



September 27, 2021

Evan Balmer,
Senior Planner, Development Services
City of Mesa
55 North Center Street
Mesa, AZ 85201
480-644-3654
Evan.Balmer@mesaaz.gov

Dear Evan,

Subject: Project Cork Narrative
(Case#: ANX21-0072, ZON21-00730 and DRB21-00877)

Introduction

On behalf of Ryan Companies US, Inc., we are pleased to submit this narrative and supporting documentation requesting Annexation, Rezoning, Site Plan Review, Design Review approval, two Special Use Permits and alternative compliance request for two design standards to allow an industrial development (“Project Cork” or the “Project”) on the north side of Pecos Road between Merrill Road and 222nd St. This Project will bring employment to this rapidly developing area.

Background

The Project is comprised of an approximately 74.37-acre parcel that is currently zoned R-43 in unincorporated Maricopa County. The Project is a rectangular parcel that extends from Pecos Road to the under construction SR 24. The project is bordered by Pecos Road to the South, SR 24 to the north, vacant industrial land to the east and west. City of Mesa corporate limits are contiguous on two sides of the Project.

General Plan Designation

The General Plan designation for the Project is Employment. This designation is for large scale employment type land uses. The Project fits squarely into this General Plan

Ryan Companies US, Inc.
3900 East Camelback Road, Suite 100
Phoenix, AZ 85018

p: 602-322-6100
ryancompanies.com

AZ LICENSE ROC212330 RES
AZ LICENSE ROC195813 COMM
Equal Opportunity Employer



designation. It is the intent of the developer to create an employment center for the surrounding community.

Strategic Development Plan

Additionally, the Project is within the Logistics and Commerce District (“LCD”) of the Mesa Gateway Strategic Development Plan (the “MGSDP”). The LCD lists warehousing as a desired use and goes on further to say that “greater intensity and higher density uses will be encouraged” in the area where the Project is located. This Project fits exactly with the LCD’s goals and objectives.

Requests

Multiple requests are being filed concurrently. The first request is for annexation into the City of Mesa. We would request that the annexation be approved with a City of Mesa comparable zoning of Agriculture (“AG”). Subsequent to the annexation, the second request is for rezoning to light industrial (“LI”) zoning. The third request is for site plan review. The site plan will include a large industrial building with approximately 517,220 square feet of main floor and approximately 184,352 square feet of mezzanine. The fourth request seeks design review of the Project’s site plan, landscaping and elevations. The fifth request is for a Special Use Permit for height up to 56 feet where 40 feet is currently allowed. The sixth request is for a Special Use Permit for reduced parking where 808 spaces are required and 502 spaces are being provided. The seventh request is for alternative compliance for two design standards which will be discussed in greater detail below.

Narrative

Project Cork proposes annexation and rezoning of parcels 304-34-015E and 304-34-015D. The rezoning would be from AG to LI in the City of Mesa. The Project will consist of a large industrial building covering approximately 517,220 square feet on the main floor with a 184,352 square foot mezzanine for a total square footage of 701,572 for warehousing and office uses. As seen on the attached elevations, the building vernacular is set as a contemporary design intended to meet the needs of the end user. With that in mind, the main office portion of the building is the initial visual that is seen with the warehouse portion behind it. With the articulated corners and entrances combined with the warehouse building, the building shows multiple changes in height. The primary structural element of the project is development with tilt-up concrete construction, but the buildings have been enhanced with textured form liner, varying colors of textured paint, accent metals, canopies and trellises. The massing of the structure is designed to break up long expanses of concrete with vertical and horizontal breaks on the exterior wall that help to define scale and hierarchy of elements. The use of canopies and trellises are integrated into the front façade to help reinforce a pedestrian scale to the project. The parapets are not contiguous to allow massing forms



to take shape and to allow proper screening of future utilities on the roof. All parapets include a metal scint band and vary in height from 3'6" to 5'6".

In accordance with MZO Sec. 11-7-3(B)(2)(a), the façade facing Pecos Road has a variety of heights, materials and change in plane to enhance the human scale of the project. The office portion of the project is pushed forward, set at a lower height than the warehouse, stepping the building to create a visual interest as you approach the project. In addition, we utilize a variety of textures and materials to break up the plane of the façade through the use of ACM panels, concrete form liner, glazing and seat walls. The hierarchy of the building massing and accent materials creates a natural way finding for employees and visitors. To strengthen the pedestrian scale of the project, we have incorporated human scale low steel trellises to break up the long facade and placed metal canopies to accent the main entry and utilize for amenity areas. At the East, North and West facades, we have incorporated form liner concrete panels, varying heights, multiple paint colors and clerestory windows on all elevations. These changes to the buildings facade further meet MZO Section 11-7-3(B)(3). In accordance with MZO Sec. 11-7-3(B)(2)(c), the building changes height across the building façade.

Annexation

This is a request for two parcels to be included in the City of Mesa's corporate limits. These parcels have one owner who has authorized Ryan Companies US Inc to make this application. The letter of Explanation for Annexation is included with this submittal as a separate document.

Circulation

The site will be accessed from two entrances on Merrill Road, one entrance on Pecos Road and one entrance from 222nd St. Both Merrill Road entrances and the 222nd Street will allow for full access and the Pecos Road will be right in right out with a decel lane. All offsite improvements along Pecos Road and Merrill Road associated with the Project will be built to City of Mesa standards at the time of development. 222nd Street will be built to Maricopa County roadway standards. Internal roadways will be between 24' and 80' wide providing efficient internal circulation and will meet the City's fire truck turning radius requirements.

Truck Courts

The truck court was designed to ensure the safety and security of the employees while maintaining the operational aspect of the Project. The layout was designed to segregate the office areas and street traffic from the truck and loading function. The truck court will be screened with 8-foot-high screening walls and the truck courts entrances will have manned guard shacks. There will be 127 dock doors in the truck court.

Parking

MZO 11-32-3 requires 1 space for 375 sf for office and 1 space for 900 sf of warehousing. The Project is proposing a 701,572 sf building which would require a total of 808 parking spaces. The Project is proposing 502 employee spaces for the development. While this is below the standards set forth in the MZO, the parking reduction, which will be discussed in further detail below, was done to allow for the project to still meet the needs of the user while addressing the design standards of the City. Based upon the end user's past experience with these types of buildings, the amount of parking proposed on this site plan is the minimum needed to still operate the facility. At the parking peak, the amount of employee parking will be between 400-450 leaving 52 spaces available for vendors/visitors to the site. The end user is appropriately concerned about safety of its employees and its visitors and needs to separate the car parking from the truck parking. The amount of trailer spaces provided is 359. Any trailer parking spaces will be contained within the truck courts areas and will be screened by walls or buildings from the streets and the to be constructed freeway. The current parking design allows the end user to operate the building in a safe manner while addressing the intent of the design standards for industrial. The Project will be in compliance with all applicable Mesa ordinances regarding parking screening throughout the development including a combination of walls and dense landscaping. Parking areas are separated from onsite buildings by at least 10 feet. Screening walls for parking areas have also been provided in accordance with City requirements. Outdoor bicycle parking will be provided in accordance with City code.

Signage

A Comprehensive sign plan is included in this submittal.

Open Space

Open space requirements have also been met for both required sidewalk plazas and outdoor amenities with outdoor gathering areas with onsite furniture. Located at the front of the office portion of the building will incorporate an employee/visitor amenity that resembles a restaurant's outdoor patio space. This amenity is depicted on the included elevation.

Pursuant to Section 11-7-3(B)(1)(d), the areas will be equal to or larger than 1% of the building gross floor area and are labeled on the site plan. Enhanced landscape areas, that include seating, along the edges of the property have been included to help with screening from the adjacent roads and properties. There will be contiguous pedestrian access to the building to meet all accessibility requirements.

Landscape Design and Stormwater Retention

The Project will be landscaped in accordance with all applicable Mesa ordinances. The landscape materials will be consistent with native plant materials found in the region,

are drought tolerant and contribute to the reduction of heat island effects. The landscaping design will also promote the theme carried throughout the development. The landscaping will include site walls and mature landscaping to create a significant streetscape on Pecos. The parking lots included oversized landscape areas and wide sidewalks to promoted a pedestrian scale to the project. The landscape design also integrates site amenity areas for employees and visitors.

This area of the county is known to have significant amount of storm water flows. The project will be designed to accept historic offsite flows and 100 year two (2) hour storm events. The onsite retention areas will be isolated from the offsite flows. Offsite flows will be collected at the historic points they enter the site, channelized and allowed to exist the site at the historic outfall locations. Included in this submittal are conceptual engineering plans that go into greater detail. The storm water retention will utilize surface basins dispersed throughout the site to accommodate the two-hour 100-year event. The retention basins will bleed off into the offsite channels. Retention basins will be integrated into the design of the landscape and maintained by the owner.

Special Use Permit for Height

In accordance with MZO 11-70-5 a Special Use Permit (“SUP”) may only be granted if all of the following criteria are met:

1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;
2. The location, size, design and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;
3. The proposed project will not be injurious or detrimental to the neighborhood or to the general welfare of the City; and
4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.

As mentioned above, the request for the SUP is to allow building heights up to 56 feet where 40 feet is allowed. The request meets the four part test as set out in Mesa Ordinance. As it relates to sections 1 and 2 of the test, the Project is designated as Employment in the General Plan and the Logistics and Commerce District of the Mesa Gateway Strategic Development Plan. The height request is consistent with the General Plan designation. The Mesa Gateway Strategic Development Plan calls out that buildings should be as tall as allowed by the flight plan of the airport. It also calls out for the most intense development patterns at the location of the project. Granting this SUP will



advance the goals of the General Plan and specifically addressing an objective of the Mesa Gateway Strategic Development Plan.

As to section 3, this project will not be injurious or detrimental to the neighborhood or the general welfare of the City. We will continue to work with Phoenix Mesa Gateway Airport and the FAA to seek any required approvals for this project. FAA has reviewed the project and determined there is no hazard to air navigation based on the proposed building heights. The additional height will help the City fill a need of these types of buildings and promote additional employment in the area. As to section 4, there is no concern about having the adequate public facilities, services or infrastructure to serve the buildings at the height requested. With all four parts of the test satisfied, we respectfully request approval of the SUP.

Special Use Permit for Parking Reduction

In accordance with MZO 11-32-6 a Special Use Permit ("SUP") may only be granted if all of the following criteria are met:

1. Special conditions – including but not limited to the nature of the proposed operation; proximity to frequent transit service; transportation characteristics of persons residing, working or visiting the site – exist that will reduce parking demand at the site;
2. The use will adequately be served by the proposed parking; and
3. Parking demand generated by the project will not exceed the capacity of or have a detrimental impact on the supply of on-street parking in the surrounding area.

As mentioned above, the request for a parking reduction is necessary in order to comply with the design standards of the City regarding the streetscape in LI zoning. The request meets the three part test detailed above. As it relates to the first prong, this project clearly has special conditions. The size and use of the building requires an employee/visitor parking field that, for safety reasons, is separated from the truck court. Based upon the building layout, design and the lot shape, separating the truck court from the employee/visitor parking lot causes a parking field to be close to Pecos Rd. The design standards of the City require the buildings to be as close as possible to the street. The end user has extensive experience in operating this type of building and has made the determination that the parking proposed in this submittal is the minimum necessary to safely operate this facility. By reducing the parking spaces below the code minimum, the building is moved closer to Pecos Rd, thereby meeting the intent of the design standards.

Additionally, the extensive experience the end user has in operating this type of facility allows them to fully understand the transportation needs of its employees and visitors. Based upon that knowledge, the end user has always included two transit/drop off

locations on the site plan. While it may be some time before mass transit is available in this area, the end user is aware of the amount of drop off traffic that occurs on its other sites which contribute to the special conditions of this site.

As for the second prong, based on the end user's knowledge of other sites, combining the transit/drop off locations with the amount of parking proposed in this submittal, the use will be adequately served by the proposed parking.

The third prong is addressed in part by the answer to the second prong. As it relates to the supply of on street parking, there are no plans known to the applicant of having on street parking in this area.

With all three parts of the test satisfied, we respectfully request approval of the SUP.

Alternative Compliance for Design Standards

MZO Sec. 11-7-3(B)(6)(b)(iv) allows for alternative compliance with this ordinance so long as the approving authority finds the "proposed alternative is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the and/or meets or exceeds the design objectives as described in the City's General Plan."

MZO Sec. 11-7-3(B)(2) requires "architectural elements and techniques shall be utilized to reduce the apparent massing and scale of building... and may not have blank uninterrupted wall lengths exceeding 50 feet without including at least two (2) of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines or an equivalent element that subdivides the wall into human scale proportions." Additionally, MZO Sec. 11-7-3(B)(5)(b) requires that "no more than fifty percent (50%) of the total façade may be covered with one (1) single material."

