K	2849 S EMERSON	MESA	AZ	85210
SU CHEN CHAO REVOCABLE TRUST	2859 S EMERSON ST	MESA	AZ	85210
KEARNS MICHAEL A	2865 S EMERSON	MESA	AZ	85202
REDNOUR MARY L	2902 S EMERSON	MESA	AZ	85210
DOBIESZ THERESA	2913 S SPRUCE AVE	MESA	AZ	85210
ISEMAN HUGH RANDALL/HENRIETTA V	2904 S SPRUCE ST	MESA	AZ	85210
TUCKER AUDREY A	4940 RUMAC ST SE	LACEY	WA	98513
WAGGONER STEVEN J & MARGARET G	2913 S WYCLIFF CIR	MESA	AZ	85202

JIMENEZ RAFAEL/HERMILA
MASON KELLEY M/JESS E
BROWN THERESA B
ARROW MESA STORAGE LLC
EKG423L LLC
COURY DEVELOPMENT INC
MASS DEVELOPMENT LLC
REALTY INCOME CORPORATION
SEVILLE SQUARE MESA LLC
RUIZESPARZA MALAURA/MANUEL
CHIAO ELIZABETH/DANIEL
MARTIN DEL CAMPO ROSAISELA/RALPH
GLICK DONALD L/DEBRA A
DAITRE DANA/BRENDA LEE
RUIZ WENDI P
FACCIOLA PETER C
SHUNNARA SOLOMON
ORTEGA MAXIMILLIAN F IV/HERLINDA D
PETERSON TAD DWAYNE/ALISA R
FOUTY DANIEL ERIC/JENNIFER KAY
MARQUEZ HECTOR F/JENNIE L TR
DISHMAN ERIC ROBERT/STEPHANIE L
ELLIS MERLIN H/MARY JACQUELYN
ANGUIANO GLORIA
BURNHAM DANA N
RAIO ALBERT T/DARLENE L TR
ANH N CORONADO FAMILY TRUST
NANCY ANN MERTZ LIVING TRUST
CURRY DEAN
BELONGA GREGORY OLIVER/MARQUEZ JENNIFER
MARY ANNE DOANE LIVING TRUST
GONZALEZ FAMILY TRUST
HILL GINGER OLIVIA LEA/CARY LEE
DE BARTOLO B P III/JILL M

2924 S WYCLIFF CIR MESA AZ 85210
2911 S MOLERA MESA AZ 85210
2912 S MOLLERA MESA AZ 85210
918 S HORTON ST 1000 SEATTLE WA 98134
202 E EARLL DR STE 360 PHOENIX AZ 85012
2151 E HACKMORE ST MESA AZ 85213
361 N CANON DR BEVERLY HILLS CA 90210
PO BOX 52427 ATLANTA GA 30355
4040 E MCLELLAN 4 MESA AZ 85205
928 W OLLA AVE MESA AZ 85210
934 W OLLA AVE MESA AZ 85210
6352 E PARAMOUNT BLVD PICO RIVERA CA 90660
935 W OLLA AVE MESA AZ 85210
931 W OLLA AVE MESA AZ 85210
929 W OLLA AVE MESA AZ 85210
930 W OSAGE AVE MESA AZ 85210
936 W OSAGE AVE MESA AZ 85210
942 W OSAGE AVE MESA AZ 85210
941 W OSAGE AVE MESA AZ 85210
933 W OSAGE AVE MESA AZ 85210
940 W OBISPO AVE MESA AZ 85202
944 W OBISPO AVE MESA AZ 85210
950 W OBISPO AVE MESA AZ 85210
937 W NATAL AVE MESA AZ 85210
938 W KEATING AVE MESA AZ 85210
560 E ORCHID LN GILBERT AZ 85296
943 W KEATING AVE MESA AZ 85210
2750 S BEVERLY CIR MESA AZ 85210
2740 S BEVERLY CIR MESA AZ 85210
2736 S BEVERLY CIR MESA AZ 85210
1750 S PRICE RD UNIT 173 TEMPE AZ 85281
2731 S BEVERLY CIR MESA AZ 85210
2737 S BEVERLY CIR MESA AZ 85210
2743 S BEVERLY CIR MESA AZ 85202

JONATHAN F KLEIN AND ALEXANDRA G VIVOLI REVOCABLE TRUST	2751 S BEVERLY CIR	MESA	AZ	85210
921 NARANJA LLC	2867 CEEKAY CT	CASTRO VALLEY	CA	94546
GARCIA GUADALUPE/CASTILLO FRANCISCO	931 W NARANJA AVE	MESA	AZ	85210
PARTIDA JOSE A/ILIANA I	2616 S MOLLERA ST	MESA	AZ	85210
HERNANDEZ FAMILY LIVING TRUST	2624 S MOLLERA	MESA	AZ	85210
PRYOR ROBERT A & ARLINE A	2632 S MOLLERA	MESA	AZ	85202
TINDALL JARROD/MARY K	2633 S MOLLERA	MESA	AZ	85210
VELASCO ANTHONY C/ERIN	2625 S MOLLERA	MESA	AZ	85210
OSTER BARBARA L	2617 S MOLLERA	MESA	AZ	85202
RICHERT RANKO/BARBARA	2618 S SPRUCE	MESA	AZ	85202
SCOTT JAMES THOMPSON LVINIG TRUST	2626 S SPRUCE ST	MESA	AZ	85210
MORRIS CHRISTINE	2634 S SPRUCE	MESA	AZ	85210
NGUYEN XUAN/CREASMAN NICHOLAS	1129 W MONTE AVE	MESA	AZ	85210
LE LONG ANDY/STERK KELSEY MARIE	1119 W MONTE AVE	MESA	AZ	85210
MARISA C GIL LIVING TRUST	1109 W MONTE AVE	MESA	AZ	85210
BELL STANLEY	1061 W MONTE AVE	MESA	AZ	85210
KEUP JAMES L/AMY K	1045 W MONTE	MESA	AZ	85210
1016 W NIDO AVE LLC	9448 CHERRYVALE LN	HIGHLANDS RANCH	CO	80126
YORK BRIDGET M/YORK THURSTON J	1032 W NIDO AVE	MESA	AZ	85210
LIVING TRUST OF LEONARD SWIDLER	7501 WOODCREST AVE	PHILADELPHIA	PA	19151
HAN RINA SUN/CROSS MICHAEL JOHN JR	1064 W NIDO AVE	MESA	AZ	85210
CARR FAMILY LIVING TRUST	1106 W NIDO AVE	MESA	AZ	85210
PITCHER ERICA/ANDREW	1116 W NIDO AVE	MESA	AZ	85210
LITTLER MICHAEL B	1126 W NIDO AVE	MESA	AZ	85210
MARTIN JACQUELYN M/ELDRIDGE GLORIA KATHLEEN	1065 W NIDO AVE	MESA	AZ	85210
CANNING FAMILY LIVING TRUST	921 W SYCAMORE PL	CHANDLER	AZ	85225
FARKAS MATTHEW/DAWSON BREA	1037 W NIDO AVE	MESA	AZ	85210
TRAVERSINO STEVEN	1025 W NIDO AVE	MESA	AZ	85210
JOSHI FAMILY LIVING TRUST	1011 W NIDO AVE	MESA	AZ	85202
MARTINEZ JOSEPH A/BARBARA L	959 W NIDO AVE	MESA	AZ	85210
MILLER LARRY P/DEBORAH A TR	952 W NATAL AVE	MESA	AZ	85202
TRUITT JEFFREY ROY/DIANE C	960 W NATAL AVE	MESA	AZ	85210
MORALES ALEJANDRO/GONZALEZ SANDRA	1006 W NATAL AVE	MESA	AZ	85210
LE MASTERS COLLEEN E	1020 W NATAL AVE	MESA	AZ	85210

MULVIHILL JOSEPHA A/MARY JANE LIPSHIE
TOMAS ROBERT J/COREE S
TAH MS BORROWER LLC
CLARK GEORGE/PAMELA RENEE
POWERS JOHN A/STEPHANIE L
SANDOVAL MICHAEL J
BROWN MATTHEW/KIMBERLY
FOSTER DEAN MICHAEL/ALLISON ROSE
POLANSKI NICHOLAS/KILEY
COMPTON LEE ALLEN/DELORES DIANE
MANON COTE KAPLAN FAMILY LIVING TRUST
SHAPIRO DENISE
MARTIN HARRY/ROONEY COLBY
ZUDER AUSTIN JAMES/LARSSON HANNA/LINDA FAYE
COSS CARL W III
IHRKE JENNIFER M
REYCRAFT KEITH W/CARI A
LIMON SONIA
HINSBERGER THOMAS P/TERRY R
RIEDEL GEORGIA
SANCHEZ JOSE M
SHELMAN JOHN R/RAQUEL
ANDRADE RICHARD E & ELIZABETH A
HESTER-AVILA LIVING TRUST
NORTH LIVING TRUST
HALE JEFFREY A/CAROL L
PRICE JOHN FRANCIS III
FACCHINI RAFFAELE C JR
LEVANT PROPERTIES LLC
GRIEGER FAMILY TRUST
CAMERON TRUST
DOMINSKI ROBERT
PIERCE ALEXANDRIA
TIEMAN FRYCE SHELBY/KIMBERLY

1034 W NATAL AVE MESA AZ 85210
1046 W NATAL AVE MESA AZ 85210
1508 BROOKHOLLOW DR SANTA ANA CA 92705
1063 W NATAL AVE MESA AZ 85202
1051 W NATAL AVE MESA AZ 85202
1039 W NATAL AVE MESA AZ 85210
1027 W NATAL AVE MESA AZ 85210
1015 W NATAL AVE MESA AZ 85210
963 W NATAL AVE MESA AZ 85210
955 W NATAL AVE MESA AZ 85202
954 W KEATING AVE MESA AZ 85210
962 W KEATING AVE MESA AZ 85210
1012 W KEATING AVE MESA AZ 85210
1024 W KEATING AVE MESA AZ 85210
1036 W KEATING AVE MESA AZ 85210
1048 W KEATING AVE MESA AZ 85210
1060 W KEATING AVE MESA AZ 85210
2736 S SPRUCE MESA AZ 85210
2748 S SPRUCE ST MESA AZ 85210
2756 S SPRUCE MESA AZ 85210
2764 S SPRUCE ST MESA AZ 85210
2747 S SPRUCE ST MESA AZ 85210
2735 S SPRUCE ST MESA AZ 85202
2729 S SPRUCE MESA AZ 85210
1061 W KEATING AVE MESA AZ 85210
1051 W KEATING MESA AZ 85210
1037 W KEATING AVE MESA AZ 85210
PO BOX 13812 SCOTTSDALE AZ 85267
1848 EL FRED A RD TEMPE AZ 85284
963 W KEATING AVE MESA AZ 85210
953 W KEATING AVE MESA AZ 85210
2745 S EMERSON CIR MESA AZ 85210
2739 S EMERSON CIR MESA AZ 85210
2733 S EMERSON CIR MESA AZ 85210

THORPE JOHN NICHOLAS/MEAGHAN MARE
AMARILLO TRUST
NORTON JAKE/RILIE
ROSKELLEY JARED B/KARLIE
MONTES JAIME

MIX FAMILY LIVING TRUST
MCFARLAND TRUST
KHALDI ABDELHALIM
ORTIZ GREGORY/KAREN L
WEST LIANA
CIEMINSKI FAMILY LIVING TRUST
PETERSON SEAN DOUGLAS/LORI
HINSON TRUST

BKME ARIZONA INVESTMENTS LLC
SHASTA INDUSTRIES
MCDONALDS REAL ESTATE COMPANY
GUADALUPE ALMA SCHOOL EQUITIES LLC
WOODMANSEE FAMILY TRUST
H&J MP LLC
H&J MP LLC
WBA PORTFOLIO OWNER NLP GALAXY LLC
GUNDERSDORF MICHAEL
MENDELEVITZ MARK/CHENG JOSEPHINE
DESERT ESPERANZA INC
SALT RIVER PROJ AG IMP
IDS SHURGARD INCOME GROWTH PARTNERS LP III
DOBSON ASSOCIATION INC
SCHMIDT TERENCE R
75 CACTUS LLC
S K & M INVESTMENTS INC
Vice Mayor Francisco Heredia
Lucy Hambricht
City of Mesa Development Services Department

2729 S EMERSON CIR MESA AZ 85210
2734 S EMERSON CIR MESA AZ 85210
2738 S EMERSON CIR MESA AZ 85210
2744 S EMERSON CIR MESA AZ 85210
1065 W NARANJA AVE MESA AZ 85210

1033 W NARANJA AVE MESA AZ 85210
1017 W NARANJA AVE MESA AZ 85210
961 W NARANJA AVE MESA AZ 85210
951 W NARANJA MESA AZ 85210
941 W NARANJA AVE MESA AZ 85210
2704 S SPRUCE MESA AZ 85210
2716 S SPRUCE MESA AZ 85210
2730 S SPRUCE MESA AZ 85210
221 E WILLIS RD STE 8 CHANDLER AZ 85286
3750 W INDIAN SCHOOL RD PHOENIX AZ 85019
PO BOX 66207 CHICAGO IL 60666
4360 E BROWN RD UNIT 106 MESA AZ 85205
2719 E AMBERWOOD DR PHOENIX AZ 85048
2375 E CAMELBACK RD STE 3 PHOENIX AZ 85016
PO BOX 25 RANCHO SANTA FE CA 92067
PO BOX 1159 DEERFIELD IL 60015
1225 W MONTE AVE MESA AZ 85202
1219 W MONTE AVE MESA AZ 85202
202 E EARLL DR 200 PHOENIX AZ 85012
PO BOX 1980 PHOENIX AZ 85011
PO BOX 25025 GLENDALE CA 91201
2719 S REYES MESA AZ 85202
2424 RIDGE RD ROCKWALL TX 75087
6621 N SCOTTSDALE RD SCOTTSDALE AZ 85250
3845 STOCKTON HILL RD KINGMAN AZ 86409
959 W Monte Ave Mesa AZ 85210
PO Box 1466 Mesa AZ 85211
ATTN: Charlotte Bridges Mesa AZ 85211

ONSITE CIRCULATION AND STACKING STUDY

July 22, 2024

Ms. Vanessa Rodriguez
Angie's Lobster, LLC
3104 E Camelback Rd #2199
Phoenix, Arizona 85016



**RE: Drive-Thru Onsite Circulation and Stacking Study for Angie's Prime Grill:
1118 W. Guadalupe Road – Mesa, Arizona**

INTRODUCTION

CivTech Inc. has been retained to provide an Onsite Circulation and Stacking Study (the **Study**) for the proposed Angie's Prime Grill (the **Project**). The **Project** is to be located at 1118 W. Guadalupe Road in Mesa, Arizona. Angie's Prime Grill has a unique business model as a quick service restaurant with the majority of the sales taking place via the drive-through window. This unique business model is complimented by a limited menu allowing for an efficient and quick service via the drive-thru window or walk-up. The **Project** will have two drive-through lanes that merge into one lane. The purpose of this **Study** is to ensure adequate circulation and stacking storage will be provided on site via the drive-through lanes. This **Study** has been conducted in accordance with Ordinance No. 5813 Section 11-31-18(C) of the Mesa Zoning Ordinance. The **Vicinity Map** of the proposed restaurant is shown in **Figure 1**.



Figure 1 – Vicinity Map

HOURS OF OPERATIONS

The proposed Angie's Prime Grill hours of operation are 6:30 AM – 9:00 PM, Sunday-Saturday. This **Project** will allow customers to options for ordering food – food can be ordered on-line and picked up at walk-up window, ordered on-site via the drive-through lane or by the walk-up window. The peak demand hours are anticipated to be between 10:00 AM – 2:00 PM for lunch rush, and between 5:00 PM – 7:00 PM for dinner rush. Like the other Angie's Lobster locations, the Angie's Prime Grill will have a limited menu and anticipates having the same typical time to serve a customer, which is in the range between 4-5 minutes.

Sound from external operations is not anticipated to disrupt neighboring properties. The proposed drive-thru ordering kiosk with speaker will be positioned as to not cause a nuisance or problem for the neighboring land uses. Approximately 125 feet is provided between the drive-thru lane and the area zoned for residential use. Payment will be via touch screen or on-line.

ONSITE CIRCULATION AND STACKING REQUIREMENTS

The proposed Angie's Prime Grill is a brand-new food concept for the Angie's Lobster company. So, in order to get an idea on the arrival rates and vehicular stacking, data from an existing Angie's Lobster location was obtained from the owner and was analyzed for anticipated arrival rate and the anticipated vehicular stacking that would be required. As noted above, Angie's Prime Grill, just like Angie's Lobster, is considered a quick-service business model. Utilizing the HME data provided by an existing Angie's Lobster, it was determined that 1 vehicle per minute (VPM) entered the site during a 120-minute time interval. Therefore, the average arrival rate at the proposed location would likely follow a similar pattern, and can be assumed to have a 1 VPM arrival rate. The summarized HME data can be found in **Attachment A**.

In a *Drive-Thru Queue Analysis* conducted by CivTech in November of 2023 for an Angie's Lobster located in Glendale, Arizona; the average queue, the 100th percentile, and the 85th percentile queue lengths were calculated. The results consisted of the following; the average queue is 33 feet, the 100th percentile queue is 150 feet, and the 85th percentile queue is 75 feet. The complete Queueing Analysis Statement can be found in **Attachment B**.

The proposed Angie's Prime Grill will have approximately 251 feet of queue storage. Using average vehicle lengths of 19 feet or 25 feet, the proposed drive-thru could provide storage for 13 or 10 vehicles, respectively. The future queued vehicles associated with Angie's Prime Grill is not anticipated to interfere with traffic on or off the project site.

The proposed Angie's Prime Grill will have two drive-thru lanes merging into a single lane to pick up orders. Vehicles will enter the site from Guadalupe Road and travel north along the PAAL to the entrance to the drive-thru lanes and then turn west to enter the site. The proposed layout can be found below in **Figure 2**. The full site plan can be found in **Attachment C**.

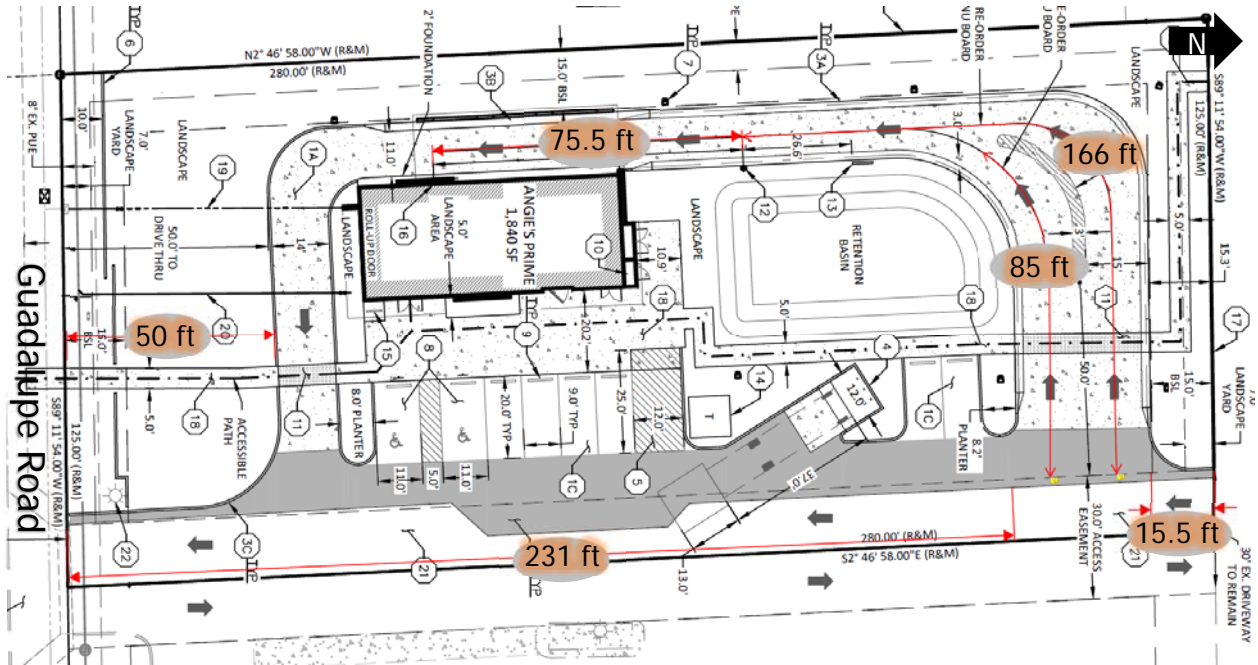


Figure 2 – Angie's Prime Grill Drive-Thru Stacking

With consideration of this site plan, the proposed Angie's Prime Grill is to provide the following:

- Approximately 231 feet is provided between the entrance of the drive-thru and the street access driveway at Guadalupe Road, 50 feet is provided between the drive thru lane and Guadalupe Road on the south side of the site, and approximately 15.5 feet is provided between the entrance of the drive-thru and the cross-access driveway to the north.
- Approximately 75.5 feet is provided between the drive-thru window and order placing kiosk.
- Approximately 166 feet is provided between the order-placing kiosk and the entry to the drive-lane.
- Approximately 125 feet is provided between the drive-thru lane and the area zoned for residential use.

Mitigation efforts in regard to backup stacking of vehicles has been considered. The entrance to the proposed drive-thru is located at the furthest end of the site, in relation to the site access along a public right-of-way. Considering this, if there is backup stacking of vehicles past what is provided for queue storage, a length of 231 feet is provided along the PAAL between the entrance of the drive-thru and the street access driveway. Using average personal car lengths of 19 feet or 25 feet, the 231 feet provided on site between the entrance of the drive-thru and the street access driveway could cater an additional 12 or 9 vehicles.

