

Sienna Ridge

A Single-Family Home and Townhome Community ZON23-00140 PAD Amendment



**Request to Amend the Development Standard for Residential Garage Dimensions
for the RM-2 PAD Zoned Parcel on Approximately 3.7 Acres**

**Generally located east of the Loop 202 Freeway, at the NWC and SWC of E. Aspen
Avenue and South 90th Street**

**SUBMITTED TO:
City of Mesa Planning Division**

**PREPARED BY:
Iplan Consulting**

**CC Approved: November 2023
Amendment Submitted: April 2025 / Revised May 2025**

PROJECT TEAM

Land Use Entitlements/Applicant: Iplan Consulting
3317 S. Higley Road #114-622
Gilbert, AZ 85297
Contact: Jason Sanks
Email: jason@iplanconsulting.com
Phone: (602) 326-0581

Owner: 5228 S. Blackstone LLC
P.O. Box 4807
Oak Brook, IL 60522
Contact: Margaret Pacult
Phone: (630) 363-2477

Architectural Services: MNF Design, Drafting & Planning
832 S. 34th Street
Mesa, AZ 85204
Contact: Mark Fowler
Phone: (480) 206-9959

Civil Engineer: Watson Civil Engineering
3746 E. Omega Circle
Mesa, AZ 85215
Contact: Joel Watson, P.E.
Phone: (480) 330-0803

Landscape Architecture: Harrington Planning + Design
4711 E. Falcon Dr., Suite 222
Mesa, AZ 85215
Contact: Jason Harrington
Phone: (480) 250-0116

Sienna Ridge Townhomes

INTRODUCTION

Iplan Consulting presents to the City of Mesa a request for a PAD amendment for the Sienna Ridge townhome project. The property sits on approximately 3.7 acres generally located east of the Loop 202 freeway and south of Main Street. It is more specifically bound on its east side by S. 90th Street and has ease of access to three nearby arterials: Main Street, Broadway Road, and Ellsworth Road. The property is designated “Neighborhoods” in the City’s 2050 General Plan and is zoned R-2 PAD. The project received broad-based approval from the public and City Council when approved in November 2023.

PURPOSE OF REQUEST

This unique rental community of medium density single-family homes and townhomes was well received by the surrounding neighborhood, City planning staff, Planning and Zoning Commission, and the City Council. The City Council approved the R-2 PAD zoning for the project on November 6, 2023. Due to the small community size of just 29 residential homes, the project did not require formal Design Review Board review and approval.

The residential enclave includes centralized amenities with a pool, alley-loaded garages, and attractive contemporary architecture. It is important to note that the quality of this project, which is now in its plan review phase, remains *unchanged* since City Council approval. The purpose of our amendment request pertains only to the minimum residential garage dimensions required.

Basically, the project was designed from its onset with a 19’wide x 20’ deep residential garage dimension that was discretely noted on the floor plans but not specifically shown or requested as a PAD development standard deviation at the time of rezoning.

MESA 2050 GENERAL PLAN AND THE “MISSING MIDDLE HOUSING” SOLUTION

The property is located within the General Plan’s “Neighborhoods” land use designation which allows for a broad range of residential density and housing types. Specifically, it notes this focus: “a neighborhood can contain a wide variety of housing options”. Further, the land use designation notes the RM-2 zoning category as a “primary” zoning district in the Neighborhood Character type, which allows for the approved detached single-family homes and attached townhomes. Our approved density is approximately 8.6 units per net acre and therefore in the range of generally anticipated densities for the RM-2 zoning district. The site’s unique adjacency to the Loop 202 Freeway and tall noise attenuation wall, drainage channel separation from the homes to the south, and 90th Street to the east buffers the homes and townhomes from adjacent land uses well. Please note that Table 7-4 of the General Plan, called “General Intensity 2040” indicates that the City anticipates this area will develop with a mid-intensity range due to its proximity to key transportation corridors and existing variety of somewhat denser housing types including neighborhoods of manufactured housing which tend to be denser than larger lot site-built residential developments.

The City’s General Plan specifically notes the need for “middle housing” throughout the City. This is best captured on page 4-12 of the General Plan: “The Missing Middle Housing”. The most salient points of this section are captured below as a reference when considering our project:

Sienna Ridge Townhomes

“Most residential development focuses on single-residence development at or below four units per acre or multi-residence development over 12 units per acre. In the middle is a housing type that is often overlooked that is important for young families and other middle-income workers...Key elements to ensure neighborhoods provide this type of housing in a quality way in the future include:

- **Evaluating and updating zoning code and subdivision requirements to ensure there are no hindrances to this type of housing.**
- **Ensuring that housing in this range includes associated amenities such as parks and open space, and that it is located in areas that have close access to a variety of transportation modes.**
- **Integration of these housing types into the larger neighborhood framework**
- **Ensuring the integration of a mix of housing options in each area of the city”**

Our amendment will have a negligible impact on the site’s development. The proposed garage dimensions are appropriately sized for a denser, mixed-housing development of detached and attached homes in a compact development pattern. The 2050 General Plan supports a variety of housing types, and our amendment seeks a minor adjustment in the development standard requirements for garages that is consistent with urban planning principles for compact residential development patterns, much the same as compact parking spaces in commercial centers. Current code requirements make sense for larger homes built on larger lots, but consideration should be provided for compact R-2 zoned designs like ours where garages are a feature of our infill project, rather than a requirement.

IMPACT OF DESIGN

Article 4, Chapter 32 11-32-4.F.2 of the Mesa Zoning Ordinance notes that “a double-car garage shall be at least 20 feet wide and 22 feet long. This is a fairly generous size for a residential garage that would be common in a typical new single-family home. Since Sienna Ridge is a more urban-style project with compact building footprints, we seek to provide a more standard size 19’ x 20’ design. At the time of the original PAD zoning case, we were not aware of the larger garage requirement otherwise we would have sought relief from this standard as part of the PAD.

In an effort to avoid having to amend the PAD for this request, we did take time to analyze the floor plans and project site plan, as approved by the City Council in case ZON23-00140, to determine if they could reasonably be modified to accommodate an additional 2’ of depth. Unfortunately, we found the first level floor plan would not be livable with a 2’ reduction in floor space as the dining room and kitchen would no longer have functional space for cooking and dining.

The project architect also verified that it would not be tenable for the project to simply lengthen all of the residential units by 2’ to accommodate deeper garages. The longer footprints of the homes would immediately have an adverse impact on perimeter building and landscape setbacks and impact project density. Any loss of units in this small residential project would render it unviable economically by driving up the cost of each unit proportionally to an unreasonable level. This, in turn, would have an adverse impact on the community by not bringing much needed “middle housing” for home seekers in the area.

The street scene for the project along 90th Street has remained unchanged since its approval, showing that the garages will not be seen nor contemplated by the surrounding community. The same quality that was embraced by the City Council in our original PAD approval has been maintained:

Sienna Ridge Townhomes

Street Scene:



The RM-2 PAD zoning development standards are shown below and modified in **BOLD** where the *new* deviation through the PAD is requested. As already described, we seek relief from just the one development standard as shown:

Development Standard	Allowed/Required	R-2 PAD Approved
		Proposed Amended
Maximum Density	15 DU/acre	8.6 DU/net acre
Minimum Lot Area/Unit	2904 SF	5,558 SF (161,172 SF/29 units)
Maximum Building Height	30'	30'
Maximum Lot Coverage	70%	<50%
Min. Yard -Freeway	30'	30'
Min. Yard - 90 th Street	25'	25'
Min. Yard – to RS-6 PAD on S.	25'	35'
Setbacks – Interior	0'	0' (between townhomes)
Setbacks – Between Buildings	30'	10' (between single-family homes)
Parking Req'd – 2.1 spaces per unit	61	58 garage spaces (2 car garage per unit), + 19 open guest parking spaces = 77 TTL
Double-Car Garage Min. Dimensions	20' wide, 22' deep	19'11" wide, 20' deep
Landscape Shade Coverage Area	50% of landscape area	60%
Private Open Space – Detached Units	400 SF per unit	740 SF per unit
Private Open Space – Attached Units	100 SF per Unit	233 SF per Unit
Landscape Setback to Loop 202	15'	0' (for select parking stalls and s/w)

JUSTIFICATION FOR RELIEF

The PAD for this project captures the uniqueness of this high-quality residential enclave. Sienna Ridge provides a 2-car attached garage in each rental home which is not a common feature in other rental home communities. Most “build-to-rent” projects often do not provide garages at all, rather they provide carport covered and uncovered parking spaces. Sienna Ridge stands out with this amenity for its residents.

Sienna Ridge provides community trash enclosures for commercial waste pick-up, so residents do not need to fit standard residential trash and recycle bins in their garages like many single-family neighborhoods. This reduces the pressure on resident garages from accommodating these extra items that can make parking vehicles more difficult. Without these bulky items in the garage, we can effectively manage a 19w'x 20d' garage dimension.

Sienna Ridge Townhomes

A typical encumbrance in many residential garages is the hot water heater. These are generally located in the corner of the garage, adjacent to the main wall of the house. For Sienna Ridge, we purposely moved the hot water heater to a location under the stairs to ensure our compact garage design would not be further impacted by the encumbrance of this appliance. This space-saving technique saves an approximately 2.5'x 2.5' area (30 inches square) in the corner of the garage.

In addition to every unit having its own garage, the 29 homes share an additional 19 guest parking spaces. This is sixteen extra spaces than what the code would normally require for this project. These extra spaces ensure that all residents and their guests will have ample parking available to them. Also, in the event that a resident has an oversized vehicle that does not fit in their garage, they may utilize one of the many guest parking spaces in the project.

The development team also wants to ensure it is clearly conveyed that although marginally smaller than the City's code standard, our proposed garage will still accommodate nearly all typical passenger vehicles and light trucks. The 19'x20' size can still accommodate large vehicles, including full-size SUVs like a Ford Expedition (17'5" long) or full-size trucks like a Ford F-150 Super Cab (19'3" long).

SUMMARY

The Sienna Ridge PAD community of 29 single family homes and town homes seeks a minor deviation from the residential garage dimension requirements to be a successful project. Fortunately, the PAD provides clear support and justification for the request by providing ample additional parking and commercial trash pick-up. We seek the City's approval for our request and look forward to bringing this beautiful community to fruition.



	REQUIRED	PROVIDED
PERIMETER LANDSCAPE PER 11-33-3 MESA Z/O PUBLIC RESIDENTIAL STREET - U DESIGNATE 1 TREE 4 SHRUBS PER 25 FEET OF STREET FRONTAGE 25% OF TREES SHALL BE 36" OR LARGER 50% OF TREES SHALL BE 24" BOX	25.2 TREES / 100.8 SHRUBS 36" BOX TREES = 6.3 TREES 24" BOX TREES = 12.6 TREES	90TH STREET: 630' 27 TREES PROVIDED 195 SHRUBS PROVIDED 36" BOX TREES = 9 TREES 24" BOX TREES = 18 TREES
SHADE COVERAGE AREA FOR PEDESTRIAN WALKWAYS PER 11-6-3 MESA Z/O - 50% OF 5+ PEDESTRIAN WALKWAYS TO HAVE SHADE COVERAGE	3,140 S.F. / 2 = 1,567 S.F. OF SHADE COVERAGE REQUIRED	9 X 130 S.F. = 1,170 SF OF SHADE 11 X 60 S.F. = 660 SF OF SHADE 1,830 S.F. OF SHADE COVERAGE PROVIDED
SHADE COVERAGE AREA	50% OF LS AREA	60% COVERAGE
INTERIOR PARKING LANDSCAPE PER 11-33-4 MESA Z/O: 1 TREE / 6 SHRUBS FOR EVERY 8 PARKING SPACES	19 SPACES 2.3 TREES / 14 SHRUBS	6 TREES / 42 SHRUBS PROVIDED
FOUNDATION LANDSCAPE PER 11-33-5 MESA Z/O* 1 TREE / 50 L.F. BUILDING FACE 10% OF TREE SHALL BE 36" BOX OR LARGER	43.4 TREES 36" BOX OR LARGER = 4.34 TREES	2,170 FT BUILDING EDGE = 43 TREES 48 TREES PROVIDED WITHIN 30'-0" OF EXTERIOR WALL 36" BOX TREES = 8 TREE
PRIVATE OPEN SPACE PER 11-59-7 MESA Z/O MIN 400 S.F. OF OPEN SPACE PER UNIT	11 UNITS X 400 S.F. = 4,400 S.F.	740 S.F. PROVIDED FOR EACH UNIT, 8,140 S.F. PROVIDED
PRIVATE OPEN SPACE PER 11-59-9 MESA Z/O MIN 100 S.F. OF OPEN SPACE PER UNIT	18 UNITS X 100 S.F. = 1,800 S.F.	233 S.F. PROVIDED FOR EACH UNIT, 2,330 S.F TOTAL

IPLAN CONSULTING
3317 S. HIGLEY ROAD
GILBERT, AZ 85297
JASON SANKS
(602) 326-0581
JASON@IPLANCONSULTING.COM

HARRINGTON PLANNING + DESIGN (HP+D)
4711 E. FALCON DRIVE, SUITE 222
MESA, AZ 85215
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

E. MAIN ST.

202
FREEWAY

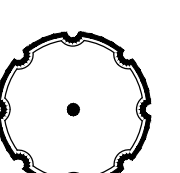
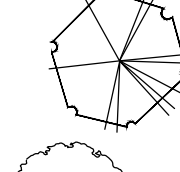
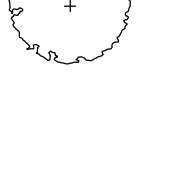
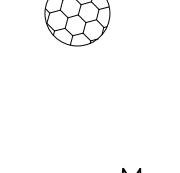
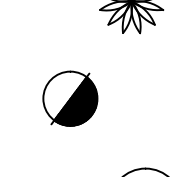
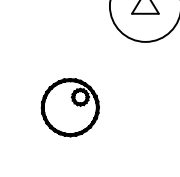



PROJECT
AREA

S. ELLSWORTH RD.

E. BROADWAY RD.

NORTH
N.T.S.

PLANTING MATERIAL LEGEND

	TREES	SIZE	NOTES	QTY
	Acacia salicina	36" Box		23
	Willow Leaf Acacia		*ADWR	
	Caliper Size: 2.0"			
	Chitalpa tashkentensis	24" Box		34
	Chitalpa		*ADWR	
	Caliper Size: 1.5"			
	Acacia aneura	24" Box		27
	Mulga		*ADWR	
	Caliper Size: 1.5"			
	GROUNDCOVERS			QTY
	Lantana montevidensis	5 Gallon		223
	Trailing Lantana 'gold'	can full	*ADWR	
	SHRUBS / ACCENTS			QTY
	Aloe x 'Blue Elf'	5 Gallon		46
	Blue Elf Aloe	can full	*ADWR	
	Leucophyllum frutescens	5 Gallon		76
	Texas Sage	can full	*ADWR	
	Russelia equisetiformis	5 Gallon		133
	Coral Fountain	can full	*ADWR	
	Muhlenbergia rigida 'Nashville'	5 Gallon		130
	Nashville Muhly Grass	can full	*ADWR	
	LANDSCAPE MATERIALS			
	Decomposed Granite. 1/2" screened "Painted Desert", 2" deep in planting areas per plan.			64,720 S.F.

*ADWR = Arizona Department of Water Resources
Approved Low-Water Use Plant

SIENNA RIDGE MULTI-FAMILY

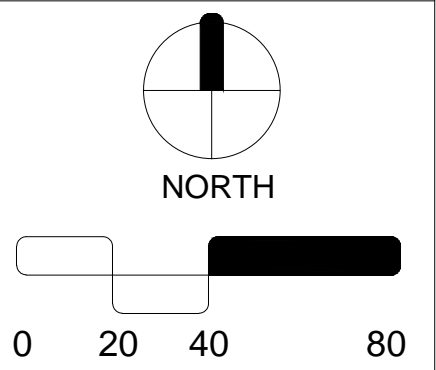
90th Street and the 202 Freeway
Mesa, Arizona 85208

REV.	COMMENT	DATE

Preliminary Re-submittal	06.10.23
Preliminary Re-submittal	05.17.23
Preliminary Submittal	02.08.23
ISSUE	DATE

LANDSCAPE PACKAGE

July 10, 2023	
DRAWN BY:	BZS
CHECK BY:	JEH
PROJ. NO.:	2022-065
CASE NO.:	TBD

PRELIMINARY
LANDSCAPE PLAN

L1.1

DATE: 8/14/23 D:\DROBOX\WATSON_ENGINEERING\22215_SIENNA\WORKING FILES\22215-C-BASE.DWG

SIENNA RIDGE PRELIMINARY IMPROVEMENT PLANS

A PART OF THE SOUTHEAST QUARTER OF SECTION 21 T1N, R7E, G.&S.R.B.M., MARICOPA COUNTY, ARIZONA

CITY OF MESA GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT (480) 644-4273 OR AT [HTTP://WWW.MESAAZ.GOV/DEVSUSTAIN/CONSTRUCTIONPERMITS.ASPX](http://www.mesaz.gov/devsustain/constructionpermits.aspx). THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
- TWENTY-FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTED SHALL NOTIFY CITY OF MESA ENGINEERING DEPARTMENT AT 644-2251 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR (CITY INSPECTOR). FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
- CONTRACTOR'S SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
- THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
- THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
- THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN CORRECTLY PLOTTED/SHOWN.
- THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE CITY'S ENGINEERING DEPARTMENT.
- THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATIONS BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
- THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
- THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
- THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL 263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
- WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
- CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
- IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
- IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE CITY INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. UNLESS OTHERWISE APPROVED BY THE CITY, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES AND SYSTEMS AS A RESULT OF CONTRACTOR'S ACTIVITIES SHALL BE BORNE BY THE CONTRACTOR.

CITY OF MESA STORM WATER DRAINAGE & RETENTION NOTES

THE FOLLOWING NOTE(S) ARE REQUIRED WHENEVER A PRIVATE LAND DEVELOPMENT PROJECT IS REQUIRED TO PROVIDE RETENTION OF STORM WATER. THESE NOTES ARE IN ADDITION TO THE GENERAL REQUIREMENTS NOTES.

- THE ENGINEER, OR LAND SURVEYOR SHALL CERTIFY THAT THE REQUIRED STORM WATER RETENTION HAS BEEN PROVIDED. THE CERTIFICATION SHALL ALSO INDICATE THE ACTUAL VOLUME PROVIDED. SUCH CERTIFICATION SHALL BE PROVIDED TO THE DEVELOPMENT SERVICES DEPARTMENT WHEN THE RETENTION AREA IS TO REMAIN PRIVATE PROPERTY AND TO THE ENGINEERING DEPARTMENT WHEN THE RETENTION AREA IS TO BECOME CITY OF MESA PROPERTY.
- ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN WATER IN A 36HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL-SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL. IN ACCORDANCE WITH ARIZONA REVISED STATUTES, DRYWELLS ARE REQUIRED TO BE REGISTERED WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ). IT IS THE OWNER'S RESPONSIBILITY TO REGISTER ALL DRYWELLS. AN AQUIFER PROTECTION PERMIT MAY BE REQUIRED BY ADEQ FOR DRYWELLS DEEMED TO BE HAZARDOUS TO GROUNDWATER.

ENGINEER'S GENERAL NOTES

- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THESE PLANS AND THE LATEST VERSION OF THE CITY OF MESA SUPPLEMENTAL STANDARD SPECIFICATIONS AND DETAILS. IF THERE IS A CONFLICT, THESE PLANS AND THEN THE JURISDICTION'S SUPPLEMENTS SHALL GOVERN.
- UNLESS SPECIFICALLY NOTED ON THESE PLANS OR OTHERWISE REQUIRED BY THE CITY OF MESA, ONSITE WORK FOR COMMERCIAL PROJECTS SHALL CONFORM TO THE LATEST VERSION OF THE INTERNATIONAL BUILDING CODE (IBC) AND INTERNATIONAL PLUMBING CODE (IPC) AS APPLICABLE.
- UNLESS SPECIFICALLY NOTED ON THESE PLANS OR OTHERWISE REQUIRED BY THE CITY OF MESA, ONSITE WORK FOR RESIDENTIAL PROJECTS SHALL CONFORM TO THE LATEST INTERNATIONAL RESIDENTIAL CODE (IRC) AS APPLICABLE.
- ANY WORK PERFORMED WITHOUT APPROVAL OF THE CITY OF MESA OR AFFECTED UTILITY COMPANY AND/OR ALL WORK AND MATERIAL NOT IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

PROPERTY OWNER

5228 S BLACKSTONE LLC
P.O. BOX 4807
OAK BROOK, IL 60522
CONTACT: JASON SANKS
PHONE: 602-326-0581
EMAIL: Jason@planconsulting.com

ENGINEER

JOEL WATSON, P.E.
WATSON CIVIL ENGINEERING
3746 E OMEGA CIRCLE
MESA, AZ 85215
PHONE: 480.330.0803
EMAIL: joelwatson@watsoncivilengineering.com

SURVEYOR

LAND SURVEY SERVICES PLC
20651 W. PASADENA AVE
BUCKEYE, AZ 85396-1255
PHONE: 602-703-7010

DATE OF FIELD SURVEY

AUGUST 2020

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION TWENTY-ONE (21), TOWNSHIP ONE (1) NORTH, RANGE SEVEN (7) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 21, ALSO KNOWN AS THE CENTER OF SAID SECTION 21; THENCE NORTH 89° 56' 58" EAST, 165.82 FEET, ALONG THE EAST-WEST CENTER SECTION LINE OF SAID SECTION 21, TO THE NORTHEAST CORNER OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST OF THE NORTHWEST QUARTER OF THE SOUTHEAST OF SAID SECTION 21, SAID POINT BEING THE POINT OF BEGINNING;
THENCE CONTINUING NORTH 89° 56' 58" EAST 1159.31 FEET, ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 21 TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21;
THENCE SOUTH 00° 03' 03" WEST, 1320.20 FEET, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21, TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21;
THENCE SOUTH 89° 56' 44" WEST, 1325.18 FEET ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21, TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21;
THENCE NORTH 00° 03' 44" EAST, 660.18 FEET, ALONG THE NORTH-SOUTH CENTER SECTION LINE OF SAID SECTION 21, TO THE SOUTHWEST CORNER OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST OF THE SOUTHEAST QUARTER OF SAID SECTION 21;
THENCE NORTH 89° 56' 51" EAST, 165.63 FEET, TO THE SOUTHEAST CORNER OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21;
THENCE NORTH 00° 03' 39" EAST, 660.14 FEET TO THE POINT OF BEGINNING.