Our understanding of the intent of the design standards is to prevent long, monolithic expanses of the same material on the building. As discussed above, the primary structural element of the project is development with tilt-up concrete construction. The massing of the structure is designed to break up long expanses of concrete with vertical and horizontal breaks on the exterior wall that help to define scale and hierarchy of elements. The use of canopies and trellises are integrated into the front façade to help reinforce a pedestrian scale to the project. The façade facing Pecos Road has a variety of heights, materials and change in plane to enhance the human scale of the project. The office portion of the project is pushed forward, set at a lower height than the warehouse, stepping the building to create a visual interest. In addition, we utilize a variety of textures and materials to break up the plane of the façade through the use of ACM panels, concrete form liner, glazing, accent metals, varying colors of paint and seat walls. To strengthen the pedestrian scale of the project, we have incorporated human scale low steel trellises to break up the long facade and placed metal canopies to accent the main entry and utilize for amenity areas. At the East, North and West facades, we



have incorporated form liner concrete panels, varying heights, multiple paint colors and clerestory windows on all elevations.

As described above, the buildings are designed in a way that improves the overall architectural appeal while fitting into the context of the area and improving the overall architectural appeal of the buildings. We respectfully request approval of alternative compliance with the two design standards listed above.

Conclusion

On behalf of Ryan Companies US, Inc., we respectfully request approval of the seven items detailed in this submittal. Ryan Companies US, Inc. is excited to bring forward a project that will provide employment for Mesa citizens and the surrounding communities.

Sincerely,

Josh Tracy

Director of Real Estate Development

(p) 602-322-6236

(c) 480-620-9945

Ryan Companies US, Inc.
3900 E Camelback Rd. Suite 100
Phoenix, AZ 85018

Josh.Tracy@ryancompanies.com

ryancompanies.com

BENCHMARK

FOUND 3" MARICOPA COUNTY HIGHWAY DEPARTMENT BRASS CAP AT THE INTERSECTION OF PECOS ROAD AND MERRILL ROAD.

ELEVATION = 1410.80 (NAVD88)

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 35. SAID LINE BEARS SOUTH 89 DEGREES 27 MINUTES 41 SECONDS EAST.

LEGAL DESCRIPTION

BEING SITUATED IN THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 35;

THENCE NORTH 00 DEGREES 34 MINUTES 07 SECONDS WEST, ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER OF SECTION 35, A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00 DEGREES 34 MINUTES 07 SECONDS WEST, ALONG SAID WEST LINE OF SAID SOUTHEAST QUARTER OF SECTION 35, A DISTANCE OF 2481.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROUTE 24 (GATEWAY FREEWAY) AS DESCRIBED IN DOCUMENT NO. 2019-0632030;

THENCE SOUTH 81 DEGREES 41 MINUTES 39 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROUTE 24 (GATEWAY FREEWAY) AS DESCRIBED IN DOCUMENT NO. 2019-0632030, A DISTANCE OF 403.05 FEET;

THENCE SOUTH 83 DEGREES 31 MINUTES 57 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROUTE 24 (GATEWAY FREEWAY) AS DESCRIBED IN DOCUMENT NO. 2019-0632030, A DISTANCE OF 229.07 FEET;

THENCE SOUTH 00 DEGREES 24 MINUTES 03 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROUTE 24 (GATEWAY FREEWAY) AS DESCRIBED IN DOCUMENT NO. 2019-0632030, A DISTANCE OF 124.60 FEET;

THENCE NORTH 89 DEGREES 35 MINUTES 57 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROUTE 24 (GATEWAY FREEWAY) AS DESCRIBED IN DOCUMENT NO. 2019-0632030, A DISTANCE OF 25.01 FEET;

THENCE SOUTH 00 DEGREES 24 MINUTES 03 SECONDS EAST, A DISTANCE OF 2209.69 FEET;

THENCE NORTH 89 DEGREES 27 MINUTES 41 SECONDS WEST, A DISTANCE OF 1291.79 FEET TO THE POINT OF BEGINNING.

SUBJECT PARCEL CONTAINS 3,107,347 SQUARE FEET OR 71.335 ACRES MORE OR LESS.

RETENTION REQUIRED CALCS

VOLUME REQUIRED

$V = C * (P/12) * A$

WHERE

$V = 100\text{-YR 2-HOUR VOLUME REQUIRED (FT}^3\text{)}$
 $C = \text{RUNOFF COEFFICIENT (SET AT 0.95)}$
 $P = 100 \text{ YEAR 2-HOUR PRECIPITATION VALUE IN INCHES (SET AT 2.2)}$
 $A = \text{AREA OF LOT (3,239,557 FT}^2\text{)}$

$V = 0.95 * (2.2/12) * 3,239,557$

$V = 564,223 \text{ FT}^3$

RETENTION BASIN VOLUME PROVIDED

TOTAL VOLUME PROVIDED
 = 918,888 FT³

ONSITE DRAINAGE SUMMARY

ONSITE STORAGE IS PROVIDED FOR THE 100-2HR STORM EVENT VIA SURFACE RETENTION BASINS.

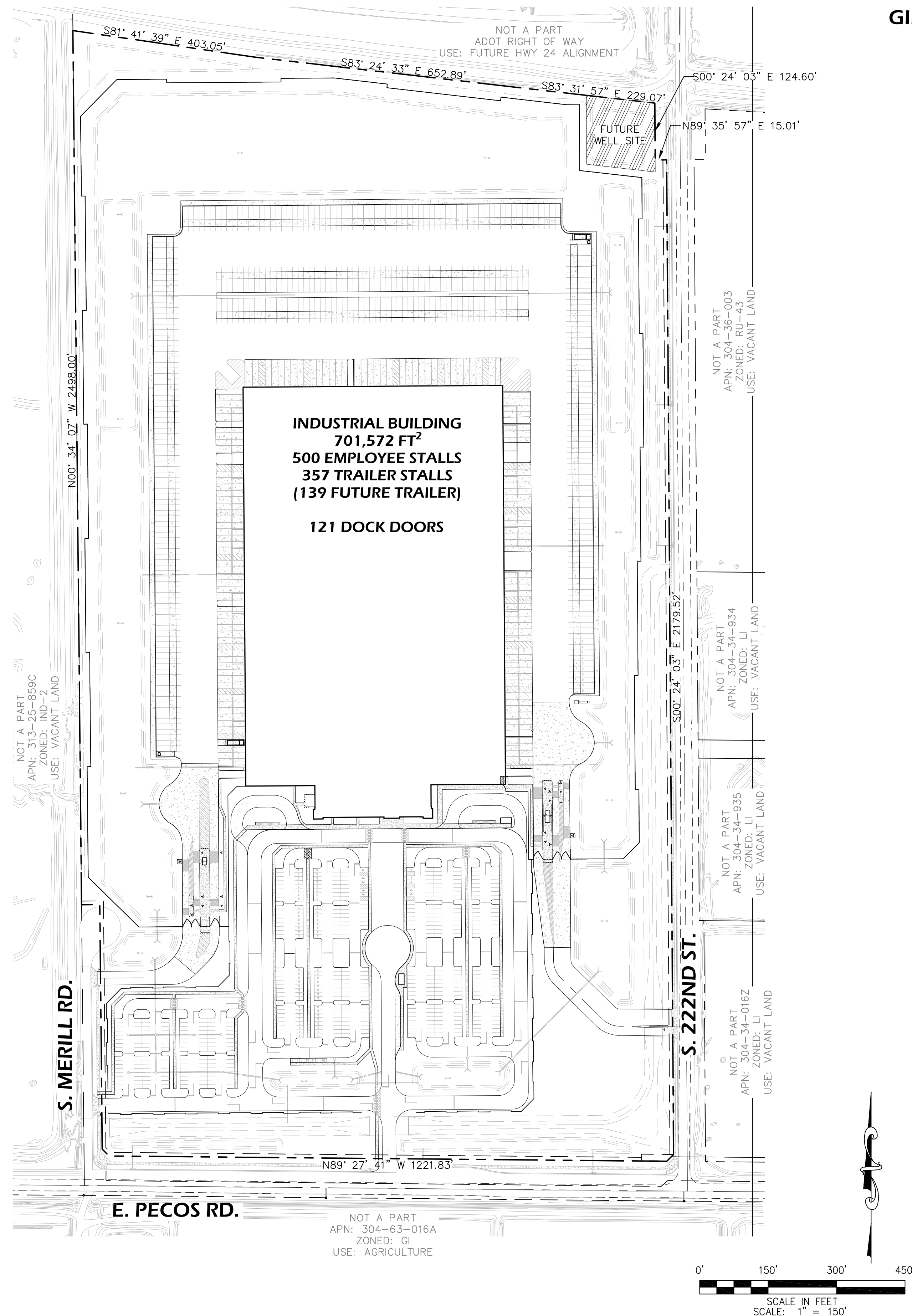
OFFSITE REGIONAL DRAINAGE FLOWS

IT IS UNDERSTOOD THAT THIS SITE WILL RECEIVE SIGNIFICANT OFFSITE REGIONAL STORMWATER. OFFSITE FLOWS APPROACH THE SITE AT THE EASTERN PROPERTY LINE AND ARE DIRECTED SOUTH TO PECOS ROAD.

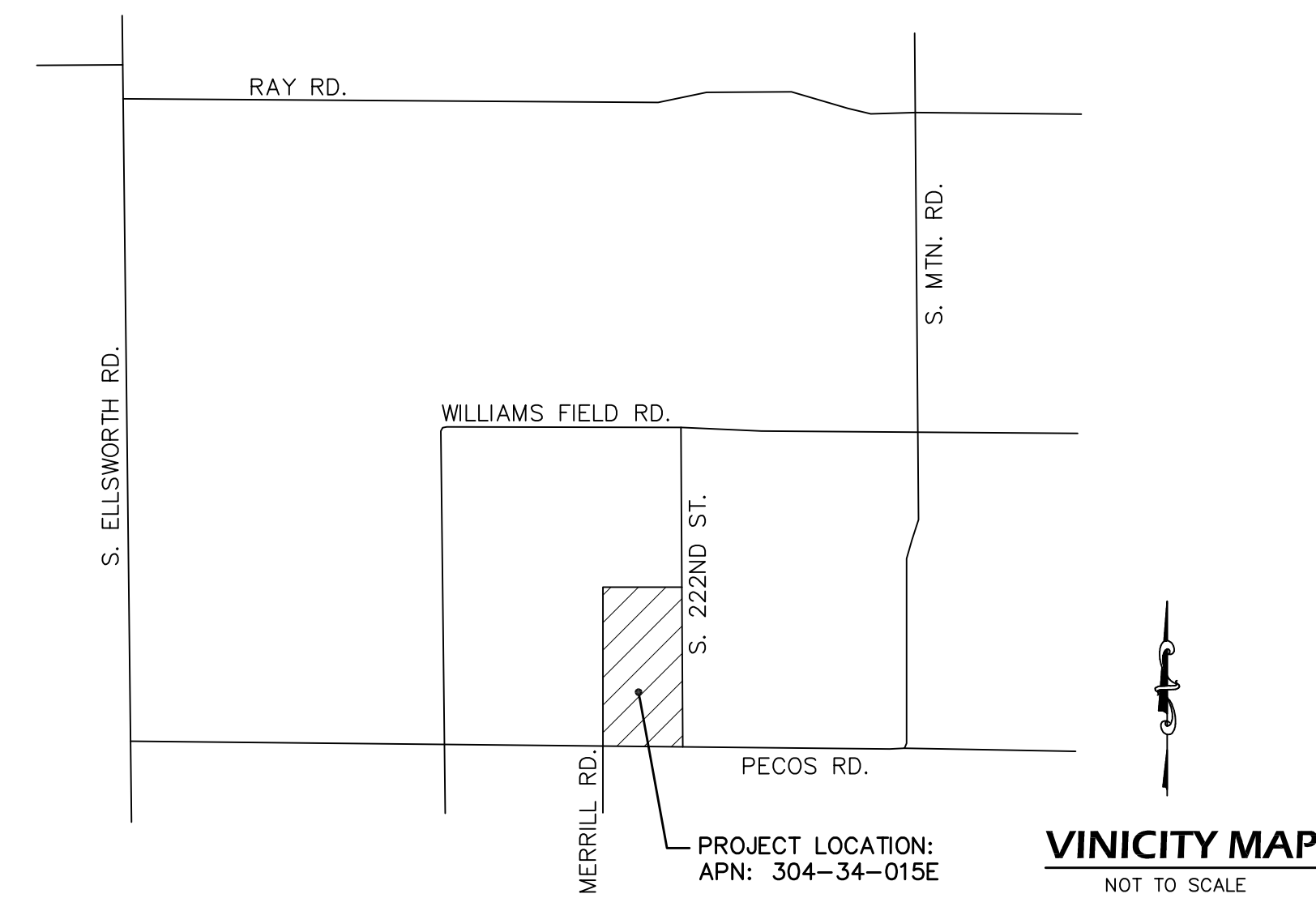
THE STRATEGY FOR THIS SITE IS TO CONVEY THE HISTORIC OFFSITE FLOWS ACROSS THE PECOS FRONTAGE VIA CHANNELIZED GRADING. BETWEEN 60' AND 80' OF SOUTHERN FRONTAGE HAS BEEN RESERVED FOR OFFSITE FLOW CONVEYANCE.