The proposed Angie's Prime Grill is to share a driveway with an existing auto parts store. Due to spacing between sites, blocking of internal drives or vehicles backing up onto nearby roadways is not anticipated to disrupt the site. Therefore, no mitigation related to ensuring vehicles are not blocking internal drives or backing up onto driveways is necessary.

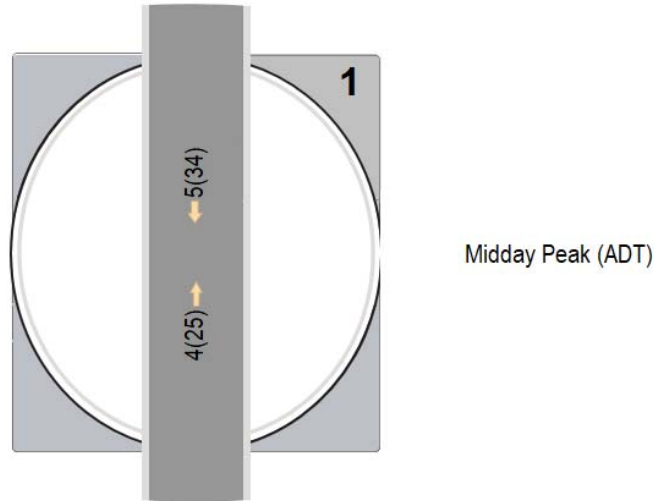
CROSS-ACCESS TRAFFIC COUNTS

The City of Mesa requested a 24-hour weekday counts with vehicle classification at the cross-access driveway between the proposed Angie’s Prime Grill site and the Merit Park Village Shopping Center. CivTech engaged Field Data Services of Arizona, Inc. to record traffic volumes and vehicle classification at the cross-access driveway. The count location is indicated below in **Figure 3**.



Figure 3 – Cross-Access Driveway Location

The results indicate that 59 vehicles utilized the cross-access. The cross-access experienced a mid-day peak hour at 11:15 AM – 12:15 PM. The results of this peak hour are shown below in **Figure 4**. Due to the low vehicle counts, the results of the 24-hour counts have been included as well. Traffic volume and classification data obtained for this study have been included in **Attachment D**.



APG & Merit Park Village Cross-Access Drwy

Figure 4 – Cross-Access Midday Peak Hour and ADT

The following table summarizes the vehicle classification over the midday peak hour, as well as the 24-hour count period.

Table 1 – Intersection Vehicle Classification Summary

Direction	Total Vehicles	Vehicle Type in each Category											
		Bikes	Cars & Trailers	2 Axle Long	2 Axle Bus	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle	5 Axle	>6 Axle	6 Axle	>6 Axle
Northbound													
Midday Peak	4	1	2	1	0	0	0	0	0	0	0	0	0
ADT	25	1	20	2	0	1	0	0	0	1	0	0	0
Southbound													
Midday Peak	5	0	2	2	0	1	0	0	0	0	0	0	0
ADT	34	0	23	8	0	2	0	0	0	1	0	0	0
Northbound, Southbound (Totals)													
Midday Peak	9	1	4	3	0	1	0	0	0	0	0	0	0
ADT	59	1	43	10	0	3	0	0	0	2	0	0	0

The findings from the traffic volumes and vehicle classification analysis indicate low volumes at the cross-access with the majority of vehicles being cars. The next most common type of vehicle recorded was a 2-axle, which would likely be a garbage truck or similar. The few larger vehicles recorded are likely delivery trucks serving nearby stores and restaurants.

CITY OF MESA CODE

The City of Mesa's *Code of Ordinance No. 5813* describes drive-thru stacking requirements for fast food establishments. Drive-thru facility stacking requirements are outlined in Ordinance Number 5813, Section 11-31-18(C), and are summarized in the following:



- A minimum 50-foot-long distance must be provided between the entrance of a drive-thru or pick-up lane and a street access driveway or cross access drive aisle.
 - o The proposed site is to provide two accesses. The access to Guadalupe Road to the south is expected to meet this requirement by providing 50 feet between the drive thru lane and the street access.
 - o The cross access drive aisle to the north is expected to not meet this exact requirement, by providing approximately 15.5 feet. Though, this requirement is met in regard to the street access driveway with providing approximately 231 feet.
 - In consideration of the lack of vehicles cutting through the site, it is anticipated that this is not to be of a notable deficit.
- A minimum 100-foot-long stacking distance must be provided between the drive-thru window and order placing speaker.
 - o The proposed site is expected to not meet this exact requirement, by providing approximately 75.5 feet.
 - Due to the unique business model of this quick-service restaurant with limited menu items, the distance between the drive-thru window and the order placing speaker is not anticipated to be of a notable deficit.
- A minimum 40-foot-long stacking distance must be provided between the order-placing box and the entry to the drive-thru lane.
 - o The proposed site is to exceed this requirement, by providing approximately 166 feet.
- A minimum 100-foot distance must be provided between the drive-thru lane or pick-up lane and any residential use or property zoned with a Residential District.
 - o The proposed site is to exceed this requirement.

CONCLUSIONS AND RECOMMENDATIONS

The City of Mesa requires a minimum 50-foot-long distance must be provided between the entrance of a drive-thru or pick-up lane and a street access driveway or cross access drive aisle. There are two accesses to the proposed site. The access to Guadalupe on the south side of the site is to meet the requirement by providing 50 feet between the drive thru lane and the street access. The second access on the north side of the proposed site is expected to not meet this exact requirement, by providing approximately 15.5 feet. In consideration of the lack of vehicles cutting through the site, it is anticipated that this is not to be of a notable deficit. Though, this requirement is met in regard to the street access driveway with providing approximately 231 feet between the driveway entrance and Guadalupe Road to the south of the site.

The City of Mesa requires a minimum 100-foot-long stacking distance must be provided between the drive-thru window and order placing speaker. The proposed site is to provide approximately 75.5 feet between the drive-thru window and order placing kiosk.

Due to the unique business model of this quick-service restaurant with limited menu items, the distance between the drive-thru window and the order placing kiosk is not anticipated to be of a notable deficit.

A minimum 40-foot-long stacking distance must be provided between the order placing kiosk and the entry to the drive-thru lane. The proposed site is expected to exceed this requirement with providing 166 feet stacking distance.

A minimum 100-foot distance must be provided between the drive-thru lane or pick-up lane and any residential use or property zoned with a Residential District. The site will exceed this requirement. Sound from external operations is not anticipated to disrupt neighboring properties. The proposed drive-thru ordering kiosk with speaker will be positioned as to not cause a nuisance or problem for the neighboring land uses. Approximately 125 feet is provided between the drive-thru lane and the area zoned for residential use. Payment will be via touch screen or on-line.

The proposed Angie's Prime Grill has approximately 251 feet of queue storage. Using average vehicle lengths of 19 feet or 25 feet, the proposed drive-thru could provide storage for 13 or 10 vehicles, respectively. The future queued vehicles associated with Angie's Prime Grill is not anticipated to interfere with traffic on or off the project site.

The proposed Angie's Prime Grill will have two drive-thru lanes merging into a single lane to pick up orders. Vehicles will enter the site from Guadalupe Road and travel north along the PAAL to the entrance to the drive-thru lanes and then turn west to enter the site.

Additionally, the drive-thru entrance is located approximately 231 feet north of Guadalupe Road, so approximately 12 to 9 vehicles could queue in the PAAL if needed.

The findings from the traffic volumes and vehicle classification analysis indicate low volumes at the cross-access with the majority of vehicles being cars. The next most common type of vehicle recorded was a 2-axle, which would likely be a garbage truck or similar. The few larger vehicles recorded are likely delivery trucks serving nearby stores and restaurants.

It is concluded that the proposed Angie's Prime Grill queue stacking meets the intent of City of Mesa's Drive-thru Stacking Requirements. No changes to the site circulation and queueing are recommended.

Please contact me with any questions you may have on this Drive-Thru Circulation and Stacking Study.

Sincerely,

CivTech



Mick Mathieu, P.E., Fellow ASCE
Managing Director – Tucson

Attachments:

- A. Angie's Prime Grill HME Data
- B. CivTech Drive-Thru Queueing Analysis for Angie's Lobster in Glendale, AZ
- C. Site Plan
- D. Existing Volumes and Vehicle Classification

ATTACHMENT A

Angie's Prime Grill HME Data

210 Minute Time Interval

Given Information

Measurement	UOM	Description of Measurement
210	Minute	Time interval
125	Minute	Number of Vehicles
2.54	Minute	Average Time per Vehicle from Speaker Post to Pick Up Window
42.5	Feet	Speaker Post to Pick Up Window
150	Feet	Entry of Drive Thru to Pick Up Window

5.3 Vehicle Average Queue Capacity Required per Time Interval

120 Minute Time Interval

Given Information

Measurement	UOM	Description of Measurement
120	Minute	Time interval
125	Minute	Number of Vehicles
2.54	Minute	Average Time per Vehicle from Speaker Post to Pick Up Window
42.5	Feet	Speaker Post to Pick Up Window
150	Feet	Entry of Drive Thru to Pick Up Window

9.3 Vehicle Average Queue Capacity Required per Time Interval

100 Minute Time Interval

Given Information

Measurement	UOM	Description of Measurement
100	Minute	Time interval
125	Minute	Number of Vehicles
2.54	Minute	Average Time per Vehicle from Speaker Post to Pick Up Window
42.5	Feet	Speaker Post to Pick Up Window
150	Feet	Entry of Drive Thru to Pick Up Window

1.3 Vehicles per Minute

3.2 Vehicle

13.4 Feet per Vehicle

11.2 Vehicle Average Queue Capacity Required per Time Interval

100 Minute Time Interval

Variable	Given Information		UOM	Description of Measurement
	Measurement			
t	100		Minute	Time interval
v		120	Vehicle	Number of Vehicles
$t_{sp:pu}$		2.54	Minute	Average Time per Vehicle from Speaker Post to Pick Up Window
$d_{sp:pu}$		42.5	Feet	Speaker Post to Pick Up Window
d_{total}	209.25		Feet	Entry of Drive Thru to Pick Up Window
$d_{avg\ veh}$		20	Feet	Average Whole Vehicle Spacing
$d_{veh\ @\ sp\ \&\ pu}$		11.25	Feet	Vehicle Spacing at Speaker Post & Pick Up Window
%max veh cap		100%		100% Vehicle Capacity From Speaker Post to Pick Up Window
$v_{dt\ max\ cap}$		11	Vehicle	Drive Thru Capacity from Entry of Drive Thru to Pick Up Window
$r_{veh\ sp:pu}$		1.2	Vehicles per Minute	Rate of Vehicles Served During Time Interval
$v_{veh\ served}$		3.0	Vehicle	Number of Vehicles Served During Average Vehicle Service Time
$d_{avg\ veh\ spacing}$		11.0	Feet	Average Vehicle Spacing at Speaker Post & Pick Up Window
%veh cap		101%		% of Vehicle Capacity From Speaker Post to Pick Up Window *

v_{avg} # of veh in dt 11 Vehicle Average Number of Vehicles in Drive Thru for Time Interval

120 Minute Time Interval

Variable	Given Information		UOM	Description of Measurement
	Measurement			
t	120		Minute	Time interval
v		120	Vehicle	Number of Vehicles
$t_{sp:pu}$		2.54	Minute	Average Time per Vehicle from Speaker Post to Pick Up Window
$d_{sp:pu}$		42.5	Feet	Speaker Post to Pick Up Window
d_{total}	209.25		Feet	Entry of Drive Thru to Pick Up Window
$d_{avg\ veh}$		20	Feet	Average Whole Vehicle Spacing
$d_{veh\ @\ sp\ \&\ pu}$		11.25	Feet	Vehicle Spacing at Speaker Post & Pick Up Window
%max veh cap		100%		100% Vehicle Capacity From Speaker Post to Pick Up Window
$v_{dt\ max\ cap}$		11	Vehicle	Drive Thru Capacity from Entry of Drive Thru to Pick Up Window
$r_{veh\ sp:pu}$		1.0	Vehicles per Minute	Rate of Vehicles Served During Time Interval
$v_{veh\ served}$		2.5	Vehicle	Number of Vehicles Served During Average Vehicle Service Time
$d_{avg\ veh\ spacing}$		14.6	Feet	Average Vehicle Spacing at Speaker Post & Pick Up Window
%veh cap		86%		% of Vehicle Capacity From Speaker Post to Pick Up Window *

v_{avg} # of veh in dt 9 Vehicle Average Number of Vehicles in Drive Thru for Time Interval

210 Minute Time Interval

Variable	Given Information		UOM	Description of Measurement
	Measurement			
t	210		Minute	Time interval
v		120	Vehicle	Number of Vehicles
$t_{sp:pu}$		2.54	Minute	Average Time per Vehicle from Speaker Post to Pick Up Window
$d_{sp:pu}$		42.5	Feet	Speaker Post to Pick Up Window
d_{total}	209.25		Feet	Entry of Drive Thru to Pick Up Window
$d_{avg\ veh}$		20	Feet	Average Whole Vehicle Spacing

ATTACHMENT B

CivTech Drive-Thru Queueing Analysis for Angie's Lobster in Glendale, AZ

QUEUEING ANALYSIS STATEMENT

December 4, 2023

Ms. Vanessa Rodriguez
Angie's Lobster, LLC
3104 E Camelback Rd #2199
Phoenix, Arizona 85016



RE: Drive-Thru Queueing Analysis for Angie's Lobster: 4326 West Thunderbird Road – Glendale, Arizona

INTRODUCTION

CivTech Inc. has been retained to provide a Queueing Analysis Statement for the existing Angie's Lobster restaurant located at 4326 West Thunderbird Road in Glendale, Arizona. The purpose of this statement is to ensure adequate queue storage exists at the on-site drive-through. The restaurant drive-through consists of two approach lanes merging into a single lane for placing orders and order pick up. The existing restaurant is a part of an existing strip retail plaza and utilizes existing access driveways to Thunderbird Road and 43rd Avenue. The vicinity map is shown in **Figure 1**.

Figure 1 – Vicinity Map



QUEUE COUNTS

The existing drive-thru traffic at the Angie's Lobster restaurant has been counted and analyzed to determine queueing peak hours and queueing length requirements.

CivTech engaged Field Data Services to record queue volumes at the existing Angie's Lobster restaurant located in Glendale, Arizona. Queue volume counts were collected from 7:00 AM-7:00 PM on Friday, November 3, 2023 and Saturday, November 4, 2023. The counts noted the number of vehicles in the drive-thru lane at 1-minute intervals.

Vehicle queue counts and subsequent queue calculations are provided in **Attachment A**.

ANALYSIS

Counts from the existing Angie’s Lobster were utilized to determine the average, 100th percentile, and 85th percentile queue. The average queue (rate per minute) was calculated by taking the sum of vehicles, and dividing by the count duration, in this case it was 720 minutes. The 100th percentile queue was determined as the largest number of vehicles stored in the drive-through lane for any given minute of the day. The 85th percentile represents a value where 85 percent of the queue for the count duration is smaller than the 85th percentile and 15 percent of the queue for the count duration is the same or larger than the 85th percentile.

The queue values were calculated for the course of each day observed, and the larger values for either Friday, November 3 or Saturday, November 4 were used to determine the queue lengths for the lane. The average, 100th percentile, and 85th percentile queues are included in **Table 1**.

Table 1 – Queue and Volume

Percentile	Max Queue (Vehicles)
Average Queue	1.31
100 th Percentile	6.00
85 th Percentile	3.00

Using an average personal car length of 25 feet, queue lengths can be found in feet for the average, 100th percentile, and 85th percentile summarized in **Table 2**.

Table 2 – Queue Length

Percentile	Max Queue (Feet)
Average Queue	33
100 th Percentile	150
85 th Percentile	75

Based on the 85th percentile queue length, the existing Angie’s Lobster requires approximately 75 feet of queue storage. The existing site currently has approximately 145 feet of storage provided, with 95 feet in the interior lane, and an additional 50 feet in the exterior lane. Thus, there is additional 70 feet of storage (approximately 3 vehicles) to handle any temporary increase in the number of queued vehicles. In conclusion the queued vehicles associated Angie’s Lobster is not anticipated to interfere with traffic on or off the project site.

A summary of the queue analysis calculations is provided in **Attachment B**.

RECOMMENDATIONS

It is recommended that the existing Angie’s Lobster queue storage is sufficient to store the 85th Percentile Queue of 75 feet. The length should be sufficient to prevent any vehicles from queueing on public roads and that no vehicles obstruct access to/from Thunderbird Road or 43rd Avenue.

CONCLUSIONS

- The existing project location consists of an approximately 900 square foot (SF) building with two approach lanes merging into a single lane for placing orders and order pick up.
- Based on the 85th percentile queue, the existing Angie’s Lobster requires 75 feet of queue storage.
- The existing site currently has approximately 145 feet of storage provided, with 95 feet in the interior lane, and an additional 50 feet in the exterior lane. Thus, there is additional 70 feet of storage (approximately 3 vehicles) to handle any temporary increase in the number of queued vehicles. In conclusion the queued vehicles associated Angie’s Lobster is not anticipated to interfere with traffic on or off the project site.
- It is recommended that the existing Angie’s Lobster queue storage is sufficient to store the 85th Percentile Queue of 75 feet. The length should be sufficient to prevent any vehicles from queueing on public roads and that no vehicles obstruct access to/from Thunderbird Road or 43rd Avenue.

Please contact me with any questions you may have on this Queueing Statement.

Sincerely,

CivTech



Mick Mathieu, P.E., Fellow ASCE
Managing Director – Tucson

Attachments:

- A. Queue Counts and Analysis
- B. Queue Analysis Summary

QUEUE STUDY

	Friday, November 03, 2023			Hours Minutes	12 720
	Drive thru	Further	Combined		
07:00:00 AM	0	0	0		
07:01:00 AM	0	0	0		
07:02:00 AM	0	0	0		
07:03:00 AM	0	0	0		
07:04:00 AM	1	0	1		
07:05:00 AM	0	0	0		
07:06:00 AM	0	0	0		
07:07:00 AM	0	0	0		
07:08:00 AM	1	0	1		
07:09:00 AM	0	0	0		
07:10:00 AM	0	0	0		
07:11:00 AM	0	0	0		
07:12:00 AM	0	0	0		
07:13:00 AM	1	0	1		
07:14:00 AM	0	0	0		
07:15:00 AM	0	0	0		
07:16:00 AM	0	0	0		
07:17:00 AM	0	0	0		
07:18:00 AM	0	0	0		
07:19:00 AM	0	0	0		
07:20:00 AM	0	0	0		
07:21:00 AM	0	0	0		
07:22:00 AM	0	0	0		
07:23:00 AM	0	0	0		
07:24:00 AM	0	0	0		
07:25:00 AM	0	0	0		
07:26:00 AM	0	0	0		
07:27:00 AM	0	0	0		
07:28:00 AM	1	0	1		
07:29:00 AM	0	0	0		
07:30:00 AM	0	0	0		
07:31:00 AM	1	0	1		
07:32:00 AM	1	0	1		
07:33:00 AM	0	0	0		
07:34:00 AM	0	0	0		
07:35:00 AM	0	0	0		
07:36:00 AM	0	0	0		
07:37:00 AM	0	0	0		
07:38:00 AM	0	0	0		
07:39:00 AM	0	0	0		
07:40:00 AM	0	0	0		
07:41:00 AM	0	0	0		
07:42:00 AM	0	0	0		
07:43:00 AM	0	0	0		
07:44:00 AM	0	0	0		
07:45:00 AM	0	0	0		
07:46:00 AM	0	0	0		
07:47:00 AM	0	0	0		
07:48:00 AM	1	0	1		
07:49:00 AM	0	0	0		
07:50:00 AM	0	0	0		
07:51:00 AM	0	0	0		
07:52:00 AM	2	0	2		
07:53:00 AM	2	0	2		
07:54:00 AM	2	0	2		
07:55:00 AM	1	0	1		
07:56:00 AM	2	0	2		
07:57:00 AM	1	0	1		
07:58:00 AM	3	0	3		
07:59:00 AM	3	0	3		
08:00:00 AM	3	0	3		
08:01:00 AM	2	0	2		
08:02:00 AM	1	0	1		
08:03:00 AM	0	0	0		
08:04:00 AM	0	0	0		
08:05:00 AM	0	0	0		
08:06:00 AM	0	0	0		
08:07:00 AM	0	0	0		
08:08:00 AM	0	0	0		
08:09:00 AM	0	0	0		
08:10:00 AM	0	0	0		
08:11:00 AM	0	0	0		
08:12:00 AM	0	0	0		
08:13:00 AM	0	0	0		
08:14:00 AM	0	0	0		