BASIS OF BEARING

THE BASIS OF BEARINGS SHOWN HEREON IS THE EAST-WEST MID-SECTION LINE OF SEACTION 21, T1N, R7E, BEING NORTH 89° 58' 48" EAST AS TAKEN FROM ADOT RESULTS OF SURVEY IN BOOK 513 OF MAPS, PAGE 16.

PROTECTION OF EXISTING UTILITIES

- CONTRACTOR SHALL COMPLETE AN ARIZONA 811 TICKET AND OR CALL THE BLUE STAKE CENTER 602-263-1100, TWO WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
- EXISTING UTILITIES AND IMPROVEMENTS NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED IN PLACE. ANY DAMAGES TO EXISTING UTILITIES AND FACILITIES WHETHER THEY ARE SHOWN ON THE PLANS OR NOT, WILL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACTING ENTITY. REFER TO MAG STANDARD SPECIFICATION SECTION 601.
- CONTRACTOR SHALL ENSURE THAT ALL UTILITIES ARE MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL REVIEW THE SCOPE OF WORK ON THE PLANS AND NOTIFY THE ENGINEER IMMEDIATELY CONCERNING POSSIBLE CONFLICTS WITH EXISTING UTILITIES.
- LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES WITHIN THE AREA OF WORK PRIOR TO THE START OF GROUND DISTURBING ACTIVITIES.

PROJECT DESCRIPTION

GRADING AND DRAINAGE PLAN FOR A NEW MULTI FAMILY DEVELOPMENT.

SHEET INDEX

- | | | |
|---|----|--|
| 1 | C1 | PRELIMINARY COVER SHEET AND NOTES |
| 2 | C2 | PRELIMINARY GRADING AND DRAINAGE PLAN |
| 3 | C3 | PRELIMINARY FIRE, WATER AND SEWER PLAN |
| 4 | C4 | SECTIONS |

SITE INFORMATION

APN: 218-41-278D
ZONING: RS-43
ADDRESS: N/A
TOTAL AREA: 166,804 SF SQUARE FEET (±3.8293 ACRES)
TOTAL DISTURBED AREA: 153,751 S.F. (3.52 ACRES)

EARTHWORK

RAW CUT = 1,581 C.Y.
RAW FILL = 4,339 C.Y.

NET EXPORT = 2,821 C.Y.

FLOODPLAIN DESIGNATION

CURRENT FLOOD ZONE IS "ZONE X" (AREA OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WIDTH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD); PER FIRM MAP NO. 04013C2295L, DATED OCTOBER 16, 2013.

BENCHMARK

NAIL AND BRASS TAG IN TOP OF WEST MEDIAN CURB, SOUTH END, AT THE INTERSECTION OF APACHE BOULEVARD (MAIN STREET) AND ELLSWORTH ROAD.

ELEVATION = 1530.02 FEET (CITY OF MESA NAVD 88 DATUM)

TEMPORARY BENCHMARK

PROJECT B.M.: BRASS CAP FLUSH AT THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY, CENTERLINE OF 90TH STREET.

ELEVATION = 1505.48 FEET

OUTDOOR LIGHTING NOTE

OUTDOOR LIGHTING SHIELDING SHALL CONFORM WITH MARICOPA COUNTY ZONING ORDINANCE ARTICLE 1112.4.2.

FINISH FLOOR CERTIFICATION

FINISHED FLOORS ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

STANDARDS

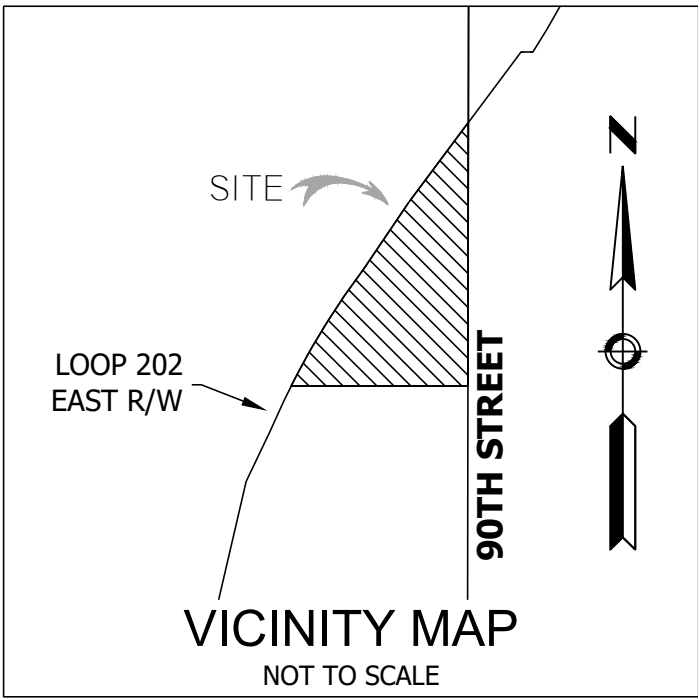
- MAG STANDARD SPECIFICATIONS AND DETAILS, 2020 EDITION.

GENERAL SURVEY NOTES

- THIS SURVEY IS BASED UPON A TITLE COMMITMENT PREPARED BY GRAND CANYON TITLE AGENCY, ORDER NO. 75000156-075-SC4-LER, AMENDMENT NO. 3 DATED MARCH 1, 2022.
- THE SURVEYOR HAS RELIED ON SAID TITLE COMMITMENT TO DISCLOSE ALL MATTERS OF RECORD AFFECTING THE SUBJECT PROPERTY. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER MATTERS THAT MAY AFFECT THE PROPERTY.
- THIS PROPERTY IS ZONED RS-43 BY THE CITY OF MESA.
- THERE ARE NO BUILDINGS ON THIS PROPERTY.

ABBREVIATIONS

AC	ASPHALT CONCRETE, ACRE
ACP	ASPHALT CONCRETE PAVEMENT
APN	ASSESSOR'S PARCEL NUMBER
BCHH	BRASS CAP IN HANDHOLE
BFE	BASE FLOOD ELEVATION
BLDG	BUILDING
BOC	BACK OF CURB
BOW	FINISHED GROUND AT BASE OF WALL
BSL	BUILDING SETBACK LINE
BTM	BOTTOM (ELEVATION)
C/L	CENTERLINE
CLR	CLEAR
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE BLOCK
CONT	CONTINUOUS
COR	CORNER
D/W	DRIVEWAY
DKT	DOCKET
E	EAST, EASTING
EL, ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GROUND
FH	FIRE HYDRANT
FND	FOUND
FOC	FACE OF CURB
FT³	CUBIC FEET
G	GUTTER
GB	GRADE BREAK
HP	HIGH POINT
HW	HIGH WATER
HWSE	HIGH WATER SURFACE ELEVATION
INV	INVERT
LP	LOW POINT, LIQUID PROPANE
LSE	LANDSCAPE EASEMENT
MAS	MASONRY
N	NORTH, NORTHING
NIC	NOT IN CONTRACT (NOT A PART OF THE WORK)
NTS	NOT TO SCALE
OC	ON CENTER
P	PAVEMENT
PCC	PORTLAND CEMENT CONCRETE
P/L	PROPERTY LINE
PCR	PINAL COUNTY RECORDER
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS, RANGE
R/W, ROW	RIGHT OF WAY
RJ	RESTRAINED JOINT
S	SLOPE, SOUTH
SF	SQUARE FEET
SS	SANITARY SEWER
SW, S/W	SIDEWALK, SWALE
T	TELEPHONE, TOWNSHIP
TBM	TEMPORARY BENCHMARK
TCE	TEMPORARY CONSTRUCTION EASEMENT
TDE	TEMPORARY DRAINAGE EASEMENT
TEMP	TEMPORARY
TF	TOP OF FOOTING
TRW	TOP OF RETAINING WALL
TW	TOP OF WALL
TYP	TYPICAL
VC&G	VERTICAL CURB AND GUTTER
Vp	VOLUME PROVIDED
Vr	VOLUME REQUIRED
VNAE	VEHICLE NON-ACCESS EASEMENT
W	WATER, WEST
WSE	WATER SURFACE ELEVATION
WWW	WELDED WIRE MESH



EXISTING LEGEND

	SECTION CORNER
	BRASS CAP
	MONUMENT AS NOTED
	A.D.O.T. ALUMINUM CAP
	SANITARY SEWER MANHOLE
	SIGN
	SCHEDULE B ITEM NO.
	CALCULATED
	MEASURED
	RECORD
	BOUND BARRIER WALL
	PROPERTY LINE
	EASEMENT LINE
	OVERHEAD ELECTRIC
	SANITARY SEWER LINE
	WATER LINE
	COMMUNICATION LINE

PROPOSED LEGEND

	LIMITS OF GRADING
	MAJOR CONTOUR
	MINOR CONTOUR
	SWALE
	WATERLINE
	SEWERLINE
	WATER METER
	SEWER MANHOLE
	SEWER CLEANOUT
	GRADE DIRECTION
	SLOPE DIRECTION

NO.	REVISION	DATE
1		
<div>PRELIMINARY NOT FOR CONSTRUCTION 08/14/2023</div> <div>WATSON CIVIL ENGINEERING www.watsoncivilengineering.com SIENNA RIDGE PRELIMINARY IMPROVEMENT PLANS APN: 218-41-278D NO ADDRESS MESA, AZ 85208 MARICOPA COUNTY, ARIZONA</div>		
COVER SHEET AND NOTES		
WCE PROJECT NO: 22215	DESIGNED BY: SRC	SHEET 1 OF 4
		DRAWING C1



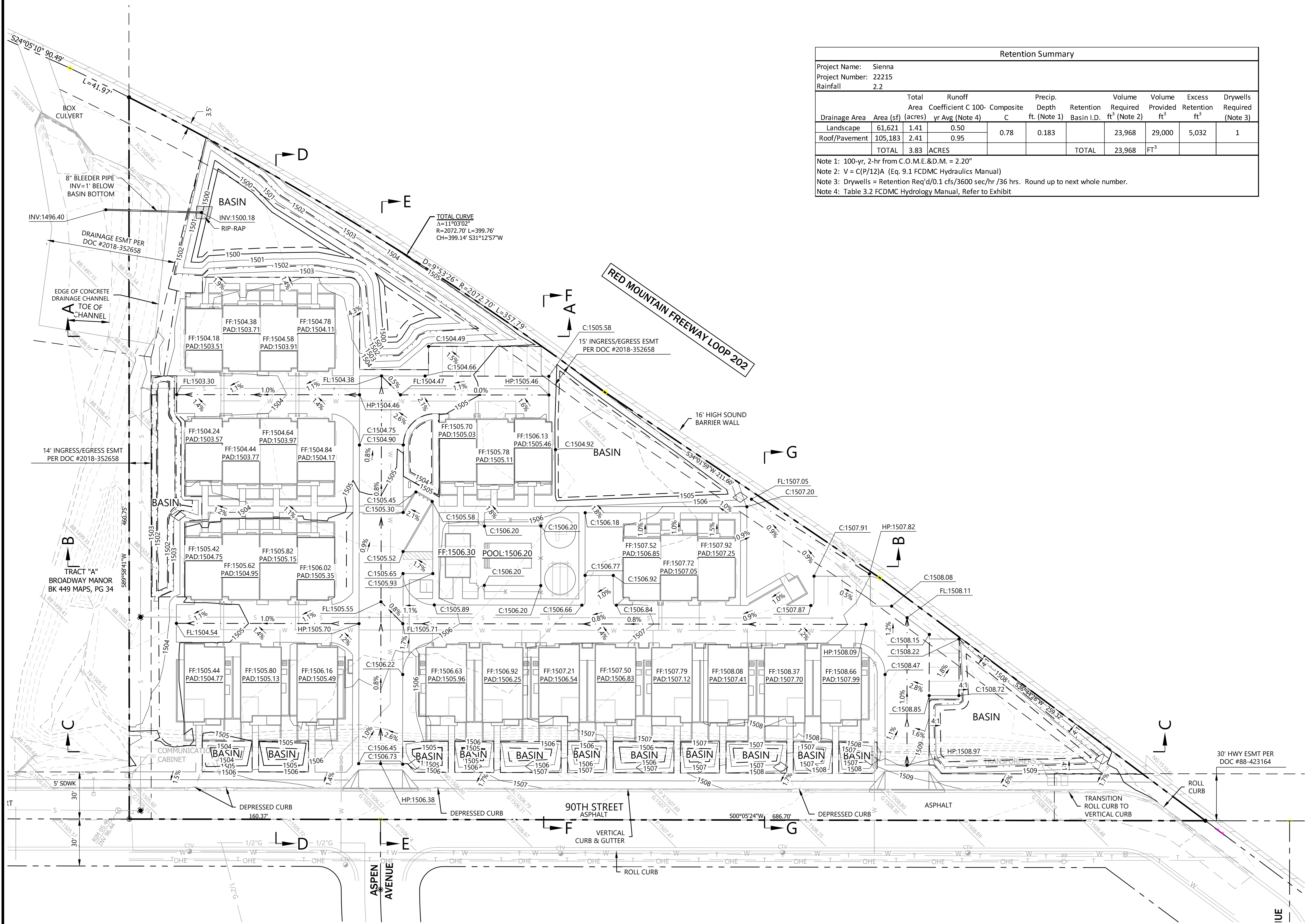
SCALE: 1" = 30'
ONE INCH AT FULL SCALE



BENCHMARK:
NAIL AND BRASS TAG IN TOP OF WEST MEDIAN CURB,
SOUTH END, AT THE INTERSECTION OF APACHE BOULEVARD
(MAIN STREET) AND ELLSWORTH ROAD.
ELEVATION = 1530.02 FEET (CITY OF MESA NAVD 88
DATUM)

Retention Summary											
Project Name:		Sienna									
Project Number:		22215									
Rainfall		2.2									
Drainage Area	Area (sf)	Total Area (acres)	Runoff Coefficient C	100-yr Avg (Note 4)	Composite C	Precip. Depth (Note 1)	Retention Basin I.D.	Volume Required ft³ (Note 2)	Volume Provided ft³	Excess Retention ft³	Drywells Required (Note 3)
Landscape	61,621	1.41	0.78	0.50	0.183			23,968	29,000	5,032	1
Roof/Pavement	105,183	2.41		0.95							
TOTAL		3.83		ACRES							
Note 1: 100-yr, 2-hr from C.O.M.E. & D.M. = 2.20"											
Note 2: $V = C(P/12)A$ (Eq. 9.1 FCDMC Hydraulics Manual)											
Note 3: Drywells = Retention Req'd/0.1 cfs/3600 sec/hr/36 hrs. Round up to next whole number.											
Note 4: Table 3.2 FCDMC Hydrology Manual, Refer to Exhibit											

DATE: 8/14/23 D:\DROPOBOX\WATSON ENGINEERING\22215 SIENNA\WORKING FILES\22215-C-BASE.DWG



NO.	REVISION	DATE
1		

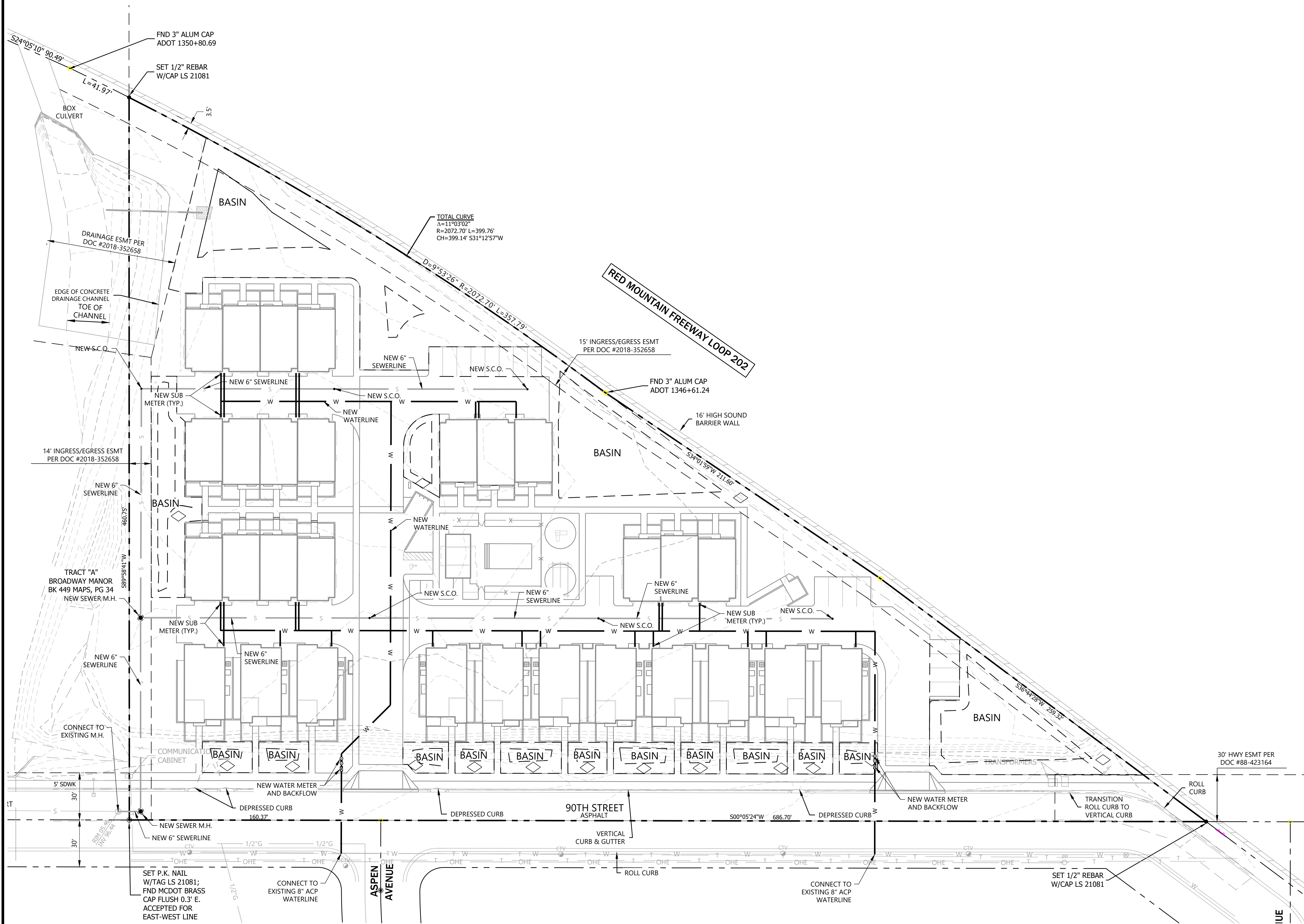
PRELIMINARY NOT FOR CONSTRUCTION 08/14/2023	WATSON CIVIL ENGINEERING www.watsoncivilengineering.com		
	SIENNA RIDGE PRELIMINARY IMPROVEMENT PLANS APN: 218-41-278D NO ADDRESS MESA, AZ 85208 MARICOPA COUNTY, ARIZONA		
	GRADING AND DRAINAGE PLAN		
WCE PROJECT NO: 22215	DESIGNED BY: SRC	SHEET 2 OF 4	DRAWING C2

DATE: 8/14/23 D:\DROPOBOX\WATSON\ENGINEERING\22215 SIENNA WORKING FILES\22215-C-BASE.DWG

SCALE: 1" = 30'
ONE INCH AT FULL SCALE



BENCHMARK:
NAIL AND BRASS TAG IN TOP OF WEST MEDIAN CURB,
SOUTH END, AT THE INTERSECTION OF APACHE BOULEVARD
(MAIN STREET) AND ELLSWORTH ROAD.
ELEVATION = 1530.02 FEET (CITY OF MESA NAVD 88
DATUM)