OFFSITE STORMWATER FLOWS WILL NOT CO-MINGLE WITH ANY ONSITE STORMWATER MANAGEMENT OR RETENTION.

OFFSITE FLOWS WILL BE MANAGED ACROSS THE SOUTHERN FRONTAGE AND WILL OUTLET AT THE SOUTH WEST PROPERTY CORNER. THIS IS THE HISTORIC OUTLET POINT FOR THIS SITE.



**PRELIMINARY CIVIL IMPROVEMENT PLANS FOR
 PROJECT CORK - PECOS SITE**
 A PORTION OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST,
 GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



OWNER/DEVELOPER

RYAN COMPANIES
 3900 E. CAMELBACK ROAD, SUITE 100
 COLUMBUS, OHIO 43212
 CONTACT PERSON: JOSH TRACY
 E-MAIL: josh.tracy@ryancompanies.com

ENGINEER

PREFLING ENGINEERING
 4435 E. CHANDLER BLVD, SUITE 200
 PHOENIX, AZ 85048
 CONTACT PERSON: MIKE PREFLING
 TEL. NO. 480-625-9795
 E-MAIL: mike@preflingeng.com

EXISTING SITE DATA

A.P. NO.
 304-34-015E
 304-34-015d

ADDRESS
 NONE FOUND

ZONING
 RU-43

NET LOT AREA
 71.34 AC

GROSS LOT AREA
 74.37 AC

ARCHITECT

FORD & ASSOCIATES, INC
 1500 WEST FIRST AVENUE
 COLUMBUS, OHIO 43212
 CONTACT PERSON: MARK FORD
 TEL. NO. 614-488-6252
 E-MAIL: MFORD@FORDARCHITECTS.COM

LANDSCAPE

G.K. FLANAGAN ASSOCIATES
 4626 N. 44TH STREET
 PHOENIX AZ 85018
 CONTACT PERSON: GREG FLANAGAN
 TEL. NO. 602-912-9691
 E-MAIL: GREG@GKFASSOCIATES.COM

FIRM INFORMATION:

FIRM MAP ID# - 04013C2790L
 FIRM ZONE - X
 DATE - 10/16/2013

INDEX OF CIVIL SHEETS	
SHEET NO.	DESCRIPTION
C1.0	OVERALL PLAN AND COVER SHEET
C2.0	NOTES AND DETAILS
C3.0	OVERALL GRADING PLAN
C3.1	GRADING SECTIONS
C3.2 THRU C3.10	DETAIL GRADING SHEETS
C4.0	OVERALL UTILITY PLAN
C5.0	OFFSITE SUMMARY PLAN



RYAN A+E, INC.
 3900 E. Camelback Road, Ste 100
 Phoenix, AZ 85018
 602-322-6100 tel
 602-322-6300 fax

WWW.RYANCOMPANIES.COM

OWNER

CONSULTANTS

PREFLING Engineering
 4435 E. Chandler Blvd,
 Suite 200
 Phoenix, AZ 85048
 480-625-9795



PROJECT INFORMATION

PROJECT CORK

ELLIOT ROAD
 MESA, ARIZONA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Arizona

MICHAEL PREFLING

REGISTRATION NO.	DATE
46785	09-30-2022

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DRAWN BY	CHECKED BY

JOB NO.	DATE
	09/07/21

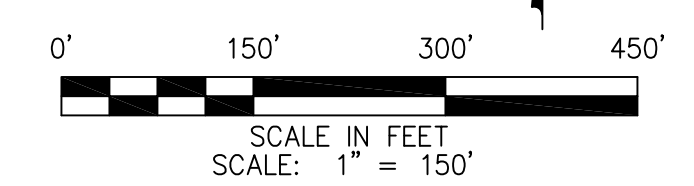
ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION

DESIGN REVIEW

09.07.2021

PRELIMINARY CIVIL COVER SHEET

C1.0



CITY OF MESA - GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE INFORMATION SHOWN ON DRAWINGS CONCERNING THE TYPE AND LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER OR THE ENGINEER'S AGENT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND AND OVERHEAD UTILITIES.
 - CALL 602-263-1100 OR 811 FOR BLUE STAKE SERVICES.
 - CALL SALT RIVER POWER FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT 602-236-8888.
 - CALL CITY OF MESA ELECTRICAL FOR POLE BRACING, ELECTRICAL SERVICE OR CONSTRUCTION SCHEDULING AT 480-644-2251 WITHIN CITY OF MESA ELECTRICAL SERVICE TERRITORY (DOWNTOWN MESA).
 - WHEN EXCAVATING IN OR ADJACENT TO A CITY PARK OR AQUATIC FACILITY THE CONTRACTOR SHALL CONTACT AQUATICS AND PARKS MAINTENANCE AT 480-644-3097 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND UTILITY FACILITIES.
 - WHEN EXCAVATING IN OR ADJACENT TO LANDSCAPING WITHIN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL CONTACT TRANSPORTATION FIELD OPERATIONS AT 480-644-3380 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND IRRIGATION FACILITIES.
- TRAFFIC CONTROL SHALL CONFORM TO THE CITY OF MESA TEMPORARY TRAFFIC CONTROL MANUAL. ELECTRONIC COPIES ARE AVAILABLE AT [HTTP://WWW.MESA.AZ.GOV/BUSINESS/BARRICADING-TEMPORARY-TRAFFIC-CONTROL-PERMITS](http://www.mesaaz.gov/business/barricading-temporary-traffic-control-permits). HARD COPIES CAN BE MADE AVAILABLE AT DEVELOPMENT SERVICES, 55 N. CENTER ST., MESA, ARIZONA
- CONTRACTOR TO NOTIFY TRAFFIC OPERATIONS AT 480-644-3126 PRIOR TO SIGN REMOVAL AND WHEN READY TO PERMANENTLY RELOCATE SIGN.
- CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED, AND COORDINATE ALL IRRIGATION DRY-UPS, RELOCATIONS, AND REMOVALS BY OTHERS.
- CONTRACTOR SHALL POTHOLE EXISTING UTILITIES AHEAD OF CONSTRUCTION TO ALLOW FOR ANY NECESSARY ADJUSTMENTS IN GRADE LINE AND TO VERIFY PIPE MATERIALS FOR ORDERING THE APPROPRIATE TRANSITION AND TIE-IN FITTINGS THAT MAY BE REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL ABANDONED UTILITIES THAT INTERFERE WITH PROPOSED IMPROVEMENTS. THE CITY OF MESA UTILITIES DEPARTMENT LOCATING SECTION WILL ASSIST THE CONTRACTOR AS NEEDED, IN DETERMINING IF THE UTILITY (GAS, WATER, AND WASTEWATER ONLY) IS ABANDONED BY CALLING 480-644-4500.
- PRIOR TO START OF CONSTRUCTION ON PRIVATE PROPERTY (EASEMENTS), THE CONTRACTOR SHALL GIVE THE OWNER SUFFICIENT TIME (MINIMUM 48 HOURS) TO REMOVE ANY ITEMS IN CONFLICT WITH CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE TO REMOVE AND REPLACE ALL OTHER CONFLICTS AS REQUIRED.
- THE CONTRACTOR SHALL COORDINATE WORK SCHEDULES TO PREVENT ANY CONFLICTING WORK CONDITIONS WITH THE CITY OF MESA UTILITY AND TRANSPORTATION CREWS.
- THE CONTRACTOR IS ADVISED THAT A DUST CONTROL PERMIT AND A DUST CONTROL PLAN MAY BE REQUIRED BY THE MARICOPA COUNTY AIR QUALITY DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT, IF NECESSARY, AND COMPLY WITH ITS REQUIREMENTS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE DUST CONTROL PERMIT AND DUST CONTROL PLAN TO THE CITY FOR REVIEW.
- INSPECTIONS SHALL BE PROVIDED BY THE CITY OF MESA. THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION.
- THE JOB SITE SHALL BE CLEANED OF ANY DEBRIS OR SPOIL RESULTING FROM THIS PROJECT AT THE COMPLETION OF CONSTRUCTION.
- ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR SPECIFICATIONS, BUT REQUIRED TO COMPLETE THIS PROJECT, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THIS CONTRACT WORK (NO ADDITIONAL COST TO THE CITY).
- WHEREVER PAVEMENT REPLACEMENT PER MESA STD DETAIL M-19.04.1 OR MAG STD DETAIL 200 IS REFERRED TO WITHIN THESE PLANS, BACKFILLING SHALL BE PER THE CITY OF MESA STREET TRENCH BACKFILLING AND PAVEMENT REPLACEMENT POLICY STATEMENT, REVISED SEPTEMBER 29, 1999.
- FOR PURPOSES OF PAVEMENT PER MAG STD DETAIL 200 OR MESA STD DETAIL M-19.04.1, INTERSECTIONS ARE DEFINED BY THE CURB RETURNS IN ALL DIRECTIONS.
- ANY SURVEY MARKERS DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY A REGISTERED LAND SURVEYOR AT NO ADDITIONAL COST TO THE CITY.
- ALL EXISTING PAVEMENT MARKINGS, SIGNS, AND SIGNAL EQUIPMENT THAT ARE NOT PART OF THIS PROJECT BUT NEED TO BE REMOVED, REPLACED, RELOCATED, OR REPAIRED BECAUSE OF CONTRACTOR'S WORK WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. DEPENDING ON DAMAGES, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES OR SYSTEMS AS A RESULT OF CONTRACTOR'S NEGLIGENCE SHALL BE BORNE BY THE CONTRACTOR.

CITY OF MESA - PAVING GENERAL NOTES

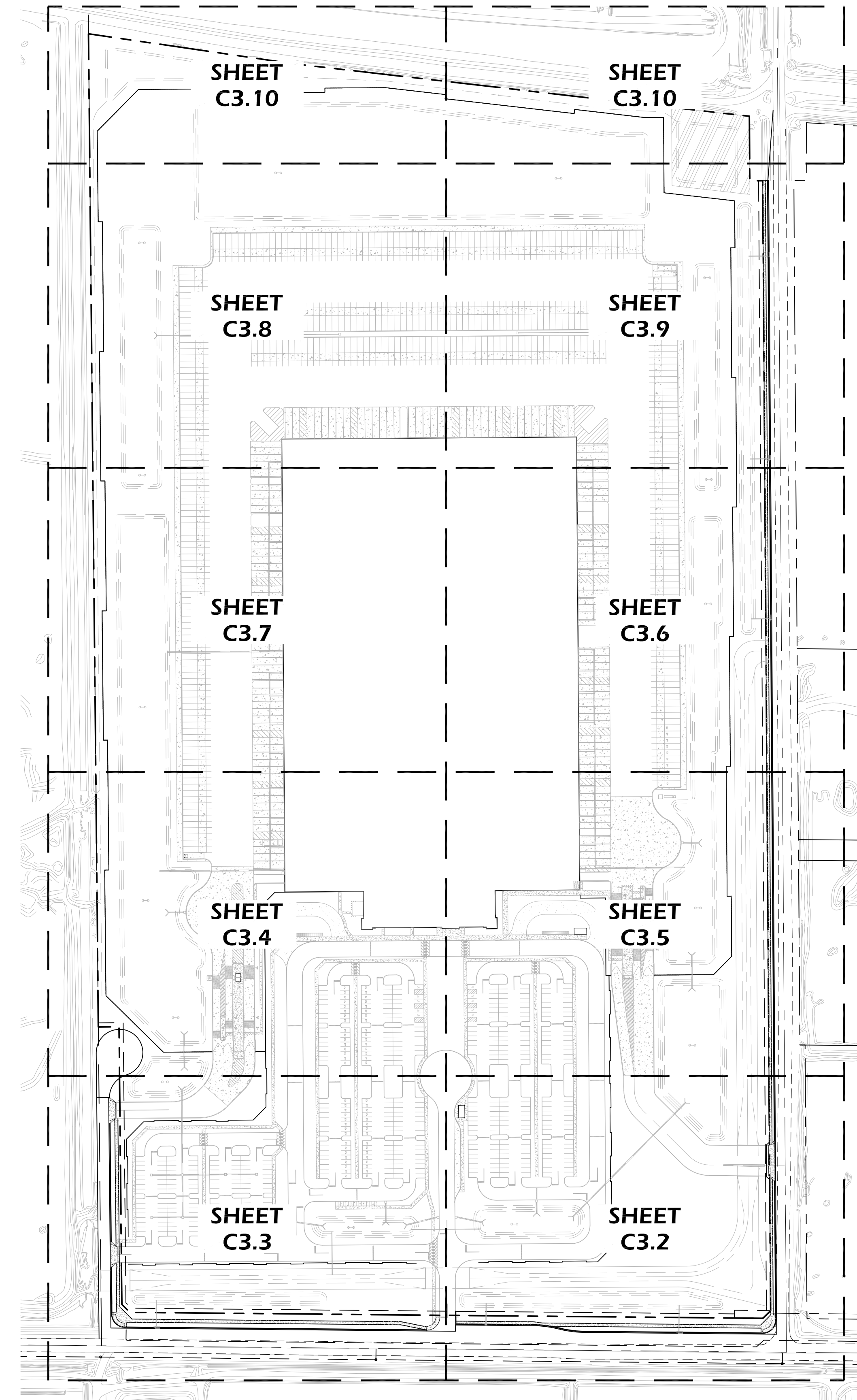
- CONTRACTOR SHALL COORDINATE ALL DRIVEWAY LOCATIONS WITH PRIVATE PROPERTY OWNERS AND THE CITY INSPECTOR.
- FOR THE APPROVED LIST OF PAVING PRODUCTS SEE: [HTTP://WWW.MESA.AZ.GOV/BUSINESS/ENGINEERING/APPROVE-PRODUCTS-EQUIPMENT-NATURAL-GAS-LINE-CONTRACTORS](http://www.mesaaz.gov/business/engineering/approve-products-equipment-natural-gas-line-contractors).
- ALL GUTTER GRADES LESS THAN 0.0020 FT/FT SHALL BE STAKED ALONG THE ACTUAL GUTTER ALIGNMENT (NOT OFFSET) AND CHECKED BY CITY OF MESA INSPECTOR IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE.
- ALL FRAMES, COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE AFTER PLACEMENT OF ASPHALT CONCRETE SURFACE COURSE PER MAG STD DETAILS 270, 422, OR 391-1-C.