QUEUE STUDY

	Saturday, November 04, 2023			Hours Minutes	12 720
	Drive thru	Further	Combined		
07:00:00 AM	0	0	0		
07:01:00 AM	1	0	1		
07:02:00 AM	1	0	1		
07:03:00 AM	1	0	1		
07:04:00 AM	1	0	1		
07:05:00 AM	2	0	2		
07:06:00 AM	2	0	2		
07:07:00 AM	1	0	1		
07:08:00 AM	0	0	0		
07:09:00 AM	0	0	0		
07:10:00 AM	0	0	0		
07:11:00 AM	0	0	0		
07:12:00 AM	0	0	0		
07:13:00 AM	0	0	0		
07:14:00 AM	0	0	0		
07:15:00 AM	0	0	0		
07:16:00 AM	0	0	0		
07:17:00 AM	0	0	0		
07:18:00 AM	0	0	0		
07:19:00 AM	0	0	0		
07:20:00 AM	0	0	0		
07:21:00 AM	0	0	0		
07:22:00 AM	1	0	1		
07:23:00 AM	0	0	0		
07:24:00 AM	0	0	0		
07:25:00 AM	0	0	0		
07:26:00 AM	0	0	0		
07:27:00 AM	0	0	0		
07:28:00 AM	0	0	0		
07:29:00 AM	0	0	0		
07:30:00 AM	1	0	1		
07:31:00 AM	1	0	1		
07:32:00 AM	1	0	1		
07:33:00 AM	1	0	1		
07:34:00 AM	0	0	0		
07:35:00 AM	0	0	0		
07:36:00 AM	0	0	0		
07:37:00 AM	0	0	0		
07:38:00 AM	0	0	0		
07:39:00 AM	0	0	0		
07:40:00 AM	0	0	0		
07:41:00 AM	0	0	0		
07:42:00 AM	0	0	0		
07:43:00 AM	1	0	1		
07:44:00 AM	1	0	1		
07:45:00 AM	1	0	1		
07:46:00 AM	1	0	1		
07:47:00 AM	0	0	0		
07:48:00 AM	1	0	1		
07:49:00 AM	1	0	1		
07:50:00 AM	1	0	1		
07:51:00 AM	1	0	1		
07:52:00 AM	0	0	0		
07:53:00 AM	0	0	0		
07:54:00 AM	0	0	0		
07:55:00 AM	0	0	0		
07:56:00 AM	0	0	0		
07:57:00 AM	0	0	0		
07:58:00 AM	1	0	1		
07:59:00 AM	1	0	1		
08:00:00 AM	0	0	0		
08:01:00 AM	0	0	0		
08:02:00 AM	0	0	0		
08:03:00 AM	0	0	0		
08:04:00 AM	0	0	0		
08:05:00 AM	0	0	0		
08:06:00 AM	0	0	0		
08:07:00 AM	0	0	0		
08:08:00 AM	0	0	0		
08:09:00 AM	0	0	0		
08:10:00 AM	0	0	0		
08:11:00 AM	0	0	0		
08:12:00 AM	0	0	0		
08:13:00 AM	0	0	0		
08:14:00 AM	0	0	0		

QUEUE STUDY

Friday, November 03, 2023			Hours	12
Drive thru	Further	Combined	Minutes	720
08:15:00 AM	0	0	0	
08:16:00 AM	0	0	0	
08:17:00 AM	0	0	0	
08:18:00 AM	0	0	0	
08:19:00 AM	0	0	0	
08:20:00 AM	0	0	0	
08:21:00 AM	0	0	0	
08:22:00 AM	0	0	0	
08:23:00 AM	0	0	0	
08:24:00 AM	0	0	0	
08:25:00 AM	0	0	0	
08:26:00 AM	0	0	0	
08:27:00 AM	0	0	0	
08:28:00 AM	0	0	0	
08:29:00 AM	0	0	0	
08:30:00 AM	1	0	1	
08:31:00 AM	1	0	1	
08:32:00 AM	1	0	1	
08:33:00 AM	0	0	0	
08:34:00 AM	0	0	0	
08:35:00 AM	0	0	0	
08:36:00 AM	0	0	0	
08:37:00 AM	0	0	0	
08:38:00 AM	0	0	0	
08:39:00 AM	0	0	0	
08:40:00 AM	0	0	0	
08:41:00 AM	1	0	1	
08:42:00 AM	1	0	1	
08:43:00 AM	0	0	0	
08:44:00 AM	0	0	0	
08:45:00 AM	1	0	1	
08:46:00 AM	1	0	1	
08:47:00 AM	0	0	0	
08:48:00 AM	0	0	0	
08:49:00 AM	0	0	0	
08:50:00 AM	0	0	0	
08:51:00 AM	0	0	0	
08:52:00 AM	0	0	0	
08:53:00 AM	0	0	0	
08:54:00 AM	0	0	0	
08:55:00 AM	0	0	0	
08:56:00 AM	1	0	1	
08:57:00 AM	1	0	1	
08:58:00 AM	0	0	0	
08:59:00 AM	0	0	0	
09:00:00 AM	0	0	0	
09:01:00 AM	1	0	1	
09:02:00 AM	1	0	1	
09:03:00 AM	1	0	1	
09:04:00 AM	0	0	0	
09:05:00 AM	0	0	0	
09:06:00 AM	0	0	0	
09:07:00 AM	0	0	0	
09:08:00 AM	0	0	0	
09:09:00 AM	1	0	1	
09:10:00 AM	1	0	1	
09:11:00 AM	1	0	1	
09:12:00 AM	0	0	0	
09:13:00 AM	1	0	1	
09:14:00 AM	1	0	1	
09:15:00 AM	0	0	0	
09:16:00 AM	0	0	0	
09:17:00 AM	0	0	0	
09:18:00 AM	0	0	0	
09:19:00 AM	0	0	0	
09:20:00 AM	0	0	0	
09:21:00 AM	0	0	0	
09:22:00 AM	0	0	0	
09:23:00 AM	0	0	0	
09:24:00 AM	0	0	0	
09:25:00 AM	0	0	0	
09:26:00 AM	0	0	0	
09:27:00 AM	0	0	0	
09:28:00 AM	0	0	0	
09:29:00 AM	0	0	0	

QUEUE STUDY

Saturday, November 04, 2023			Hours	12
Drive thru	Further	Combined	Minutes	720
08:15:00 AM	0	0	0	
08:16:00 AM	0	0	0	
08:17:00 AM	0	0	0	
08:18:00 AM	0	0	0	
08:19:00 AM	0	0	0	
08:20:00 AM	1	0	1	
08:21:00 AM	1	0	1	
08:22:00 AM	0	0	0	
08:23:00 AM	0	0	0	
08:24:00 AM	0	0	0	
08:25:00 AM	0	0	0	
08:26:00 AM	0	0	0	
08:27:00 AM	1	0	1	
08:28:00 AM	1	0	1	
08:29:00 AM	1	0	1	
08:30:00 AM	0	0	0	
08:31:00 AM	0	0	0	
08:32:00 AM	1	0	1	
08:33:00 AM	1	0	1	
08:34:00 AM	1	0	1	
08:35:00 AM	1	0	1	
08:36:00 AM	1	0	1	
08:37:00 AM	1	0	1	
08:38:00 AM	0	0	0	
08:39:00 AM	0	0	0	
08:40:00 AM	0	0	0	
08:41:00 AM	0	0	0	
08:42:00 AM	1	0	1	
08:43:00 AM	0	0	0	
08:44:00 AM	1	0	1	
08:45:00 AM	0	0	0	
08:46:00 AM	0	0	0	
08:47:00 AM	2	0	2	
08:48:00 AM	1	0	1	
08:49:00 AM	1	0	1	
08:50:00 AM	1	0	1	
08:51:00 AM	1	0	1	
08:52:00 AM	1	0	1	
08:53:00 AM	2	0	2	
08:54:00 AM	1	0	1	
08:55:00 AM	2	0	2	
08:56:00 AM	2	0	2	
08:57:00 AM	3	0	3	
08:58:00 AM	3	0	3	
08:59:00 AM	2	0	2	
09:00:00 AM	3	0	3	
09:01:00 AM	4	0	4	
09:02:00 AM	4	0	4	
09:03:00 AM	4	0	4	
09:04:00 AM	3	0	3	
09:05:00 AM	3	0	3	
09:06:00 AM	3	0	3	
09:07:00 AM	3	0	3	
09:08:00 AM	1	0	1	
09:09:00 AM	1	0	1	
09:10:00 AM	0	0	0	
09:11:00 AM	0	0	0	
09:12:00 AM	0	0	0	
09:13:00 AM	0	0	0	
09:14:00 AM	1	0	1	
09:15:00 AM	2	0	2	
09:16:00 AM	1	0	1	
09:17:00 AM	1	0	1	
09:18:00 AM	1	0	1	
09:19:00 AM	0	0	0	
09:20:00 AM	1	0	1	
09:21:00 AM	0	0	0	
09:22:00 AM	0	0	0	
09:23:00 AM	0	0	0	
09:24:00 AM	2	0	2	
09:25:00 AM	2	0	2	
09:26:00 AM	3	0	3	
09:27:00 AM	3	0	3	
09:28:00 AM	2	0	2	
09:29:00 AM	2	0	2	

QUEUE STUDY

	Friday, November 03, 2023		Combined	Hours	12
	Drive thru	Further			
09:30:00 AM	0	0	0	Minutes	720
09:31:00 AM	0	0	0		
09:32:00 AM	0	0	0		
09:33:00 AM	1	0	1		
09:34:00 AM	1	0	1		
09:35:00 AM	0	0	0		
09:36:00 AM	0	0	0		
09:37:00 AM	0	0	0		
09:38:00 AM	0	0	0		
09:39:00 AM	0	0	0		
09:40:00 AM	0	0	0		
09:41:00 AM	0	0	0		
09:42:00 AM	2	0	2		
09:43:00 AM	2	0	2		
09:44:00 AM	1	0	1		
09:45:00 AM	0	0	0		
09:46:00 AM	0	0	0		
09:47:00 AM	0	0	0		
09:48:00 AM	1	0	1		
09:49:00 AM	0	0	0		
09:50:00 AM	0	0	0		
09:51:00 AM	0	0	0		
09:52:00 AM	0	0	0		
09:53:00 AM	0	0	0		
09:54:00 AM	1	0	1		
09:55:00 AM	1	0	1		
09:56:00 AM	0	0	0		
09:57:00 AM	0	0	0		
09:58:00 AM	0	0	0		
09:59:00 AM	0	0	0		
10:00:00 AM	0	0	0		
10:01:00 AM	0	0	0		
10:02:00 AM	0	0	0		
10:03:00 AM	0	0	0		
10:04:00 AM	0	0	0		
10:05:00 AM	0	0	0		
10:06:00 AM	1	0	1		
10:07:00 AM	1	0	1		
10:08:00 AM	1	0	1		
10:09:00 AM	1	0	1		
10:10:00 AM	1	0	1		
10:11:00 AM	1	0	1		
10:12:00 AM	3	0	3		
10:13:00 AM	2	0	2		
10:14:00 AM	2	0	2		
10:15:00 AM	1	0	1		
10:16:00 AM	1	0	1		
10:17:00 AM	0	0	0		
10:18:00 AM	0	0	0		
10:19:00 AM	0	0	0		
10:20:00 AM	0	0	0		
10:21:00 AM	0	0	0		
10:22:00 AM	0	0	0		
10:23:00 AM	0	0	0		
10:24:00 AM	1	0	1		
10:25:00 AM	0	0	0		
10:26:00 AM	1	0	1		
10:27:00 AM	1	0	1		
10:28:00 AM	1	0	1		
10:29:00 AM	0	0	0		
10:30:00 AM	0	0	0		
10:31:00 AM	0	0	0		
10:32:00 AM	1	0	1		
10:33:00 AM	0	0	0		
10:34:00 AM	0	0	0		
10:35:00 AM	0	0	0		
10:36:00 AM	1	0	1		
10:37:00 AM	0	0	0		
10:38:00 AM	0	0	0		
10:39:00 AM	1	0	1		
10:40:00 AM	0	0	0		
10:41:00 AM	0	0	0		
10:42:00 AM	0	0	0		
10:43:00 AM	0	0	0		
10:44:00 AM	0	0	0		

QUEUE STUDY

	Saturday, November 04, 2023		Combined	Hours	12
	Drive thru	Further			
09:30:00 AM	1	0	1	Minutes	720
09:31:00 AM	1	0	1		
09:32:00 AM	1	0	1		
09:33:00 AM	1	0	1		
09:34:00 AM	1	0	1		
09:35:00 AM	2	0	2		
09:36:00 AM	1	0	1		
09:37:00 AM	1	0	1		
09:38:00 AM	0	0	0		
09:39:00 AM	0	0	0		
09:40:00 AM	0	0	0		
09:41:00 AM	0	0	0		
09:42:00 AM	1	0	1		
09:43:00 AM	1	0	1		
09:44:00 AM	1	0	1		
09:45:00 AM	0	0	0		
09:46:00 AM	0	0	0		
09:47:00 AM	0	0	0		
09:48:00 AM	0	0	0		
09:49:00 AM	0	0	0		
09:50:00 AM	1	0	1		
09:51:00 AM	1	0	1		
09:52:00 AM	1	0	1		
09:53:00 AM	0	0	0		
09:54:00 AM	0	0	0		
09:55:00 AM	0	0	0		
09:56:00 AM	0	0	0		
09:57:00 AM	0	0	0		
09:58:00 AM	1	0	1		
09:59:00 AM	1	0	1		
10:00:00 AM	1	0	1		
10:01:00 AM	1	0	1		
10:02:00 AM	1	0	1		
10:03:00 AM	0	0	0		
10:04:00 AM	0	0	0		
10:05:00 AM	0	0	0		
10:06:00 AM	0	0	0		
10:07:00 AM	0	0	0		
10:08:00 AM	0	0	0		
10:09:00 AM	0	0	0		
10:10:00 AM	0	0	0		
10:11:00 AM	0	0	0		
10:12:00 AM	0	0	0		
10:13:00 AM	0	0	0		
10:14:00 AM	0	0	0		
10:15:00 AM	0	0	0		
10:16:00 AM	1	0	1		
10:17:00 AM	0	0	0		
10:18:00 AM	0	0	0		
10:19:00 AM	0	0	0		
10:20:00 AM	0	0	0		
10:21:00 AM	0	0	0		
10:22:00 AM	2	0	2		
10:23:00 AM	2	0	2		
10:24:00 AM	2	0	2		
10:25:00 AM	2	0	2		
10:26:00 AM	2	0	2		
10:27:00 AM	1	0	1		
10:28:00 AM	1	0	1		
10:29:00 AM	1	0	1		
10:30:00 AM	1	0	1		
10:31:00 AM	1	0	1		
10:32:00 AM	1	0	1		
10:33:00 AM	0	0	0		
10:34:00 AM	0	0	0		
10:35:00 AM	2	0	2		
10:36:00 AM	1	0	1		
10:37:00 AM	2	0	2		
10:38:00 AM	2	0	2		
10:39:00 AM	1	0	1		
10:40:00 AM	1	0	1		
10:41:00 AM	2	0	2		
10:42:00 AM	2	0	2		
10:43:00 AM	2	0	2		
10:44:00 AM	2	0	2		

QUEUE STUDY

	Friday, November 03, 2023		Combined	Hours	12
	Drive thru	Further			
10:45:00 AM	0	0	0	Minutes	720
10:46:00 AM	0	0	0		
10:47:00 AM	0	0	0		
10:48:00 AM	1	0	1		
10:49:00 AM	1	0	1		
10:50:00 AM	0	0	0		
10:51:00 AM	0	0	0		
10:52:00 AM	0	0	0		
10:53:00 AM	1	0	1		
10:54:00 AM	2	0	2		
10:55:00 AM	2	0	2		
10:56:00 AM	2	0	2		
10:57:00 AM	1	0	1		
10:58:00 AM	2	0	2		
10:59:00 AM	2	0	2		
11:00:00 AM	2	0	2		
11:01:00 AM	3	0	3		
11:02:00 AM	3	0	3		
11:03:00 AM	3	0	3		
11:04:00 AM	2	0	2		
11:05:00 AM	2	0	2		
11:06:00 AM	2	0	2		
11:07:00 AM	2	0	2		
11:08:00 AM	2	0	2		
11:09:00 AM	0	0	0		
11:10:00 AM	0	0	0		
11:11:00 AM	0	0	0		
11:12:00 AM	0	0	0		
11:13:00 AM	0	0	0		
11:14:00 AM	0	0	0		
11:15:00 AM	0	0	0		
11:16:00 AM	0	0	0		
11:17:00 AM	0	0	0		
11:18:00 AM	0	0	0		
11:19:00 AM	1	0	1		
11:20:00 AM	1	0	1		
11:21:00 AM	1	0	1		
11:22:00 AM	1	0	1		
11:23:00 AM	1	0	1		
11:24:00 AM	1	0	1		
11:25:00 AM	0	0	0		
11:26:00 AM	0	0	0		
11:27:00 AM	0	0	0		
11:28:00 AM	2	0	2		
11:29:00 AM	1	0	1		
11:30:00 AM	1	0	1		
11:31:00 AM	0	0	0		
11:32:00 AM	0	0	0		
11:33:00 AM	2	0	2		
11:34:00 AM	3	0	3		
11:35:00 AM	2	0	2		
11:36:00 AM	2	0	2		
11:37:00 AM	4	1	5		
11:38:00 AM	4	0	4		
11:39:00 AM	4	0	4		
11:40:00 AM	4	0	4		
11:41:00 AM	3	0	3		
11:42:00 AM	3	0	3		
11:43:00 AM	3	0	3		
11:44:00 AM	3	0	3		
11:45:00 AM	4	1	5		
11:46:00 AM	4	0	4		
11:47:00 AM	4	1	5		
11:48:00 AM	4	2	6		
11:49:00 AM	4	2	6		
11:50:00 AM	4	2	6		
11:51:00 AM	4	1	5		
11:52:00 AM	4	1	5		
11:53:00 AM	4	2	6		
11:54:00 AM	4	1	5		
11:55:00 AM	4	1	5		
11:56:00 AM	4	0	4		
11:57:00 AM	4	1	5		
11:58:00 AM	4	1	5		
11:59:00 AM	4	0	4		

QUEUE STUDY

	Saturday, November 04, 2023		Combined	Hours	12
	Drive thru	Further			
10:45:00 AM	2	0	2	Minutes	720
10:46:00 AM	0	0	0		
10:47:00 AM	0	0	0		
10:48:00 AM	1	0	1		
10:49:00 AM	1	0	1		
10:50:00 AM	1	0	1		
10:51:00 AM	0	0	0		
10:52:00 AM	1	0	1		
10:53:00 AM	1	0	1		
10:54:00 AM	0	0	0		
10:55:00 AM	0	0	0		
10:56:00 AM	0	0	0		
10:57:00 AM	0	0	0		
10:58:00 AM	0	0	0		
10:59:00 AM	0	0	0		
11:00:00 AM	0	0	0		
11:01:00 AM	0	0	0		
11:02:00 AM	0	0	0		
11:03:00 AM	0	0	0		
11:04:00 AM	0	0	0		
11:05:00 AM	0	0	0		
11:06:00 AM	0	0	0		
11:07:00 AM	1	0	1		
11:08:00 AM	1	0	1		
11:09:00 AM	0	0	0		
11:10:00 AM	0	0	0		
11:11:00 AM	0	0	0		
11:12:00 AM	1	0	1		
11:13:00 AM	0	0	0		
11:14:00 AM	0	0	0		
11:15:00 AM	1	0	1		
11:16:00 AM	1	0	1		
11:17:00 AM	0	0	0		
11:18:00 AM	0	0	0		
11:19:00 AM	0	0	0		
11:20:00 AM	0	0	0		
11:21:00 AM	0	0	0		
11:22:00 AM	0	0	0		
11:23:00 AM	0	0	0		
11:24:00 AM	1	0	1		
11:25:00 AM	1	0	1		
11:26:00 AM	1	0	1		
11:27:00 AM	1	0	1		
11:28:00 AM	1	0	1		
11:29:00 AM	1	0	1		
11:30:00 AM	1	0	1		
11:31:00 AM	1	0	1		
11:32:00 AM	2	0	2		
11:33:00 AM	2	0	2		
11:34:00 AM	3	0	3		
11:35:00 AM	2	0	2		
11:36:00 AM	3	0	3		
11:37:00 AM	3	0	3		
11:38:00 AM	2	0	2		
11:39:00 AM	2	0	2		
11:40:00 AM	2	0	2		
11:41:00 AM	3	0	3		
11:42:00 AM	3	0	3		
11:43:00 AM	2	0	2		
11:44:00 AM	2	0	2		
11:45:00 AM	3	0	3		
11:46:00 AM	3	0	3		
11:47:00 AM	2	0	2		
11:48:00 AM	1	0	1		
11:49:00 AM	1	0	1		
11:50:00 AM	1	0	1		
11:51:00 AM	0	0	0		
11:52:00 AM	1	0	1		
11:53:00 AM	1	0	1		
11:54:00 AM	1	0	1		
11:55:00 AM	0	0	0		
11:56:00 AM	0	0	0		
11:57:00 AM	1	0	1		
11:58:00 AM	1	0	1		
11:59:00 AM	2	0	2		