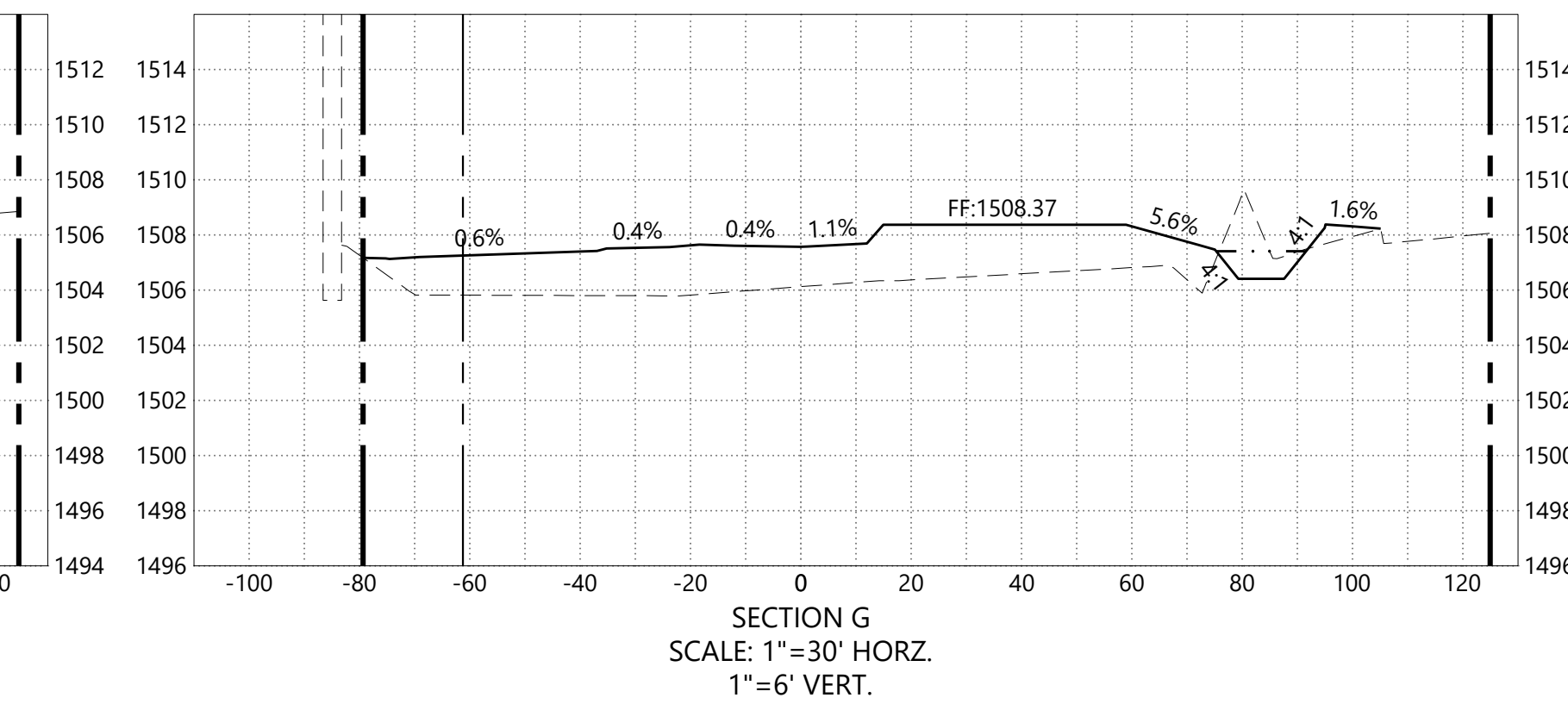
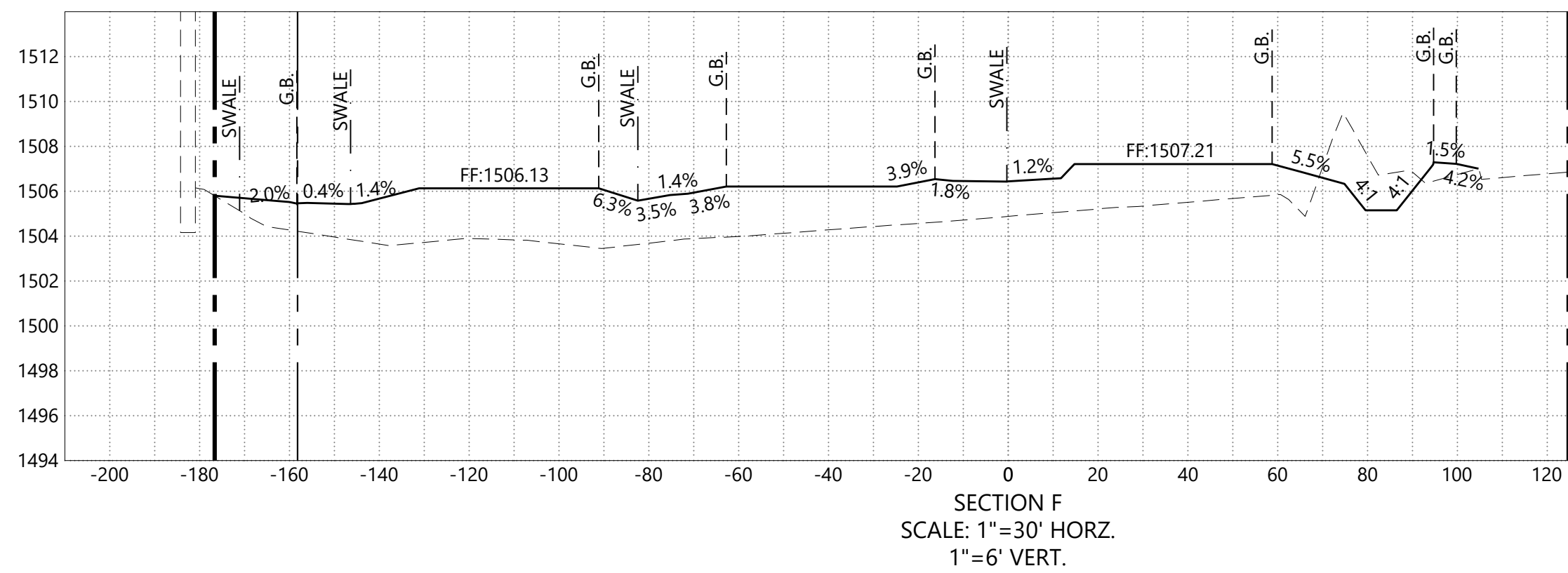
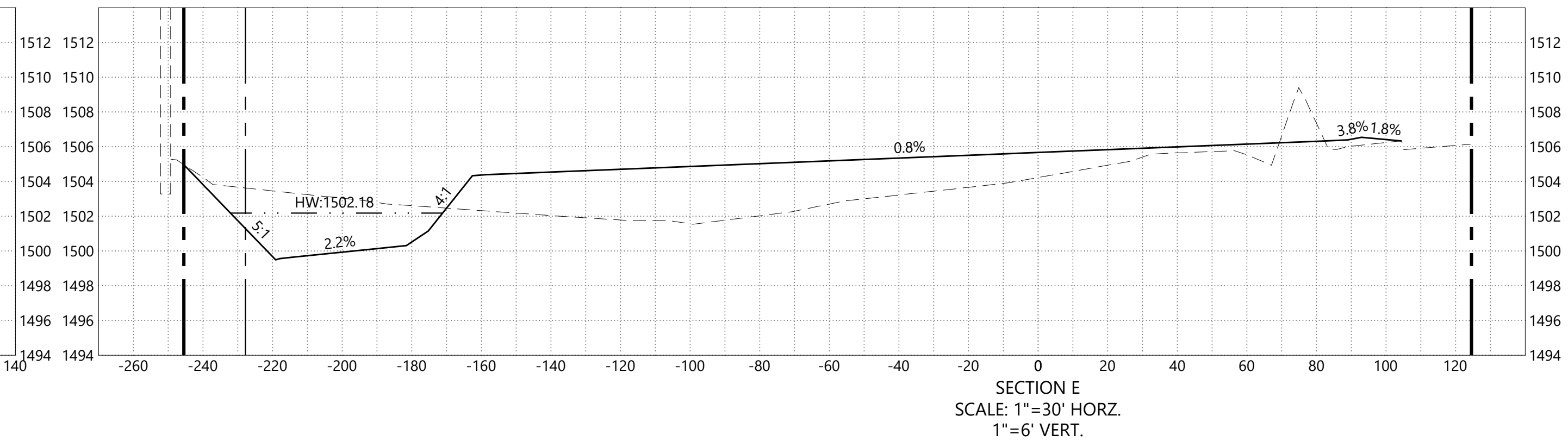
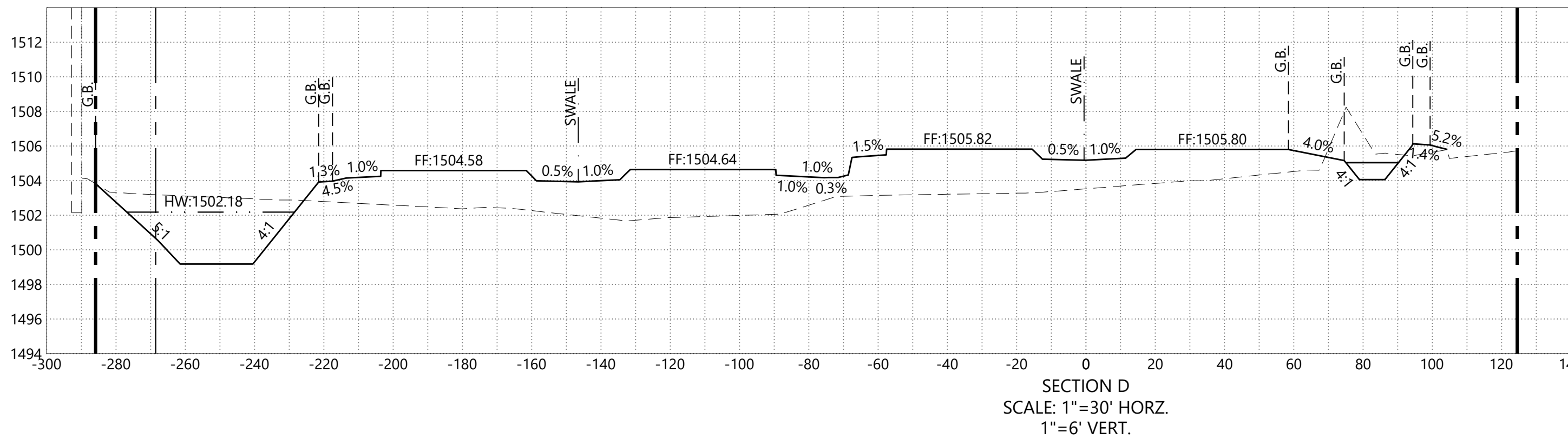
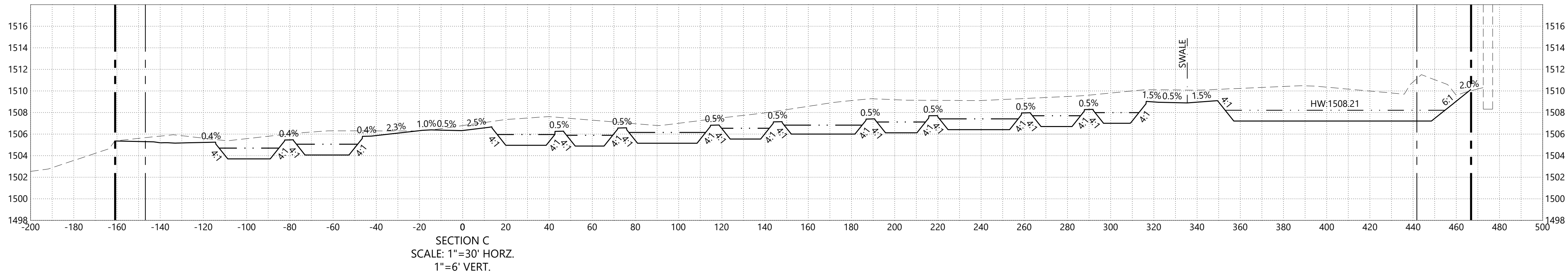
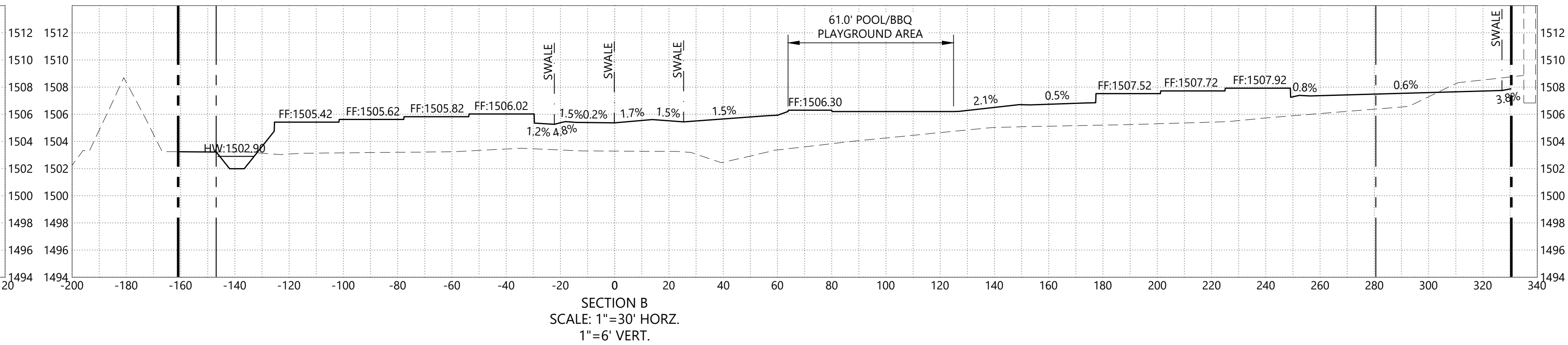
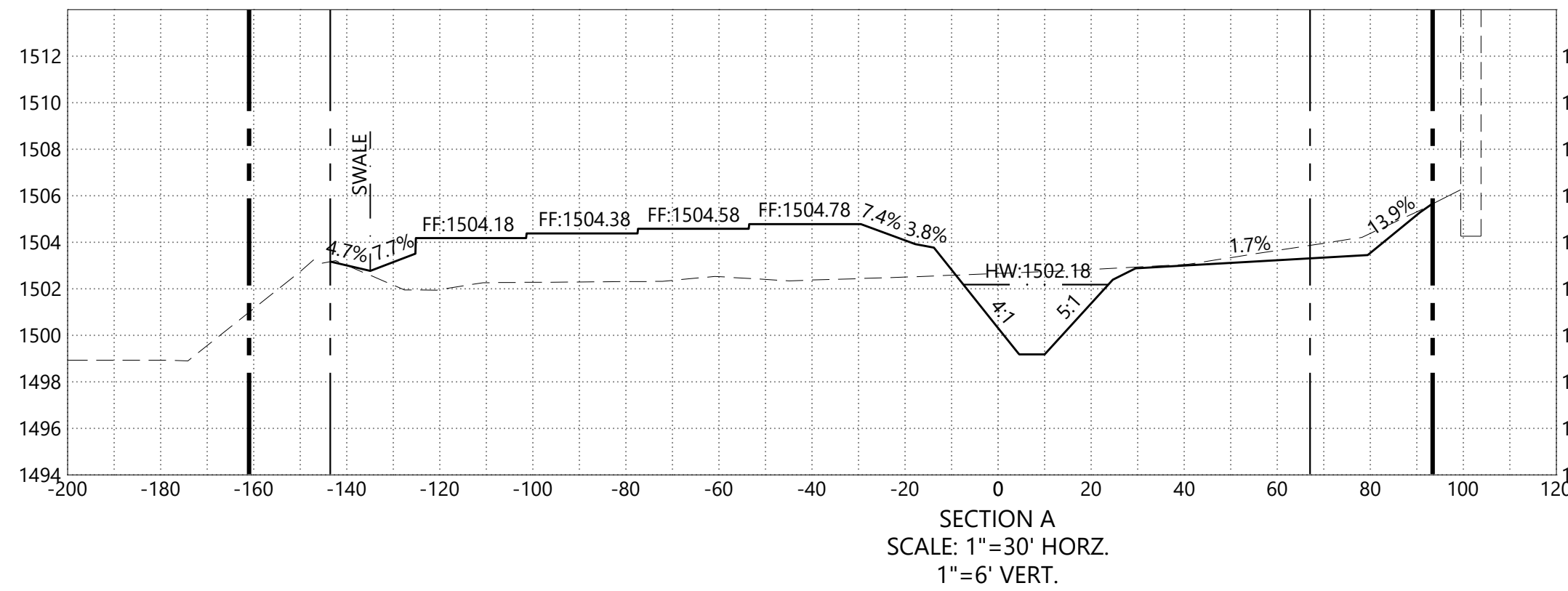


NO.		REVISION	DATE
1			
PRELIMINARY NOT FOR CONSTRUCTION 08/14/2023		WATSON CIVIL ENGINEERING www.watsoncivilengineering.com	
		SIENNA RIDGE PRELIMINARY IMPROVEMENT PLANS APN: 218-41-278D NO ADDRESS MESA, AZ 85208 MARICOPA COUNTY, ARIZONA	
		FIRE, SEWER AND WATER PLAN	
WCE PROJECT NO: 22215		DESIGNED BY: SRC	SHEET 3 OF 4 DRAWING C3

DATE: 8/14/23 D:\DROPOBOX\WATSON ENGINEERING\22215 SIENNA WORKING FILES\22215-C-BASE.DWG

SCALE: PER PLAN
ONE INCH AT FULL SCALE

BENCHMARK:
NAIL AND BRASS TAG IN TOP OF WEST MEDIAN CURB,
SOUTH END, AT THE INTERSECTION OF APACHE BOULEVARD
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NO.	REVISION	DATE
1		

PRELIMINARY NOT FOR CONSTRUCTION 08/14/2023	WATSON CIVIL ENGINEERING www.watsoncivilengineering.com
	SIENNA RIDGE PRELIMINARY IMPROVEMENT PLANS APN: 218-41-278D NO ADDRESS MESA, AZ 85208 MARICOPA COUNTY, ARIZONA
	SECTIONS

WCE PROJECT NO: 22215	DESIGNED BY: SRC	SHEET 4 OF 4	DRAWING C4
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2158 E. Virginia Street
Mesa, AZ 85213
(480) 330-7192
david@adgibsonarchitects.com

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SIENNA RIDGE

PROJECT
29 SINGLE FAMILY DETACHED
& ATTACHED LUXURY HOMES

OWNER
SILVERADO DEVELOPMENT INC.

DRAWN BY
DG

ISSUE
8/11/23

RE-ISSUE
MM.DD.YY

DESCRIPTION
PRELIMINARY
BUILDING
MATERIALS

PERCENTAGES OF MATERIALS USED ON EXTERIOR WALLS:
MATERIAL SURFACE AREA INCLUDING STUCCO AND SCORED STUCCO = 3,328 S.F.
MATERIAL SURFACE AREA INCLUDING BOARD & BATTEN = 777 S.F.
777 S.F./3,328 S.F. = 24% BOARD & BATTEN
100% -24% = 76 % STUCCO

DETACHED HOUSING
FRONT ELEVATIONS

A0.1



A. David
Gibson
ARCHITECT,
LLC

2158 E. Virginia Street
Mesa, AZ 85213
(480) 330-7192
david@adgibsonarchitects.com

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DRAWN BY
DG

ISSUE
8/11/23

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MATERIAL SURFACE AREA INCLUDING BOARD & BATTEN = 777 S.F.
777 S.F./3,328 S.F. = 24% BOARD & BATTEN
100% -24% = 76 % STUCCO

DETACHED HOUSING
REAR ELEVATIONS



METAL SHADE AROUND WINDOW

CONTRAST COLOR STUCCO



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Mesa, AZ 85213
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SIENNA RIDGE

PROJECT
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& ATTACHED LUXURY HOMES

OWNER
SILVERADO DEVELOPMENT INC.

DRAWN BY
DG

ISSUE
8/11/23

RE-ISSUE
MM.DD.YY

DESCRIPTION
PRELIMINARY
BUILDING
MATERIALS

PERCENTAGES OF MATERIALS USED ON EXTERIOR WALLS:
MATERIAL SURFACE AREA INCLUDING STUCCO AND SCORED STUCCO = 4,088 S.F.
MATERIAL SURFACE AREA INCLUDING BOARD & BATTEN = 1,303 S.F.
1,303 S.F./4,088 S.F. = 31% BOARD & BATTEN
100% - 31% = 69 % STUCCO

ATTACHED HOUSING
REAR ELEVATIONS

A0.3



2158 E. Virginia Street
Mesa, AZ 85213
(480) 330-7192
david@adgibsonarchitects.com

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SIENNA RIDGE

PROJECT
29 SINGLE FAMILY DETACHED
& ATTACHED LUXURY HOMES

OWNER
SILVERADO DEVELOPMENT INC.

DRAWN BY
DG

ISSUE
8/11/23

RE-ISSUE
MM.DD.YY

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100% - 31% = 69 % STUCCO

ATTACHED HOUSING
FRONT ELEVATIONS

A0.4

Sienna Ridge

A Single-Family Home and Townhome Community ZON23-00140 PAD Amendment Citizen Participation Plan



**Request to Amend the Development Standard for Residential Garage Dimensions
for the RM-2 PAD Zoned Parcel on Approximately 3.7 Acres**

**Generally located east of the Loop 202 Freeway, at the NWC and SWC of E. Aspen
Avenue and South 90th Street**

**SUBMITTED TO:
City of Mesa Planning Division**

**PREPARED BY:
Iplan Consulting**

**CC Approved: November 2023
Amendment Submitted: April 2025**



PURPOSE

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, and businesses in the area of the proposed amendment to the Sienna Ridge PAD through case number ZON23-00140. Iplan Consulting, on behalf of 5228 S. Blackstone LLC, presents these groups a request to amend the minimum residential garage dimensions for the project to be a minimum of 19' wide and 20' deep whereas the standard minimum requirements are 20' x 22'.