CITY OF MESA - WATER, WASTEWATER, AND STORM DRAIN NOTES

- MATERIALS AND INSTALLATION OF WATER AND SEWER MAINS, WATER METERS AND SERVICE LINE CONNECTIONS SHALL CONFORM TO CURRENT CITY DETAILS, MESA AMENDMENTS TO MAG SPECIFICATIONS, AND THE APPROVED PRODUCTS LIST. SEE BELOW FOR APPROVED PRODUCT LISTS FOR WATER AND WASTEWATER.

[HTTPS://WWW.MESA.AZ.GOV/HOME/SHOWDOCUMENT?ID=33740](https://www.mesaaz.gov/home/showdocument?id=33740)

[HTTPS://WWW.MESA.AZ.GOV/HOME/SHOWDOCUMENT?ID=24019](https://www.mesaaz.gov/home/showdocument?id=24019)
- IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-4-213, ALL MATERIALS WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 60, 61, AND 372 AND SHALL BE LEAD-FREE AS DEFINED IN A.A.C. R18-5-504 AND R18-4-101.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY FITTINGS AND ADAPTERS REQUIRED TO CONNECT DIFFERENT TYPES OF WATER MAIN MATERIALS.
- PER MESA AMENDMENTS 610.4.2 ALL MINOR VERTICAL OR HORIZONTAL DEFLECTIONS SHALL BE BY PIPE JOINT DEFLECTION UNLESS OTHERWISE NOTED. PIPE JOINT DEFLECTION SHALL NOT EXCEED 3 DEGREES OR 2/3 OF PIPE MANUFACTURER'S RECOMMENDATIONS WHICHEVER IS LESS.
- PER MAG AND MESA AMENDMENTS 610.11 ALL WATER LINE TESTS SHALL BE COMPLETED SO THAT NO EXISTING LINES, EXISTING VALVES, OR NEWLY INSTALLED VALVES WHICH ARE CONNECTED TO THE OPERATING WATER SYSTEM ARE INCLUDED IN THE TESTS. ALLOWABLE TIMEFRAMES SHOULD FOLLOW MESA AMENDMENTS TO MAG AND MUST BE COORDINATED WITH THE CITY INSPECTOR. FOR A DAYTIME TIE-IN, THE CONTRACTOR SHALL COMPLETE ALL WORK NECESSARY TO RESTORE UTILITY SERVICE AND FULLY OPEN THE TIE-IN AREA TO TRAFFIC WITHIN THE TIME ALLOWED.
- WATER LINE FLUSHING, PRESSURE TESTING, AND DISINFECTION SHALL BE COMPLETED PER MAG SPECIFICATION SECTION 611, MESA AMENDMENTS TO MAG SPECIFICATION SECTION 611, AND AWWA C651 (CURRENT VERSION).
- SOURCE WATER UTILIZED FOR FILLING, FLUSHING AND TESTING SHALL BE OBTAINED FROM A HYDRANT METER ORDERED THROUGH PERMIT SERVICES AND SET BY CITY OF MESA WATER RESOURCES STAFF. IT IS PROHIBITED TO OPEN A VALVE TO THE EXISTING WATER SYSTEM TO FILL A NEWLY CONSTRUCTED OR REPAIRED PIPELINE AS OUTLINED IN THE MESA AMENDMENTS TO MAG SECTION 610.11 AND 611.
- WATER METERS, METER BOXES, LIDS, ETC. IN CONFLICT WITH NEW CONSTRUCTION SHALL BE RELOCATED PER CITY OF MESA STANDARD DETAIL M-49 BY THE CONTRACTOR. THE RELOCATION SHALL INCLUDE ALL MATERIALS NECESSARY TO RECONNECT THE METER TO THE CITY DISTRIBUTION SYSTEM. SERVICE LINE EXTENSIONS, IF APPROVED IN WRITING BY MESA WATER RESOURCES DEPARTMENT, SHALL CONFORM TO MESA STANDARD DETAIL M-49. WHEN SERVICE LINE EXTENSIONS ARE APPROVED PER MESA STANDARD DETAIL M-49, SERVICE LINE COUPLINGS SHALL NOT BE PLACED UNDER ROADWAY SURFACES, CONCRETE GUTTERS, CURB AND GUTTER, OR CONCRETE DRIVEWAYS.
- VALVES SHALL BE INSTALLED WITH VALVE BOX AND COVER PER MAG STD DETAILS 391-1, TYPE C WITH A DEEP-SKIRTED LID (4-INCHES MINIMUM) AS NOTED IN THE APPROVED PRODUCTS LIST.
- ALL WATER LINE ABANDONMENT CUT AND PLUGS FOR ACTIVE LINES SHALL CONFORM TO THE FOLLOWING:
 - 12" AND SMALLER DIAMETER PER MESA STANDARD DETAIL M-50.
 - 16" DIAMETER PER M.A.G. STANDARD DETAIL 390, TYPE B.
 - GREATER THAN 16" DIAMETER, AS DESIGNED PER PLAN.
- LIME-TREATED AGGREGATE BASE COURSE (ABC) MATERIAL, RECLAIMED CONCRETE MATERIAL (RCM), AND RECLAIMED ASPHALT PAVEMENT (RAP) MATERIALS ARE PROHIBITED FOR USE IN THE PIPE EMBEDMENT ZONE (BEDDING, HAUNCHING, INITIAL BACKFILL) FOR WATERLINE CONSTRUCTION PER MESA AMENDMENTS 601.4.2.
- PER MESA AMENDMENTS 610.11, APPLICATIONS TO THE CITY OF MESA ENGINEERING INSPECTOR AND REVIEWED AND APPROVED BY THE WATER RESOURCES DEPARTMENT FOR WATER SYSTEM SHUTDOWN FOR THE PURPOSES OF CONSTRUCTION-RELATED ACTIVITIES SHALL BE MADE A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE SCHEDULED SHUTDOWN DATE. THE REQUEST SHALL INCLUDE PRIMARY AND SECONDARY VALVE NUMBERS, WHETHER A TEST SHUTDOWN IS REQUESTED, AND THE DATE AND DURATION OF THE REQUESTED SHUTDOWN. PER MAG 610.11, THE CITY OF MESA DOES NOT GUARANTEE A COMPLETE SHUTDOWN.
- REQUIRED BACKFLOW PREVENTION ASSEMBLIES SHALL INCLUDE MANUFACTURERS AND MODELS DESIGNATED IN THE CURRENT "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES" AS PUBLISHED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA.
- BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA "LIST OF APPROVED INSPECTORS" PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- ALL WATER METERS ARE TO BE SUPPLIED BY THE CITY OF MESA. CHARGES FOR INSTALLING NEW SERVICES AND METERS WILL BE IN ACCORDANCE WITH THE CURRENT UTILITY SERVICE FEE SCHEDULE. METERS TWO INCHES OR LESS WILL BE DELIVERED AND INSTALLED BY CITY FORCES. METERS LARGER THAN TWO INCHES WILL BE DELIVERED BY THE CITY AND INSTALLED BY THE CONTRACTOR AND REQUIRE SCHEDULING AND INSPECTIONS WITH CITY FORCES. CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT 480-644-4273 FOR THE SPECIFIC PROCEDURE. SEE M-27.01 FOR MORE INFORMATION.
- WHEN GROUTING OR CASTING CONCRETE AROUND PVC SEWER PIPE, SUCH AS AT MANHOLE OR VAULT PENETRATIONS, THE CONTRACTOR SHALL INSTALL WATER STOPS PER MESA AMENDMENTS TO MAG SPECIFICATION 625 AND MANUFACTURER'S RECOMMENDATIONS.
- SEWER BUILDING CONNECTION LATERALS SHALL BE INSTALLED PER MAG STANDARD DETAIL 440. LATERAL WYES SHALL BE INSTALLED AT NO GREATER THAN A 45 DEGREE ANGLE FROM HORIZONTAL. SEWER LATERAL SLOPES SHALL BE AS INDICATED ON MAG STANDARD DETAIL 440 AND IN NO CIRCUMSTANCE SHALL SEWER LATERAL SLOPES EXCEED 7/8" PER FOOT FOR 6" LATERALS AND 1-1/2" PER FOOT FOR 4" LATERALS. FITTINGS SHALL BE INSTALLED WITH NO ANGULAR JOINT DEFLECTION AND ALL CONNECTIONS SHALL BE GASKETED OR SEALED PER MAG SPECIFICATIONS.
- SEWER MANHOLE BASES, BENCHES, SHELVES, AND CHANNELS SHALL BE CONSTRUCTED PER MAG STANDARD DETAIL 420. EACH INLET PIPE SHALL HAVE A DESIGNATED, FORMED CHANNEL AND BENCHING. THE DIMENSIONS OF CHANNELS, SHELF SLOPE, AND MINIMUM INLET PIPE ANGLES SHALL BE CONSTRUCTED PER MAG STANDARD DETAIL 420-3.
- PER MESA DESIGN STANDARDS, SEWER MANHOLES SHALL BE CONSTRUCTED PER MAG STANDARD DETAILS 420-1, TYPE 'A' TOP; AND 423-2 EXCEPT THAT:
 - MANHOLE SHAFT DIAMETERS SHALL BE 5 FEET.
 - MANHOLE RINGS AND COVERS SHALL HAVE 30-INCH DIAMETERS.
 - STEPS SHALL NOT BE INCLUDED.



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CONSULTANTS



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Phoenix, AZ 85048
480-625-9795



PROJECT INFORMATION

**PROJECT
CORK**

ELLIOT ROAD
MESA, ARIZONA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Arizona

MICHAEL PREFLING

REGISTRATION NO.	DATE
46785	09-30-2022

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	09/07/21

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION

DESIGN REVIEW

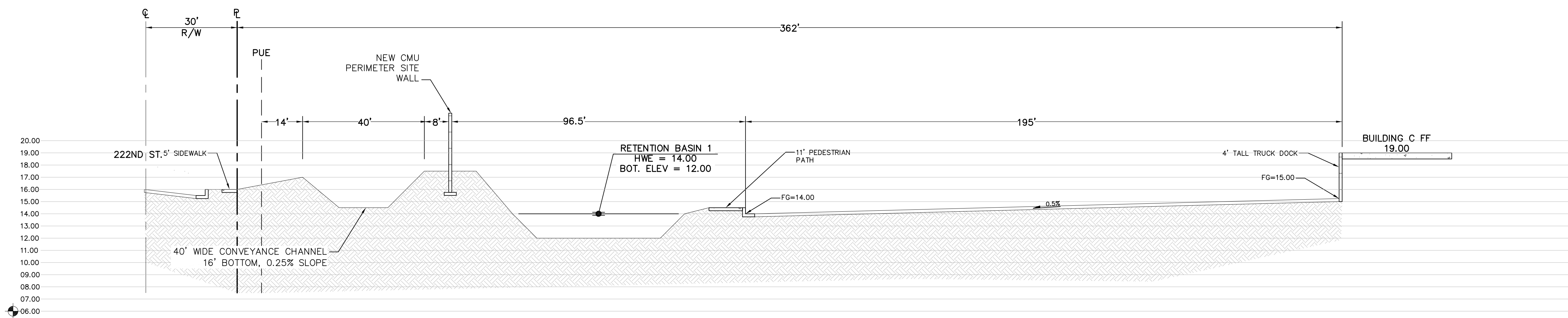
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NOTES AND
DETAILS