QUEUE STUDY

Friday, November 03, 2023			Combined	Hours Minutes	12 720
Drive thru	Further				
12:00:00 PM	4	1	5		
12:01:00 PM	4	0	4		
12:02:00 PM	4	0	4		
12:03:00 PM	4	0	4		
12:04:00 PM	4	0	4		
12:05:00 PM	3	0	3		
12:06:00 PM	3	0	3		
12:07:00 PM	3	0	3		
12:08:00 PM	2	0	2		
12:09:00 PM	2	0	2		
12:10:00 PM	3	0	3		
12:11:00 PM	3	0	3		
12:12:00 PM	4	0	4		
12:13:00 PM	4	0	4		
12:14:00 PM	3	0	3		
12:15:00 PM	3	0	3		
12:16:00 PM	3	0	3		
12:17:00 PM	3	0	3		
12:18:00 PM	3	0	3		
12:19:00 PM	4	0	4		
12:20:00 PM	4	1	5		
12:21:00 PM	4	1	5		
12:22:00 PM	5	1	6		
12:23:00 PM	5	0	5		
12:24:00 PM	6	0	6		
12:25:00 PM	5	0	5		
12:26:00 PM	4	1	5		
12:27:00 PM	4	0	4		
12:28:00 PM	4	0	4		
12:29:00 PM	5	1	6		
12:30:00 PM	5	0	5		
12:31:00 PM	5	0	5		
12:32:00 PM	5	1	6		
12:33:00 PM	5	0	5		
12:34:00 PM	4	0	4		
12:35:00 PM	4	0	4		
12:36:00 PM	2	0	2		
12:37:00 PM	2	0	2		
12:38:00 PM	3	0	3		
12:39:00 PM	2	0	2		
12:40:00 PM	2	0	2		
12:41:00 PM	1	0	1		
12:42:00 PM	0	0	0		
12:43:00 PM	0	0	0		
12:44:00 PM	1	0	1		
12:45:00 PM	0	0	0		
12:46:00 PM	0	0	0		
12:47:00 PM	1	0	1		
12:48:00 PM	1	0	1		
12:49:00 PM	1	0	1		
12:50:00 PM	2	0	2		
12:51:00 PM	1	0	1		
12:52:00 PM	0	0	0		
12:53:00 PM	0	0	0		
12:54:00 PM	0	0	0		
12:55:00 PM	0	0	0		
12:56:00 PM	0	0	0		
12:57:00 PM	0	0	0		
12:58:00 PM	0	0	0		
12:59:00 PM	0	0	0		
01:00:00 PM	0	0	0		
01:01:00 PM	0	0	0		
01:02:00 PM	0	0	0		
01:03:00 PM	0	0	0		
01:04:00 PM	0	0	0		
01:05:00 PM	0	0	0		
01:06:00 PM	0	0	0		
01:07:00 PM	0	0	0		
01:08:00 PM	0	0	0		
01:09:00 PM	0	0	0		
01:10:00 PM	1	0	1		
01:11:00 PM	1	0	1		
01:12:00 PM	1	0	1		
01:13:00 PM	2	0	2		
01:14:00 PM	2	0	2		

QUEUE STUDY

Saturday, November 04, 2023			Combined	Hours Minutes	12 720
Drive thru	Further				
12:00:00 PM	2	0	2		
12:01:00 PM	2	0	2		
12:02:00 PM	2	0	2		
12:03:00 PM	1	0	1		
12:04:00 PM	2	0	2		
12:05:00 PM	2	0	2		
12:06:00 PM	2	0	2		
12:07:00 PM	2	0	2		
12:08:00 PM	3	0	3		
12:09:00 PM	2	0	2		
12:10:00 PM	3	0	3		
12:11:00 PM	4	0	4		
12:12:00 PM	4	0	4		
12:13:00 PM	4	0	4		
12:14:00 PM	4	0	4		
12:15:00 PM	3	0	3		
12:16:00 PM	4	0	4		
12:17:00 PM	4	0	4		
12:18:00 PM	3	0	3		
12:19:00 PM	3	0	3		
12:20:00 PM	4	0	4		
12:21:00 PM	4	0	4		
12:22:00 PM	2	0	2		
12:23:00 PM	2	0	2		
12:24:00 PM	2	0	2		
12:25:00 PM	3	0	3		
12:26:00 PM	3	0	3		
12:27:00 PM	2	0	2		
12:28:00 PM	4	0	4		
12:29:00 PM	1	0	1		
12:30:00 PM	0	0	0		
12:31:00 PM	0	0	0		
12:32:00 PM	1	0	1		
12:33:00 PM	3	0	3		
12:34:00 PM	4	0	4		
12:35:00 PM	2	0	2		
12:36:00 PM	1	0	1		
12:37:00 PM	1	0	1		
12:38:00 PM	0	0	0		
12:39:00 PM	0	0	0		
12:40:00 PM	0	0	0		
12:41:00 PM	0	0	0		
12:42:00 PM	1	0	1		
12:43:00 PM	1	0	1		
12:44:00 PM	1	0	1		
12:45:00 PM	1	0	1		
12:46:00 PM	1	0	1		
12:47:00 PM	2	0	2		
12:48:00 PM	3	0	3		
12:49:00 PM	2	0	2		
12:50:00 PM	2	0	2		
12:51:00 PM	2	0	2		
12:52:00 PM	1	0	1		
12:53:00 PM	1	0	1		
12:54:00 PM	1	0	1		
12:55:00 PM	0	0	0		
12:56:00 PM	0	0	0		
12:57:00 PM	0	0	0		
12:58:00 PM	2	0	2		
12:59:00 PM	2	0	2		
01:00:00 PM	2	0	2		
01:01:00 PM	1	0	1		
01:02:00 PM	1	0	1		
01:03:00 PM	0	0	0		
01:04:00 PM	2	0	2		
01:05:00 PM	2	0	2		
01:06:00 PM	1	0	1		
01:07:00 PM	2	0	2		
01:08:00 PM	3	0	3		
01:09:00 PM	3	0	3		
01:10:00 PM	2	0	2		
01:11:00 PM	1	0	1		
01:12:00 PM	2	0	2		
01:13:00 PM	2	0	2		
01:14:00 PM	2	0	2		

QUEUE STUDY

	Friday, November 03, 2023		Combined	Hours	12
	Drive thru	Further			
01:15:00 PM	2	0	2	Minutes	720
01:16:00 PM	1	0	1		
01:17:00 PM	3	0	3		
01:18:00 PM	2	0	2		
01:19:00 PM	2	0	2		
01:20:00 PM	3	0	3		
01:21:00 PM	2	0	2		
01:22:00 PM	2	0	2		
01:23:00 PM	1	0	1		
01:24:00 PM	2	0	2		
01:25:00 PM	2	0	2		
01:26:00 PM	3	0	3		
01:27:00 PM	2	0	2		
01:28:00 PM	1	0	1		
01:29:00 PM	1	0	1		
01:30:00 PM	1	0	1		
01:31:00 PM	0	0	0		
01:32:00 PM	1	0	1		
01:33:00 PM	1	0	1		
01:34:00 PM	1	0	1		
01:35:00 PM	0	0	0		
01:36:00 PM	0	0	0		
01:37:00 PM	0	0	0		
01:38:00 PM	0	0	0		
01:39:00 PM	1	0	1		
01:40:00 PM	1	0	1		
01:41:00 PM	0	0	0		
01:42:00 PM	2	0	2		
01:43:00 PM	1	0	1		
01:44:00 PM	1	0	1		
01:45:00 PM	1	0	1		
01:46:00 PM	3	0	3		
01:47:00 PM	2	0	2		
01:48:00 PM	2	0	2		
01:49:00 PM	1	0	1		
01:50:00 PM	0	0	0		
01:51:00 PM	1	0	1		
01:52:00 PM	3	0	3		
01:53:00 PM	1	0	1		
01:54:00 PM	1	0	1		
01:55:00 PM	1	0	1		
01:56:00 PM	2	0	2		
01:57:00 PM	3	0	3		
01:58:00 PM	3	0	3		
01:59:00 PM	2	0	2		
02:00:00 PM	2	0	2		
02:01:00 PM	1	0	1		
02:02:00 PM	1	0	1		
02:03:00 PM	0	0	0		
02:04:00 PM	0	0	0		
02:05:00 PM	0	0	0		
02:06:00 PM	0	0	0		
02:07:00 PM	1	0	1		
02:08:00 PM	1	0	1		
02:09:00 PM	0	0	0		
02:10:00 PM	1	0	1		
02:11:00 PM	1	0	1		
02:12:00 PM	0	0	0		
02:13:00 PM	0	0	0		
02:14:00 PM	0	0	0		
02:15:00 PM	0	0	0		
02:16:00 PM	0	0	0		
02:17:00 PM	2	0	2		
02:18:00 PM	2	0	2		
02:19:00 PM	1	0	1		
02:20:00 PM	1	0	1		
02:21:00 PM	1	0	1		
02:22:00 PM	1	0	1		
02:23:00 PM	0	0	0		
02:24:00 PM	0	0	0		
02:25:00 PM	0	0	0		
02:26:00 PM	1	0	1		
02:27:00 PM	2	0	2		
02:28:00 PM	2	0	2		
02:29:00 PM	1	0	1		

QUEUE STUDY

	Saturday, November 04, 2023		Combined	Hours	12
	Drive thru	Further			
01:15:00 PM	1	0	1	Minutes	720
01:16:00 PM	1	0	1		
01:17:00 PM	1	0	1		
01:18:00 PM	1	0	1		
01:19:00 PM	0	0	0		
01:20:00 PM	0	0	0		
01:21:00 PM	0	0	0		
01:22:00 PM	0	0	0		
01:23:00 PM	0	0	0		
01:24:00 PM	0	0	0		
01:25:00 PM	1	0	1		
01:26:00 PM	2	0	2		
01:27:00 PM	1	0	1		
01:28:00 PM	1	0	1		
01:29:00 PM	1	0	1		
01:30:00 PM	0	0	0		
01:31:00 PM	0	0	0		
01:32:00 PM	0	0	0		
01:33:00 PM	0	0	0		
01:34:00 PM	0	0	0		
01:35:00 PM	0	0	0		
01:36:00 PM	0	0	0		
01:37:00 PM	0	0	0		
01:38:00 PM	0	0	0		
01:39:00 PM	1	0	1		
01:40:00 PM	2	0	2		
01:41:00 PM	2	0	2		
01:42:00 PM	1	0	1		
01:43:00 PM	1	0	1		
01:44:00 PM	2	0	2		
01:45:00 PM	2	0	2		
01:46:00 PM	1	0	1		
01:47:00 PM	2	0	2		
01:48:00 PM	2	0	2		
01:49:00 PM	1	0	1		
01:50:00 PM	1	0	1		
01:51:00 PM	1	0	1		
01:52:00 PM	0	0	0		
01:53:00 PM	1	0	1		
01:54:00 PM	0	0	0		
01:55:00 PM	0	0	0		
01:56:00 PM	0	0	0		
01:57:00 PM	1	0	1		
01:58:00 PM	1	0	1		
01:59:00 PM	1	0	1		
02:00:00 PM	2	0	2		
02:01:00 PM	3	0	3		
02:02:00 PM	3	0	3		
02:03:00 PM	2	0	2		
02:04:00 PM	1	0	1		
02:05:00 PM	0	0	0		
02:06:00 PM	1	0	1		
02:07:00 PM	1	0	1		
02:08:00 PM	2	0	2		
02:09:00 PM	1	0	1		
02:10:00 PM	2	0	2		
02:11:00 PM	2	0	2		
02:12:00 PM	1	0	1		
02:13:00 PM	1	0	1		
02:14:00 PM	0	0	0		
02:15:00 PM	2	0	2		
02:16:00 PM	2	0	2		
02:17:00 PM	2	0	2		
02:18:00 PM	1	0	1		
02:19:00 PM	0	0	0		
02:20:00 PM	1	0	1		
02:21:00 PM	1	0	1		
02:22:00 PM	2	0	2		
02:23:00 PM	2	0	2		
02:24:00 PM	2	0	2		
02:25:00 PM	2	0	2		
02:26:00 PM	2	0	2		
02:27:00 PM	2	0	2		
02:28:00 PM	1	0	1		
02:29:00 PM	1	0	1		

QUEUE STUDY

	Friday, November 03, 2023		Combined	Hours	12
	Drive thru	Further			
02:30:00 PM	1	0	1	Minutes	720
02:31:00 PM	1	0	1		
02:32:00 PM	3	0	3		
02:33:00 PM	3	0	3		
02:34:00 PM	2	0	2		
02:35:00 PM	2	0	2		
02:36:00 PM	2	0	2		
02:37:00 PM	3	0	3		
02:38:00 PM	4	0	4		
02:39:00 PM	4	0	4		
02:40:00 PM	3	0	3		
02:41:00 PM	2	0	2		
02:42:00 PM	2	0	2		
02:43:00 PM	1	0	1		
02:44:00 PM	0	0	0		
02:45:00 PM	0	0	0		
02:46:00 PM	2	0	2		
02:47:00 PM	1	0	1		
02:48:00 PM	1	0	1		
02:49:00 PM	0	0	0		
02:50:00 PM	0	0	0		
02:51:00 PM	0	0	0		
02:52:00 PM	0	0	0		
02:53:00 PM	0	0	0		
02:54:00 PM	1	0	1		
02:55:00 PM	1	0	1		
02:56:00 PM	0	0	0		
02:57:00 PM	0	0	0		
02:58:00 PM	2	0	2		
02:59:00 PM	2	0	2		
03:00:00 PM	0	0	0		
03:01:00 PM	0	0	0		
03:02:00 PM	0	0	0		
03:03:00 PM	0	0	0		
03:04:00 PM	2	0	2		
03:05:00 PM	2	0	2		
03:06:00 PM	2	0	2		
03:07:00 PM	1	0	1		
03:08:00 PM	0	0	0		
03:09:00 PM	0	0	0		
03:10:00 PM	0	0	0		
03:11:00 PM	1	0	1		
03:12:00 PM	3	0	3		
03:13:00 PM	3	0	3		
03:14:00 PM	4	0	4		
03:15:00 PM	4	1	5		
03:16:00 PM	4	1	5		
03:17:00 PM	4	1	5		
03:18:00 PM	4	0	4		
03:19:00 PM	4	1	5		
03:20:00 PM	4	0	4		
03:21:00 PM	4	0	4		
03:22:00 PM	4	1	5		
03:23:00 PM	4	1	5		
03:24:00 PM	4	0	4		
03:25:00 PM	3	0	3		
03:26:00 PM	3	0	3		
03:27:00 PM	2	0	2		
03:28:00 PM	2	0	2		
03:29:00 PM	1	0	1		
03:30:00 PM	1	0	1		
03:31:00 PM	1	0	1		
03:32:00 PM	1	0	1		
03:33:00 PM	0	0	0		
03:34:00 PM	0	0	0		
03:35:00 PM	1	0	1		
03:36:00 PM	2	0	2		
03:37:00 PM	2	0	2		
03:38:00 PM	1	0	1		
03:39:00 PM	1	0	1		
03:40:00 PM	1	0	1		
03:41:00 PM	0	0	0		
03:42:00 PM	0	0	0		
03:43:00 PM	0	0	0		
03:44:00 PM	0	0	0		

QUEUE STUDY

	Saturday, November 04, 2023		Combined	Hours	12
	Drive thru	Further			
02:30:00 PM	0	0	0	Minutes	720
02:31:00 PM	1	0	1		
02:32:00 PM	1	0	1		
02:33:00 PM	1	0	1		
02:34:00 PM	2	0	2		
02:35:00 PM	2	0	2		
02:36:00 PM	1	0	1		
02:37:00 PM	0	0	0		
02:38:00 PM	1	0	1		
02:39:00 PM	2	0	2		
02:40:00 PM	1	0	1		
02:41:00 PM	0	0	0		
02:42:00 PM	0	0	0		
02:43:00 PM	0	0	0		
02:44:00 PM	0	0	0		
02:45:00 PM	0	0	0		
02:46:00 PM	0	0	0		
02:47:00 PM	2	0	2		
02:48:00 PM	3	0	3		
02:49:00 PM	2	0	2		
02:50:00 PM	1	0	1		
02:51:00 PM	0	0	0		
02:52:00 PM	1	0	1		
02:53:00 PM	0	0	0		
02:54:00 PM	1	0	1		
02:55:00 PM	0	0	0		
02:56:00 PM	1	0	1		
02:57:00 PM	1	0	1		
02:58:00 PM	1	0	1		
02:59:00 PM	1	0	1		
03:00:00 PM	1	0	1		
03:01:00 PM	1	0	1		
03:02:00 PM	2	0	2		
03:03:00 PM	2	0	2		
03:04:00 PM	1	0	1		
03:05:00 PM	1	0	1		
03:06:00 PM	0	0	0		
03:07:00 PM	1	0	1		
03:08:00 PM	0	0	0		
03:09:00 PM	2	0	2		
03:10:00 PM	2	0	2		
03:11:00 PM	1	0	1		
03:12:00 PM	1	0	1		
03:13:00 PM	2	0	2		
03:14:00 PM	1	0	1		
03:15:00 PM	0	0	0		
03:16:00 PM	0	0	0		
03:17:00 PM	0	0	0		
03:18:00 PM	0	0	0		
03:19:00 PM	0	0	0		
03:20:00 PM	0	0	0		
03:21:00 PM	0	0	0		
03:22:00 PM	0	0	0		
03:23:00 PM	0	0	0		
03:24:00 PM	0	0	0		
03:25:00 PM	0	0	0		
03:26:00 PM	1	0	1		
03:27:00 PM	0	0	0		
03:28:00 PM	2	0	2		
03:29:00 PM	2	0	2		
03:30:00 PM	2	0	2		
03:31:00 PM	2	0	2		
03:32:00 PM	2	0	2		
03:33:00 PM	2	0	2		
03:34:00 PM	1	0	1		
03:35:00 PM	1	0	1		
03:36:00 PM	1	0	1		
03:37:00 PM	1	0	1		
03:38:00 PM	0	0	0		
03:39:00 PM	0	0	0		
03:40:00 PM	0	0	0		
03:41:00 PM	1	0	1		
03:42:00 PM	2	0	2		
03:43:00 PM	1	0	1		
03:44:00 PM	0	0	0		

QUEUE STUDY

	Friday, November 03, 2023		Combined	Hours	12
	Drive thru	Further			
03:45:00 PM	0	0	0	Minutes	720
03:46:00 PM	0	0	0		
03:47:00 PM	0	0	0		
03:48:00 PM	0	0	0		
03:49:00 PM	1	0	1		
03:50:00 PM	1	0	1		
03:51:00 PM	1	0	1		
03:52:00 PM	0	0	0		
03:53:00 PM	0	0	0		
03:54:00 PM	1	0	1		
03:55:00 PM	1	0	1		
03:56:00 PM	1	0	1		
03:57:00 PM	1	0	1		
03:58:00 PM	2	0	2		
03:59:00 PM	1	0	1		
04:00:00 PM	0	0	0		
04:01:00 PM	1	0	1		
04:02:00 PM	1	0	1		
04:03:00 PM	1	0	1		
04:04:00 PM	1	0	1		
04:05:00 PM	0	0	0		
04:06:00 PM	0	0	0		
04:07:00 PM	0	0	0		
04:08:00 PM	0	0	0		
04:09:00 PM	0	0	0		
04:10:00 PM	0	0	0		
04:11:00 PM	0	0	0		
04:12:00 PM	0	0	0		
04:13:00 PM	0	0	0		
04:14:00 PM	0	0	0		
04:15:00 PM	0	0	0		
04:16:00 PM	0	0	0		
04:17:00 PM	0	0	0		
04:18:00 PM	0	0	0		
04:19:00 PM	0	0	0		
04:20:00 PM	0	0	0		
04:21:00 PM	0	0	0		
04:22:00 PM	0	0	0		
04:23:00 PM	1	0	1		
04:24:00 PM	3	0	3		
04:25:00 PM	4	0	4		
04:26:00 PM	4	0	4		
04:27:00 PM	3	0	3		
04:28:00 PM	3	0	3		
04:29:00 PM	4	0	4		
04:30:00 PM	4	0	4		
04:31:00 PM	4	1	5		
04:32:00 PM	4	1	5		
04:33:00 PM	4	0	4		
04:34:00 PM	3	0	3		
04:35:00 PM	3	0	3		
04:36:00 PM	3	0	3		
04:37:00 PM	3	0	3		
04:38:00 PM	3	0	3		
04:39:00 PM	2	0	2		
04:40:00 PM	3	0	3		
04:41:00 PM	3	0	3		
04:42:00 PM	3	0	3		
04:43:00 PM	2	0	2		
04:44:00 PM	2	0	2		
04:45:00 PM	2	0	2		
04:46:00 PM	2	0	2		
04:47:00 PM	2	0	2		
04:48:00 PM	2	0	2		
04:49:00 PM	2	0	2		
04:50:00 PM	1	0	1		
04:51:00 PM	1	0	1		
04:52:00 PM	1	0	1		
04:53:00 PM	1	0	1		
04:54:00 PM	1	0	1		
04:55:00 PM	0	0	0		
04:56:00 PM	1	0	1		
04:57:00 PM	1	0	1		
04:58:00 PM	2	0	2		
04:59:00 PM	1	0	1		