The plan has been prepared to clearly outline the applicant's intent to inform the community about the details and schedule surrounding the development schedule for the proposed residences. This plan will ensure that those who may have a concern about the proposal have an adequate opportunity to learn about the project and provide comments back to the developer and the City.

Over the course of the plan, it is anticipated that comments will be received via email, phone, and letter to either the developer or the city. Those will be carefully collected and tracked and provided in the form of a final Citizen Participation Report which is due to the City a minimum of 10 days prior to the PZ public hearing.

Due to the very limited nature of this request, the City determined that a Neighborhood Meeting for the proposed amendment was not necessary as there would be virtually no impact on surrounding properties.

PZ public hearing notices (approximately 103) will be dropped off at the City to be mailed (DATE), and any inquiries resulting from these notices will be added to the report and submitted to the City of Mesa for the public record.

The Citizen Participation Plan for this project can be summarized as follows:

- 1) Coordination and information sharing with District 5 Councilmember Alicia Goforth.
- 2) DATE TBD - Notice of Public Hearings were prepared by the applicant, but sent by City staff, to all property owners within 500' of subject property. The letters were prepared following the City's preferred format from the Citizen Participation Plan guide provided and dropped off to City Staff on (DATE) in advance of the (DATE) deadline.

One public hearing sign was placed on the property per the City's adopted sign template on (DATE). An affidavit of public posting and hearing sign photos were provided to the City by the (DATE) deadline. The PZ hearing date is scheduled for (DAY/DATE/TIME) in City Council Chambers.

The CC dates for the project are projected to be in (MONTH) and (MONTH) with

Sienna Ridge Townhomes

Iplan Consulting



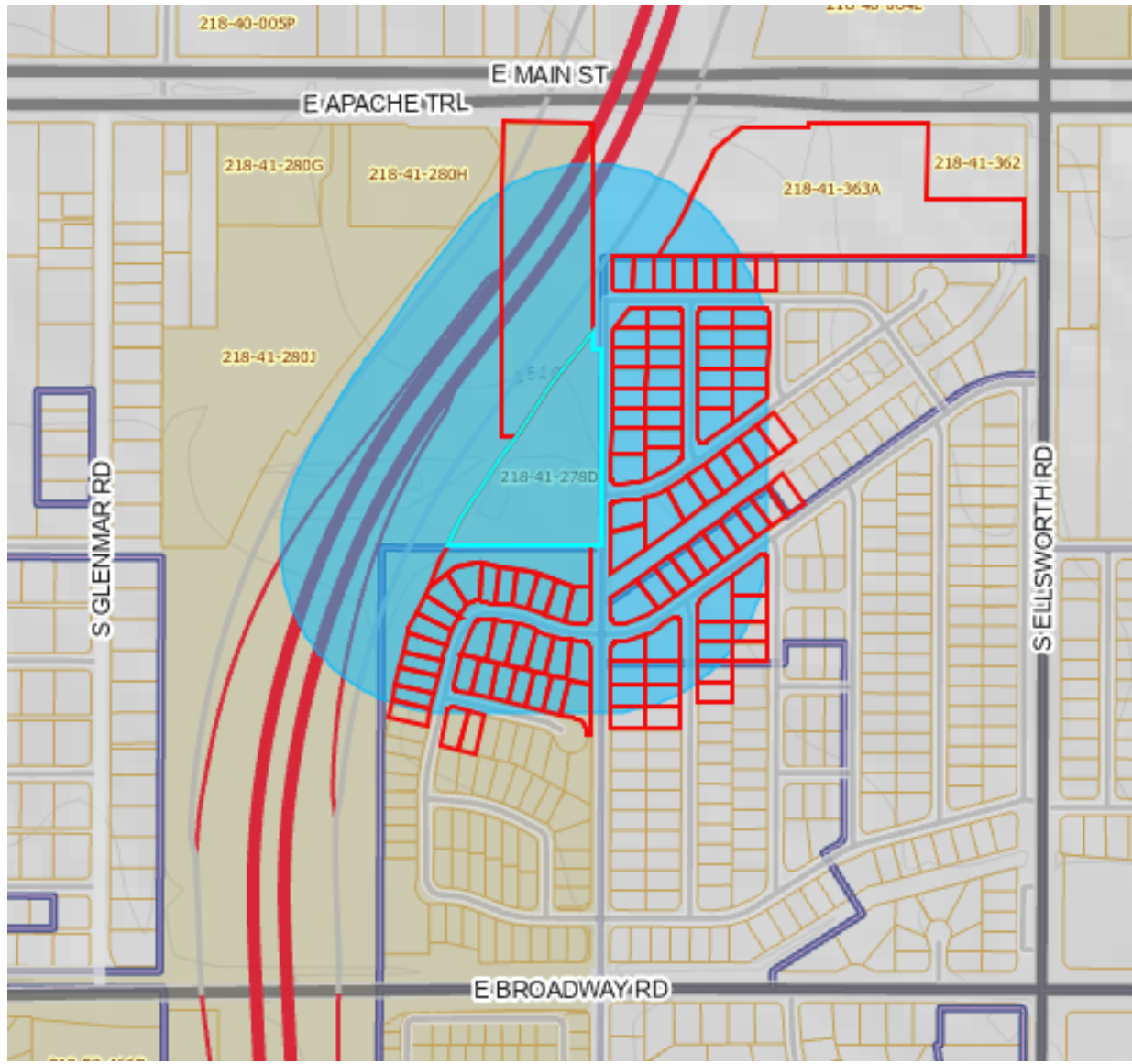
Ordinance introduction anticipated on (DATE) and Ordinance adoption on (DATE).

- 3) DATE TBD – Citizen Participation Report was provided to City Staff on (DATE). Any correspondence received after that date will be added to the report on file at the City
- 4) DATE TBD – PZ public hearing on the proposed amendment ZON23-00140.
- 5) DATE TBD – CC public hearing, ordinance introduction
- 6) DATE TBD – CC ordinance adoption

NEIGHBORHOOD NOTIFICATION 500' BUFFER MAP

Sienna Ridge Townhomes

Iplan Consulting



NEIGHBORHOOD NOTIFICATION 500' ADDRESS LIST

Parcel Number	Owner	Property Address
218-41-278D	5228 S BLACKSTONE LLC	
218-41-153	ACHINO RONALD	227 S 90TH PL MESA 85208
218-41-294	AMH 2014-2 BORROWER LLC	244 S 89TH ST MESA 85208
218-41-154	ANDERSON JOHN MICHAEL	233 S 90TH PL MESA 85208
218-41-129	APACHE PLACE LLC	227 S 90TH ST MESA 85208
218-41-279A	ADOT	8955 E APACHE MESA 85207
218-41-245	ARIZONA STATE OF	9014 E ALDER AVE MESA 85208

Sienna Ridge Townhomes

Iplan Consulting



218-41-356	ATKINS JAMES/TAMMY	8953 E BALSAM AVE MESA 85208
218-41-268	BARASHKOVA TAMARA	129 S 90TH PL MESA 85208
218-41-127	BOYD DARLENE D	9102 E BALSAM AVE MESA 85208
218-41-123	BOYKIN KEN/STANLEY-BOYKIN KRISTI L	9024 E BALSAM AVE MESA 85208
218-41-358A	BROADWAY MANOR HOA	202 S 90TH ST MESA 85208
218-41-114	BRUCE E GORDON DECLARATION OF TRUST	217 S 90TH PL MESA 85208
218-41-289	BUSSO JORGE/ESTOPELLAN LUZ MARIA	214 S 89TH ST MESA 85208
218-41-264	CAIN MICHAEL L	101 S 90TH PL MESA 85208
218-41-119A	CHAPMAN TRAYNOR TRUST/ELLA JANE	9002 E BALSAM AVE MESA 85208
218-41-253	CHAVEZ ELQUEN M ROCHA/CARLOS	135 S 90TH ST MESA 85208
218-41-243	CORDOVA CANDELARIO/EUGENIO	9026 E ALDER AVE MESA 85208
218-41-353	CURTIS SHELDON L/SHORTER DOMINIQUE	8929 E BALSAM AVE MESA 85208
218-41-281	DACOSTA DANIEL	8962 E BALSAM AVE MESA 85208
218-41-287	EGELHOFF JULIE RENEE	8914 E BALSAM AVE MESA 85208
218-41-272	FELIX EDUARDO/DEBBIE	118 S 91ST ST MESA 85208
218-41-263	FERNANDEZ DONNA	102 S 90TH PL MESA 85208
218-41-242	FIGUEROA EMMANUEL/HAMELIN DESIREE	9032 E ALDER AVE MESA 85208
218-41-121	FLANARY JASPER J/BRENDA C	9014 E BALSAM AVE MESA 85208
218-41-357	GIOVANETTI MICHAEL J/KINDELLY K	8961 E BALSAM AVE MESA 85208
218-41-256	GRESKO CARRIE LYNNE	148 S 90TH PL MESA 85208
218-41-217	GRILL MICHAEL R/MARTHA E	9019 E ASPEN AVE MESA 85208
218-41-240	GUTIER VICTOR MANUEL RODRIGUEZ	9046 E ALDER AVE MESA 85208
218-41-131	HAMBY TIMOTHY WAYNE/MISTY MARIE	239 S 90TH ST MESA 85208
218-41-124	HANCOCK WILLIAM D	9028 E BALSAM AVE MESA 85208
218-41-267	HARTER JAMES/ROBERTA	123 S 90TH PL MESA 85208
218-41-284	HARTWIG DAVID/CAROL TR	8938 E BALSAM AVE MESA 85208
218-41-252	HATHORN TODD/CAROLYN	129 S 90TH ST MESA 85208
218-41-117A	HERNANDEZ JUDY L	202 S 90TH PL MESA 85208
218-41-349	HICKS JUSTIN L	8932 E BIRCHWOOD CIR MESA 85208
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Sienna Ridge Townhomes

Iplan Consulting



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218-41-261	SALINAS JOSE V MARTINEZ	118 S 90TH PL MESA 85208
218-41-351	SARRA L STEVEN	8920 E BIRCHWOOD CIR MESA 85208
218-41-152A	SCHNEBLY DWIGHT WILCOX	228 S 90TH PL MESA 85208
218-41-271	SCHNEIDER JEAN & MARILYN SCHNEIDER	124 S 91ST ST MESA 85208
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Sienna Ridge Townhomes

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218-41-223	ZAMBRANO BLANCA MARIBEL RODRIGUEZ	9051 E ASPEN AVE MESA 85208

Sienna Ridge

A Single-Family Home and Townhome Community ZON23-00140 PAD Amendment Citizen Participation Report



**Request to Amend the Development Standard for Residential Garage Dimensions
for the RM-2 PAD Zoned Parcel on Approximately 3.7 Acres**

**Generally located east of the Loop 202 Freeway, at the NWC and SWC of E. Aspen
Avenue and South 90th Street**

**SUBMITTED TO:
City of Mesa Planning Division**

**PREPARED BY:
Iplan Consulting**

**CC Approved: November 2023
Amendment Submitted: April 2025
Citizen Participation Report Submitted: June 2025**



OVERVIEW

This report provides results of the implementation of the Citizen Participation Plan for the Sienna Ridge PAD Amendment. This site is located at 144 S. 90th Street, and is an application for an amendment to the approved PAD ZON23-00140 related to interior vehicular garage dimensions. This report provides evidence that citizens, neighbors, public agencies, and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. The public noticing letter, sign, and affidavits are attached for reference.

CONTACT

Jason Sanks

Company: Iplan Consulting

3317 S. Higley Road #114-622, Gilbert, AZ 85297

(602) 326-05814

jason@iplanconsulting.com

NEIGHBORHOOD MEETING

Due to the very limited nature of this request, the City determined that a Neighborhood Meeting for the proposed amendment was not necessary as there would be virtually no impact on surrounding properties.

CORRESPONDENCE AND TELEPHONE CALLS

- 1) Planning and Zoning Board notices of public hearing were mailed to 103 owners of property within 500' of the subject site as well as HOAs within ½ mile on June 24, 2025. A copy of this letter, list of property owners notified, and affidavit attesting to this action have been provided as part of this report.
- 2) A notice of hearing sign was placed on the property on January 23, 2025 by GDI signs and a photo was taken of the sign immediately following installation. The sign photo and an affidavit of posting attesting to this action have been provided as part of this report.

RESULTS

- 1) No public input has been received from the community.

HEARINGS

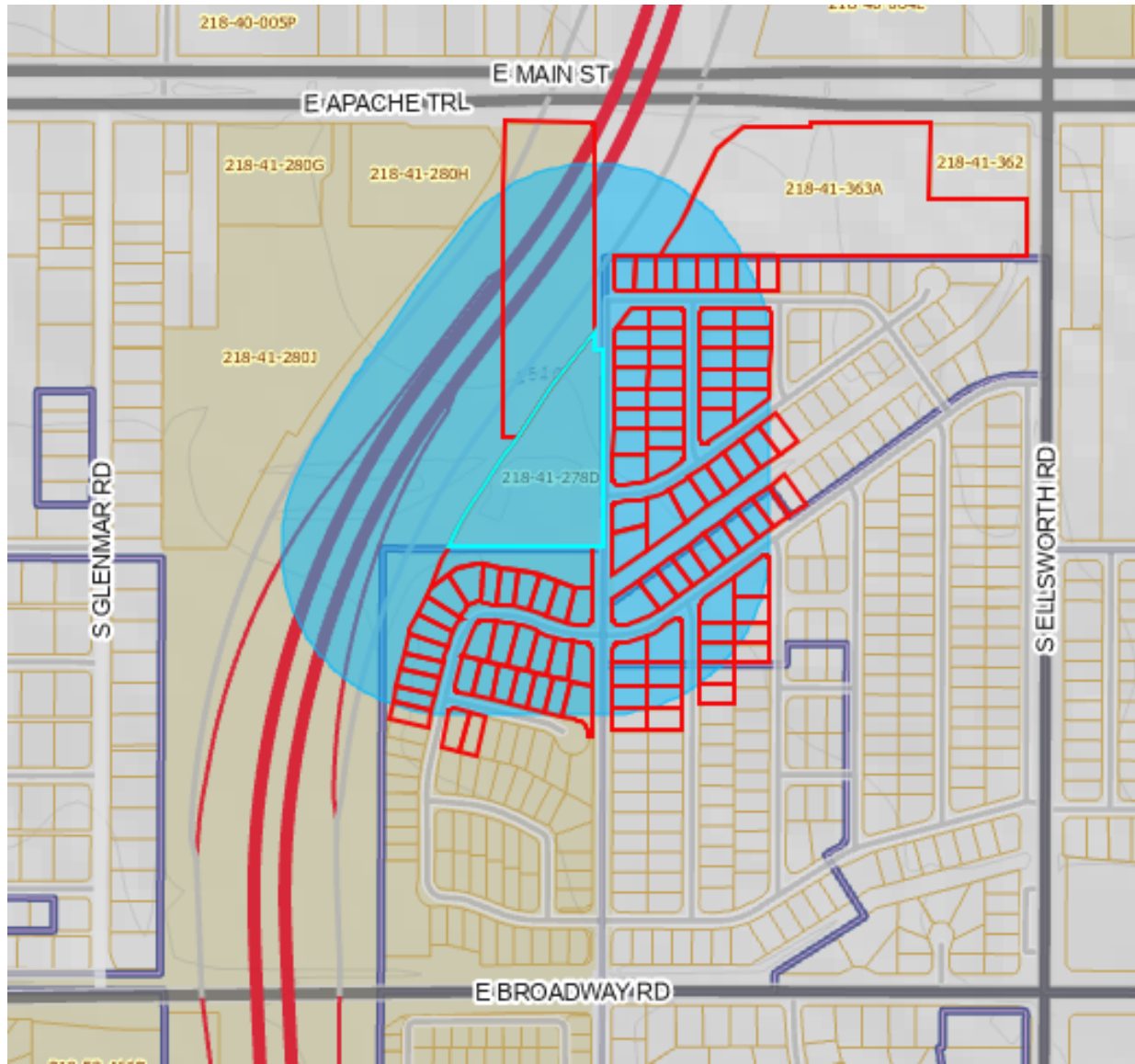
- 1) July 9 – Planning and Zoning Board Hearing
- 2) TBD – City Council Ordinance Introduction
- 3) TBD – City Council Ordinance Adoption

Sienna Ridge Townhomes

Iplan Consulting



NEIGHBORHOOD NOTIFICATION 500' BUFFER MAP





NEIGHBORHOOD NOTIFICATION 500' ADDRESS LIST

Parcel Number	Owner	Property Address
218-41-278D	5228 S BLACKSTONE LLC	
218-41-153	ACHINO RONALD	227 S 90TH PL MESA 85208
218-41-294	AMH 2014-2 BORROWER LLC	244 S 89TH ST MESA 85208
218-41-154	ANDERSON JOHN MICHAEL	233 S 90TH PL MESA 85208
218-41-129	APACHE PLACE LLC	227 S 90TH ST MESA 85208
218-41-279A	ADOT	8955 E APACHE MESA 85207
218-41-245	ARIZONA STATE OF	9014 E ALDER AVE MESA 85208
218-41-356	ATKINS JAMES/TAMMY	8953 E BALSAM AVE MESA 85208
218-41-268	BARASHKOVA TAMARA	129 S 90TH PL MESA 85208
218-41-127	BOYD DARLENE D	9102 E BALSAM AVE MESA 85208
218-41-123	BOYKIN KEN/STANLEY-BOYKIN KRISTI L	9024 E BALSAM AVE MESA 85208
218-41-358A	BROADWAY MANOR HOA	202 S 90TH ST MESA 85208
218-41-114	BRUCE E GORDON DECLARATION OF TRUST	217 S 90TH PL MESA 85208
218-41-289	BUSSO JORGE/ESTOPELLAN LUZ MARIA	214 S 89TH ST MESA 85208
218-41-264	CAIN MICHAEL L	101 S 90TH PL MESA 85208
218-41-119A	CHAPMAN TRAYNOR TRUST/ELLA JANE	9002 E BALSAM AVE MESA 85208
218-41-253	CHAVEZ ELQUEN M ROCHA/CARLOS	135 S 90TH ST MESA 85208
218-41-243	CORDOVA CANDELARIO/EUGENIO	9026 E ALDER AVE MESA 85208
218-41-353	CURTIS SHELDON L/SHORTER DOMINIQUE	8929 E BALSAM AVE MESA 85208
218-41-281	DACOSTA DANIEL	8962 E BALSAM AVE MESA 85208
218-41-287	EGELHOFF JULIE RENEE	8914 E BALSAM AVE MESA 85208
218-41-272	FELIX EDUARDO/DEBBIE	118 S 91ST ST MESA 85208
218-41-263	FERNANDEZ DONNA	102 S 90TH PL MESA 85208
218-41-242	FIGUEROA EMMANUEL/HAMELIN DESIREE	9032 E ALDER AVE MESA 85208
218-41-121	FLANARY JASPER J/BRENDA C	9014 E BALSAM AVE MESA 85208
218-41-357	GIOVANETTI MICHAEL J/KINDELLY K	8961 E BALSAM AVE MESA 85208
218-41-256	GRESKO CARRIE LYNNE	148 S 90TH PL MESA 85208
218-41-217	GRILL MICHAEL R/MARTHA E	9019 E ASPEN AVE MESA 85208
218-41-240	GUTIER VICTOR MANUEL RODRIGUEZ	9046 E ALDER AVE MESA 85208
218-41-131	HAMBY TIMOTHY WAYNE/MISTY MARIE	239 S 90TH ST MESA 85208
218-41-124	HANCOCK WILLIAM D	9028 E BALSAM AVE MESA 85208
218-41-267	HARTER JAMES/ROBERTA	123 S 90TH PL MESA 85208
218-41-284	HARTWIG DAVID/CAROL TR	8938 E BALSAM AVE MESA 85208
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Dear Neighbor,

The Sienna Ridge single-family home and townhome community was approved by the City of Mesa in the Fall of 2023. Since our City approval, we have progressed through the permitting processes and have mass graded the property. During this process, our development team noted that we need an amendment to our "Planned Area Development" (PAD), specifically to Approval Condition #3, concerning the interior garage dimensions. Our amendment will not result in any visible changes for the surrounding community, and no additional units are proposed. Specifically, the property is located within the 100 block of South 90th Street (west side). This is the vacant property west of 90th Street up against the Loop 202 Freeway. The case number assigned to this project is **ZON23-00140**.

This letter is being sent to all property owners within 500 feet of the property, and Homeowner's Associations within ½ mile, at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at **(602) 326-0581** or e-mail me at jason@iplanconsulting.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on July 9, 2025 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts**.

If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak. For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Joshua Grandlienard of their Planning Division staff. He can be reached at 480-644-4691 or Joshua.Grandlienard@MesaAZ.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Jason Sanks

Iplan Consulting





City of Mesa Planning Division

**AFFIDAVIT OF NOTIFICATION LETTER
MAILINGS**

To be submitted to the Planning Division by **June 24, 2025.**

Date: 6/24/2025

I, Jason Sanks, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have mailed notification letters regarding Case **ZON25-00265** on the 24th day of June, 2025.