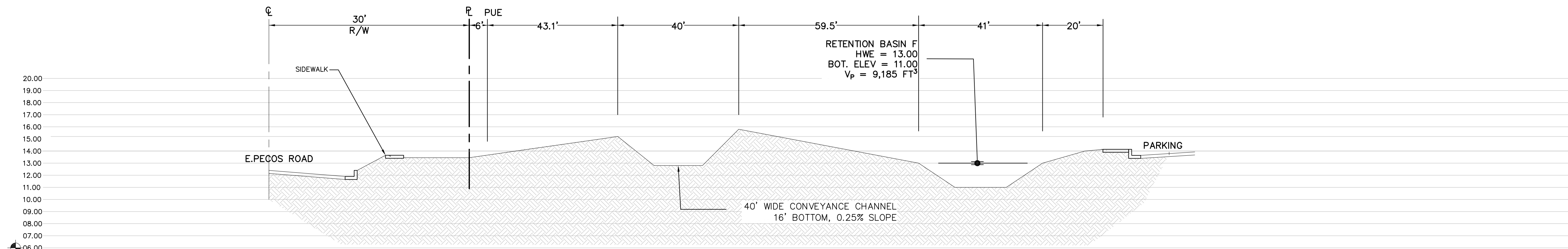
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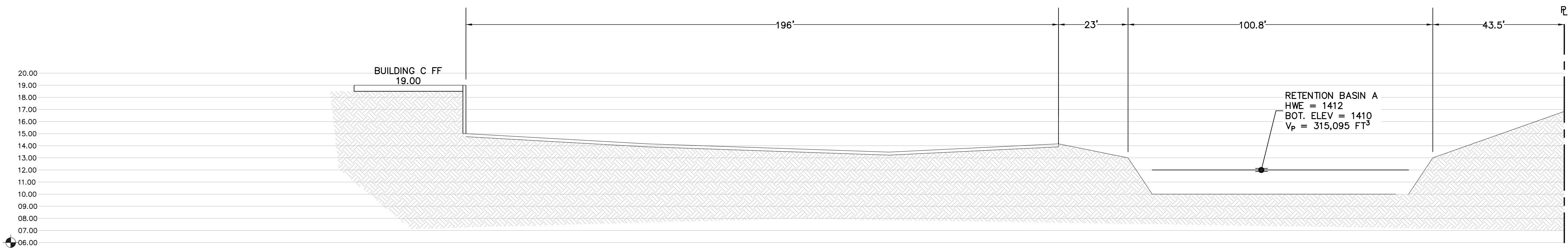
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ISSUE #	DATE	DESCRIPTION



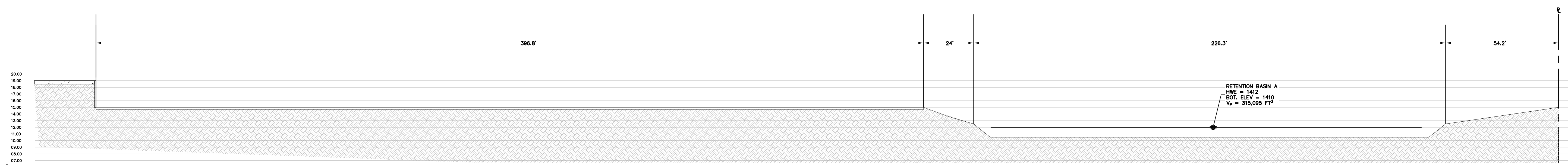
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SCALE: 1"=20'H, 1"=5'V



SECTION B-B
SCALE: 1"=20'H, 1"=5'V



SECTION C-C
SCALE: 1"=20'H, 1"=5'V

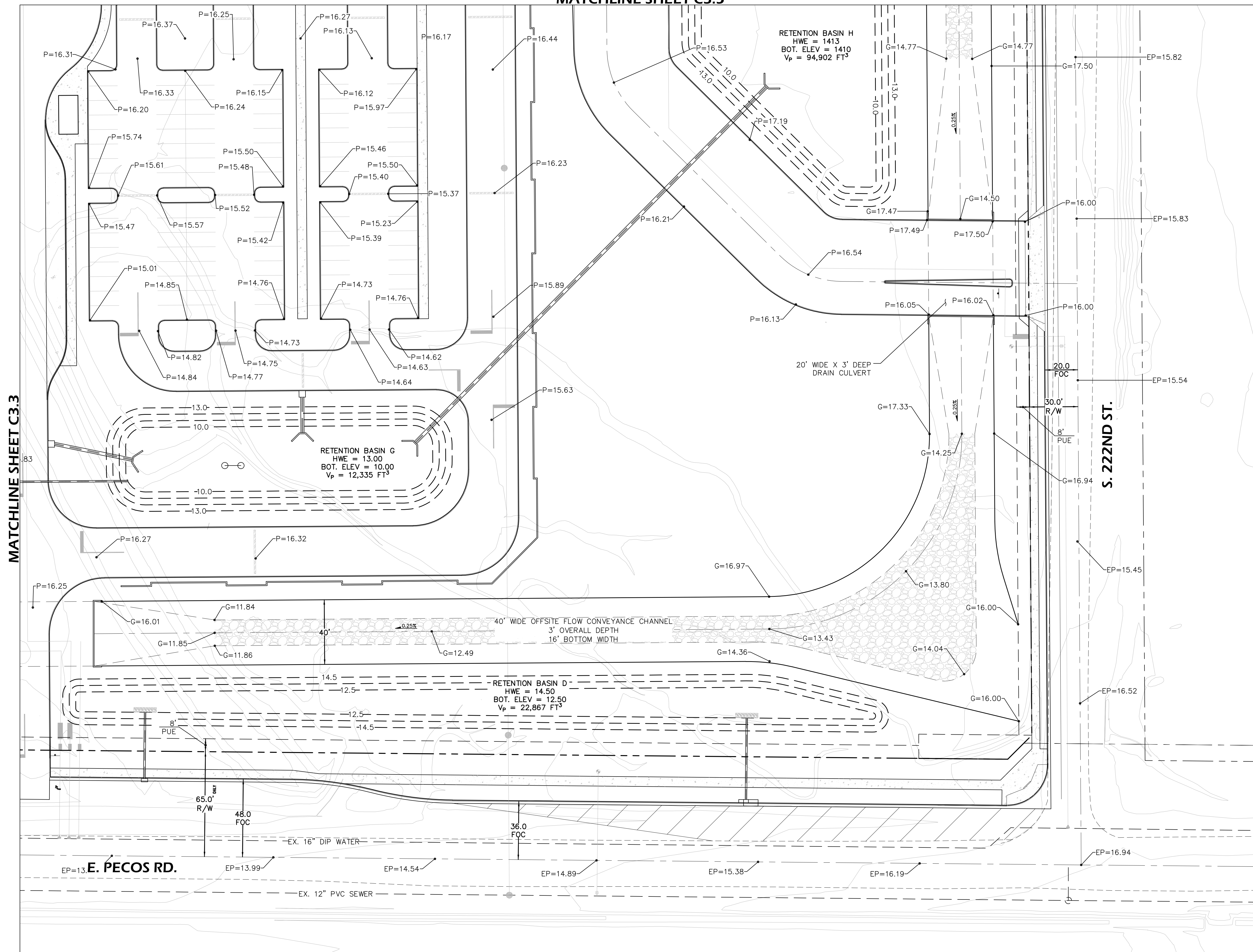


SECTION D-D
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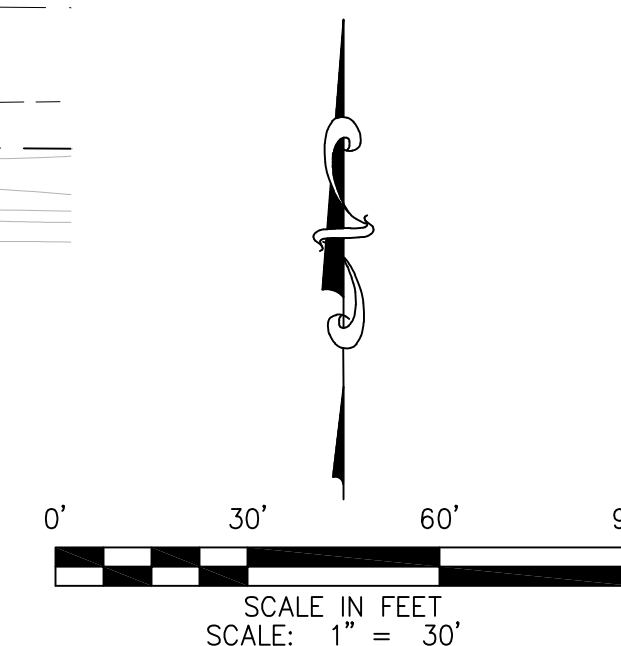
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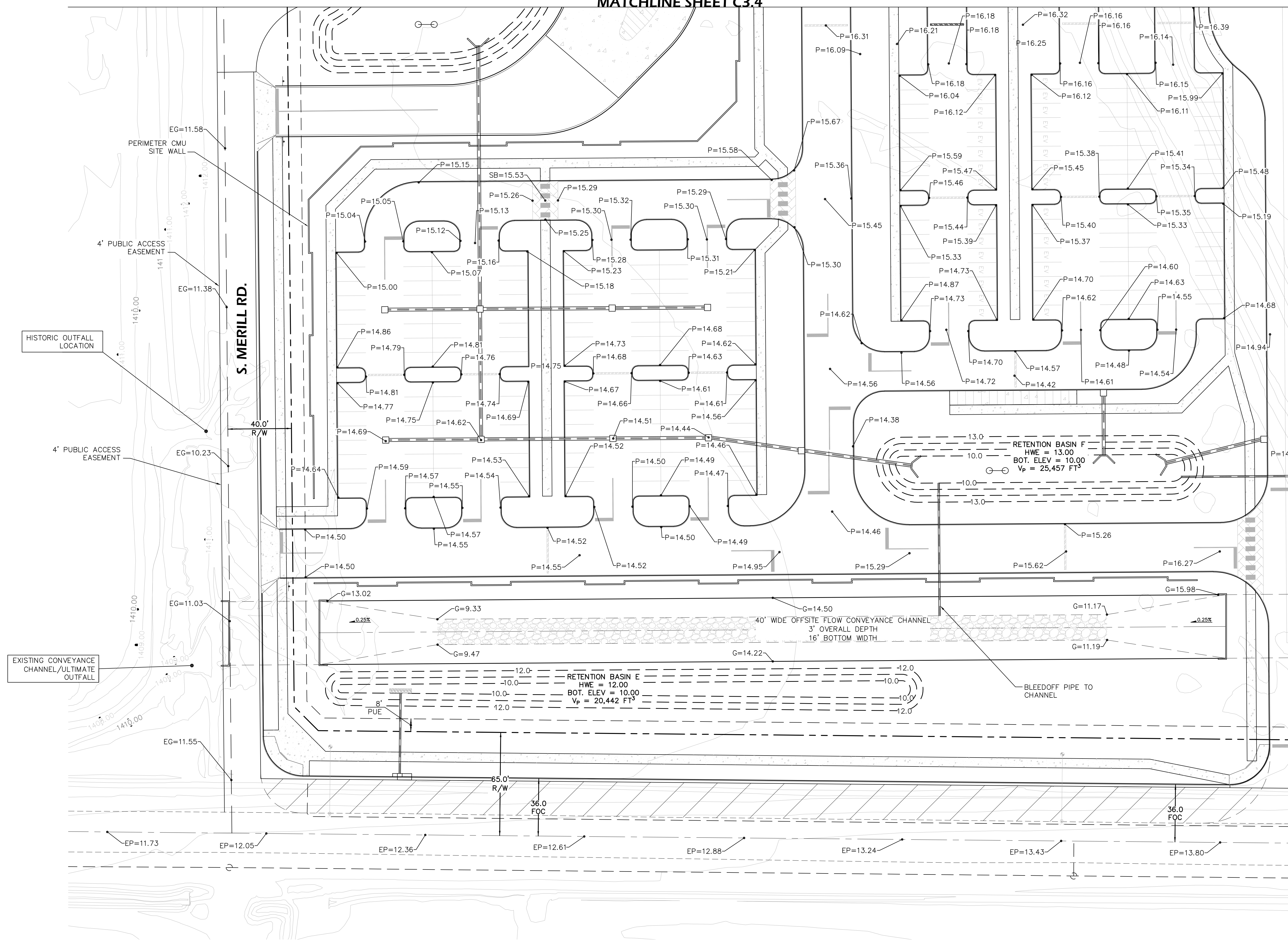
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S. 222ND ST.