QUEUE STUDY

	Saturday, November 04, 2023		Combined	Hours	12
	Drive thru	Further			
03:45:00 PM	0	0	0	Minutes	720
03:46:00 PM	0	0	0		
03:47:00 PM	0	0	0		
03:48:00 PM	0	0	0		
03:49:00 PM	2	0	2		
03:50:00 PM	1	0	1		
03:51:00 PM	1	0	1		
03:52:00 PM	0	0	0		
03:53:00 PM	0	0	0		
03:54:00 PM	0	0	0		
03:55:00 PM	0	0	0		
03:56:00 PM	0	0	0		
03:57:00 PM	0	0	0		
03:58:00 PM	0	0	0		
03:59:00 PM	0	0	0		
04:00:00 PM	0	0	0		
04:01:00 PM	0	0	0		
04:02:00 PM	0	0	0		
04:03:00 PM	0	0	0		
04:04:00 PM	0	0	0		
04:05:00 PM	0	0	0		
04:06:00 PM	0	0	0		
04:07:00 PM	1	0	1		
04:08:00 PM	1	0	1		
04:09:00 PM	0	0	0		
04:10:00 PM	0	0	0		
04:11:00 PM	0	0	0		
04:12:00 PM	0	0	0		
04:13:00 PM	3	0	3		
04:14:00 PM	3	0	3		
04:15:00 PM	3	0	3		
04:16:00 PM	2	0	2		
04:17:00 PM	3	0	3		
04:18:00 PM	2	0	2		
04:19:00 PM	1	0	1		
04:20:00 PM	1	0	1		
04:21:00 PM	1	0	1		
04:22:00 PM	0	0	0		
04:23:00 PM	1	0	1		
04:24:00 PM	0	0	0		
04:25:00 PM	2	0	2		
04:26:00 PM	2	0	2		
04:27:00 PM	1	0	1		
04:28:00 PM	2	0	2		
04:29:00 PM	2	0	2		
04:30:00 PM	2	0	2		
04:31:00 PM	1	0	1		
04:32:00 PM	0	0	0		
04:33:00 PM	0	0	0		
04:34:00 PM	0	0	0		
04:35:00 PM	0	0	0		
04:36:00 PM	0	0	0		
04:37:00 PM	0	0	0		
04:38:00 PM	1	0	1		
04:39:00 PM	1	0	1		
04:40:00 PM	1	0	1		
04:41:00 PM	0	0	0		
04:42:00 PM	0	0	0		
04:43:00 PM	3	0	3		
04:44:00 PM	3	0	3		
04:45:00 PM	2	0	2		
04:46:00 PM	1	0	1		
04:47:00 PM	1	0	1		
04:48:00 PM	0	0	0		
04:49:00 PM	0	0	0		
04:50:00 PM	0	0	0		
04:51:00 PM	1	0	1		
04:52:00 PM	0	0	0		
04:53:00 PM	1	0	1		
04:54:00 PM	1	0	1		
04:55:00 PM	0	0	0		
04:56:00 PM	0	0	0		
04:57:00 PM	0	0	0		
04:58:00 PM	0	0	0		
04:59:00 PM	0	0	0		

QUEUE STUDY

Friday, November 03, 2023			Combined	Hours Minutes	12 720
Drive thru	Further				
05:00:00 PM	1	0	1		
05:01:00 PM	0	0	0		
05:02:00 PM	0	0	0		
05:03:00 PM	2	0	2		
05:04:00 PM	2	0	2		
05:05:00 PM	2	0	2		
05:06:00 PM	2	0	2		
05:07:00 PM	3	0	3		
05:08:00 PM	4	0	4		
05:09:00 PM	3	0	3		
05:10:00 PM	3	0	3		
05:11:00 PM	2	0	2		
05:12:00 PM	1	0	1		
05:13:00 PM	0	0	0		
05:14:00 PM	0	0	0		
05:15:00 PM	0	0	0		
05:16:00 PM	0	0	0		
05:17:00 PM	1	0	1		
05:18:00 PM	2	0	2		
05:19:00 PM	2	0	2		
05:20:00 PM	2	0	2		
05:21:00 PM	2	0	2		
05:22:00 PM	2	0	2		
05:23:00 PM	3	0	3		
05:24:00 PM	1	0	1		
05:25:00 PM	1	0	1		
05:26:00 PM	3	0	3		
05:27:00 PM	4	0	4		
05:28:00 PM	4	0	4		
05:29:00 PM	3	0	3		
05:30:00 PM	3	0	3		
05:31:00 PM	2	0	2		
05:32:00 PM	1	0	1		
05:33:00 PM	2	0	2		
05:34:00 PM	2	0	2		
05:35:00 PM	1	0	1		
05:36:00 PM	1	0	1		
05:37:00 PM	1	0	1		
05:38:00 PM	0	0	0		
05:39:00 PM	2	0	2		
05:40:00 PM	3	0	3		
05:41:00 PM	3	0	3		
05:42:00 PM	2	0	2		
05:43:00 PM	1	0	1		
05:44:00 PM	0	0	0		
05:45:00 PM	1	0	1		
05:46:00 PM	1	0	1		
05:47:00 PM	0	0	0		
05:48:00 PM	1	0	1		
05:49:00 PM	2	0	2		
05:50:00 PM	2	0	2		
05:51:00 PM	3	0	3		
05:52:00 PM	3	0	3		
05:53:00 PM	4	0	4		
05:54:00 PM	3	0	3		
05:55:00 PM	3	0	3		
05:56:00 PM	3	0	3		
05:57:00 PM	2	0	2		
05:58:00 PM	1	0	1		
05:59:00 PM	0	0	0		
06:00:00 PM	0	0	0		
06:01:00 PM	2	0	2		
06:02:00 PM	2	0	2		
06:03:00 PM	2	0	2		
06:04:00 PM	2	0	2		
06:05:00 PM	2	0	2		
06:06:00 PM	2	0	2		
06:07:00 PM	1	0	1		
06:08:00 PM	1	0	1		
06:09:00 PM	2	0	2		
06:10:00 PM	3	0	3		
06:11:00 PM	3	0	3		
06:12:00 PM	5	0	5		
06:13:00 PM	4	0	4		
06:14:00 PM	3	0	3		


QUEUE STUDY

Saturday, November 04, 2023			Combined	Hours Minutes	12 720
Drive thru	Further				
05:00:00 PM	0	0	0		
05:01:00 PM	0	0	0		
05:02:00 PM	2	0	2		
05:03:00 PM	3	0	3		
05:04:00 PM	2	0	2		
05:05:00 PM	1	0	1		
05:06:00 PM	0	0	0		
05:07:00 PM	1	0	1		
05:08:00 PM	0	0	0		
05:09:00 PM	0	0	0		
05:10:00 PM	1	0	1		
05:11:00 PM	0	0	0		
05:12:00 PM	1	0	1		
05:13:00 PM	1	0	1		
05:14:00 PM	1	0	1		
05:15:00 PM	1	0	1		
05:16:00 PM	0	0	0		
05:17:00 PM	0	0	0		
05:18:00 PM	1	0	1		
05:19:00 PM	1	0	1		
05:20:00 PM	0	0	0		
05:21:00 PM	1	0	1		
05:22:00 PM	1	0	1		
05:23:00 PM	3	0	3		
05:24:00 PM	3	0	3		
05:25:00 PM	2	0	2		
05:26:00 PM	1	0	1		
05:27:00 PM	0	0	0		
05:28:00 PM	0	0	0		
05:29:00 PM	0	0	0		
05:30:00 PM	1	0	1		
05:31:00 PM	1	0	1		
05:32:00 PM	1	0	1		
05:33:00 PM	1	0	1		
05:34:00 PM	0	0	0		
05:35:00 PM	0	0	0		
05:36:00 PM	0	0	0		
05:37:00 PM	0	0	0		
05:38:00 PM	0	0	0		
05:39:00 PM	0	0	0		
05:40:00 PM	1	0	1		
05:41:00 PM	2	0	2		
05:42:00 PM	1	0	1		
05:43:00 PM	0	0	0		
05:44:00 PM	0	0	0		
05:45:00 PM	0	0	0		
05:46:00 PM	0	0	0		
05:47:00 PM	0	0	0		
05:48:00 PM	1	0	1		
05:49:00 PM	0	0	0		
05:50:00 PM	2	0	2		
05:51:00 PM	1	0	1		
05:52:00 PM	1	0	1		
05:53:00 PM	1	0	1		
05:54:00 PM	2	0	2		
05:55:00 PM	2	0	2		
05:56:00 PM	1	0	1		
05:57:00 PM	1	0	1		
05:58:00 PM	2	0	2		
05:59:00 PM	1	0	1		
06:00:00 PM	1	0	1		
06:01:00 PM	2	0	2		
06:02:00 PM	2	0	2		
06:03:00 PM	0	0	0		
06:04:00 PM	1	0	1		
06:05:00 PM	0	0	0		
06:06:00 PM	1	0	1		
06:07:00 PM	1	0	1		
06:08:00 PM	1	0	1		
06:09:00 PM	1	0	1		
06:10:00 PM	0	0	0		
06:11:00 PM	0	0	0		
06:12:00 PM	0	0	0		
06:13:00 PM	1	0	1		
06:14:00 PM	1	0	1		

QUEUE STUDY

Friday, November 03, 2023			Combined	Hours Minutes	12 720
Drive thru	Further				
06:15:00 PM	3	0	3		
06:16:00 PM	2	0	2		
06:17:00 PM	2	0	2		
06:18:00 PM	2	0	2		
06:19:00 PM	2	0	2		
06:20:00 PM	2	0	2		
06:21:00 PM	1	0	1		
06:22:00 PM	0	0	0		
06:23:00 PM	0	0	0		
06:24:00 PM	0	0	0		
06:25:00 PM	0	0	0		
06:26:00 PM	1	0	1		
06:27:00 PM	2	0	2		
06:28:00 PM	2	0	2		
06:29:00 PM	2	0	2		
06:30:00 PM	2	0	2		
06:31:00 PM	1	0	1		
06:32:00 PM	0	0	0		
06:33:00 PM	0	0	0		
06:34:00 PM	0	0	0		
06:35:00 PM	0	0	0		
06:36:00 PM	0	0	0		
06:37:00 PM	0	0	0		
06:38:00 PM	2	0	2		
06:39:00 PM	3	0	3		
06:40:00 PM	2	0	2		
06:41:00 PM	3	0	3		
06:42:00 PM	2	0	2		
06:43:00 PM	1	0	1		
06:44:00 PM	2	0	2		
06:45:00 PM	2	0	2		
06:46:00 PM	3	0	3		
06:47:00 PM	3	0	3		
06:48:00 PM	3	0	3		
06:49:00 PM	1	0	1		
06:50:00 PM	2	0	2		
06:51:00 PM	2	0	2		
06:52:00 PM	2	0	2		
06:53:00 PM	2	0	2		
06:54:00 PM	3	0	3		
06:55:00 PM	3	0	3		
06:56:00 PM	2	0	2		
06:57:00 PM	1	0	1		
06:58:00 PM	1	0	1		
06:59:00 PM	1	0	1		


Drive Thru	
Total	943
Average Queue	1,310
100th %tile Queue	6
85th %tile Queue	3

 = Max Queue

QUEUE STUDY

Saturday, November 04, 2023			Combined	Hours Minutes	12 720
Drive thru	Further				
06:15:00 PM	1	0	1		
06:16:00 PM	1	0	1		
06:17:00 PM	1	0	1		
06:18:00 PM	1	0	1		
06:19:00 PM	1	0	1		
06:20:00 PM	1	0	1		
06:21:00 PM	1	0	1		
06:22:00 PM	1	0	1		
06:23:00 PM	1	0	1		
06:24:00 PM	1	0	1		
06:25:00 PM	1	0	1		
06:26:00 PM	0	0	0		
06:27:00 PM	1	0	1		
06:28:00 PM	1	0	1		
06:29:00 PM	1	0	1		
06:30:00 PM	1	0	1		
06:31:00 PM	0	0	0		
06:32:00 PM	0	0	0		
06:33:00 PM	0	0	0		
06:34:00 PM	0	0	0		
06:35:00 PM	1	0	1		
06:36:00 PM	1	0	1		
06:37:00 PM	1	0	1		
06:38:00 PM	1	0	1		
06:39:00 PM	1	0	1		
06:40:00 PM	0	0	0		
06:41:00 PM	0	0	0		
06:42:00 PM	0	0	0		
06:43:00 PM	0	0	0		
06:44:00 PM	0	0	0		
06:45:00 PM	0	0	0		
06:46:00 PM	0	0	0		
06:47:00 PM	1	0	1		
06:48:00 PM	2	0	2		
06:49:00 PM	2	0	2		
06:50:00 PM	2	0	2		
06:51:00 PM	1	0	1		
06:52:00 PM	1	0	1		
06:53:00 PM	1	0	1		
06:54:00 PM	1	0	1		
06:55:00 PM	0	0	0		
06:56:00 PM	0	0	0		
06:57:00 PM	0	0	0		
06:58:00 PM	0	0	0		
06:59:00 PM	0	0	0		

Drive Thru	
Total	663
Average Queue	0,921
100th %tile Queue	4
85th %tile Queue	2

 = Max Queue

Friday, November 3, 2023	Queue
Average QUEUE	1.310
100 th %tile QUEUE	6.000
85 th %tile QUEUE	3.000

Saturday, November 4, 2023	Queue
Average QUEUE	0.921
100 th %tile QUEUE	4.000
85 th %tile QUEUE	2.000

Overall	Queue
Average QUEUE	1.310
100 th %tile QUEUE	6.000
85 th %tile QUEUE	3.000

Vehicle Length:
25
Feet

Projected Queue	Queue Length
Average QUEUE	33
100 th %tile QUEUE	150
85 th %tile QUEUE	75

ATTACHMENT C

Site Plan

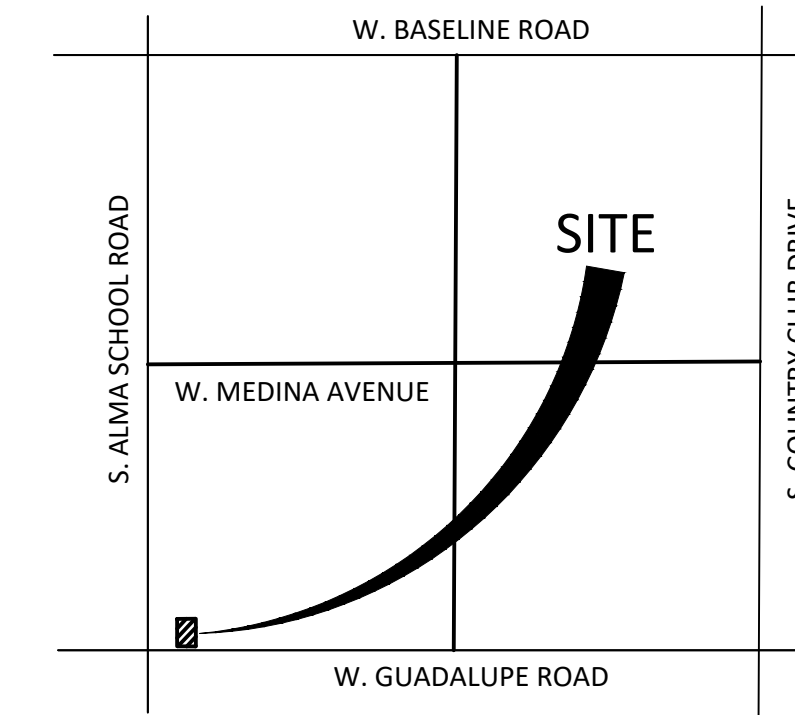
SITE PLAN

FOR

ANGIE'S PRIME GRILL 11002

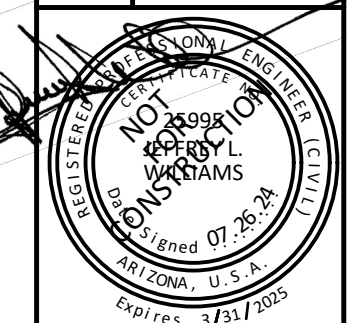
1118 W GUADALUPE ROAD
MESA, ARIZONA 85210

APN: 302-87-815 LOT 9, MERIT PARK 1, PHASE 2



VICINITY MAP
T1S, R5E, S4
(N.T.S.)

R.B. WILLIAMS & ASSOCIATES, INC.
CONSULTING ENGINEERS
1921 S. ALMA SCHOOL RD., STE 101
MESA, ARIZONA, 85210
PHONE: (480) 424-2352
JEFFREY L. WILLIAMS, P.E.



ANGIE'S PRIME GRILL
1118 W. GUADALUPE ROAD
MESA, AZ 85210

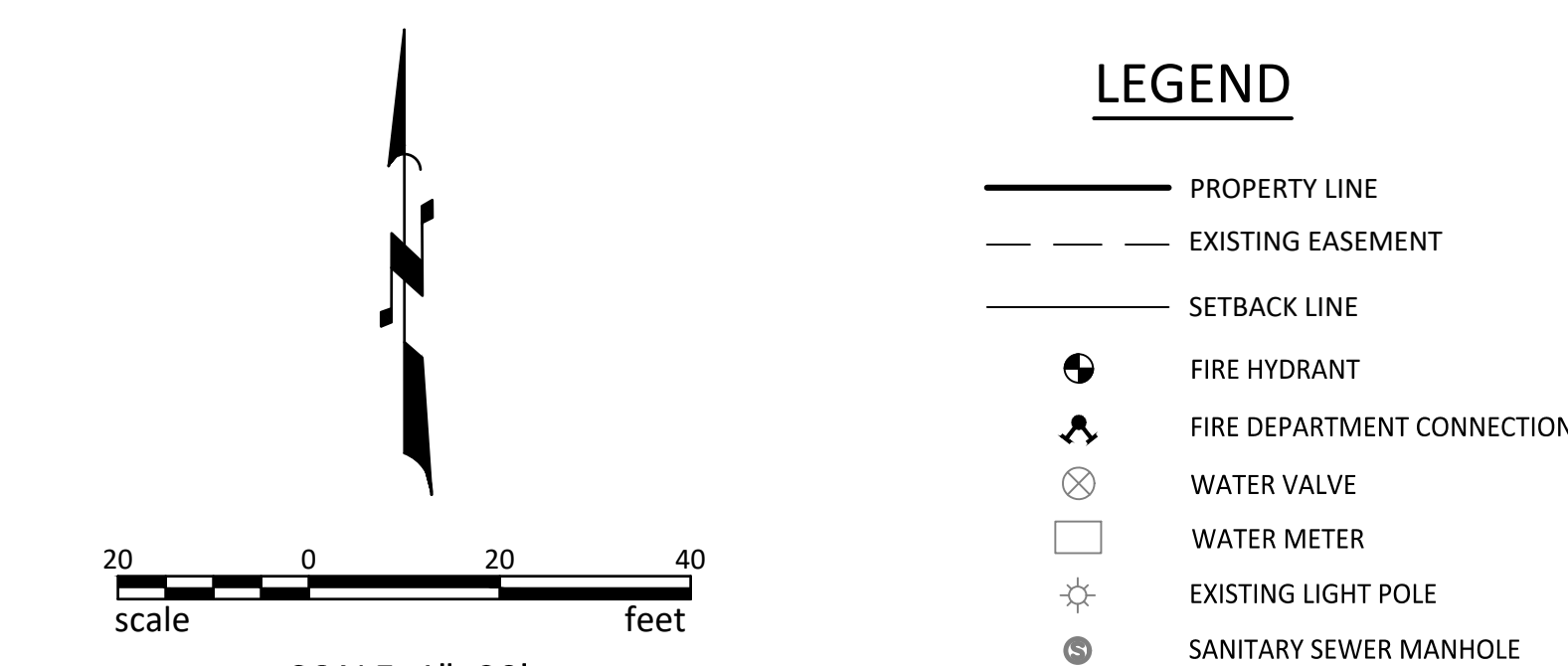
SITE PLAN

KEY NOTES

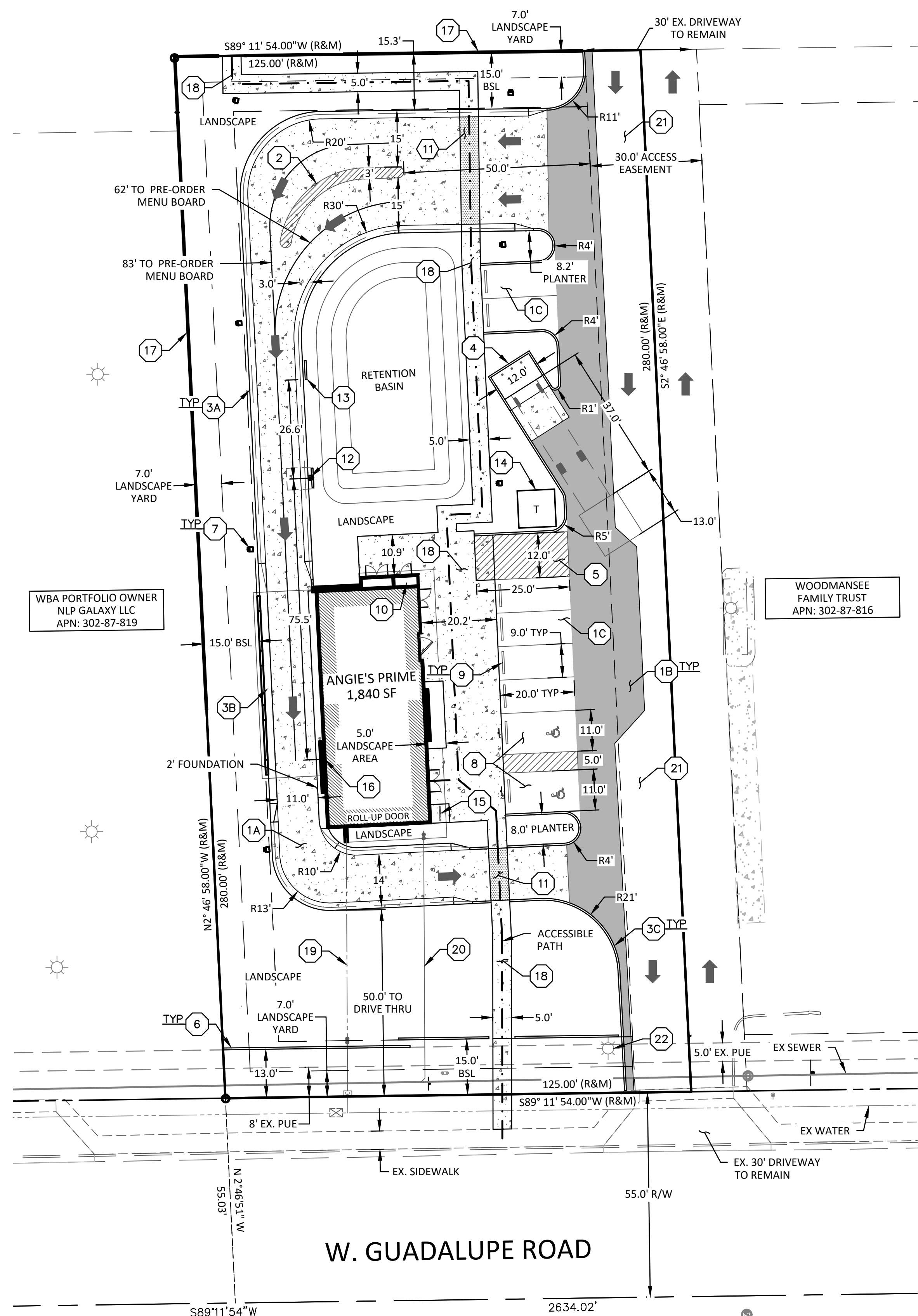
SITE PLAN NOTES	
1A	RIGID CONCRETE PAVEMENT, SEE CIVIL PLANS
1B	FLEXIBLE HEAVY-DUTY ASPHALTIC CONCRETE PAVEMENT, SEE CIVIL PLANS
1C	FLEXIBLE LIGHT-DUTY ASPHALTIC CONCRETE PAVEMENT, SEE CIVIL PLANS
2	STRIPED DIVIDER
3A	4" ROLL CURB, SEE CIVIL PLANS
3B	MODIFIED 6" VERTICAL CURB - 24" WIDE, SEE CIVIL PLANS
3C	6" VERTICAL CURB, SEE CIVIL PLANS
4	TRASH ENCLOSURE PER COM STD DTL M-62
5	LOADING SPACE
6	VARIABLE HEIGHT (32" TO 40") SCREEN WALL PER DETAIL ON SP02
7	15' LIGHT POLE PER DETAIL ON SP02
8	ACCESSIBLE PARKING STALL AND SIGN PER COM STD DTL M-23.06
9	WHEEL STOP, SEE CIVIL PLANS
10	FIRE RISER ROOM
11	YELLOW, BROOM-FINISHED CONCRETE CROSSWALK RAISED 3" ABOVE ADJACENT GRADE, SEE SHEET SP02 AND CIVIL PLANS
12	ORDER STAND/MENU BOARD WITH CANOPY PER DETAIL ON SP02
13	PRE-ORDER MENU BOARD
14	TRANSFORMER
15	BIKE RACK PER DETAIL ON SP02
16	PICK-UP WINDOW
17	PAINT PROPERTY-FACING SIDE OF EXISTING CMU WALL TO MATCH SPLIT FACE BLOCK ON NEW BUILDING, SEE ARCHITECTURAL PLANS
18	CONCRETE SIDEWALK - WIDTH PER PLAN, SEE CIVIL PLANS
19	WATER SERVICE, SEE CIVIL PLANS
20	SEWER SERVICE, SEE CIVIL PLANS
21	EXISTING ONSITE PAVEMENT TO REMAIN
22	EXISTING STREET LIGHT TO REMAIN