These notifications were mailed to all property owners within the required radius of the subject site, as specified by City of Mesa Planning Division regulations.

Applicant's/Representative's signature: _____

A handwritten signature in black ink, appearing to read "Jason Sanks", written over a horizontal line.

SUBSCRIBED AND SWORN before me this 24th day of June, 2025.

A handwritten signature in black ink, appearing to read "Breah J. Crosslin", written over a horizontal line.

Notary Public



Case Number: **ZON25-00265**

Project Name: Sienna Ridge

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**CITY OF MESA
PUBLIC NOTICE**

ZONING HEARING

PLANNING & ZONING BOARD

57 EAST FIRST STREET

MESA, ARIZONA

4:00 PM DATE: JULY 9, 2025

CASE: ZON23-00140

Request: Modification of an existing Planned Area Development Overlay (PAD) and amending Condition of Approval No. 3 for case ZON23-00140 for a 29-unit multiple residence development. (District 5)

Applicant: JASON SANKS

Phone: 602-326-0581





City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by **June 24, 2025**.

Date: **6/24/2025**

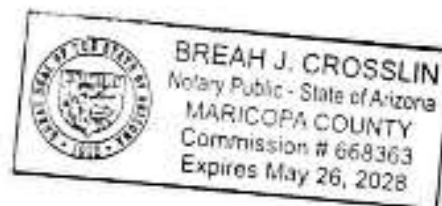
I, Jason Sanks, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have posted the property related to Case **ZON25-00265** on the 23rd day of June, 2025.

At least one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

Applicant's/Representative's signature: 

SUBSCRIBED AND SWORN before me this 24th day of June, 2025.


Notary Public



Case Number: **ZON25-00265**

Project Name: Sienna Ridge



PLANNING DIVISION
STAFF REPORT

Planning and Zoning Board

September 13, 2023

CASE No.: **ZON23-00140**

PROJECT NAME: **Sienna Ridge**

Owner's Name:	5228 S Blackstone LLC
Applicant's Name:	Jason Sanks, Iplan Consulting
Location of Request:	Within the 100 block of South 90th Street (west side). Located south of Main Street and west of Ellsworth Road.
Parcel No(s):	218-41-278D
Request:	Rezone from Single Residence-43 (RS-43) to Multiple Residence-2 with a Planned Area Development overlay (RM-2-PAD) and Site Plan Review. This request will allow for a multiple residence development.
Existing Zoning District:	RS-43
Council District:	5
Site Size:	4± acres
Proposed Use(s):	Multiple Residence
Existing Use(s):	Vacant
Hearing Date(s):	September 13, 2023 / 4:00 p.m.
Staff Planner:	Josh Grandlienard, AICP, Planner II
Staff Recommendation:	APPROVAL with Conditions

HISTORY

On **April 3, 2017**, Mesa City Council annexed 36.58± acres of land, including the project site, into the City of Mesa and established Single Residence-43 (RS-43) on 4± acres (project site) (Annexation A16-002, Ordinance No. 5373).

PROJECT DESCRIPTION

Background:

The applicant is requesting a rezone of the 4± acre property from Single Residence-43 (RS-43) to Multiple Residence-2 with a Planned Area Development overlay (RM-2-PAD) and Site Plan Review of an Initial Site Plan to allow for a multiple residence project. The project site is located on south of Main Street and west of Ellsworth Road.

The Proposed Project consists of five two-story attached buildings and eleven detached units, as well as common open space containing a pool, tot lot, ramada, and BBQs. A total of 29 townhome units are proposed with a gross density of approximately 8.6 dwelling units per acre. The requested PAD overlay is to allow modifications to certain development standards set forth in the Mesa Zoning Ordinance (MZO).

General Plan Character Area Designation and Goals:

The Mesa 2040 General Plan Character area designation on the property is Neighborhood with a Suburban Sub-type. Per Chapter 7 of the General Plan, the primary focus of the Neighborhood character type is to provide safe places for people to live where they can feel secure and enjoy their surrounding community. Additionally, these areas will contain a variety of housing types including multiple residence.

RM-2 is a primary zoning district within the Suburban Sub-type and multiple residence is a primary land use. Per the Suburban Sub-type form and guidelines (Pg. 7-14), the predominant building height should be one- and two-stories, with three- and four-story buildings located only where higher density is appropriate (on the edges of a neighborhood next to arterial streets). The Proposed Project contains two- story buildings consistent with these guidelines.

Per Chapter 4 of the General Plan (page 4-6), a key element for a strong neighborhood is the presence of diversified housing. Diverse neighborhoods can be achieved by encouraging a variety of dwelling types within each area of the community consistent with the character area standards. As discussed above, the proposal is consistent with the goals and standards of the character area and offers a diversity of dwelling type in an area with predominately single residential housing.

In summary staff finds that the Proposed Project conforms to the goals of the Mesa 2040 General Plan and meets the development review criteria outlined in Chapter 15 (pg. 15-1).

Zoning District Designations:

The request is to rezone the subject property from RS-43 to RM-2-PAD. Per Section 11-5-1 of the MZO, multiple residence districts provide areas for a variety of housing types of densities up to 15 dwelling units per acre. Appropriate types of dwelling units include small-lot single residences, townhouses, cluster housing, and multiple residence housing.

PAD Overlay Modification – MZO Article 3, Chapter 22:

The subject request includes a Planned Area Development overlay (PAD) to allow for modifications to certain required development standards of the MZO on the property. Per Section 11-22 of the MZO, the purpose of the PAD overlay is to allow innovative design and flexibility that creates high-quality development for the site. Table 1 below shows the MZO required standards and the applicant's proposed PAD standards.

Table 1: Development Standards

Development Standards	MZO Required	PAD Proposed	Staff Recommendation
<u>Minimum Yards – MZO Table 11-5-5</u> - Interior Side and Rear: 3 or more units on a lot (western property line adjacent to AZ loop 202)	15 feet per story (30 feet total)	0 feet	As Proposed
<u>Minimum Separation Between Buildings on Same Lot – MZO Table 11-5-5</u> -Two story buildings	30 feet	10 feet	As Proposed

Minimum Yards:

Per Table 11-5-5 of the MZO, for developments with more than three units on a lot, the interior side and rear yards must be 15 feet wide per every story of the building. The required interior and side yards for the Proposed Project are 30 feet due to the proposed two-story buildings.

The applicant is requesting to reduce the required yards to 0 feet along the western property lines along the length of the property adjacent to the AZ loop 202 to allow for parking stalls, drive aisles, and patios to encroach into the setback. Buildings, however, will be set back at least 30 feet from the western property lines along the AZ loop 202.

Despite the 0-foot request, the applicant will landscape the landscape yard according the planning requirements of MZO Section 11-33-3.

Minimum Building Separation Between Buildings on the Same Lot:

Per Table 11-5-5 of the MZO, two-story buildings located on the same lot shall maintain a minimum 30-foot separation. The applicant is requesting a minimum 10-foot building separation between all structures within the development, regardless of the number of stories.

PAD Justification:

The submitted documents show the proposed development will be unique by incorporating private and common open space areas that exceed the City's minimum square foot requirements. Per the site plan, approximately 12,334 square feet of total private open space is proposed (8,140 square feet for total detached units private open space or 740 square feet per

unit and 4,194 square feet of private open space for the attached units for 233 square feet per unit) The proposed private open space equates to 233 and 740 square feet per unit type, rather than the requirement of 200 square feet per unit required by Table 11-5-5 of the MZO. This is in addition to the common open space amenities provided on site which include a pool and related facilities.

The applicant designed the Proposed Project to increase density the closer it gets to the AZ Loop 202. The detached units are placed along 90th Street and the attached units are placed interior to the site to help reduce the impact and better blend into the properties to the east. In addition, the applicant is proposing trees with a larger box size along the western, northern, and eastern property lines to reduce visibility into adjacent residential properties.

Site Plan and General Site Development Standards:

The Proposed Project consists of five, two-story attached buildings and eleven two-story detached units with a total of 29 dwelling units. Each unit contains private open space (i.e., balcony and ground-floor patio) that exceeds the minimum square footage requirements set forth in the MZO.

Amenities are located in the center of the site and include a pool, tot lot, ramadas, and bbqs.

Primary and secondary access to the Proposed Project is from 90th street. Per Section 11-32-3 of the MZO, 61 spaces are required for the proposed development, of which 29 must be covered. The site plan shows 77 spaces, including 58 covered garage parking spaces and 19 surface parking spaces.

Design Review:

Per Section 11-71-2(A)(2) of the MZO, Design Review is not required for multiple residence projects that do not exceed 15 dwelling units per acre. The proposed landscape plan and building elevations were reviewed with the subject application and comply with applicable MZO standards.

Surrounding Zoning Designations and Existing Use Activity:

Northwest AZ SR 202 Red Mountain Freeway	North AZ SR 202 Red Mountain Freeway	Northeast (Across S 90 th St) Maricopa County R-5 Mobile Home Subdivision
West AZ SR 202 Red Mountain Freeway	Project Site RS-43 Vacant	East (Across S 90 th St) Maricopa County R-5 Mobile Home Subdivision
Southwest AZ SR 202 Red Mountain Freeway	South RS-6-PAD Single Residence	Southeast (Across S 90 th St) Maricopa County R-5 Mobile Home Subdivision

Compatibility with Surrounding Land Uses:

The subject property is currently vacant. North, northwest, west, and southwest of the site is the AZ SR 202 Red Mountain Freeway. South of the site, across a drainage ditch is a single residence detached neighborhood. East, northeast, and southeast of the site is an existing mobile home neighborhood within Maricopa County's jurisdiction. The proposed multi-residential development is compatible with the surrounding development and land uses.

School Analysis:

The City provided project details to the Mesa Public School District and request comment on its potential impact and available capacity.

As of the writing of this report, staff has not received a reply from the School District. Staff will update the Board with any new information during the scheduled Study Session on September 13, 2023.

Neighborhood Participation Plan and Public Comments:

The applicant completed a Citizen Participation Process which included mailing letters to property owners within 500 feet of the site as well as HOAs within ½ mile or registered neighborhoods within one mile of the site.

As of the date of this report, staff has not been contacted by any neighbors or other interested parties. Staff will provide the Board with any new information during the scheduled Study Session on September 13, 2023.

Staff Recommendations:

Staff finds the Proposed Project is consistent with the Mesa 2040 General Plan, the review criteria for Site Plan Review outlined in Section 11-69-5 of the MZO, and meets the review criteria for a Planned Area Development outlined in Section 11-22-5 of the MZO.

Staff recommends approval with the following **Conditions of Approval:**

1. Compliance with the final site plan, landscape plan, and elevations submitted.
2. Dedicate the right-of-way and easements required under the Mesa City Code at the time of application for a building permit, or at the time of the City's request for dedication whichever comes first.
3. Compliance with all City development codes and regulations, except the modifications to the development standards as approved with this PAD and shown in the following table:

Development Standard	Approved
<u>Minimum Yards – MZO Table 11-5-5</u> - Interior Side and Rear: 3 or more units on a lot (western property line adjacent to AZ loop 202)	0 feet
<u>Minimum Separation Between Buildings on Same Lot</u> – MZO Table 11-5-5 -Two story buildings	10 feet

Exhibits:

Exhibit 1-Vicinity Map

Exhibit 2-Staff Report

Exhibit 3-Application Information

3.1 Site Plan

3.2 Grading and Drainage Plans

3.3 Landscape Plan

3.4 Elevations

3.5 Project Narrative

3.6 Citizen Participation Plan

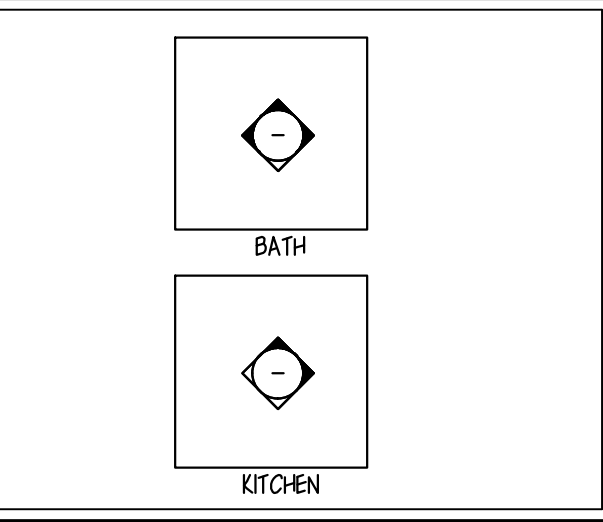
Exhibit 4-Citizen Participation Report

WINDOW SCHEDULE					DOOR SCHEDULE				
No.	SIZE	FUNCTION	HDR.	NOTES	No.	TYPE	SIZE	FUNCTION	NOTES
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2	6060	XO	8'-0"		2	C	2'-4" x 6'-8"	SWING	
3	3050	FXD	8'-0"		3	C	2'-6" x 6'-8"	SWING	
4	2050	FXD	8'-0"		4	C	NOT USED	BARN DOOR	
5	6050	XO	8'-0"		5	C	NOT USED	POCKET	
NOTE: ALL WINDOWS TO BE VINYL, MANUFACTURER TBD.					6	C	4'-0" x 6'-8"	SWING (PAR)	
					7	C	5'-0" x 6'-8"	SWING (PAR)	
					8	B, D, E	3'-0" x 8'-0"	SWING	
					9	-	16'-0" x 8'-0"	OVERHEAD	
					10	C	6'-0" x 6'-8"	BI-PASS	
					11	C	2'-6" x 6'-8"	SWING	
					A = MIN. OF 1 3/8" SOLID CORE v/ SELF CLOSER, SELF LATCHING, & TIGHT FITTING GASKETS & SWEEP - I.R.C. SEC. R309.1				
					B = SOLID CORE D = TEMPERED GLASS				
					C = HOLLOW CORE E = LITE DOOR				

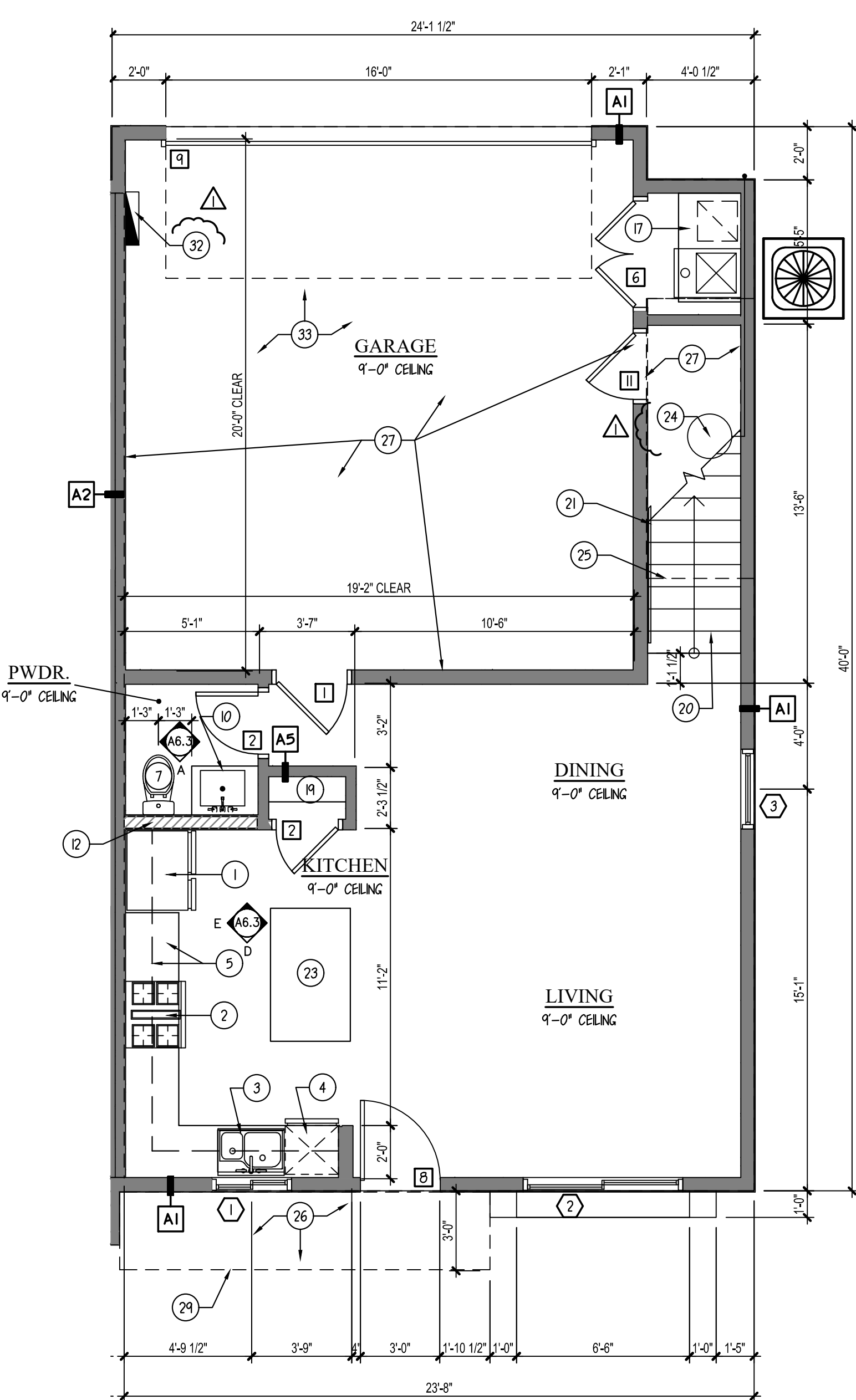
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KEYNOTES	
No.	DESCRIPTION
1	REFRIGERATOR - PRE-PLUMB FOR ICE MAKER
2	RANGE & OVEN w/ HOOD/MICROWAVE ABOVE - PER OWNER
3	HOOD EXHAUST @ +7' - VENT TO EXTERIOR WALL
4	DOUBLE SINK w/ DISPOSAL
5	DISHWASHER - PROVIDE APPROVED AIR GAP
6	COUNTERTOP v/ BASE & UPPER CABINETS
7	32"x60" PREFAB SHOWER PAN w/ MOISTURE RESISTANT GYP. BD. w/ TILE, MARBLE OR EQ. TO +72" ABV. DRAIN
8	WATER CLOSET PROVIDE A (MIN) 15" ON EACH SIDE & 24" MIN. CLEAR IN FRONT
9	4" CLRB w/ SHOWER GLASS
10	PORCELAIN STEEL TUB/SHOWER COMBO. v/ ROD FOR SHOWER CURTAIN
11	SINK AND VANITY
12	42" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - UNLO. ON PLAN
13	2x6 PLUMBING WALL
14	WASHER-PROVIDE PAN UNDERNEATH FOR DRAIN OVERFLOW
15	DRYER - 4" DRYER VENT THROUGH ROOF - NOT TO EXCEED 25'-0" PER I.R.C.
16	1 SHELF OR UPPER CABINETS - VERIFY v/ OWNER
17	SHELVING PER OWNER
18	FAIL. ON RAISED PLATFORM PER MECHANICAL
19	TEMPERED GLASS
20	5 SHELVES EQUALLY SPACED
21	STAIRS PER I.R.C. SEC. (MAX. RISE=7 3/4" - MIN. RUN=10")
22	HANDRAIL - +34" TO +38" MAX
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26	CONCRETE SLAB SLOPE 1/4" P.L.F. MIN.
27	5/8" TYPE 'X' GYPSUM BOARD o/ WALLS & CEILING PER CITY REQUIREMENTS
28	+8'-0" FLAT OPENING
29	CVD. ENTRY, STUCCO WRAPPED SOFFIT @ +9'-0"
30	HOSE BIBB - VERIFY LOCATION
31	NOT USED
32	ELECTRICAL PANEL - SEE ELECTRICAL PLANS
33	GARAGE FLOOR SLOPE MIN. 1/8" P.L.F.