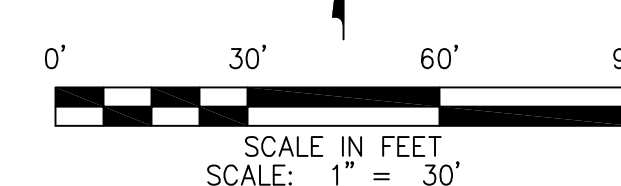


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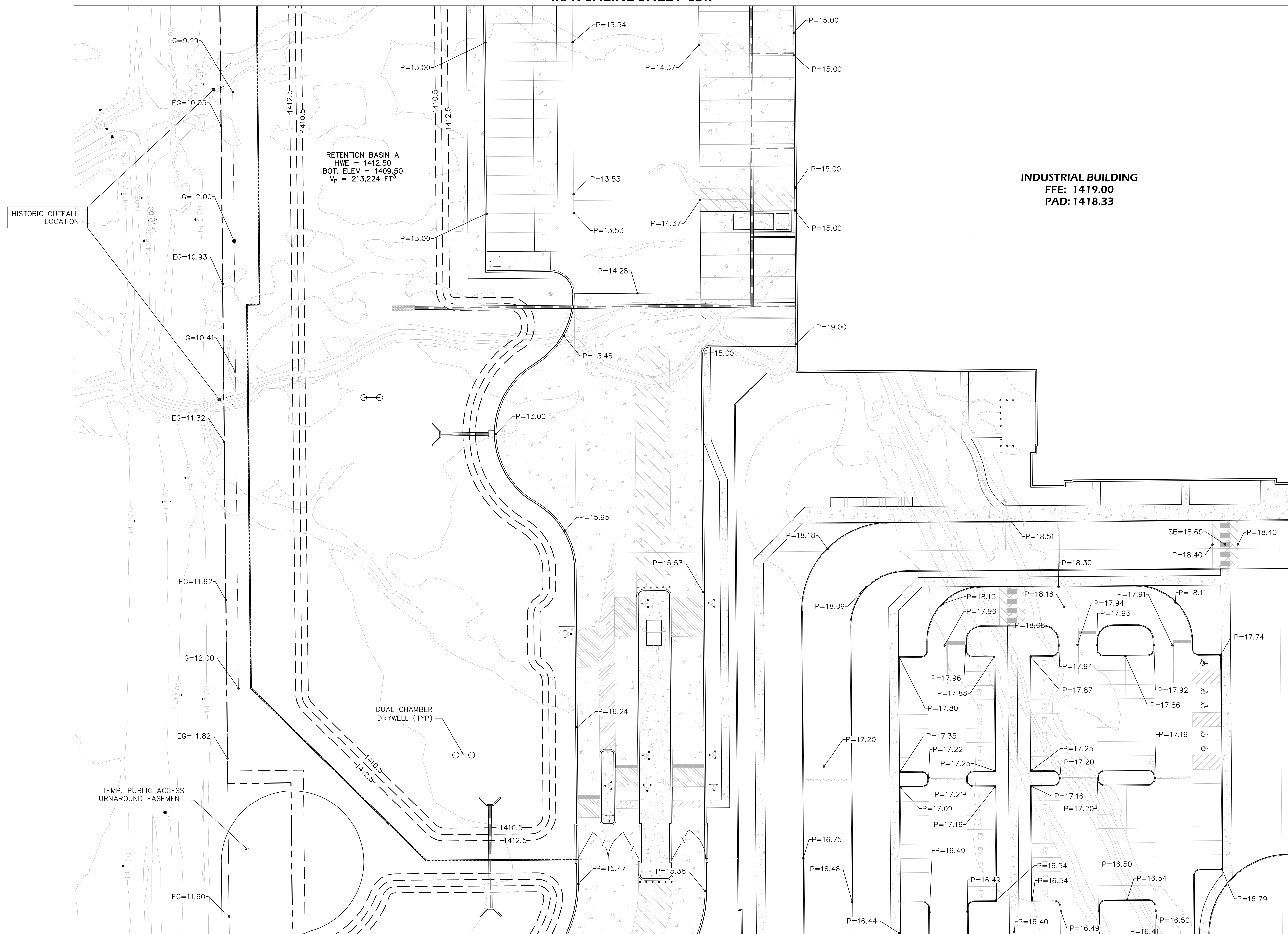


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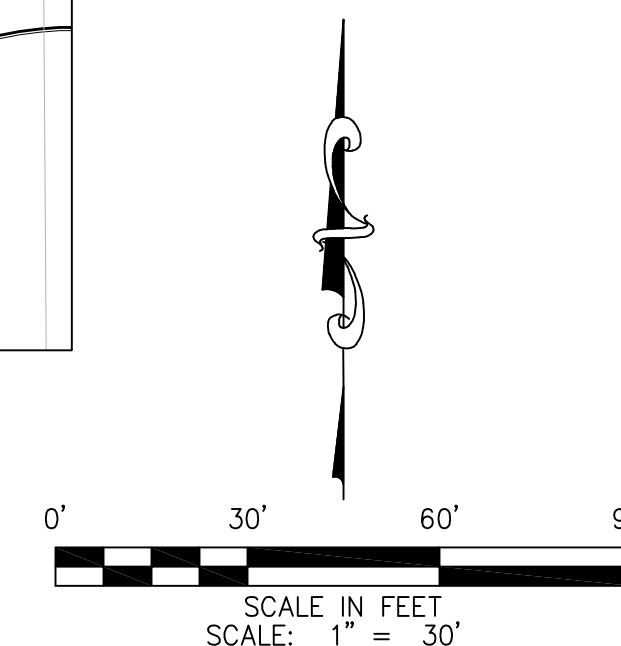
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MATCHLINE SHEET C3.7



MATCHLINE SHEET C3.3

MATCHLINE SHEET C3.5





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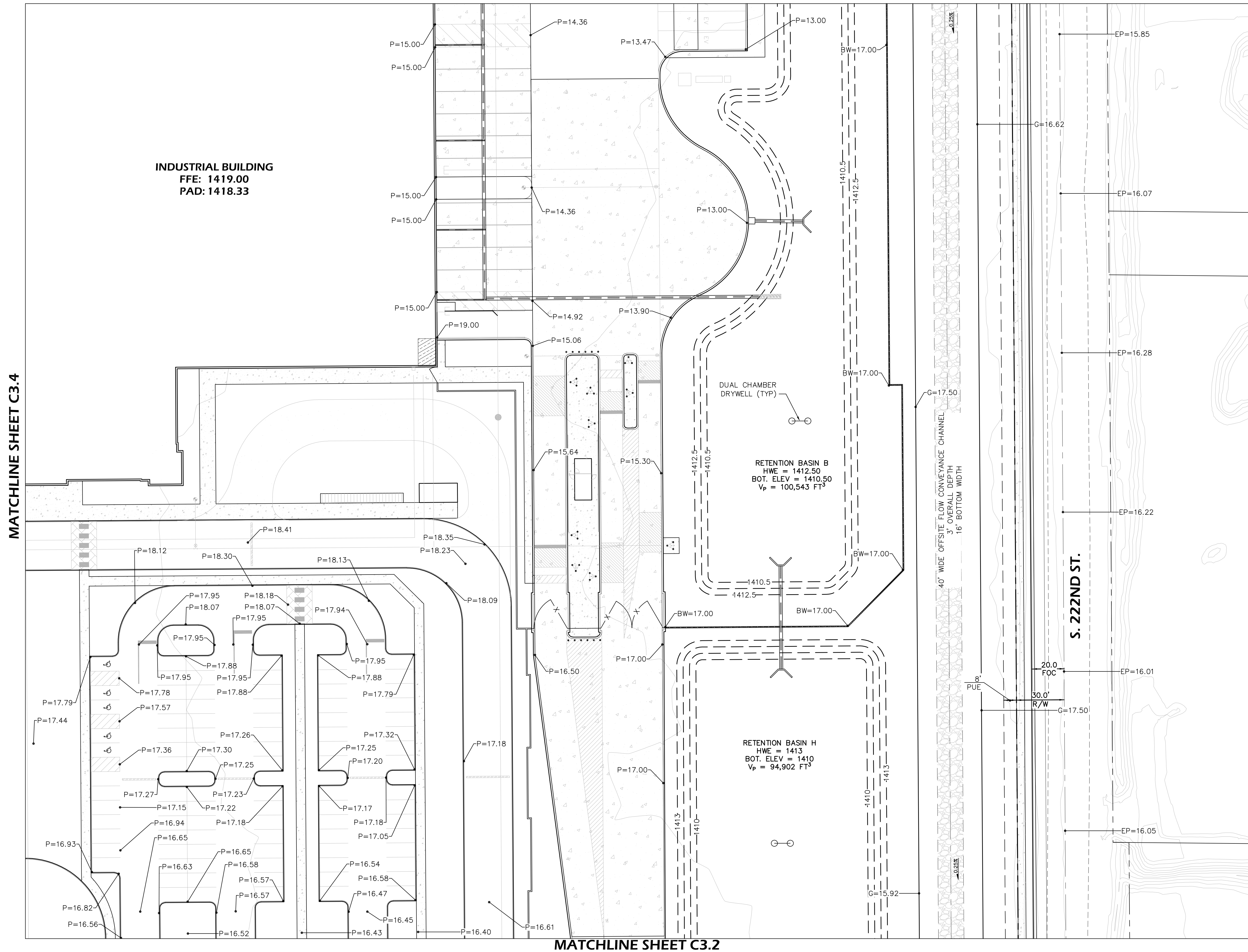
DESIGN REVIEW

09.07.2021

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& DRAINAGE
PLAN SHEETS

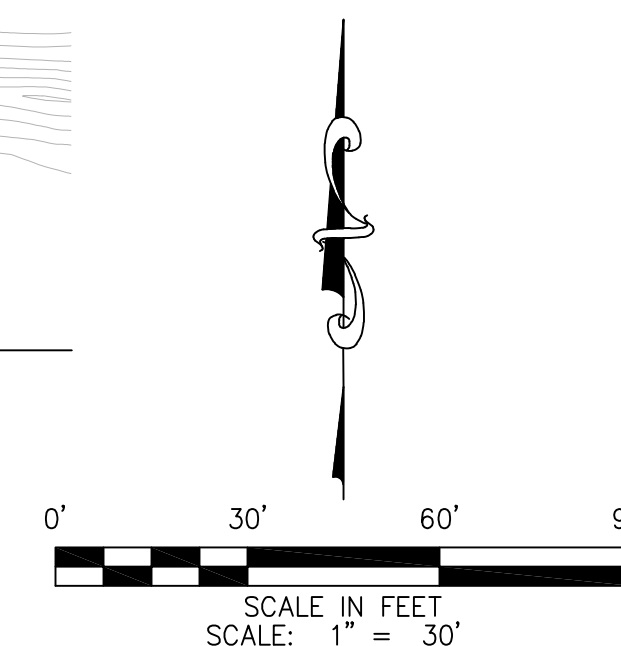
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MATCHLINE SHEET C3.6