SITE PLAN ZONING MATRIX

EXISTING ZONING	LC	PERMITTED USE
JURISDICTION	CITY OF MESA	
GROSS SITE AREA	41,862 SF/0.96 ACRES	
NET SITE AREA	34,922 SF/0.80 ACRES	
APN	302-87-815	
BUILDING OCCUPANCY	B	
MAX. BUILDING HEIGHT	30' ALLOWED	22.5' PROPOSED
REQUIRED PARKING	1 SPACE PER 100 SF - INDOOR AREA 1 SPACE PER 200 SF - OUTDOOR SEATING 3 BICYCLE SPACES	17 SPACES REQUIRED - NO OUTDOOR SEATING 3 BICYCLE SPACES
PROVIDED PARKING	6 REG SPACES/2 ADA SPACES = 8 TOTAL 3 BICYCLE SPACES	11 SPACE REDUCTION REQUIRED WITH SPECIAL USE PERMIT
GROSS BUILDING AREA	1,840 SF	
INTERIOR DINING AREA	411 SF	
LOT COVERAGE	80% MAXIMUM ALLOWED	61% PROVIDED
BUILDING SETBACKS	15' FRONT 15' SIDE	
DRIVE-THRU QUEING PROVIDED	251 FEET	13 CARS (19' AVERAGE LENGTH) OR 10 CARS (25' AVERAGE LENGTH)



SCALE: 1"=20'



ENGINEER

R.B. WILLIAMS & ASSOCIATES, INC.
1921 SOUTH ALMA SCHOOL RD. STE 101
MESA, AZ 85210
PHONE: (480) 220-8243
CONTACT: JEFF WILLIAMS
EMAIL: JEFF@RBWILLIAMS.COM

OWNER

GUADALUPE ALMA SCHOOL EQUITIES LLC
4360 E BROWN RD UNIT 106
MESA, AZ 85205

DEVELOPER

ANGIE'S FOOD CONCEPTS LLC
3104 E. CAMELBACK ROAD, #2199
PHOENIX, AZ 85016
CONTACT: VANESSA RODRIGUEZ
PHONE: (480) 572-2443
EMAIL: VANESSA@ANGIESFOOD CONCEPTS.COM

LEGAL DESCRIPTION

LOT 9, MERIT PARK 1, PHASE 2, ACCORDING TO BOOK 246 OF MAPS, PAGE 6, RECORDS OF MARICOPA COUNTY, ARIZONA

APN: 302-87-815

PROJECT DESCRIPTION

SCOPE OF WORK IS FOR A NEW DETACHED ANGIE'S PRIME GRILL DRIVE-THRU RESTAURANT THAT IS A TOTAL OF 1,840 SQUARE FEET. ACCORDING TO CITY CODE, THE PRE VS. POST, SHALL BE PROVIDED FOR THE AREA OF DISTURBANCE FOR THE NEW NON-PERMEABLE FOOTPRINT. A NEW SURFACE RETENTION BASIN WILL BE DESIGNED FOR THE 2 HOUR, HUNDRED YEAR STORM EVENT FOR THE DISTURBED AREA.

PROPERTY DATA

PROJECT NAME: ANGIE'S PRIME - STORE 1102
PROJECT ADDRESS: 1118 W. GUADALUPE ROAD, MESA, AZ 85210
APN: 302-87-815

PROJECT DESCRIPTION: PROPOSAL FOR A NEW 1792 S.F. DRIVE-THRU RESTAURANT BUILDING AND SITE WORK. BUILDING TYPE WILL BE V-B SPRINKLERED. TOTAL BUILDING AREA IS 1,840 SF. SEATING AREA IS 379 SF WITH THE BALANCE SPLIT BETWEEN KITCHEN AND STORAGE.

FLOOD PLAIN INFORMATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE
040048	04013C2730	M	11/04/2015	X



DATE	07.26.24
DESIGN	ALF
DRAWN	ALF
CHK'D	JLW
SUB.	
230825P01.DWG	
SHEET NO. SP01	
1/2	

ATTACHMENT D

Existing Volumes and Vehicle Classification

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
Temecula, CA 92592
(520) 316-6745

Site Code: Tues 01/23/24
Station ID: 24-1024-001
Angies Prime Grill Driveway
33.365188, -111.857401
Latitude: 0' 0.0000 Undefined

Northbound

Start Time	Bikes	Cars & Trs	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
01/23/24	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:30	0	0	0	0	0	0	0	0	1	0	0	0	0	1
06:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:00	0	0	0	0	0	0	0	0	1	0	0	0	0	1
07:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
08:00	0	1	0	0	0	0	0	0	0	0	0	0	0	1
08:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
08:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
08:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
09:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2
09:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
09:30	0	1	0	0	1	0	0	0	0	0	0	0	0	2
09:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
10:00	0	2	0	0	1	0	0	0	0	0	0	0	0	3
10:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
11:00	0	1	0	0	0	0	0	0	0	0	0	0	0	1
11:15	1	0	0	0	0	0	0	0	0	0	0	0	0	1
11:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
11:45	0	0	1	0	0	0	0	0	0	0	0	0	0	1
Total	1	2	1	0	0	0	0	0	0	0	0	0	0	4
Percent	8.3%	66.7%	8.3%	0.0%	8.3%	0.0%	0.0%	0.0%	8.3%	0.0%	0.0%	0.0%	0.0%	12

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
Temecula, CA 92592
(520) 316-6745

Site Code: Tues 01/23/24
Station ID: 24-1024-001
Angies Prime Grill Driveway
33.365188, -111.857401
Latitude: 0' 0.0000 Undefined

Northbound

Start Time	Bikes	Cars & Trls	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12 PM	0	1	0	0	0	0	0	0	0	0	0	0	0	1
12:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
13:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2
13:15	0	2	1	0	0	0	0	0	0	0	0	0	0	3
13:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
13:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
14:00	0	2	1	0	0	0	0	0	0	0	0	0	0	3
14:15	0	2	0	0	0	0	0	0	0	0	0	0	0	2
14:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
14:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
15:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2
15:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
15:30	0	2	0	0	0	0	0	0	0	0	0	0	0	2
15:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
16:00	0	3	0	0	0	0	0	0	0	0	0	0	0	3
16:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
16:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
16:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
17:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
17:15	0	2	0	0	0	0	0	0	0	0	0	0	0	2
17:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
17:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
18:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	12	1	0	0	0	0	0	0	0	0	0	0	13
Percent	0.0%	92.3%	7.7%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	
Grand Total	1	20	2	0	1	0	0	0	1	0	0	0	0	25
Percent	4.0%	80.0%	8.0%	0.0%	4.0%	0.0%	0.0%	0.0%	4.0%	0.0%	0.0%	0.0%	0.0%	

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
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Site Code: Tues 01/23/24
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33.365188, -111.857401
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Southbound

Start Time	Bikes	Cars & Trls	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
01/23/24	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
07:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
07:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
08:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2
08:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
08:30	0	0	1	0	0	0	0	0	1	0	0	0	0	1
08:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
09:00	0	1	1	0	0	0	0	0	1	0	0	0	0	3
09:15	0	0	1	0	0	0	0	0	0	0	0	0	0	1
09:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
09:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:00	0	1	1	0	1	0	0	0	0	0	0	0	0	3
10:15	0	0	1	0	0	0	0	0	0	0	0	0	0	1
10:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
10:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
11:00	0	2	1	0	0	0	0	0	0	0	0	0	0	3
11:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:30	0	0	1	0	1	0	0	0	0	0	0	0	0	2
11:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
Total	0	7	5	0	2	0	0	0	1	0	0	0	0	15
Percent	0.0%	46.7%	33.3%	0.0%	13.3%	0.0%	0.0%	0.0%	6.7%	0.0%	0.0%	0.0%	0.0%	

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
Temecula, CA 92592
(520) 316-6745

Site Code: Tues 01/23/24
Station ID: 24-1024-001
Angies Prime Grill Driveway
33.365188, -111.857401
Latitude: 0' 0.0000 Undefined

Southbound

Start Time	Bikes	Cars & Trls	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12 PM	0	1	0	0	0	0	0	0	0	0	0	0	0	1
12:15	0	1	1	0	0	0	0	0	0	0	0	0	0	2
12:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<hr/>														
13:00	0	2	1	0	0	0	0	0	0	0	0	0	0	3
13:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
13:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
13:45	0	2	0	0	0	0	0	0	0	0	0	0	0	2
14:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
14:15	0	4	0	0	0	0	0	0	0	0	0	0	0	4
14:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
14:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
15:00	0	3	0	0	0	0	0	0	0	0	0	0	0	3
15:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
15:30	0	1	1	0	0	0	0	0	0	0	0	0	0	2
15:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
16:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2
16:15	0	4	1	0	0	0	0	0	0	0	0	0	0	5
16:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
16:45	0	0	1	0	0	0	0	0	0	0	0	0	0	1
17:00	0	1	0	0	0	0	0	0	0	0	0	0	0	1
17:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
17:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
17:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2
18:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<hr/>														
Total	0	16	3	0	0	0	0	0	0	0	0	0	0	19
Percent	0.0%	84.2%	15.8%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	
<hr/>														
Grand Total	0	23	8	0	2	0	0	0	1	0	0	0	0	34
Percent	0.0%	67.6%	23.5%	0.0%	5.9%	0.0%	0.0%	0.0%	2.9%	0.0%	0.0%	0.0%	0.0%	

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
Temecula, CA 92592
(520) 316-6745

Site Code: Tues 01/23/24
Station ID: 24-1024-001
Angies Prime Grill Driveway
33.365188, -111.857401
Latitude: 0' 0.0000 Undefined

Northbound, Southbound

Start Time	Bikes	Cars & Trls	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
01/23/24	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
00:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:30	0	0	0	0	0	0	0	0	1	0	0	0	0	1
06:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:00	0	0	0	0	0	0	0	0	1	0	0	0	0	1
07:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
07:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
07:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
08:00	0	3	0	0	0	0	0	0	0	0	0	0	0	3
08:15	0	2	0	0	0	0	0	0	0	0	0	0	0	2
08:30	0	1	1	0	0	0	0	0	1	0	0	0	0	2
08:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
09:00	0	3	1	0	0	0	0	0	1	0	0	0	0	5
09:15	0	0	1	0	0	0	0	0	0	0	0	0	0	1
09:30	0	2	0	0	1	0	0	0	0	0	0	0	0	3
09:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
10:00	0	3	1	0	2	0	0	0	0	0	0	0	0	6
10:15	0	0	1	0	0	0	0	0	0	0	0	0	0	1
10:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
10:45	0	2	0	0	0	0	0	0	0	0	0	0	0	2
11:00	0	3	1	0	0	0	0	0	0	0	0	0	0	4
11:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
11:30	1	0	1	0	1	0	0	0	0	0	0	0	0	3
11:45	0	1	1	0	0	0	0	0	0	0	0	0	0	2
Total	1	3	3	0	1	0	0	0	0	0	0	0	0	8
Percent	3.7%	55.6%	22.2%	0.0%	11.1%	0.0%	0.0%	0.0%	7.4%	0.0%	0.0%	0.0%	0.0%	27

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
Temecula, CA 92592
(520) 316-6745

Site Code: Tues 01/23/24
Station ID: 24-1024-001
Angies Prime Grill Driveway
33.365188, -111.857401
Latitude: 0' 0.0000 Undefined

Northbound, Southbound

Start Time	Bikes	Cars & Trls	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axle Double	5 Axle Double	>6 Axle Double	<6 Axle Multi	6 Axle Multi	>6 Axle Multi	Total
12 PM	0	2	0	0	0	0	0	0	0	0	0	0	0	2
12:15	0	1	1	0	0	0	0	0	0	0	0	0	0	2
12:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
	0	4	1	0	0	0	0	0	0	0	0	0	0	5
13:00	0	3	1	0	0	0	0	0	0	0	0	0	0	4
13:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
13:30	0	2	0	0	0	0	0	0	0	0	0	0	0	2
13:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	0	6	1	0	0	0	0	0	0	0	0	0	0	7
14:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2
14:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
14:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
14:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
	0	5	0	0	0	0	0	0	0	0	0	0	0	5
15:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2
15:15	0	3	1	0	0	0	0	0	0	0	0	0	0	4
15:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
15:45	0	2	0	0	0	0	0	0	0	0	0	0	0	2
	0	7	1	0	0	0	0	0	0	0	0	0	0	8
16:00	0	1	0	0	0	0	0	0	0	0	0	0	0	1
16:15	0	0	1	0	0	0	0	0	0	0	0	0	0	1
16:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
16:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
	0	3	1	0	0	0	0	0	0	0	0	0	0	4
17:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
17:15	0	1	0	0	0	0	0	0	0	0	0	0	0	1
17:30	0	1	0	0	0	0	0	0	0	0	0	0	0	1
17:45	0	1	0	0	0	0	0	0	0	0	0	0	0	1
	0	3	0	0	0	0	0	0	0	0	0	0	0	3
18:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
18:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	28	4	0	0	0	0	0	0	0	0	0	0	32
Percent	0.0%	87.5%	12.5%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	
Grand Total	1	43	10	0	3	0	0	0	2	0	0	0	0	59
Percent	1.7%	72.9%	16.9%	0.0%	5.1%	0.0%	0.0%	0.0%	3.4%	0.0%	0.0%	0.0%	0.0%	

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
Temecula, CA 92592
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Site Code: Tues 01/23/24
Station ID: 24-1024-001
Angles Prime Grill Driveway
33.365188, -111.857401
Latitude: 0' 0.0000 Undefined

Northbound

Start Time	Bikes	Cars & Tlrs	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axl Double	5 Axle Double	>6 Axl Double	<6 Axl Multi	6 Axle Multi	>6 Axl Multi	Total	Truck Total
01/23/24	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:00	0	0	0	0	0	0	0	0	1	0	0	0	0	1	1
07:00	0	1	0	0	0	0	0	0	0	0	0	0	0	1	0
08:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2	0
09:00	0	2	0	0	1	0	0	0	0	0	0	0	0	3	1
10:00	0	1	0	0	0	0	0	0	0	0	0	0	0	1	0
11:00	1	2	1	0	0	0	0	0	0	0	0	0	0	4	0
12 PM	0	2	0	0	0	0	0	0	0	0	0	0	0	2	0
13:00	0	2	1	0	0	0	0	0	0	0	0	0	0	3	0
14:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2	0
15:00	0	3	0	0	0	0	0	0	0	0	0	0	0	3	0
16:00	0	2	0	0	0	0	0	0	0	0	0	0	0	2	0
17:00	0	1	0	0	0	0	0	0	0	0	0	0	0	1	0
18:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	1	20	2	0	1	0	0	0	1	0	0	0	0	25	2
Percent	4.0%	80.0%	8.0%	0.0%	4.0%	0.0%	0.0%	0.0%	4.0%	0.0%	0.0%	0.0%	0.0%		8.0%
AM Peak Vol.	11:00	08:00	11:00		09:00				06:00					11:00	06:00
PM Peak Vol.		15:00	13:00											13:00	
Grand Total	1	20	2	0	1	0	0	0	1	0	0	0	0	25	2
Percent	4.0%	80.0%	8.0%	0.0%	4.0%	0.0%	0.0%	0.0%	4.0%	0.0%	0.0%	0.0%	0.0%		8.0%

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
Temecula, CA 92592
(520) 316-6745

Site Code: Tues 01/23/24
Station ID: 24-1024-001
Angies Prime Grill Driveway
33.365188, -111.857401
Latitude: 0' 0.0000 Undefined

Southbound

Start Time	Cars & Bikes	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axl Double	5 Axle Double	>6 Axl Double	<6 Axl Multi	6 Axle Multi	>6 Axl Multi	Total	Truck Total
01/23/24	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:00	0	2	0	0	0	0	0	0	0	0	0	0	2	0
08:00	0	1	1	0	0	0	0	1	0	0	0	0	3	1
09:00	0	1	1	0	1	0	0	0	0	0	0	0	3	1
10:00	0	2	1	0	0	0	0	0	0	0	0	0	3	0
11:00	0	1	2	0	1	0	0	0	0	0	0	0	4	1
12 PM	0	2	1	0	0	0	0	0	0	0	0	0	3	0
13:00	0	4	0	0	0	0	0	0	0	0	0	0	4	0
14:00	0	3	0	0	0	0	0	0	0	0	0	0	3	0
15:00	0	4	1	0	0	0	0	0	0	0	0	0	5	0
16:00	0	1	1	0	0	0	0	0	0	0	0	0	2	0
17:00	0	2	0	0	0	0	0	0	0	0	0	0	2	0
18:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	23	8	0	2	0	0	1	0	0	0	0	34	3
Percent	0.0%	67.6%	23.5%	0.0%	5.9%	0.0%	0.0%	2.9%	0.0%	0.0%	0.0%	0.0%		8.8%
AM Peak Vol.		07:00	11:00		09:00			08:00					11:00	08:00
		2	2		1			1					4	1
PM Peak Vol.		13:00	12:00										15:00	
		4	1										5	
Grand Total	0	23	8	0	2	0	0	1	0	0	0	0	34	3
Percent	0.0%	67.6%	23.5%	0.0%	5.9%	0.0%	0.0%	2.9%	0.0%	0.0%	0.0%	0.0%		8.8%

Field Data Services of Arizona, Inc.