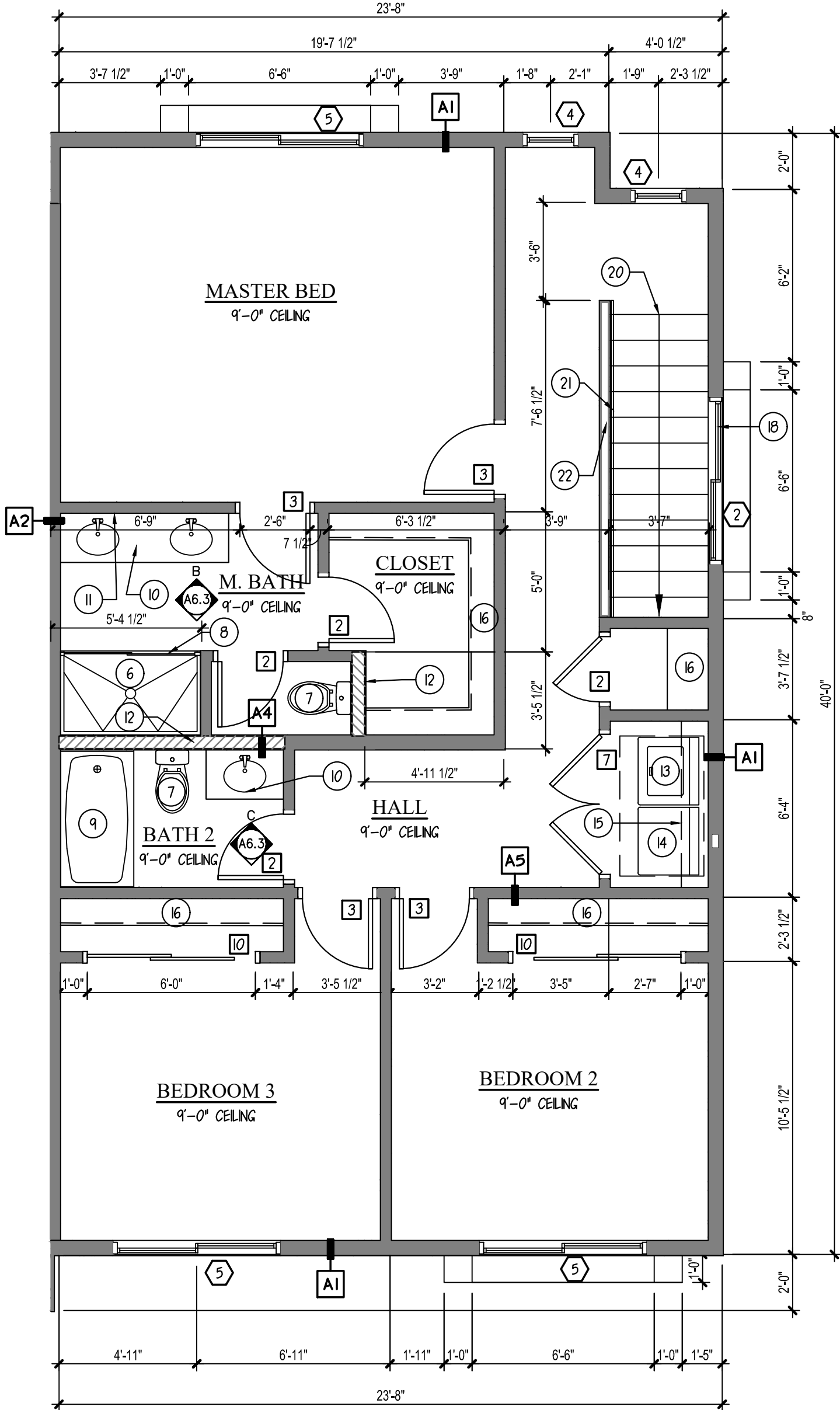
ELEVATION KEY



NOTE:
THE MANUFACTURER'S NAME, TRADEMARK OR OTHER DESCRIPTIVE MARKING BY WHICH THE ORGANIZATION RESPONSIBLE FOR THE PRODUCT CAN BE IDENTIFIED SHALL BE PLACED ON ALL ELECTRICAL EQUIPMENT. OTHER MARKINGS SHALL BE PROVIDED THAT INCLUDE VOLTAGE, CURRENT, WATTAGE OR OTHER RATINGS AS SPECIFIED ELSEWHERE IN CHAPTERS 34 THROUGH 43. THE MARKING SHALL HAVE THE DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
PLAN 1



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
PLAN 2

(PLAN 1 & PLAN 2 USED @ TRIPLEX & FOUR PLEX)

GENERAL PLAN NOTES	
1.	THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH CODE, SUPPLEMENTARY DRAWINGS OR REPORTS.
2.	EXTERIOR TRIM, DOOR AND WINDOW HEAD, JAMBS AND SILLS, SOFFITS, EXTERIOR RAILING TYPES ARE AS INDICATED AND REFERENCED ON THE PLAN.
3.	PROVIDE 1/2" CEILING RATED GYP. BD. AT CEILING PROVIDE FBER CEMENT BD. AT PATIO & PORCH CEILINGS - TAPE & TEXTURE PER PROJECT SPECS.
4.	SEE BUILDING PLANS FOR LOCATION AND SEE SITE PLAN FOR BUILDING LOCATIONS AND BUILDING TYPES.
5.	SMOKE DETECTORS SHALL BE 110V, v/ BATTERY BACKUP & SHALL BE LOCATED IN EACH BEDROOM & HALLWAY LEADING THERE TO.
6.	BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS PER SECTION 2509.3 IBC HEIGHT, 5.7 S.F. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO MIN. CLEAR IN FRONT
7.	SEE MECHANICAL DRAWINGS VENTILATION, DRYER VENTS, EXHAUST TOP OF SILL AS REQUIRED PER IBC SECTIONS 1029.2 & 1029.3 FANS AND DUCT LOCATIONS.
8.	SEE BUILDING PLAN ROOF PLANS FOR VARIATION IN ROOFS OVER EACH UNIT DESIGNATION.
9.	VERIFY SIZE OF MECHANICAL UNIT PRIOR TO FRAMING ENCLOSURE.
10.	VERIFY WITH MECHANICAL CONTRACTOR DIRECTION OF FRAMING FOR DROPPED CEILINGS, DROPPED CEILINGS TO BE NON-COMBUSTIBLE METAL
11.	SEE DETAILS FOR TYPICAL ASSEMBLIES, OCCUPANCY AND FIRE WALLS FRAMING. DETAILS, REQUIREMENTS FOR MEMBRANE AND PENETRATION DETAILS, AND TYPICAL WALL AND
12.	SEE EXTERIOR ELEVATIONS FOR MATERIAL TYPE, ELEVATION, FLOOR PLAN DIMENSION VARIATIONS, AND UNIT ENTRY
13.	ALL INTERIOR ADHESIVES, SEALANT, PAINTS & COATINGS SHALL BE LOW-VOC. USE OF LOW-VOC PAINTS AND STAINS (NON-FLAT 150 G/L OR LESS, FLAT: 50G/L OR LESS) FOR
14.	ENERGY STAR RATED APPLIANCES INCLUDING BUT NOT LIMITED TO, REFRIGERATORS, DISHWASHERS, AND CLOTH WASHERS SHALL BE INSTALLED WHEN SUCH APPLIANCE ARE PROVIDED OR REPLACED WITHIN LOW-INCOME UNITS AND / OR IN ON-SITE COMMUNITY FACILITIES.
15.	PROVIDE CARBON MONOXIDE ALARMS, INTERCONNECTED AND SHALL BE HARDWIRED WITH PROVIDED IN ALL OTHER FLOOR SPACES UNLESS THE BATTERY BACK-UP. REQUIREMENT IS SPECIFICALLY
GENERAL WALL INFO.	
1.	WALL FRAMING #2 D.F. - SEE STRUCTURAL - UNLO. EXTERIOR WALLS - 2x6, @ 16" o.c. UNLO. INTERIOR BEARING WALLS - 2x, @ 16" o.c. UNLO. INTERIOR NON BRG. - 2x4, @ 24" o.c. UNLO. PLUMBING WALLS - 2x6 UNLO. - 16" o.c. @ TUBS & SHOWERS FOR PROPER INSTALLATION OF DENS SHIELD INSULATION MANUFACTURER. CERTAIN TEED OR APPROVED EQUAL
2.	MATERIAL: BATT INSULATION WALL INSULATION (2x6) R-19, (2x4) FURRING R-13, AIR CONDITIONED AREAS CEILING INSULATION R-38 OVER ALL LIVABLE AREAS GARAGE INSULATION R-19 BETWEEN GARAGE & ALL LIVABLE SPACES.) CAULK AND SEAL BOTTOM PLATES, PENETRATIONS, WINDOWS, AND DOORS. WINDOWS- U FACTOR .40 MAX, SHGC .25 MAX.
3.	WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED
4.	PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON WALLS & CEILING IN GARAGE & ON USABLE SPACE UNDER STAIRS PER CITY
5.	ALL BATH ACCESSORIES, (TOWEL BARS, HOOKS ETC.) AND MOUNTING HEIGHTS TO BE DETERMINED BY OWNER
WALL TAG LEGEND	
2X FRAMED WALL	
2x6 PLUMBING WALL	
EXTERIOR WALLS	
A1	2x6 WOOD FRAMED EXTERIOR BEARING WALL & EXTERIOR POP-OUTS, FRAMING @ 16" O.C. UNLO. PROVIDE R-II BATT INSULATION WHERE APPLICABLE - SEE DTL. 1/A7.1
	EXTERIOR: WOOD SHEETING PER STRUCTURAL, MOISTURE BARRIER, COLOR CEMENTITIOUS STUCCO WITH ACRYLIC COAT, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
	INTERIOR: 1/2" GYP., FINISH PER ROOM FINISH SCHEDULE
INTERIOR WALLS	
A2	2x4 WOOD FRAMED INTERIOR 1-HOUR FIRE SOUNDPROOF PARTITION WITH AG, FRAMING @ 16" O.C. UNLO. PROVIDE R-II BATT INSULATION & FRAMING TO RECEIVE 1-HOUR FIRE PROTECTION. SEE DTL. 2/A7.1
	EXTERIOR: N/A
	INTERIOR: 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD FINISH PER ROOM FINISH SCHEDULE
A3	2x4 WOOD FRAMED INTERIOR 2-HOUR FIRE SOUNDPROOF PARTITION, FRAMING @ 16" O.C. UNLO. PROVIDE R-II BATT INSULATION & FRAMING TO RECEIVE 1-HOUR FIRE PROTECTION. SEE DTL. 3/A7.1
	EXTERIOR: (2) 1" x 24" PROPRIETARY TYPE 'X' GYPSUM PANEL BETWEEN 2nd FLOOR AND CEILING RUNNERS v/ 1/2" GYP. ON BOTH SIDES IN CAVITY
	INTERIOR: 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD BOTH SIDES FINISH PER ROOM FINISH SCHEDULE
A4	2x6 WOOD FRAMED INTERIOR PLUMBING WALL, FRAMING @ 24" O.C. UNLO., PROVIDE R-II BATT INSULATION
	EXTERIOR: N/A
	INTERIOR: 5/8" TYPE X GYPSUM WALLBOARD INSTALL ON BOTH SIDES - FINISH PER ROOM FINISH SCHEDULE
A5	2x4 OR 2x6 WOOD FRAMED INTERIOR PARTITION, FRAMING @ 24" O.C. UNLO.
	EXTERIOR: N/A
	INTERIOR: 1/2" GYPSUM WALLBOARD INSTALL BOTH SIDES FINISH PER ROOM FINISH SCHEDULE

STUDIO M
ARCHITECTURE

40666 N PARISI PL
SAN TAN VALLEY, AZ 85140
480.798.9460

REGISTERED ARCHITECT
CERT. # 15100
44548
DAVID A. MARR
DESIGNED BY
AIR ZONE, U.S.A.
Expires 06/30/27

design·drafting·planning
832 S. 34TH ST. MESA, AZ 85204
PHONE: 480-226-9999

NEW MULTI RESIDENTIAL

SIENNA RIDGE
MULTI-FAMILY
144 S. 90TH ST.
MESA, AZ 85207

DIMENSIONED & NOTED
FLOOR PLANS

REVISIONS

Δ - CITY 3/19/25

Δ - OWNER 3/19/25

PLOT DATE: 05/02/25

SHEET NO.

A1.0

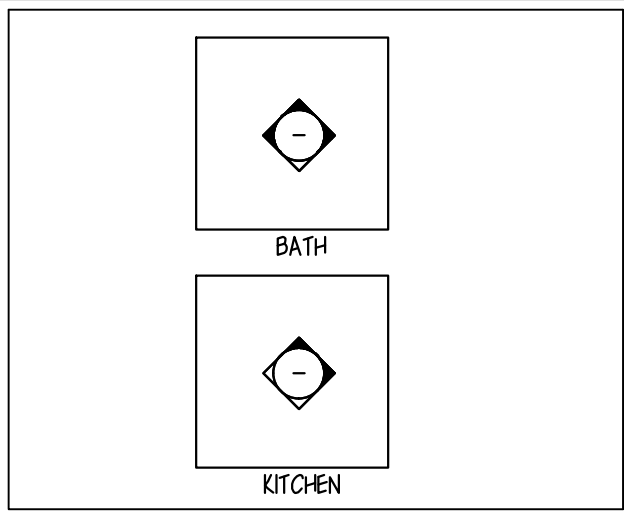
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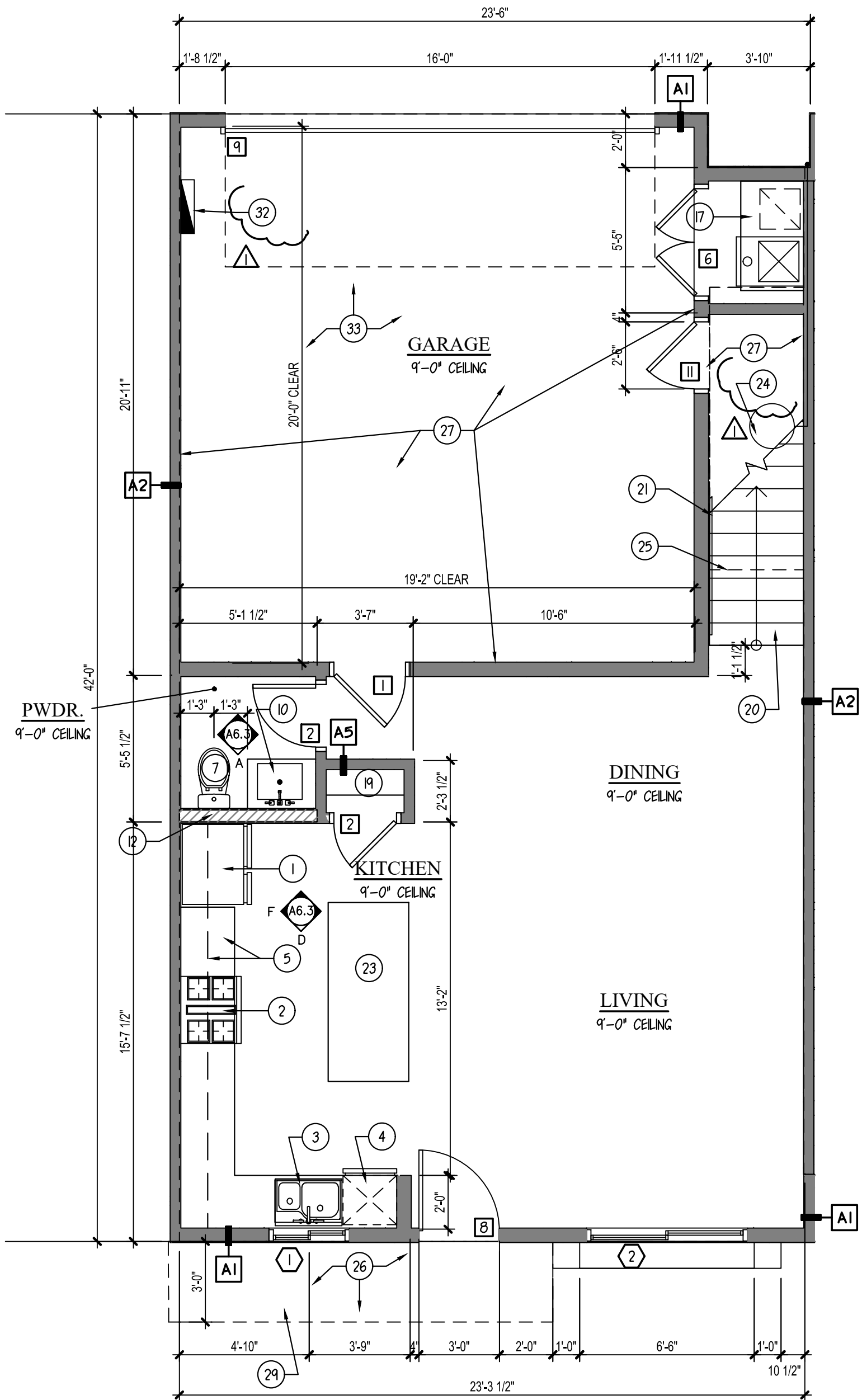
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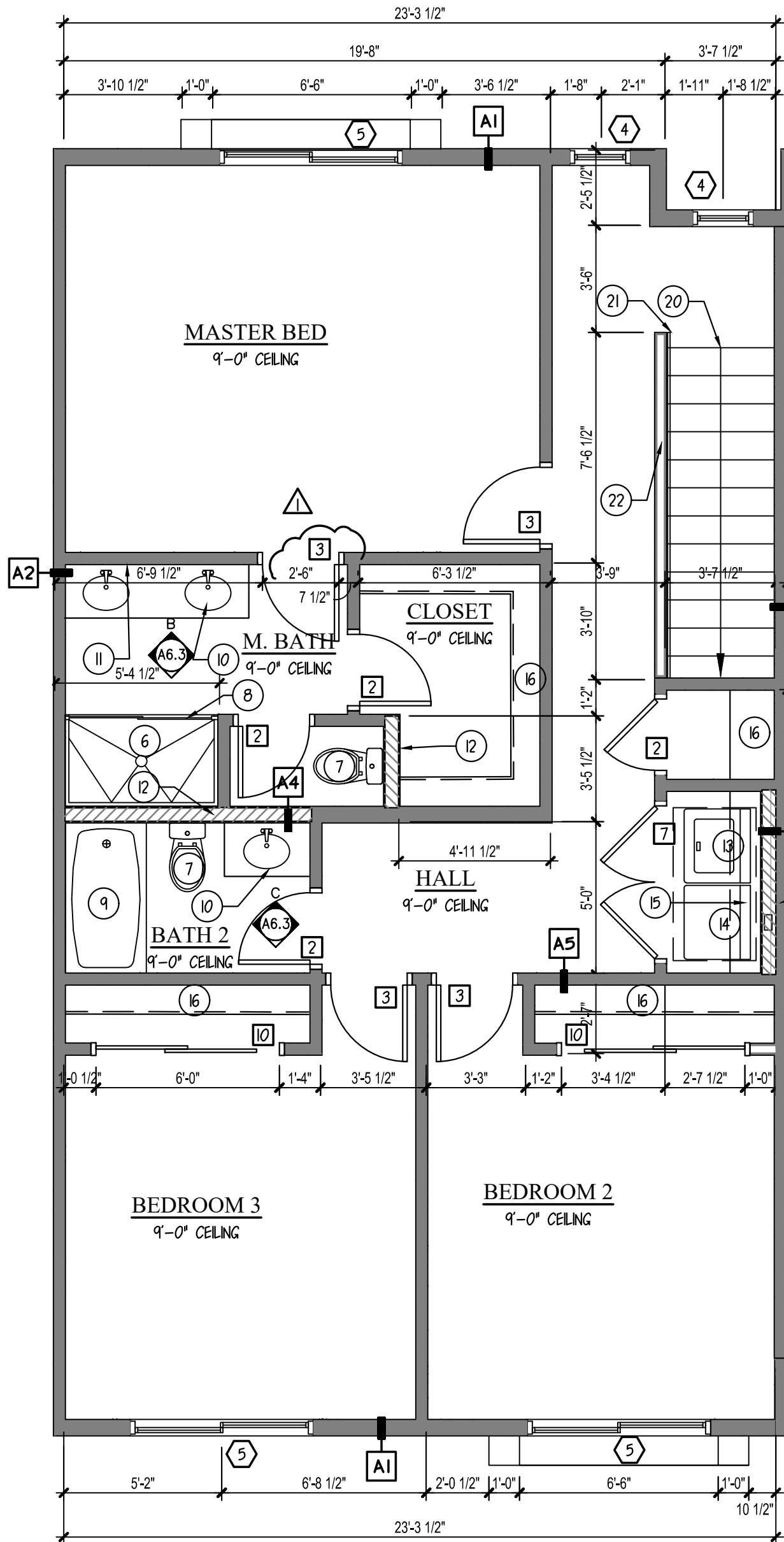
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PLAN 2



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- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS PER SECTION 2509.3 IBC HEIGHT, 5.7 S.F. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO MIN. CLEAR IN FRONT
- SEE MECHANICAL DRAWINGS VENTILATION, DRYER VENTS, EXHAUST TOP OF SILL AS REQUIRED PER IBC SECTIONS 1029.2 & 1029.3 FANS AND DUCT LOCATIONS.
- SEE BUILDING PLAN ROOF PLANS FOR VARIATION IN ROOFS OVER EACH UNIT DESIGNATION.
- VERIFY SIZE OF MECHANICAL UNIT PRIOR TO FRAMING ENCLOSURE.
- VERIFY WITH MECHANICAL CONTRACTOR DIRECTION OF FRAMING FOR DROPPED CEILINGS, DROPPED CEILINGS TO BE NON-COMBUSTIBLE METAL
- SEE DETAILS FOR TYPICAL ASSEMBLIES, OCCUPANCY AND FIRE WALLS FRAMING. DETAILS, REQUIREMENTS FOR MEMBRANE AND PENETRATION DETAILS, AND TYPICAL WALL AND
- SEE EXTERIOR ELEVATIONS FOR MATERIAL TYPE, ELEVATION, FLOOR PLAN DIMENSION VARIATIONS, AND UNIT ENTRY
- ALL INTERIOR ADHESIVES, SEALANT, PAINTS & COATINGS SHALL BE LOW-VOC. USE OF LOW-VOC PAINTS AND STAINS (NON-FLAT 150 G/L OR LESS FLAT; 50G/L OR LESS) FOR
- ENERGY STAR RATED APPLIANCES INCLUDING BUT NOT LIMITED TO, REFRIGERATORS, DISHWASHERS, AND CLOTH WASHERS SHALL BE INSTALLED WHEN SUCH APPLIANCE ARE PROVIDED OR REPLACED WITHIN LOW-INCOME UNITS AND / OR IN ON-SITE COMMUNITY FACILITIES.
- PROVIDE CARBON MONOXIDE ALARMS, INTERCONNECTED AND SHALL BE HARDWIRED WITH PROVIDED IN ALL OTHER FLOOR SPACES UNLESS THE BATTERY BACK-UP. REQUIREMENT IS SPECIFICALLY

GENERAL WALL INFO.