MATCHLINE SHEET C3.4

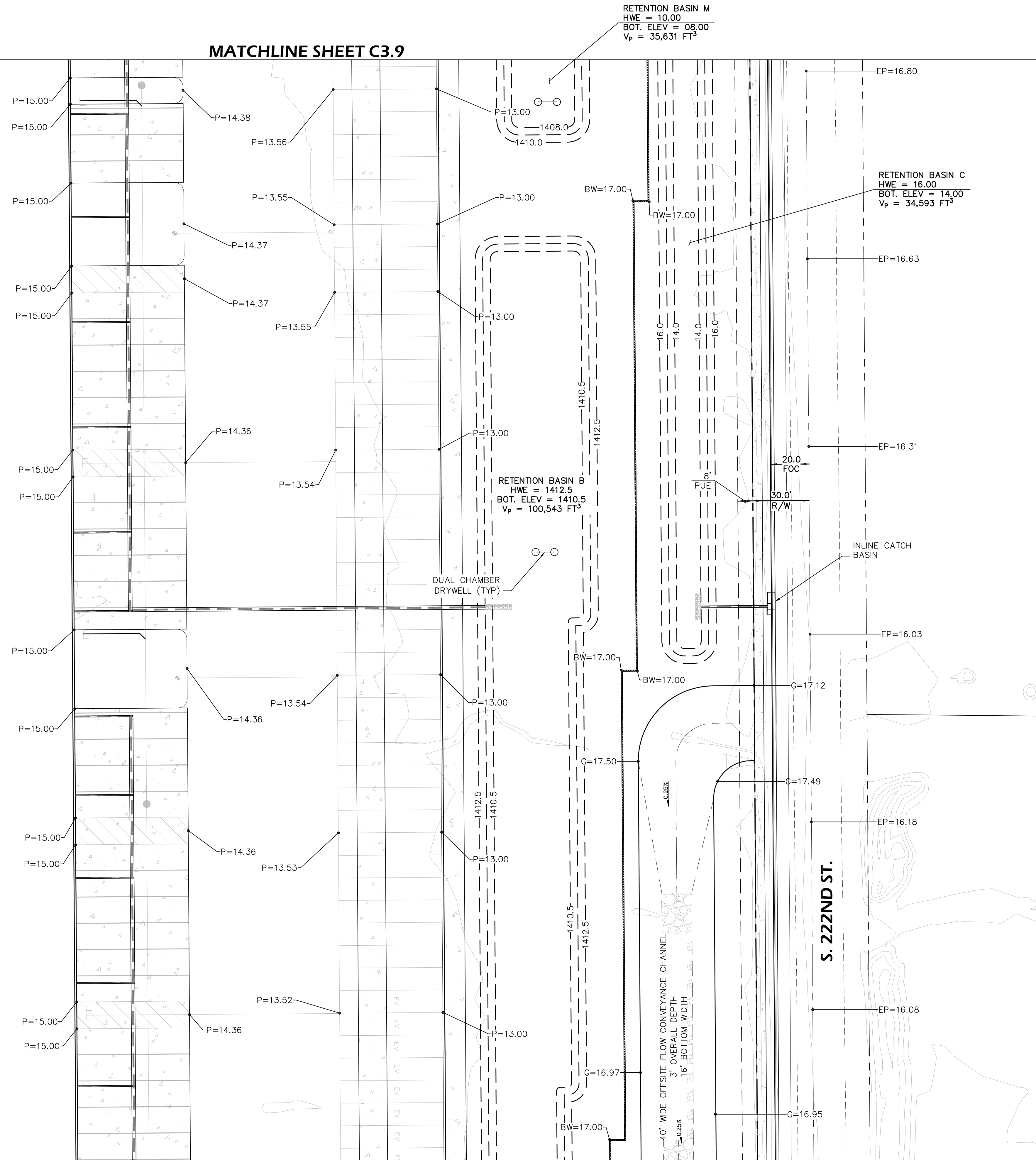
MATCHLINE SHEET C3.2



MATCHLINE SHEET C3.7

INDUSTRIAL BUILDING
FFE: 1419.00
PAD: 1418.33

MATCHLINE SHEET C3.9



MATCHLINE SHEET C3.5

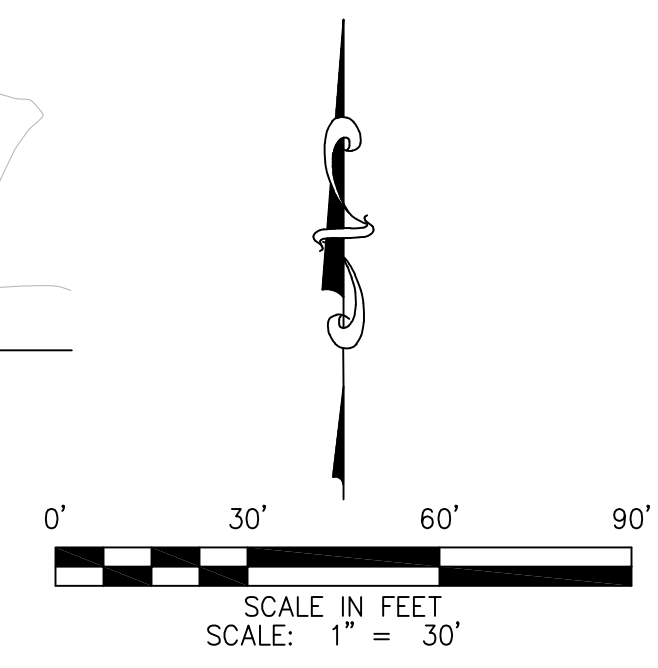
RETENTION BASIN A
HWE = 10.00
BOT. ELEV = 08.00
Vp = 35,631 FT³

RETENTION BASIN C
HWE = 16.00
BOT. ELEV = 14.00
Vp = 34,593 FT³

RETENTION BASIN B
HWE = 1412.5
BOT. ELEV = 1410.5
Vp = 100,543 FT³

40' WIDE OFFSITE FLOW CONVEYANCE CHANNEL
3' OVERALL DEPTH
16' BOTTOM WIDTH

S. 222ND ST.



RYAN A+E, INC.
3900 E. Camelback Road, Ste 100
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OWNER

CONSULTANTS



4435 E. Chandler Blvd,
Suite 200
Phoenix, AZ 85048
480-625-9795



PROJECT INFORMATION

PROJECT
CORK

ELLIOT ROAD
MESA, ARIZONA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Arizona

MICHAEL PREFLING

REGISTRATION NO. 46785 DATE 09-30-2022

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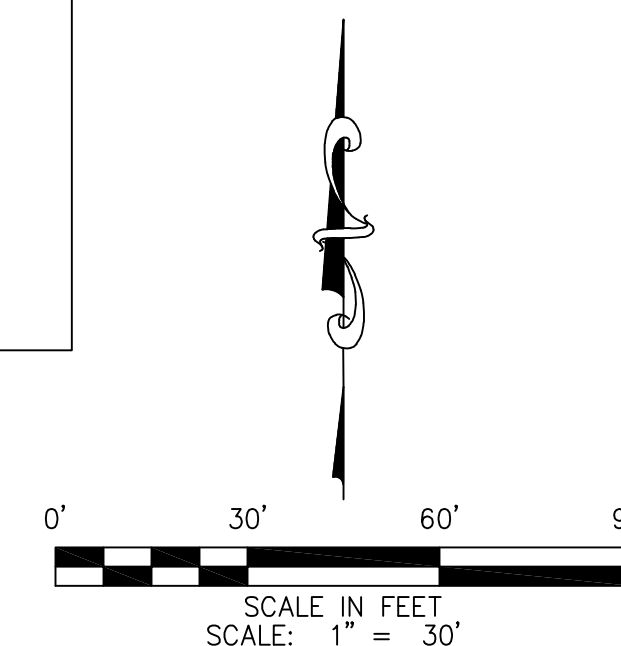
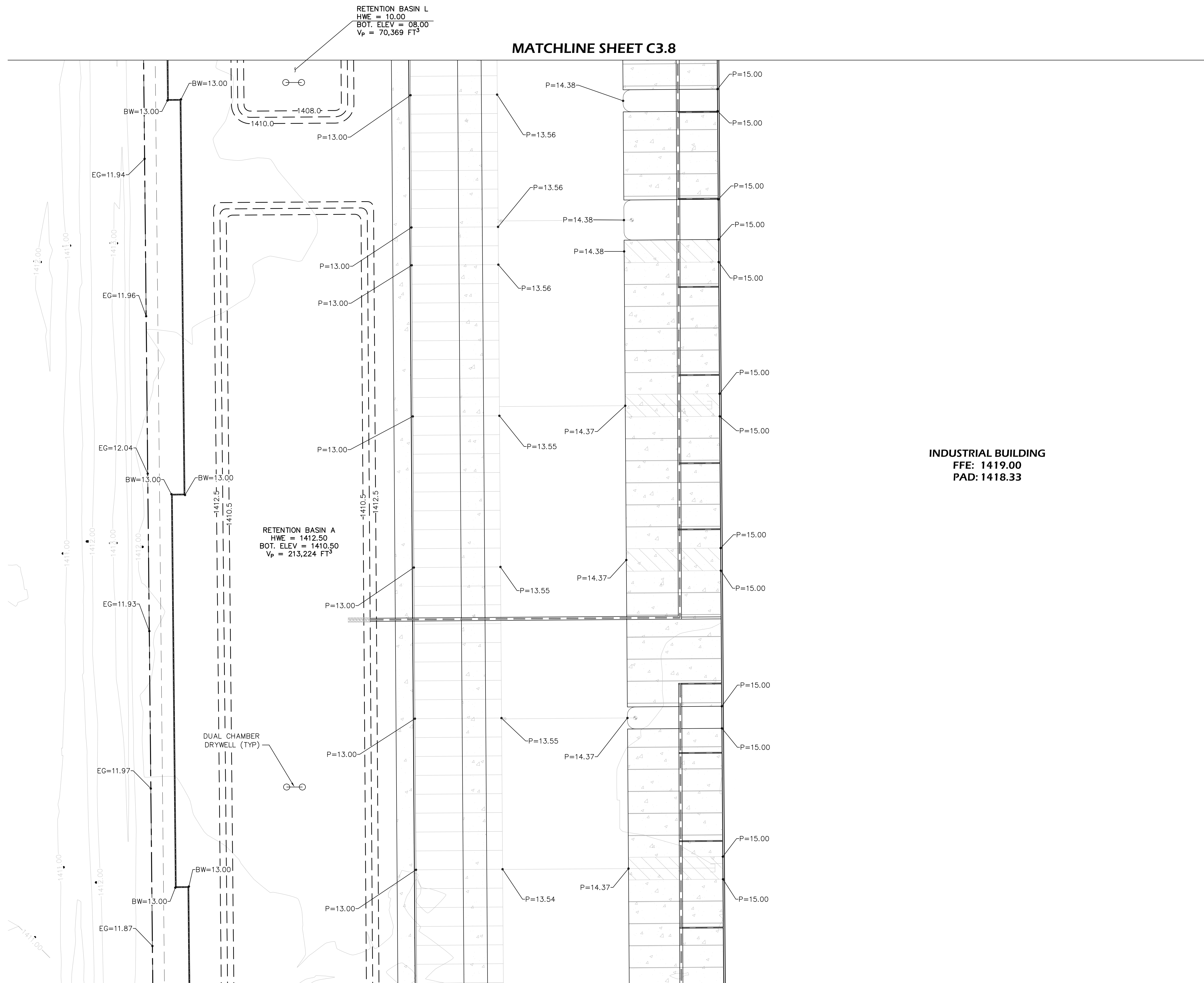
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& DRAINAGE
PLAN SHEETS

C3.6

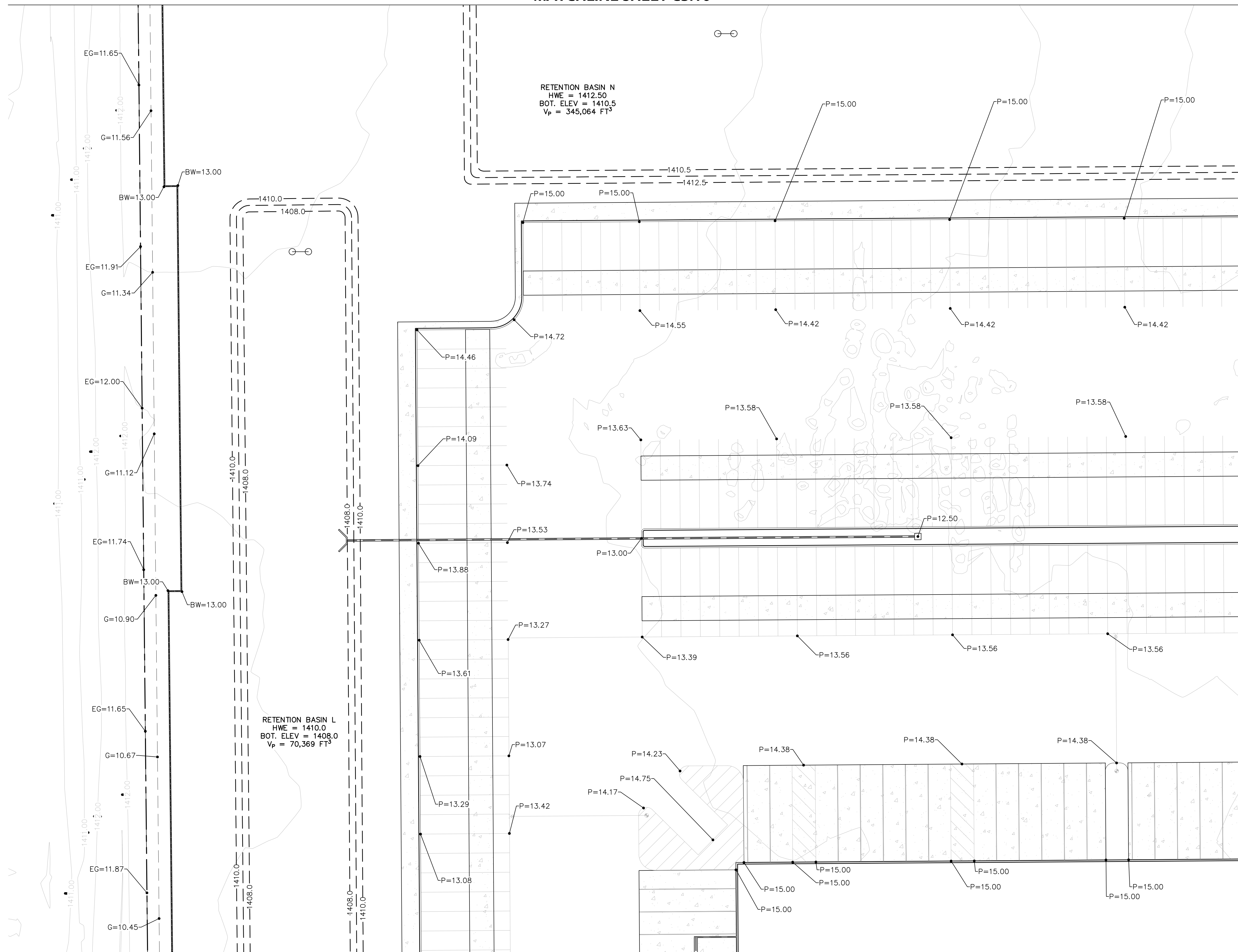
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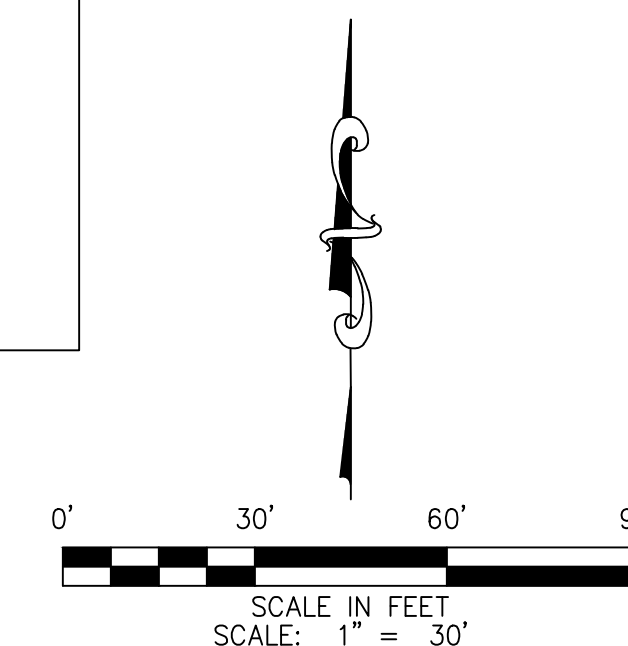
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ISSUE #	DATE	DESCRIPTION