31894 Whitetail Ln.
Temecula, CA 92592
(520) 316-6745

Site Code: Tues 01/23/24
Station ID: 24-1024-001
Angies Prime Grill Driveway
33.365188, -111.857401
Latitude: 0' 0.0000 Undefined

Northbound, Southbound

Start Time	Bikes	Cars & Tlrs	2 Axle Long	Buses	2 Axle 6 Tire	3 Axle Single	4 Axle Single	<5 Axl Double	5 Axle Double	>6 Axl Double	<6 Axl Multi	6 Axle Multi	>6 Axl Multi	Total	Truck Total
01/23/24	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
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06:00	0	0	0	0	0	0	0	0	1	0	0	0	0	1	1
07:00	0	3	0	0	0	0	0	0	0	0	0	0	0	3	0
08:00	0	3	1	0	0	0	0	0	1	0	0	0	0	5	1
09:00	0	3	1	0	2	0	0	0	0	0	0	0	0	6	2
10:00	0	3	1	0	0	0	0	0	0	0	0	0	0	4	0
11:00	1	3	3	0	1	0	0	0	0	0	0	0	0	8	1
12 PM	0	4	1	0	0	0	0	0	0	0	0	0	0	5	0
13:00	0	6	1	0	0	0	0	0	0	0	0	0	0	7	0
14:00	0	5	0	0	0	0	0	0	0	0	0	0	0	5	0
15:00	0	7	1	0	0	0	0	0	0	0	0	0	0	8	0
16:00	0	3	1	0	0	0	0	0	0	0	0	0	0	4	0
17:00	0	3	0	0	0	0	0	0	0	0	0	0	0	3	0
18:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
19:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	1	43	10	0	3	0	0	0	2	0	0	0	0	59	5
Percent	1.7%	72.9%	16.9%	0.0%	5.1%	0.0%	0.0%	0.0%	3.4%	0.0%	0.0%	0.0%	0.0%		8.5%
AM Peak Vol.	11:00	07:00	11:00		09:00				06:00					11:00	09:00
PM Peak Vol.		15:00	12:00											15:00	
Grand Total	1	43	10	0	3	0	0	0	2	0	0	0	0	59	5
Percent	1.7%	72.9%	16.9%	0.0%	5.1%	0.0%	0.0%	0.0%	3.4%	0.0%	0.0%	0.0%	0.0%		8.5%

PARKING STUDY

March 19, 2024

Ms. Vanessa Rodriguez
Angie's Lobster, LLC
3104 E Camelback Rd #2199
Phoenix, Arizona 85016



RE: Parking Study for Angie's Prime Grill: 1118 W. Guadalupe Road – Mesa, Arizona

INTRODUCTION

CivTech Inc. has been retained to provide a Parking Study (the **Study**) for the proposed Angie's Prime Grill (the **Project**). The **Project** is to be located at 1118 W. Guadalupe Road in Mesa, Arizona. Angie's Prime Grill has a unique business model as a quick service restaurant with the majority of the sales taking place via the drive-through window. This unique business model is complimented by a limited menu allowing for an efficient and quick service via the drive-thru window or walk-up. The purpose of this **Study** is to ensure that adequate parking will be provided for the **Project**. This **Study** has been prepared in accordance with Section 11-32-6(B) of the Mesa Zoning Ordinance. The Vicinity Map of the **Project** is shown in **Figure 1**.

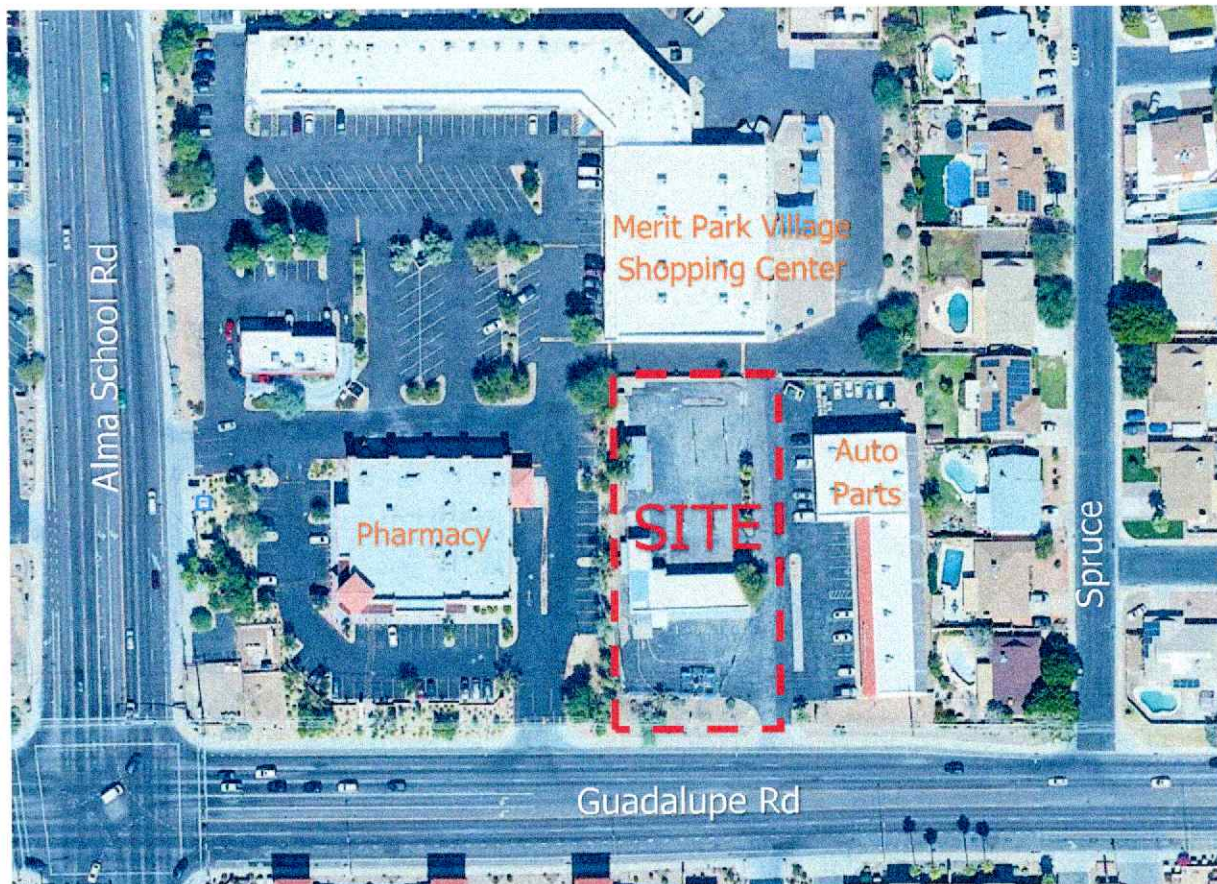


Figure 1 – Vicinity Map

BACKGROUND AND PURPOSE

The **Project** will replace a car wash facility and will utilize the same existing access driveway along Guadalupe Road. This **Study** has been prepared to document the minimum number of parking spaces required by the proposed Angie's Prime Grill. This **Study** has been prepared for submittal to the City of Mesa in accordance with Section 11-32-6(B) of the City of Mesa Zoning Ordinance (MZO). Parking ratios per Table 11-32-3.A in the MZO were utilized to develop parking spaces required by the proposed Angie's Prime Grill.

SITE ACCESS AND SURROUNDING USES

Site Access. Access to the site will be provided by a full-access driveway on Guadalupe Road, and a cross-access entrance, providing access to the drive-thru line, on the north edge of the site.

On-Street and Off-Street Parking. Surrounding the site is a mix of residential, retail, and restaurant uses. On-street parking exists to the east of the site on Spruce within the residential neighborhood. The on-street parking is not directly accessible, which reduces the likelihood of it being utilized by restaurant patrons. Directly adjacent to the site is an auto parts store, a pharmacy, and the Merit Park Village Shopping Center. The proposed Angie's Prime Grill shares site access points with the auto parts store. The auto parts store located directly to the east consists of 23 parking spaces for their patrons. The adjacent pharmacy's parking lot to the west consists of approximately 59 parking spaces with 17 of those spaces bordering the proposed site. The adjacent shopping center to the north consists of approximately 145 parking spaces.

PARKING DEMAND

The site is proposed to consist of an 1,840 square foot (SF) building with a small dining room with only 15 seats and a drive-through window and two drive-through lanes. Due to the unique nature of the Angie's Grill model, almost half of the building is used for storage and therefore not applicable in determining the parking demand. The area that is applicable for the parking demand is the kitchen/prep – 686 SF and the public area or seating area – 379 SF. Those two areas total 1,065 SF and this SF will be used for the determination of the MZO Parking Requirements.

MZO Parking Requirements. The Parking Study for the proposed Angie's Prime Grill was prepared in accordance with the applicable portions of the MZO. The City's motor vehicle parking ratios for a development can be found in Table 11-32-3.A of the MZO. Per the City of Mesa zoning ordinance, the land use most applicable to the proposed Angie's Prime Grill is an Eating Establishments (with drive-through window and associated queue drive aisle). The Eating Establishments land use requires a minimum of one (1) parking space per 100 square feet for indoor area, and one (1) space per 200 square feet for outdoor seating area. This **Project** does not have an outdoor seating area. The parking requirements are summarized below in **Table 1**.

Table 1 – Mesa Zoning Ordinance Minimum Parking Ratios

Land Use	Quantity	Vehicular Parking Spaces	
		Ratio	Spaces
Eating Establishments (with drive-through window and associate queueing aisle)	1,065 SF	1 per 100 SF ⁽¹⁾	10.65
Total			11

⁽¹⁾ Ratio per MZO is 1 space per 100 SF for indoor area, and 1 space per 200 feet for outdoor seating area, however there is no proposed outdoor seating. Therefore, parking spaces in consideration of outdoor seating was not calculated.



Per the MZO vehicle parking ratios, 11 parking spaces are required utilizing the average rate per 100 SF.

Parking Requirements per ITE. The 5th Edition of the Institute of Transportation Engineers' (ITE) Parking Generation Manual provides recommendations for the number of spaces required for the types of land use in this development based on the proposed square footage of the site. Based on the proposed quick service restaurant land use for the proposed Angie's Prime Grill, ITE Land Use Code (LUC) 934 for Fast-Food Restaurant with Drive-Through Window was utilized. Average rates are provided for each land use for weekdays (Monday through Thursday) and Fridays (as this is the highest rate for the weekend) for fast-food restaurants with a drive-through. The average parking rate for weekdays is 0.34 parking spaces for every one (1) seat. The average parking rate for weekends is 0.44 parking spaces for every one (1) seat. These rates include the parking spaces that are needed for the employees. There will be 2 to 3 employees on site each day. The parking analysis per ITE standards is summarized in **Table 2**.

Table 2 – Institute of Transportation Engineers Parking Ratios

Land Use	Day	Quantity	ITE Calculation		
			Average Rate	Spaces	
Fast-Food Restaurant with Drive-Through Window (ITE Land Use Code = 934)					
Restaurant	Weekday (Mon – Thurs)	15 Seats	0.34 per seat	5.1	
Restaurant	Weekend (Friday)	15 Seats	0.44 per seat	6.6	

Per the ITE vehicle parking ratios, six (6) parking spaces are required on weekdays and seven (7) parking spaces are required on weekends.

Parking Comparison. The proposed Angie's Prime Grill will provide 8 parking spaces, where two (2) spaces are designated as ADA, as stated in the site plan. The site plan can be found in **Attachment A**. A summary of the comparison between the MZO parking ratio, the highest ITE parking ratio, and the proposed parking to be provided on site can be found below in **Table 3**. The City of Mesa and ITE data are included in **Attachment B** and **Attachment C**, respectively.

Table 3 – Parking Comparison

Land Use	Requirement	Quantity	Average Rate	Provided Spaces
Fast-Food Restaurant with Drive-Through Window (ITE Land Use Code = 934)				
Restaurant	Proposed	15 Seats	0.53 per seat	8
Restaurant	MZO	1.840 KSF	1.00 per 100 SF	11
Restaurant	ITE (Friday)	15 Seats	0.44 per seat	7

As shown in **Table 3**, the proposed Angie's Prime Grill will provide sufficient parking using the ITE requirements for both weekdays and weekends. However, per the Mesa Zoning Ordinance, the proposed Angie's Prime Grill provides less parking spaces than required by the MZO. As noted, and explained above, the proposed Angie's Prime Grill is not your typical fast-food restaurant with a drive-through window. The Angie's Grill model to provide fast efficient service through the drive-through window, made possible by their unique business model and limited menu. Due to the

limited menu only 2 or 3 employees are needed per shift. Also, due to the limited seating inside (15 seats) and with no outdoor seating, there is no need for more than 4 or 5 parking spaces for public use.

Additionally, according to the Americans with Disabilities Act (ADA), for a parking lot with 1 to 25 parking spaces, at least 1 accessible space is required. The proposed development will provide 2 accessible spaces, which is an excess of 1 accessible space than required.

CONCLUSIONS AND RECOMMENDATIONS

- The site is proposed to consist of a 1,840 square foot (SF) eating establishment, consisting of a 379 SF seating area with 15 seats. This establishment is proposed to consist of a singular building, with a drive-through window and an associated queueing drive aisle.
- There will be eight (8) parking spaces provided on site, with ADA compliant two (2) parking spaces.
- Using standards within the City of Mesa Zoning Ordinance, a minimum of 11 spaces are required for the proposed Angie's Prime Grill development.
 - The proposed site is anticipated to provide less parking spaces than standards presented within the MZO.
- Based on average ITE parking generation rates per seat, the proposed Angie's Prime Grill would require eight (8) spaces.
- Due to the unique Angie's Prime Grill model with minimal seating and the majority of the sales taking place via the drive-through window, it is recommended that the proposed Angie's Prime Grill parking does meet the intent of City of Mesa's Parking Requirements even with less parking than the City's Standards recommend. No changes to the proposed parking are recommended.

Please contact me with any questions you may have on this Parking Study.

Sincerely,

CivTech



Mick Mathieu, P.E., Fellow ASCE
Managing Director – Tucson

Attachments:

- A. Site Plan
- B. City of Mesa Parking Rates
- C. ITE Parking Rates

ATTACHMENT A

Site Plan

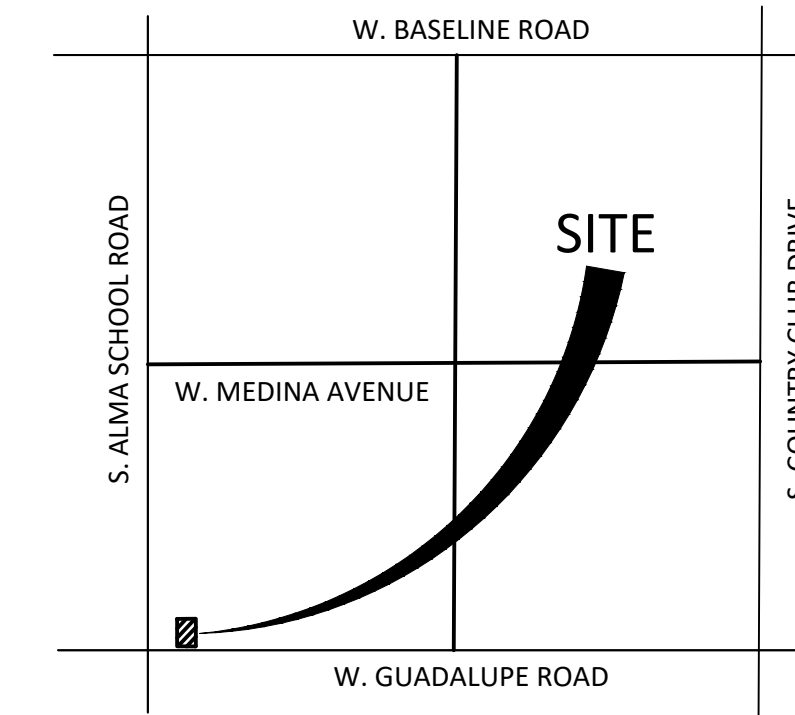
SITE PLAN

FOR

ANGIE'S PRIME GRILL 11002

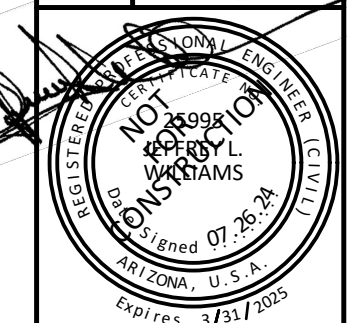
1118 W GUADALUPE ROAD
MESA, ARIZONA 85210

APN: 302-87-815 LOT 9, MERIT PARK 1, PHASE 2



VICINITY MAP
T15, R5E, S4
(N.T.S.)

R.B. WILLIAMS & ASSOCIATES, INC.
CONSULTING ENGINEERS
1921 S. ALMA SCHOOL RD., STE 101
MESA, ARIZONA 85210
PHONE: (480) 424-2352
JEFFREY L. WILLIAMS, P.E.



ANGIE'S PRIME GRILL
1118 W. GUADALUPE ROAD
MESA, AZ 85210

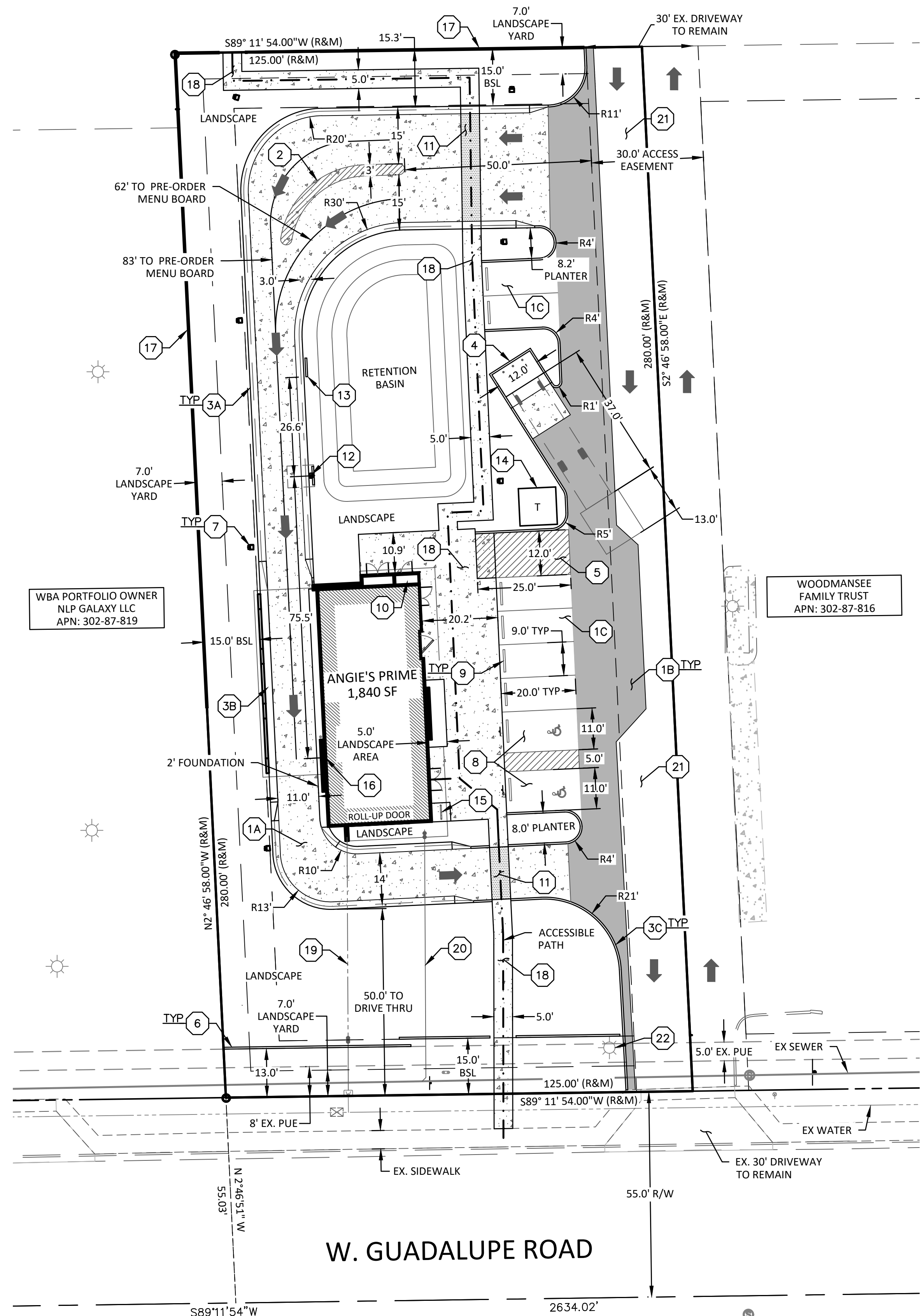
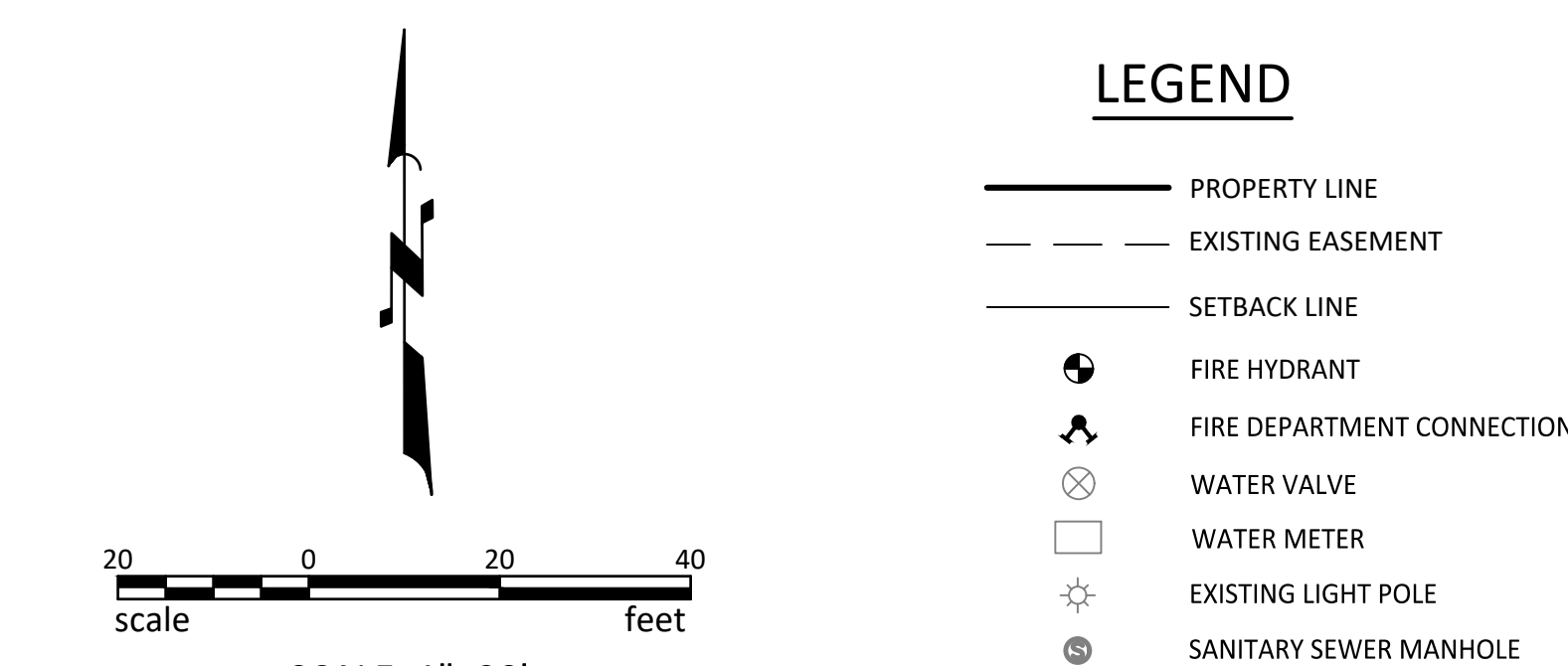
SITE PLAN