- WALL FRAMING #2 D.F. - SEE STRUCTURAL - UNLO. EXTERIOR WALLS - 2x6, @ 16" o.c. UNLO. INTERIOR BEARING WALLS - 2x @ 16" o.c. UNLO. INTERIOR NON BRG. - 2x4, @ 24" o.c. UNLO. PLUMBING WALLS - 2x6 UNLO. - 16" O.C. @ TUBS & SHOWERS FOR PROPER INSTALLATION OF DENS SHIELD INSULATION MANUFACTURER. CERTAIN TEED OR APPROVED EQUAL
- MATERIAL: BATT INSULATION WALL INSULATION (2x6) R-19, (2x4) FURRING R-13, AIR CONDITIONED AREAS CEILING INSULATION R-38 OVER ALL LIVABLE AREAS GARAGE INSULATION R-19 BETWEEN GARAGE & ALL LIVABLE SPACES.) CAULK AND SEAL BOTTOM PLATES, PENETRATIONS, WINDOWS, AND DOORS. WINDOWS- U FACTOR .40 MAX, SHGC .25 MAX.
- WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED.
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON WALLS & CEILING IN GARAGE & ON USABLE SPACE UNDER STAIRS PER CITY
- ALL BATH ACCESSORIES, (TOWEL BARS, HOOKS ETC.) AND MOUNTING HEIGHTS TO BE DETERMINED BY OWNER

WALL TAG LEGEND

- 2X FRAMED WALL
- 2x6 PLUMBING WALL

EXTERIOR WALLS

- A1
- 2x6 WOOD FRAMED EXTERIOR BEARING WALL & EXTERIOR POP-OUTS, FRAMING @ 16" O.C. UNLO. PROVIDE R-II BATT INSULATION WHERE APPLICABLE - SEE DTL. 1/A7.1
 - EXTERIOR: WOOD SHEETING PER STRUCTURAL, MOISTURE BARRIER, COLOR CEMENTITIOUS STUCCO WITH ACRYLIC COAT, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 - INTERIOR: 1/2" GYP., FINISH PER ROOM FINISH SCHEDULE

INTERIOR WALLS

- A2
- 2x4 WOOD FRAMED INTERIOR 1-HOUR FIRE SOUNDPROOF PARTITION WITH A4, FRAMING @ 16" O.C. UNLO. PROVIDE R-II BATT INSULATION & FRAMING TO RECEIVE 1-HOUR FIRE PROTECTION. SEE DTL. 2/A7.1
 - EXTERIOR: N/A
 - INTERIOR: 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD FINISH PER ROOM FINISH SCHEDULE
- A3
- 2x4 WOOD FRAMED INTERIOR 2-HOUR FIRE SOUNDPROOF PARTITION, FRAMING @ 16" O.C. UNLO. PROVIDE R-II BATT INSULATION & FRAMING TO RECEIVE 1-HOUR FIRE PROTECTION. SEE DTL. 3/A7.1
 - EXTERIOR: (2) 1" x 24" PROPRIETARY TYPE 'X' GYPSUM PANEL BETWEEN 2" FLOOR AND CEILING RUNNERS w/ 1/2" GYP. ON BOTH SIDES IN CAVITY
 - INTERIOR: 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD BOTH SIDES FINISH PER ROOM FINISH SCHEDULE
- A4
- 2x6 WOOD FRAMED INTERIOR PLUMBING WALL, FRAMING @ 24" O.C. UNLO., PROVIDE R-II BATT INSULATION
 - EXTERIOR: N/A
 - INTERIOR: 5/8" TYPE X GYPSUM WALLBOARD INSTALL ON BOTH SIDES - FINISH PER ROOM FINISH SCHEDULE
- A5
- 2x4 OR 2x6 WOOD FRAMED INTERIOR PARTITION, FRAMING @ 24" O.C. UNLO.
 - EXTERIOR: N/A
 - INTERIOR: 1/2" GYPSUM WALL BOARD INSTALL BOTH SIDES FINISH PER ROOM FINISH SCHEDULE



40666 N PARISI PL
SAN TAN VALLEY, AZ 85140
480.798.9460



NEW MULTI RESIDENTIAL

SIENNA RIDGE
MULTI-FAMILY
144 S. 90TH ST.
MESA, AZ 85207

DIMENSIONED & NOTED
FLOOR PLANS

REVISIONS

- Δ - CITY 3/19/25
- Δ - OWNER 3/19/25

PLOT DATE: 05/02/25

SHEET NO.

A1.1

NOTE:

THE MANUFACTURER'S NAME, TRADEMARK OR OTHER DESCRIPTIVE MARKING BY WHICH THE ORGANIZATION RESPONSIBLE FOR THE PRODUCT CAN BE IDENTIFIED SHALL BE PLACED ON ALL ELECTRICAL EQUIPMENT. OTHER MARKINGS SHALL BE PROVIDED THAT INCLUDE VOLTAGE, CURRENT, WATTAGE OR OTHER RATINGS AS SPECIFIED ELSEWHERE IN CHAPTERS 34 THROUGH 43. THE MARKING SHALL HAVE THE DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.

WINDOW SCHEDULE				
No.	SIZE	FUNCTION	HDR.	NOTES
1	4046	XO	8'-0"	
2	2030	FXD	6'-8"	
3	6060	XO	8'-0"	
4	4060	XO	8'-0"	
5	4060	FXD	8'-0"	
6	6050	XO	8'-0"	
7	2050	SH	8'-0"	
8	2030	FXD	8'-0"	
NOTE: ALL WINDOWS TO BE VINYL, MANUFACTURER TBD.				

DOOR SCHEDULE				
No.	TYPE	SIZE	FUNCTION	NOTES
1	A	2'-8" x 6'-8"	SWING	
2	C	2'-4" x 6'-8"	SWING	
3	C	2'-6" x 6'-8"	SWING	
4	B	2'-8" x 6'-8"	SWING	
5	C	2'-0" x 6'-8"	SWING	
6	C	2'-8" x 6'-8"	SWING	
7	B, D, E	2'-8" x 8'-0"	SWING	
8	B, D, E	3'-0" x 8'-0"	SWING	
9	-	16'-0" x 8'-0"	OVERHEAD	
10	C	6'-0" x 6'-8"	BI-PASS	
11	C	2'-4" x 6'-8"	SWING	
A = MIN. OF 1 3/8" SOLID CORE w/ SELF CLOSER, SELF LATCHING, & TIGHT FITTING GASKETS & SWEEP - I.R.C. SEC. R309.1 B = SOLID CORE D = TEMPERED GLASS C = HOLLOW CORE E = I-LITE DOOR				

KEYNOTES

No.	DESCRIPTION
1	REFRIGERATOR - PRE-PLUMB FOR ICE MAKER
2	RANGE & OVEN w/ HOOD/MICROWAVE ABOVE - PER OWNER
3	HOOD EXHAUST @ +7' - VENT TO EXTERIOR WALL
4	DOUBLE SINK w/ DISPOSAL
5	DISHWASHER - PROVIDE APPROVED AIR GAP
6	COUNTERTOP w/ BASE & UPPER CABINETS
7	44"x60" PREFAB SHOWER PAN w/ MOISTURE RESISTANT GYP. BD. w/ TILE MARBLE OR EQ. TO +72" ABV. DRAIN
8	WATER CLOSET PROVIDE A (MIN) 15" ON EACH SIDE & 24" MIN. CLEAR IN FRONT
9	4" CURB w/ SHOWER GLASS
10	PORCELAIN STEEL TUB/SHOWER COMBO. w/ ROD FOR SHOWER CURTAIN
11	SINK AND VANITY
12	42" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - UNLO. ON PLAN
13	2x6 PLUMBING WALL
14	WASHER-PROVIDE PAN UNDERNEATH FOR DRAIN OVERFLOW
15	DRYER - 4" DRYER VENT THROUGH ROOF - NOT TO EXCEED 25'-0" PER I.R.C.
16	1 SHELF OR UPPER CABINETS - VERIFY w/ OWNER
17	SHELVING PER OWNER
18	FAUL ON RAISED PLATFORM PER MECHANICAL
19	TEMPERED GLASS
20	5 SHELVES EQUALLY SPACED
21	STAIRS PER I.R.C. SEC. (MAX. RISE=7 3/4" - MIN. RUN=10")
22	HANDRAIL - +34" TO +38" MAX
23	HANDRAIL/QUADRANT @ +36" MIN. w/ SPOULES @ 4" O.C. IF APPLICABLE
24	w/ 6" WIDE x 4" TALL DRAIN OPENING - SEE ELEVATIONS
25	ISLAND COUNTERTOP 36" DEEP WATERFALL EDGE ON SIDES w/ 24" DEEP BASE CABINETS & T DEEP KNEESPACE
26	WH w/ PRESSURE RELIEF VALVE AND DRAIN PAN (P28015). DRAIN LINE TERMINATES PER (P28015.2). INSTALL HOT WATER CIRCULATION PUMP LINE OF CEILING CHANGE
27	CONCRETE SLAB SLOPE 1/4" P.L.F. MIN.
28	5/8" TYPE 'X' GYPSUM BOARD o/ WALLS & CEILING PER CITY REQUIREMENTS
29	PATIO DECK - SLOPE 1/2" P.L.F.
30	CVD. PATIO, STUCCO WRAPPED SOFFIT @ +9'-0"
31	HOSE BIBB - VERIFY LOCATION
32	STEEL BOLLARD
33	ELECTRICAL PANEL - SEE ELECTRICAL PLANS
34	42" SQUARE CONCRETE LANDING SLOPE 1/4" P.L.F. MIN.
35	A/C COMPRESSOR PAD - VERIFY LOCATION w/ CONTRACTOR
36	HOLD MIN. 6" FROM STEM
37	GARAGE FLOOR SLOPE MIN. 1/8" P.L.F.
38	8x8x16 CPU SITE WALL +42" A.F.F.

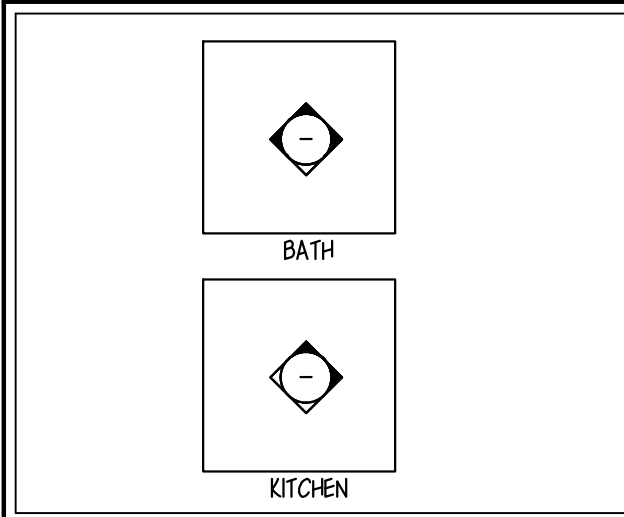
GENERAL PLAN NOTES

- THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH CODE, SUPPLEMENTARY DRAWINGS OR REPORTS.
- EXTERIOR TRIM, DOOR AND WINDOW HEAD, JAMBS AND SILLS, SOFFITS, EXTERIOR RAILING TYPES ARE AS INDICATED AND REFERENCED ON THE PLAN.
- PROVIDE 1/2" CEILING RATED GYP. BD. AT CEILING PROVIDE FBER CEMENT BD. AT PATIO & PORCH CEILINGS - TAPE & TEXTURE PER PROJECT SPECS.
- SEE BUILDING PLANS FOR LOCATION AND SEE SITE PLAN FOR BUILDING LOCATIONS AND BUILDING TYPES.
- SMOKE DETECTORS SHALL BE 110V, w/ BATTERY BACKUP & SHALL BE LOCATED IN EACH BEDROOM & HALLWAY LEADING THERE TO.
- BEDROOM SHALL HAVE A MINIMUM OF ONE OPENING WHICH MEETS PER SECTION 2509.3 IBC HEIGHT, 5.7 SF. NET CLEAR OPENABLE AREA AND SHALL BE 44" MAXIMUM FROM FINISH FLOOR TO MIN. CLEAR IN FRONT
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- ALL INTERIOR ADHESIVES, SEALANT, PAINTS & COATINGS SHALL BE LOW-VOC. USE OF LOW-VOC PAINTS AND STAINS (NON-FLAT, 150 G/L OR LESS, FLAT, 50G/L OR LESS) FOR
- ENERGY STAR RATED APPLIANCES INCLUDING BUT NOT LIMITED TO, REFRIGERATORS, DISHWASHERS, AND CLOTH WASHERS SHALL BE INSTALLED WHEN SUCH APPLIANCE ARE PROVIDED OR REPLACED WITHIN LOW-INCOME UNITS AND / OR IN ON-SITE COMMUNITY FACILITIES.
- PROVIDE CARBON MONOXIDE ALARMS, INTERCONNECTED AND SHALL BE HARDWIRED WITH PROVIDED IN ALL OTHER FLOOR SPACES UNLESS THE BATTERY BACK-UP. REQUIREMENT IS SPECIFICALLY

GENERAL WALL INFO.

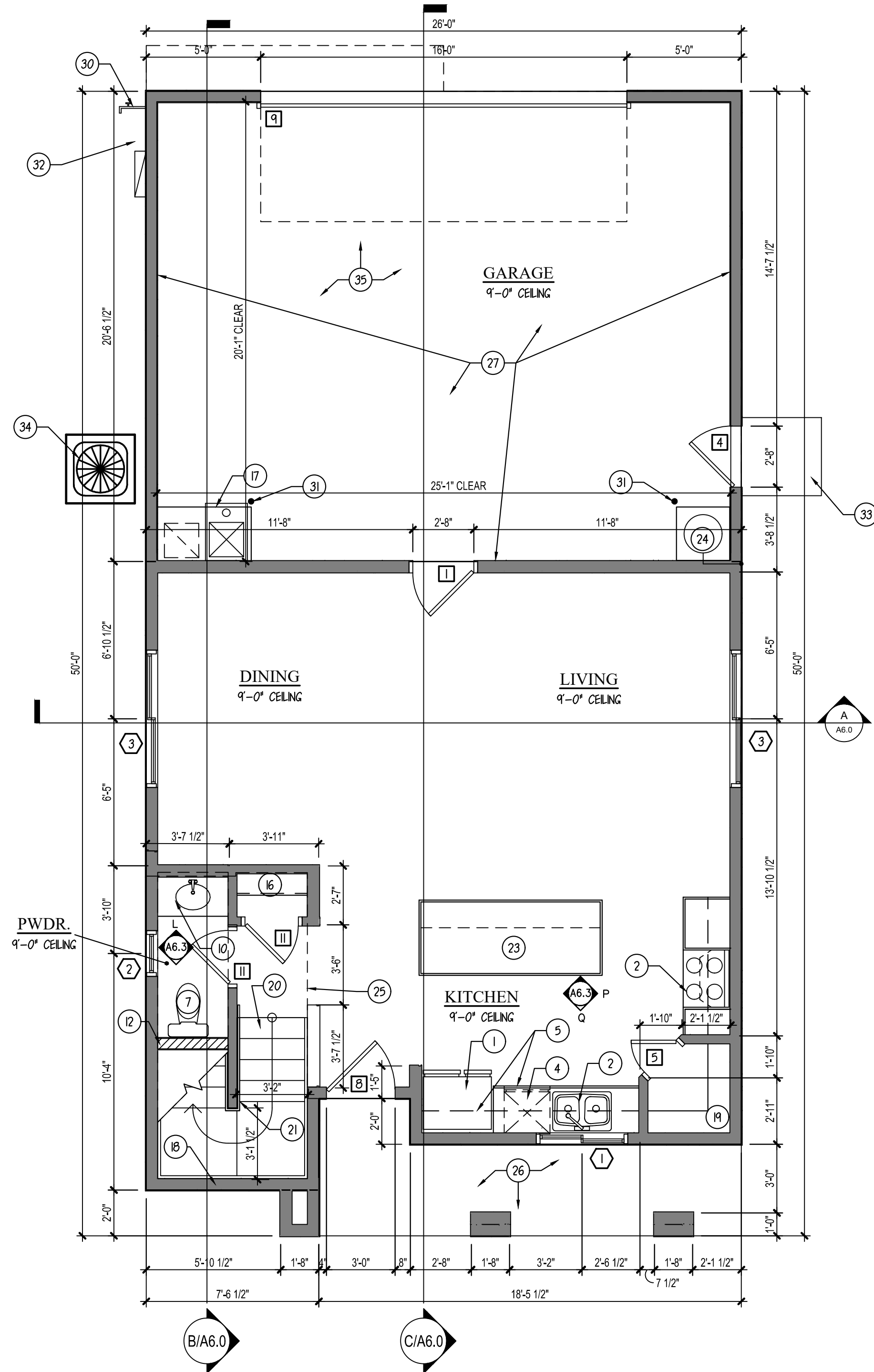
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- MATERIAL: BATT INSULATION WALL INSULATION (2x6) R-19, (2x4) FURRING R-13, AIR CONDITIONED AREAS CEILING INSULATION R-38 OVER ALL LIVABLE AREAS GARAGE INSULATION R-19 BETWEEN GARAGE & ALL LIVABLE SPACES) CAULK AND SEAL BOTTOM PLATES, PENETRATIONS, WINDOWS, AND DOORS. WINDOWS- U FACTOR .40 MAX, SHGC .25 MAX.
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- ALL BATH ACCESSORIES, (TOWEL BARS, HOOKS ETC.) AND MOUNTING HEIGHTS TO BE DETERMINED BY OWNER

ELEVATION KEY



WALL TAG LEGEND

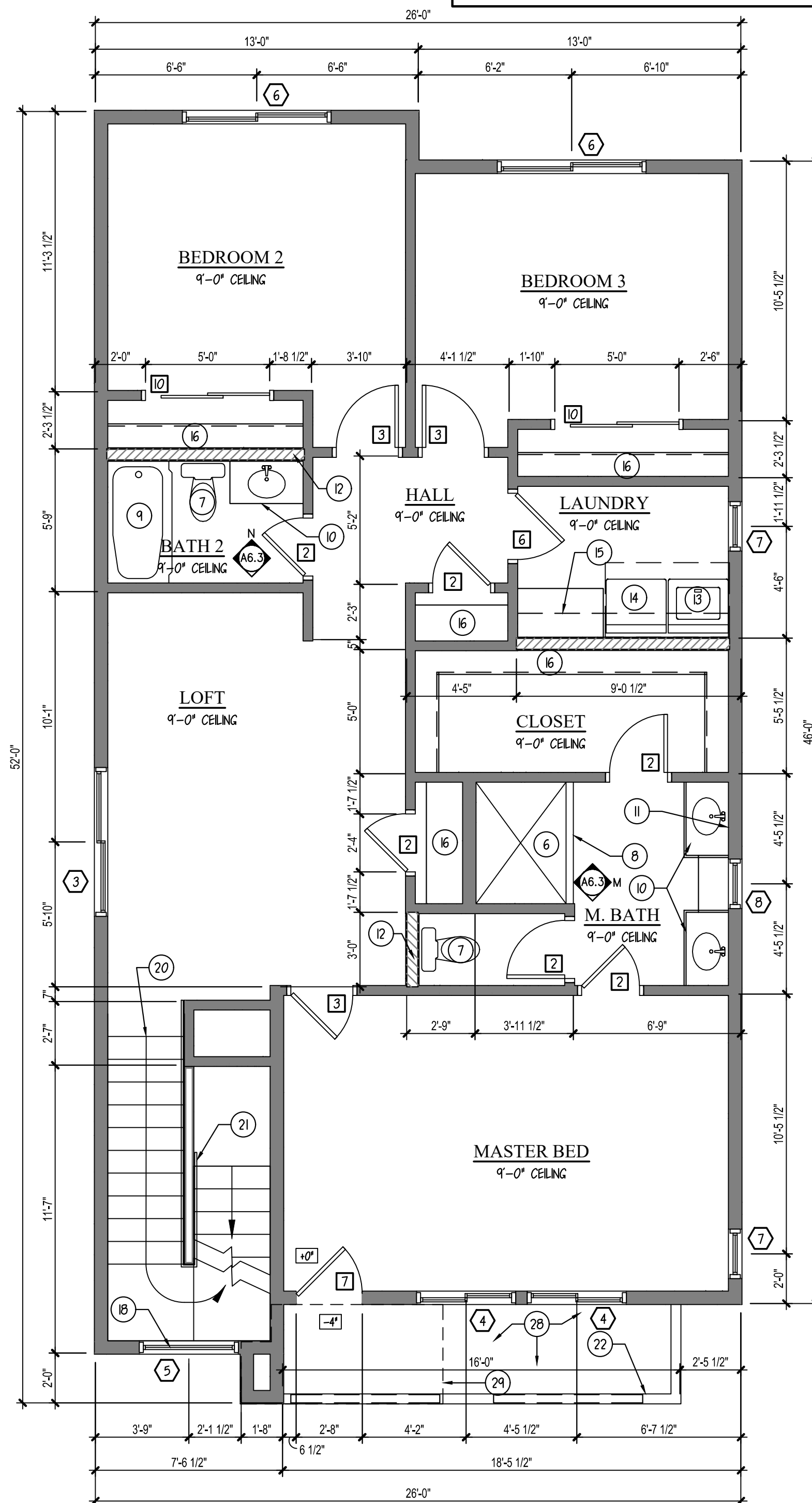
2X FRAMED WALL	
2x6 PLUMBING WALL	
8x8x16 CPU LOW WALL	