KEY NOTES

SITE PLAN NOTES	
1A	RIGID CONCRETE PAVEMENT, SEE CIVIL PLANS
1B	FLEXIBLE HEAVY-DUTY ASPHALTIC CONCRETE PAVEMENT, SEE CIVIL PLANS
1C	FLEXIBLE LIGHT-DUTY ASPHALTIC CONCRETE PAVEMENT, SEE CIVIL PLANS
2	STRIPED DIVIDER
3A	4" ROLL CURB, SEE CIVIL PLANS
3B	MODIFIED 6" VERTICAL CURB - 24" WIDE, SEE CIVIL PLANS
3C	6" VERTICAL CURB, SEE CIVIL PLANS
4	TRASH ENCLOSURE PER COM STD DTL M-62
5	LOADING SPACE
6	VARIABLE HEIGHT (32" TO 40") SCREEN WALL PER DETAIL ON SP02
7	15' LIGHT POLE PER DETAIL ON SP02
8	ACCESSIBLE PARKING STALL AND SIGN PER COM STD DTL M-23.06
9	WHEEL STOP, SEE CIVIL PLANS
10	FIRE RISER ROOM
11	YELLOW, BROOM-FINISHED CONCRETE CROSSWALK RAISED 3" ABOVE ADJACENT GRADE, SEE SHEET SP02 AND CIVIL PLANS
12	ORDER STAND/MENU BOARD WITH CANOPY PER DETAIL ON SP02
13	PRE-ORDER MENU BOARD
14	TRANSFORMER
15	BIKE RACK PER DETAIL ON SP02
16	PICK-UP WINDOW
17	PAINT PROPERTY-FACING SIDE OF EXISTING CMU WALL TO MATCH SPLIT FACE BLOCK ON NEW BUILDING, SEE ARCHITECTURAL PLANS
18	CONCRETE SIDEWALK - WIDTH PER PLAN, SEE CIVIL PLANS
19	WATER SERVICE, SEE CIVIL PLANS
20	SEWER SERVICE, SEE CIVIL PLANS
21	EXISTING ONSITE PAVEMENT TO REMAIN
22	EXISTING STREET LIGHT TO REMAIN

SITE PLAN ZONING MATRIX

EXISTING ZONING	LC	PERMITTED USE
JURISDICTION	CITY OF MESA	
GROSS SITE AREA	41,862 SF/0.96 ACRES	
NET SITE AREA	34,922 SF/0.80 ACRES	
APN	302-87-815	
BUILDING OCCUPANCY	B	
MAX. BUILDING HEIGHT	30' ALLOWED	22.5' PROPOSED
REQUIRED PARKING	1 SPACE PER 100 SF - INDOOR AREA 1 SPACE PER 200 SF - OUTDOOR SEATING 3 BICYCLE SPACES	17 SPACES REQUIRED - NO OUTDOOR SEATING 3 BICYCLE SPACES
PROVIDED PARKING	6 REG SPACES/2 ADA SPACES = 8 TOTAL 3 BICYCLE SPACES	11 SPACE REDUCTION REQUIRED WITH SPECIAL USE PERMIT
GROSS BUILDING AREA	1,840 SF	
INTERIOR DINING AREA	411 SF	
LOT COVERAGE	80% MAXIMUM ALLOWED	61% PROVIDED
BUILDING SETBACKS	15' FRONT 15' SIDE	
DRIVE-THRU QUEING PROVIDED	251 FEET	13 CARS (19' AVERAGE LENGTH) OR 10 CARS (25' AVERAGE LENGTH)



ENGINEER

R.B. WILLIAMS & ASSOCIATES, INC.
1921 SOUTH ALMA SCHOOL RD. STE 101
MESA, AZ 85210
PHONE: (480) 220-8243
CONTACT: JEFF WILLIAMS
EMAIL: JEFF@RBWILLIAMS.COM

OWNER

GUADALUPE ALMA SCHOOL EQUITIES LLC
4360 E BROWN RD UNIT 106
MESA, AZ 85205

DEVELOPER

ANGIE'S FOOD CONCEPTS LLC
3104 E. CAMELBACK ROAD, #2199
PHOENIX, AZ 85016
CONTACT: VANESSA RODRIGUEZ
PHONE: (480) 572-2443
EMAIL: VANESSA@ANGIESFOOD CONCEPTS.COM

LEGAL DESCRIPTION

LOT 9, MERIT PARK 1, PHASE 2, ACCORDING TO BOOK 246 OF MAPS, PAGE 6, RECORDS OF MARICOPA COUNTY, ARIZONA

APN: 302-87-815

PROJECT DESCRIPTION

SCOPE OF WORK IS FOR A NEW DETACHED ANGIE'S PRIME GRILL DRIVE-THRU RESTAURANT THAT IS A TOTAL OF 1,840 SQUARE FEET. ACCORDING TO CITY CODE, THE PRE VS. POST, SHALL BE PROVIDED FOR THE AREA OF DISTURBANCE FOR THE NEW NON-PERMEABLE FOOTPRINT. A NEW SURFACE RETENTION BASIN WILL BE DESIGNED FOR THE 2 HOUR, HUNDRED YEAR STORM EVENT FOR THE DISTURBED AREA.

PROPERTY DATA

PROJECT NAME: ANGIE'S PRIME - STORE 1102
PROJECT ADDRESS: 1118 W. GUADALUPE ROAD, MESA, AZ 85210
APN: 302-87-815

PROJECT DESCRIPTION: PROPOSAL FOR A NEW 1792 S.F. DRIVE-THRU RESTAURANT BUILDING AND SITE WORK. BUILDING TYPE WILL BE V-B SPRINKLERED. TOTAL BUILDING AREA IS 1,840 SF. SEATING AREA IS 379 SF WITH THE BALANCE SPLIT BETWEEN KITCHEN AND STORAGE.

FLOOD PLAIN INFORMATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE
040048	04013C2730	M	11/04/2015	X

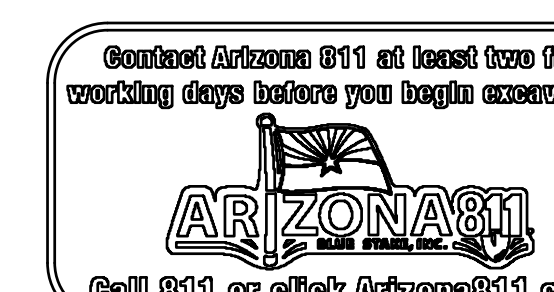
REVISIONS:

DATE	BY	DESCRIPTION
07.26.24	ALF	DESIGN
	ALF	DRAWN
	JLW	CHK'D
		SUB.

230825P01.DWG

SP01

SHEET NO. 1/2



ATTACHMENT B

City of Mesa Parking Rates

Table 11-32-3.A: Required Parking Spaces By Use

Use	Minimum Standard	
Residential		
Single Residence, detached or attached, including Manufactured Home Subdivisions	2 spaces per dwelling which may be in tandem with Zoning Administrator approval	
Multiple Residence (Typical)	See sub categories, below	
Apartments, multiple residence condominiums, and mixed-use residential, townhomes, patio homes and similar multiple residence buildings: development site located within ¼ mile radius (1320-feet) of bus rapid transit or light rail station, regardless of bedroom count	9 or fewer total units	1.4 spaces per dwelling unit
	10-25 total units	1.3 spaces per dwelling unit
	26 or more total units	1.2 spaces per dwelling unit
Apartments, multiple residence condominiums, mixed-use residential, townhomes, patio homes, and similar multiple residence buildings: development site not located within ¼ mile radius (1320-feet) of bus rapid transit or light rail station, regardless of bedroom count	2.1 spaces per dwelling unit	
Boarding House and Assisted Living Center	1.2 spaces per dwelling unit for development with distinguishable dwelling units 1.0 space for each room plus 2 additional spaces for development with congregate dining and no distinguishable separate dwelling units	

Table 11-32-3.A: Required Parking Spaces By Use

Use	Minimum Standard
Family Community Residence, Transitional Community Residence, and Assisted Living Home	Same as Single Residence
Live-Work Units	2.1 spaces per unit
Residential Care, General (Nursing Home, Hospice)	1.0 space per room or dwelling unit plus 2 additional spaces
RV Parks	1 full-sized space for each RV space, plus 1 guest parking space per 10 (or fraction thereof) RV spaces for the overall development
RV Subdivisions	1 full-sized space and 1 golf cart space for each lot; plus 1 full-sized guest parking space per 10 (or fraction thereof) dwelling units for the overall development
Manufactured Home Parks	2 full-sized space for each lot (may include tandem spaces); plus 1 guest parking space per 10 (or fraction thereof) dwelling units for the overall development
Public Assembly and Schools	
Theaters, auditoriums, assembly halls, places of worship, clubs, lodges and fraternal buildings, funeral homes, community centers, libraries	1 space per 75 square feet used for public assembly

Table 11-32-3.A: Required Parking Spaces By Use

Use	Minimum Standard
Museums	1 space per 250 square feet used for public assembly plus accessory uses
Stadiums	1 space per 5 seats plus 1 space per 300 square feet for accessory uses
School, kindergarten through 9th grade	1 space per 75 feet for public assembly space, such as auditoriums and theaters, and 1 space per 600 square feet for all other areas
High schools, academies, colleges, universities, trade or vocational schools	1 space per 200 square feet
Health Care	
Medical/dental offices and outpatient clinics	1 space per 200 square feet
Hospitals, hospices, skilled nursing, and nursing and convalescent homes	1 space per 400 square feet
Day care centers	1 space per 375 square feet
Group Commercial Developments	
Shell buildings (no specified use)	1 space per 275 square feet
Independent Commercial Buildings and Uses	
General offices, retail, and services	1 space per 375 square feet

Table 11-32-3.A: Required Parking Spaces By Use

Use	Minimum Standard
General auto repair, garages, service stations, car washes, and drive-through lubrication shops	1 space per 375 square feet, including service bays, wash tunnels, and retail areas
Hotels and motels	1 space per room or suite of rooms with individual exits plus ancillary use requirements
Eating and Drinking Establishments (no drive through window)	1 space per 75 square feet for indoor area, and 1 space per 200 square feet for outdoor seating area
Eating Establishments (with drive-through window and associated queuing drive aisle)	1 space per 100 square feet for indoor area, and 1 space per 200 square feet for outdoor seating area
Outdoor sales and service areas (car lots, plant nurseries, building supplies, etc.)	1 space per 375 square feet of sales and service building, but not less than 4 spaces per use
Temporary Outdoor Uses	
Swap Meets (See Section 11-20-29)	1 space per 300 square feet of designated vendor area
Farmer's Markets (See Section 11-20-29)	1 space per 400 square feet of designated vendor area
Recreation	

Table 11-32-3.A: Required Parking Spaces By Use

Use	Minimum Standard
Bowling centers	5 spaces per lane plus ancillary use requirements
Golf driving range	1 space per tee plus ancillary use requirements
Miniature golf, amusement parks, batting ranges, and water slides	1 space per 500 square feet of outdoor recreations area plus ancillary use requirements
Health space and clubs, gyms, and tennis, handball, and racquetball courts and clubs	1 space per 100 square feet, excluding courts, plus 2 spaces per court
Skating rinks and dance halls	1 space per 75 square feet used for recreational activities plus ancillary use requirements
Group Industrial Buildings and Uses	
Shell buildings (no specified use)	75% at 1 space per 500 square feet plus 25% at 1 space per 375 square feet
Independent Industrial Buildings and Uses	
Mini-storage (dead storage only)	4 spaces plus 2 for manager's quarters; Drive aisles between buildings shall maintain minimum distance of 24 feet
Warehousing and Storage, excluding Mini-storage	1 space per 900 square feet

Table 11-32-3.A: Required Parking Spaces By Use

Use	Minimum Standard
Industrial	1 space per 600 square feet
Airport Buildings and Uses	
Aircraft Hangars	2 per aircraft, plus ancillary use requirements
Public Facilities and Uses	
Fire stations	1 space per bed, plus 1 space per 75 square feet for Community Room
Police Substations	1 space per 300 square feet, plus 1 space per 75 square feet for Community Room, plus ancillary use requirements

ATTACHMENT C

ITE Parking Rates

Fast-Food Restaurant with Drive-Through Window (934)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA

On a: Sunday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 12:00 - 3:00 p.m.

Number of Studies: 2

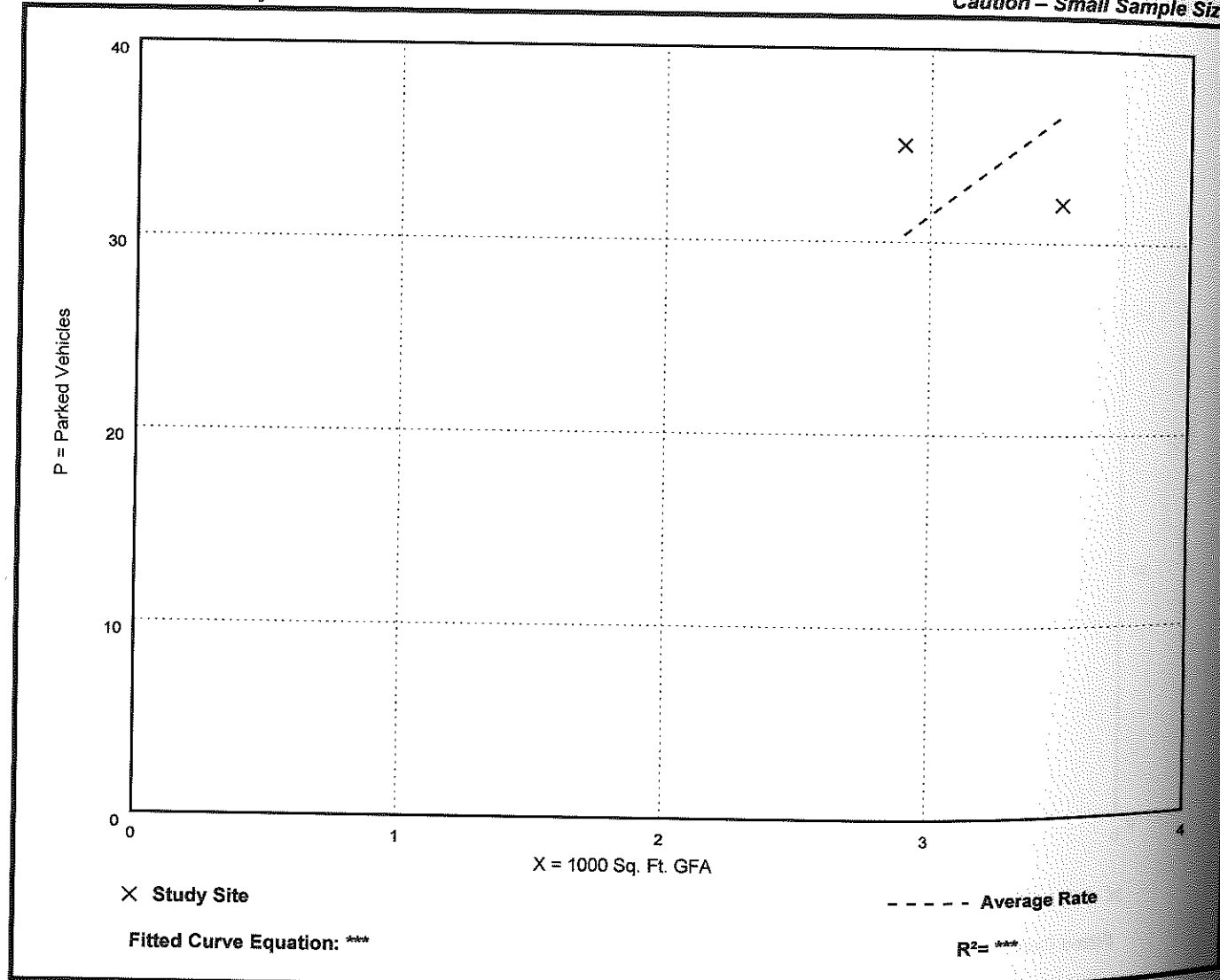
Avg. 1000 Sq. Ft. GFA: 3.2

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
10.47	9.14 - 12.07	*** / ***	***	*** (***)

Data Plot and Equation

Caution - Small Sample Size



Fast-Food Restaurant with Drive-Through Window (934)

Peak Period Parking Demand vs: Seats

On a: Weekday (Monday - Thursday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 12:00 - 1:00 p.m.

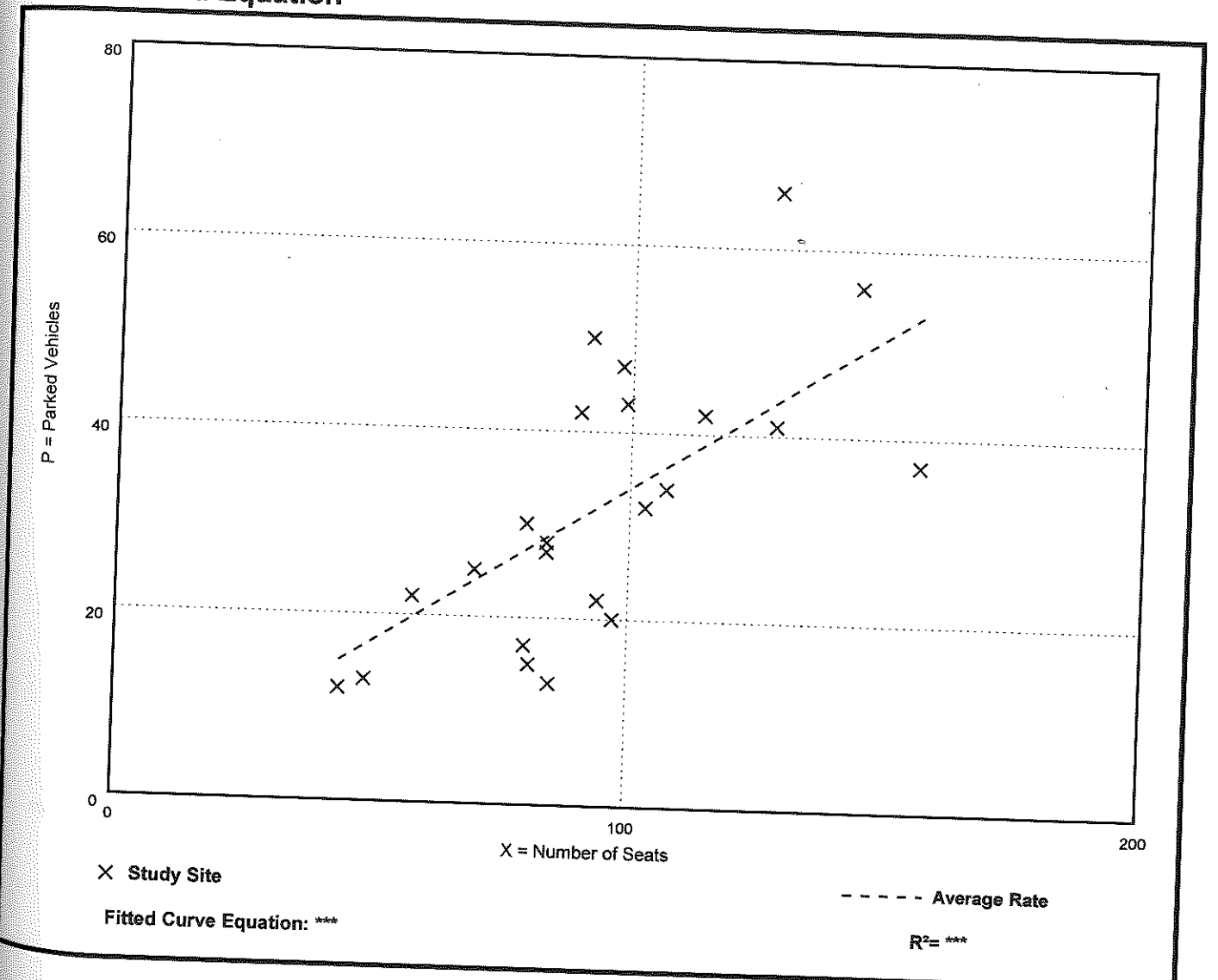
Number of Studies: 23

Avg. Num. of Seats: 94

Peak Period Parking Demand per Seat

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.34	0.15 - 0.54	0.27 / 0.47	0.30 - 0.38	0.11 (32%)

Data Plot and Equation



Fast-Food Restaurant with Drive-Through Window (934)

Peak Period Parking Demand vs: Seats

On a: Friday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 12:00 - 1:00 p.m.

Number of Studies: 8

Avg. Num. of Seats: 104

Peak Period Parking Demand per Seat

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.44	0.26 - 0.62	0.35 / 0.61	***	0.14 (32%)

Data Plot and Equation