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

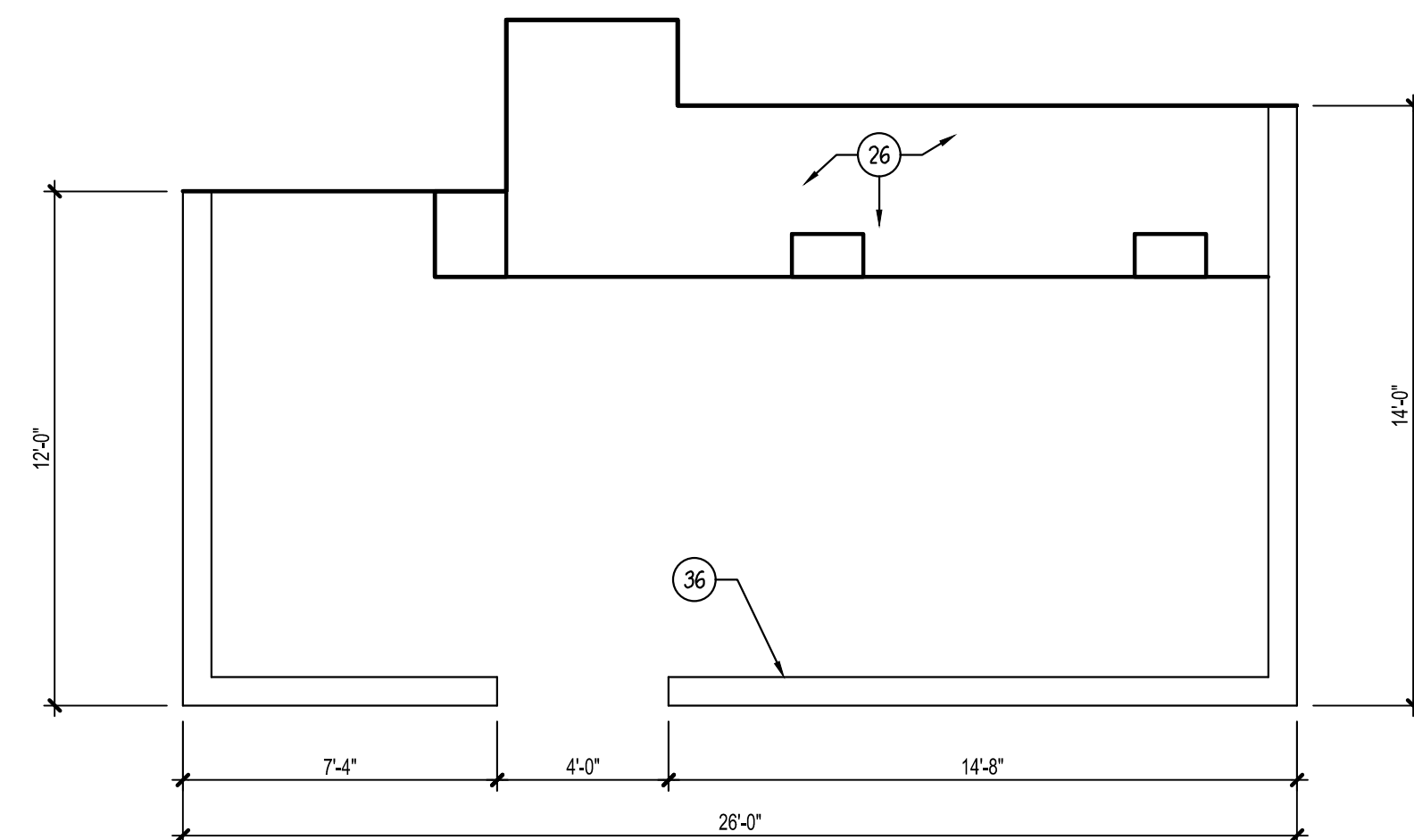
PLAN 3



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN 3



PATIO FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS

- . CITY 3/19/25
- . OWNER 3/19/25

PLOT DATE: 05/02/25

SHEET NO.

NOTE:

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WINDOW SCHEDULE				
No.	SIZE	FUNCTION	HDR.	NOTES
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4	3060	FXD	8'-0"	
5	4060	FXD	8'-0"	
6	6050	XO	8'-0"	
7	2650	SH	8'-0"	
8	2030	SH	8'-0"	
9	2030	FXD	6'-8"	

NOTE: ALL WINDOWS TO BE VINYL, MANUFACTURER TBD.

DOOR SCHEDULE				
No.	TYPE	SIZE	FUNCTION	NOTES
1	A	2'-8" x 6'-8"	SWING	
2	C	2'-4" x 6'-8"	SWING	
3	C	2'-6" x 6'-8"	SWING	
4	B	2'-8" x 6'-8"	SWING	
5	C	2'-0" x 6'-8"	SWING	
6	C	2'-8" x 6'-8"	SWING	
7	B, D, E	2'-8" x 8'-0"	SWING	
8	B, D, E	3'-0" x 8'-0"	SWING	
9	-	16'-0" x 8'-0"	OVERHEAD	
10	C	6'-0" x 6'-8"	BI-PASS	

A = MIN. OF 1 3/8" SOLID CORE w/ SELF CLOSER, SELF LATCHING, & TIGHT FITTING GASKETS & SWEEP - I.R.C. SEC. R309.1
B = SOLID CORE
C = HOLLOW CORE
D = TEMPERED GLASS
E = LITE DOOR

KEYNOTES	
No.	DESCRIPTION
1	REFRIGERATOR - PRE-PLUMB FOR ICE MAKER
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4	DOUBLE SINK w/ DISPOSAL
5	DISHWASHER - PROVIDE APPROVED AIR GAP
6	COUNTERTOP w/ BASE & UPPER CABINETS
7	44"x60" PREFAB SHOWER PAN w/ MOISTURE RESISTANT GYP. BD. w/ TILE, MARBLE OR EQ. TO +72" ABV. DRAIN
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9	4" CURB w/ SHOWER GLASS
10	PORCELAIN STEEL TUB/SHOWER COMBO. w/ ROD FOR SHOWER CURTAIN
11	42" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - UNO. ON PLAN
12	2x6 PLUMBING WALL
13	WASHER-PROVIDE PAN UNDERNEATH FOR DRAIN OVERFLOW
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15	1 SHELF OR UPPER CABINETS - VERIFY w/ OWNER
16	SHELVING PER OWNER
17	FAUL ON RAISED PLATFORM PER MECHANICAL
18	TEMPERED GLASS
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30	STEEL BOLLARD
31	ELECTRICAL PANEL - SEE ELECTRICAL PLANS
32	42" SQUARE CONCRETE LANDING SLOPE 1/4" P.L.F. MIN.
33	A/C COMPRESSOR PAD - VERIFY LOCATION w/ CONTRACTOR HOLD MIN. 6" FROM STEW
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36	

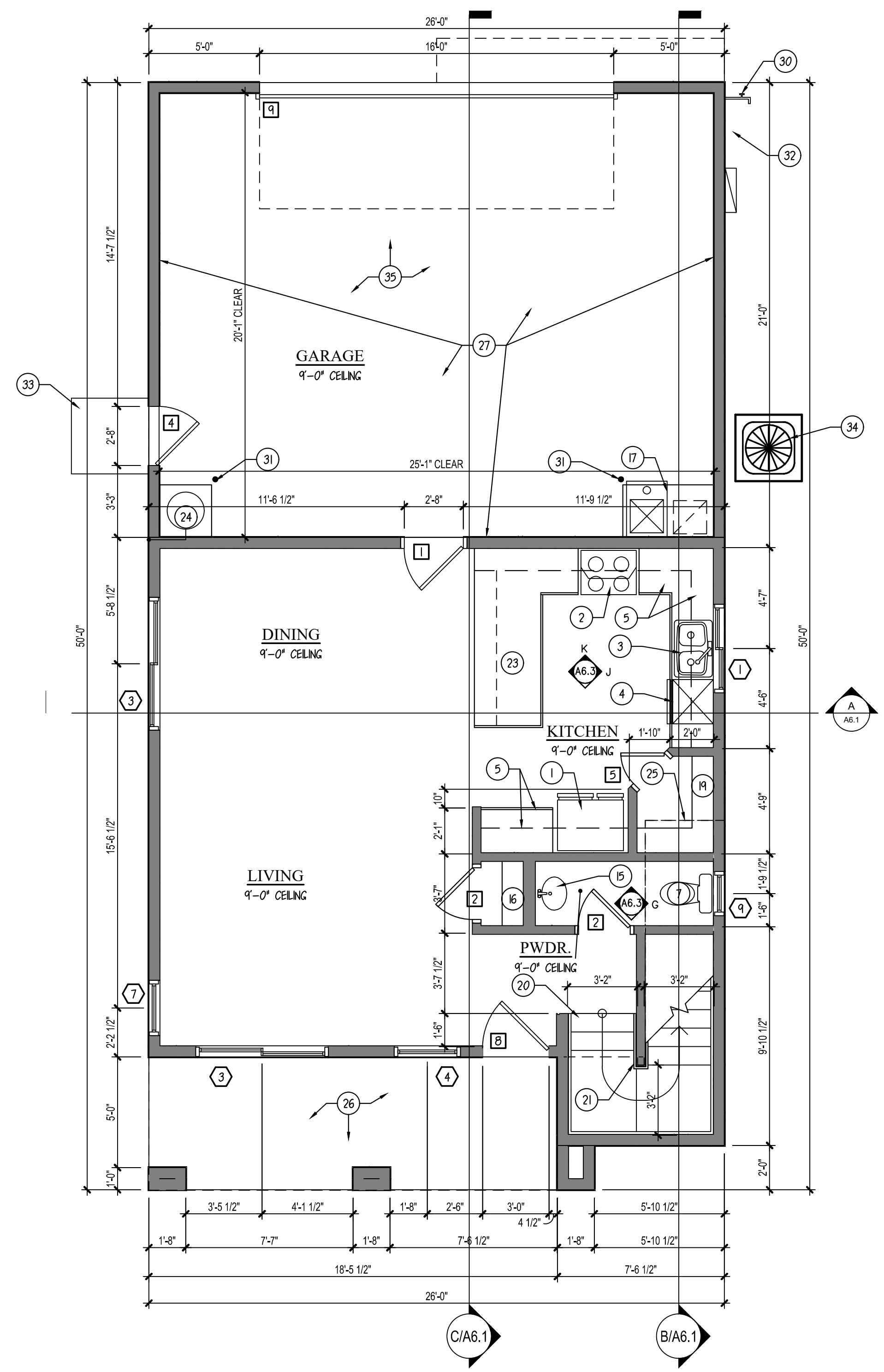
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4.	SEE BUILDING PLANS FOR LOCATION AND SEE SITE PLAN FOR BUILDING LOCATIONS AND BUILDING TYPES.
5.	SMOKE DETECTORS SHALL BE 110V, w/ BATTERY BACKUP & SHALL BE LOCATED IN EACH BEDROOM & HALLWAY LEADING THERE TO.
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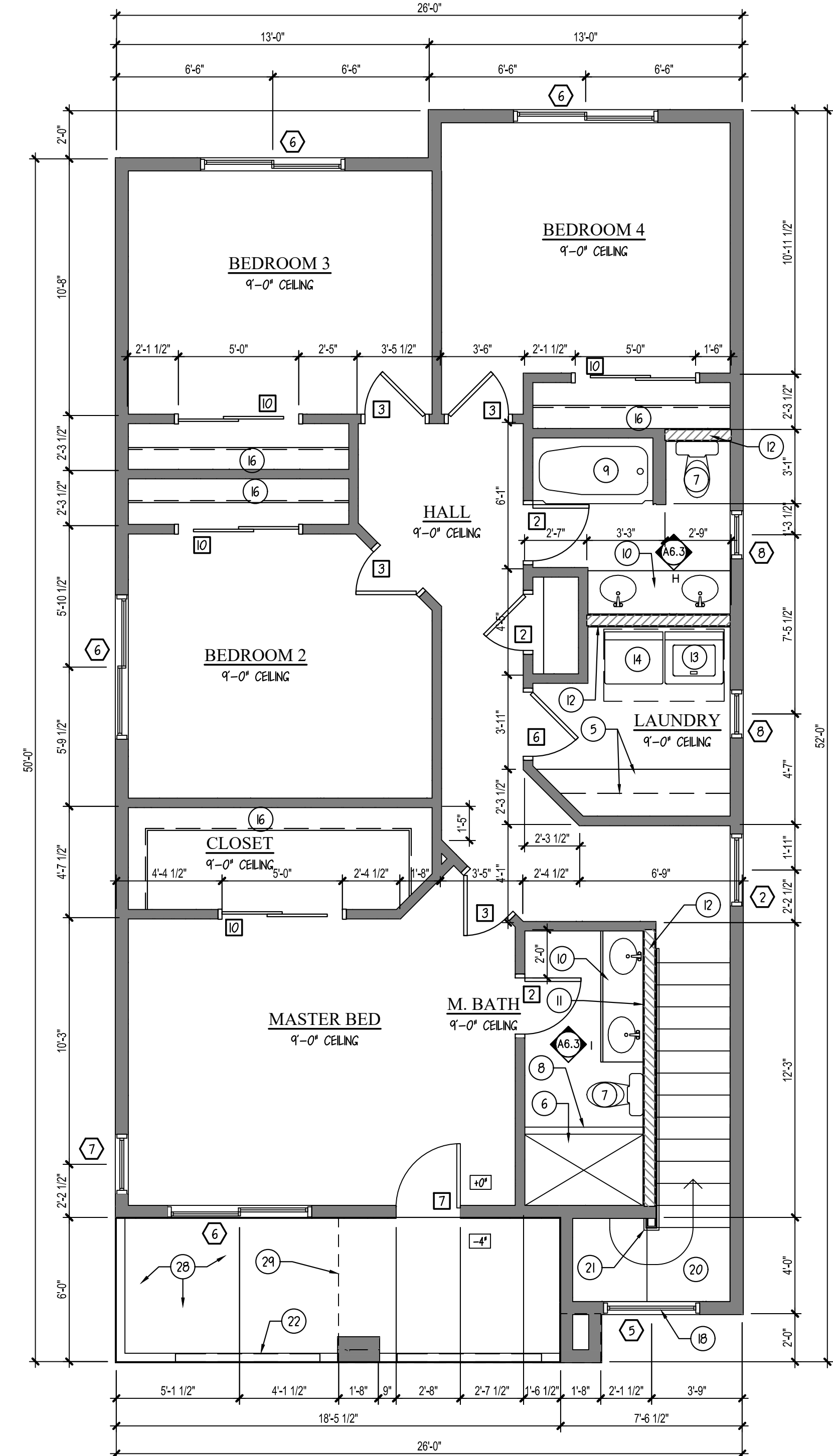
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WALL TAG LEGEND

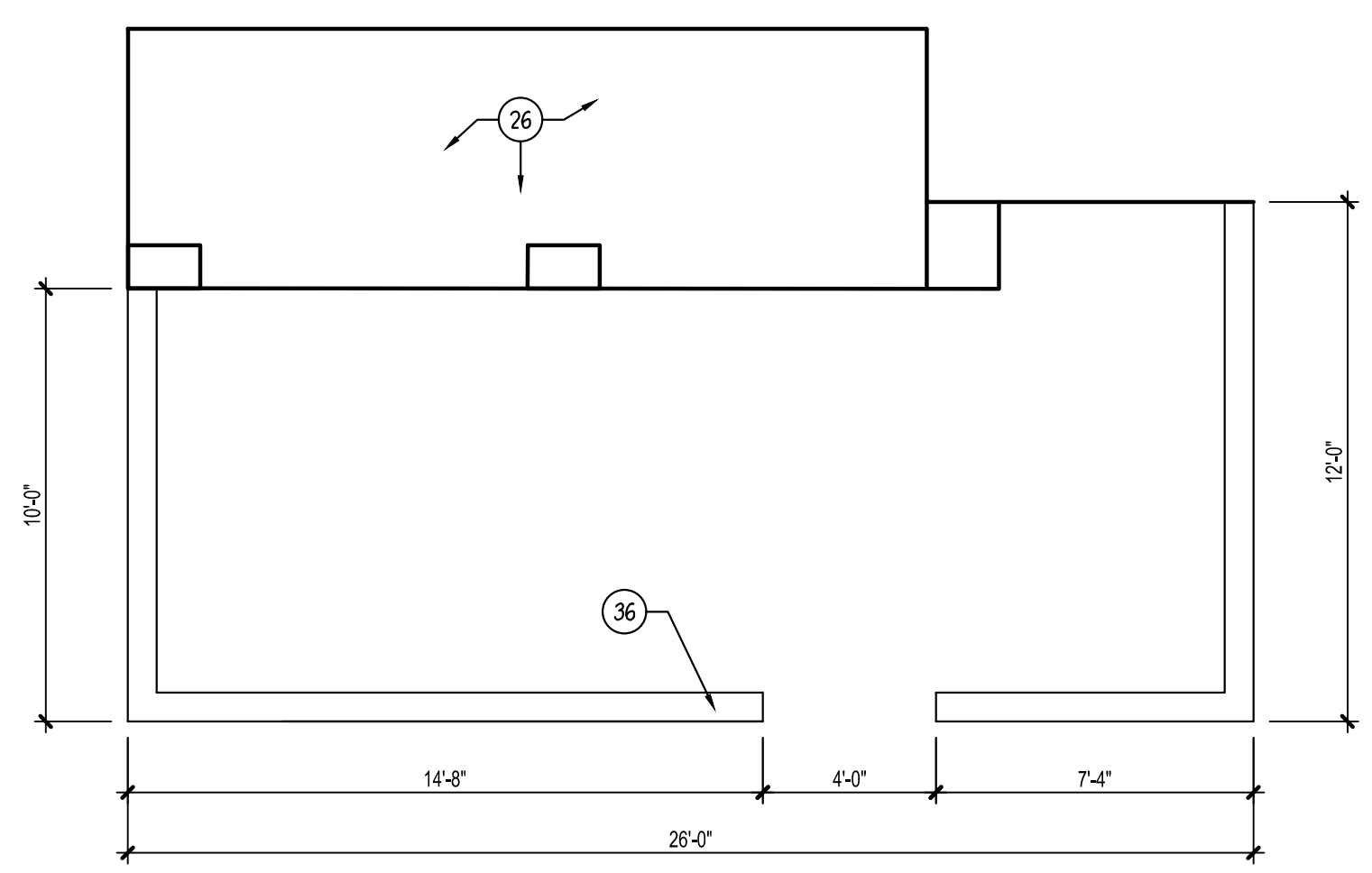
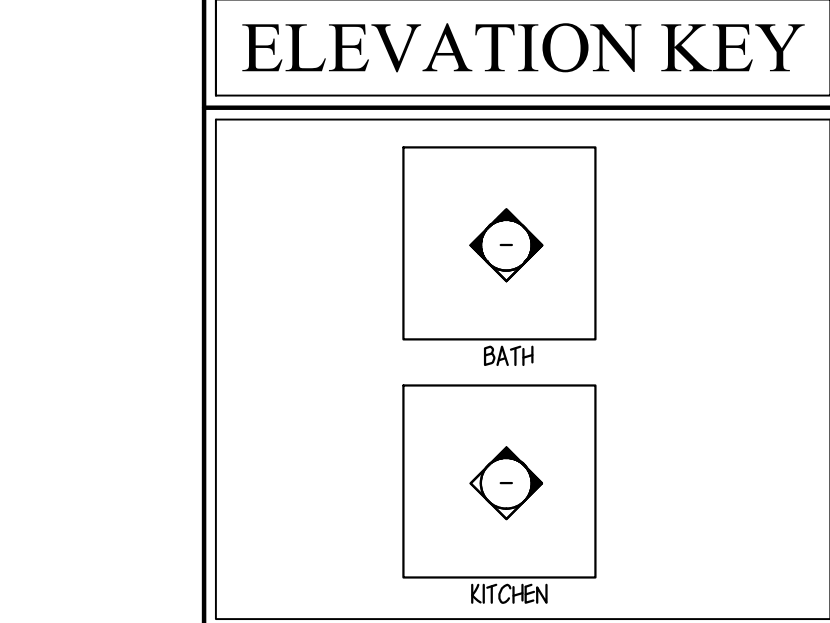
2X FRAMED WALL	
2x6 PLUMBING WALL	
8x8x16 CPU LOW WALL	



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
PLAN 4



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
PLAN 4



PATIO FLOOR PLAN
SCALE: 1/4" = 1'-0"



NEW MULTI RESIDENTIAL
SIENNA RIDGE
MULTI-FAMILY
144 S. 90TH ST.
MESA, AZ 85207

DIMENSIONED & NOTED
FLOOR PLANS

REVISIONS	
△	. CITY 3/19/25
△	. OWNER 3/19/25

PLOT DATE: 05/02/25
SHEET NO.

A1.3