MATCHLINE SHEET C3.10



MATCHLINE SHEET C3.7

MATCHLINE SHEET C3.9





**PROJECT
CORK**

**ELLIOT ROAD
MESA, ARIZONA**

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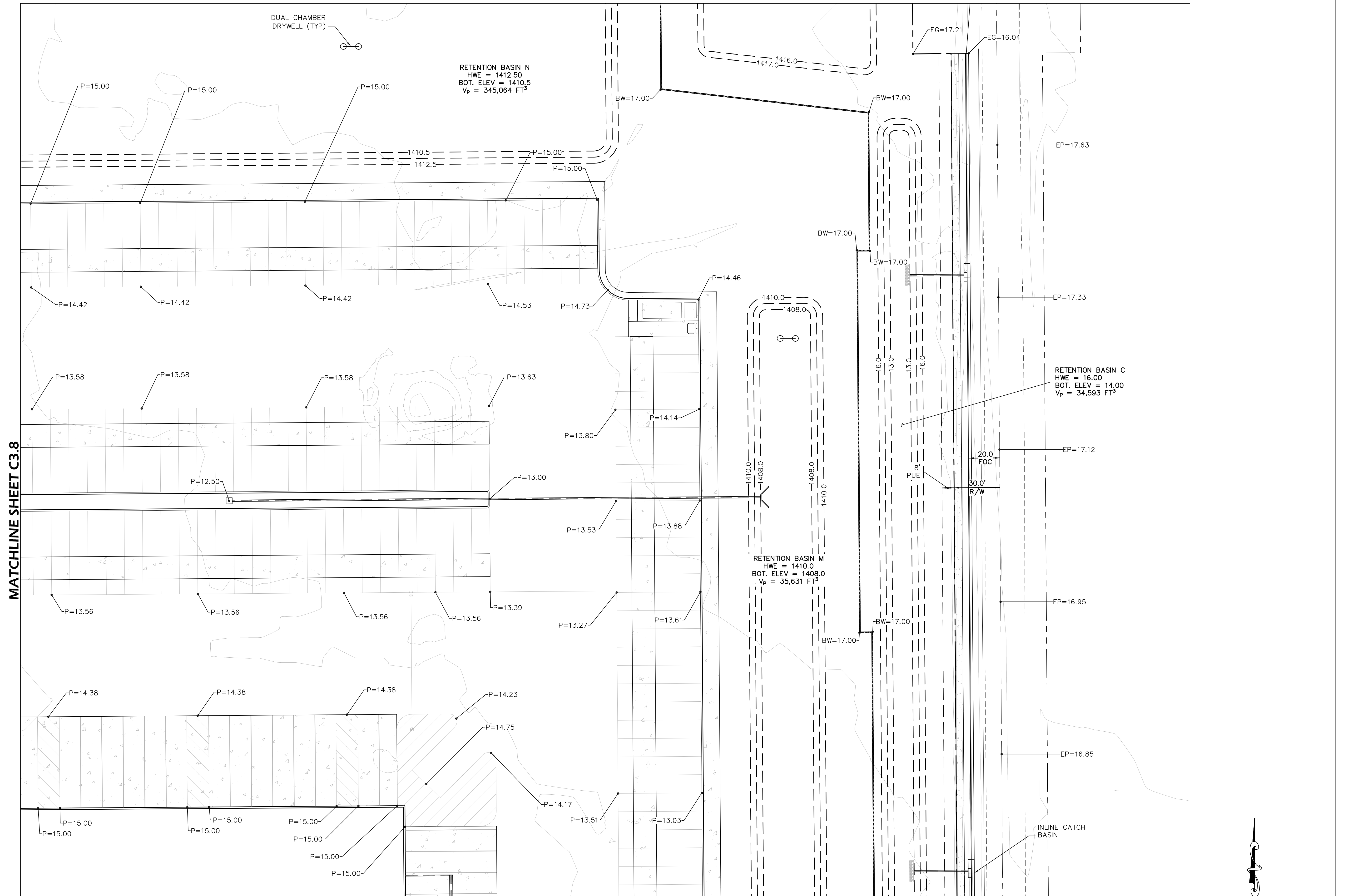
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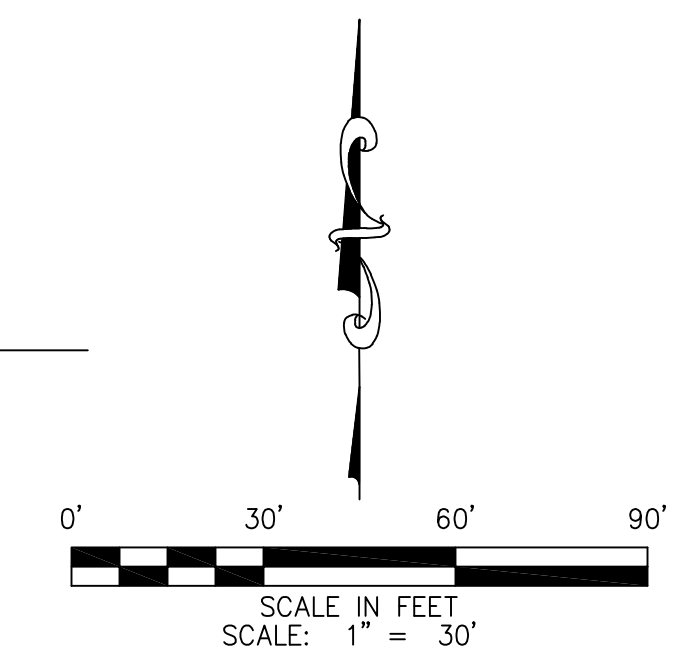
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PLAN SHEETS**

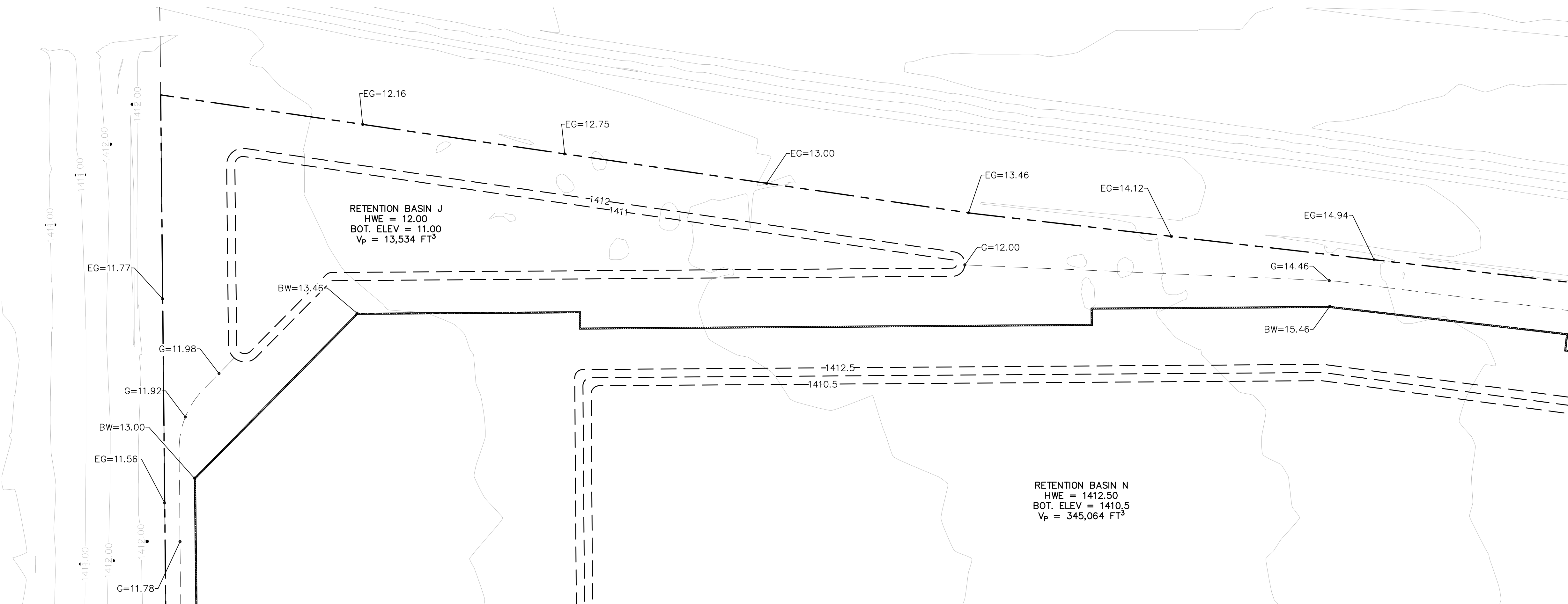
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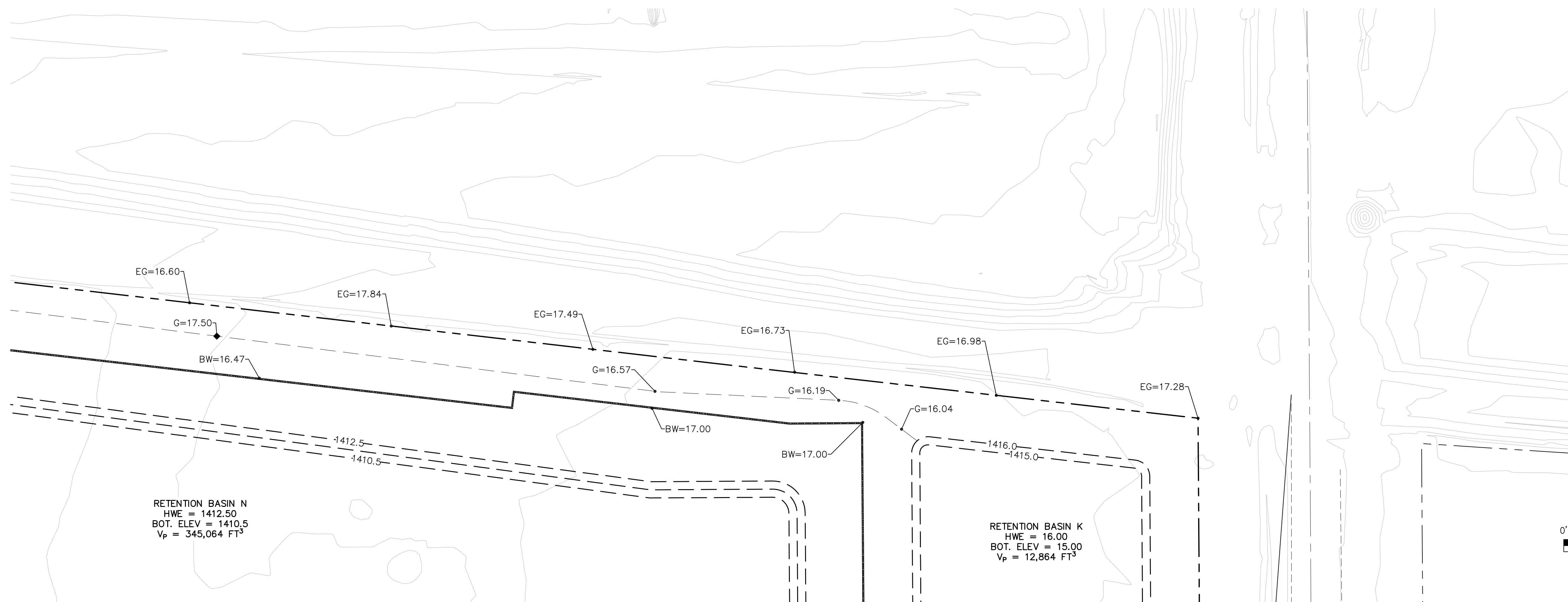


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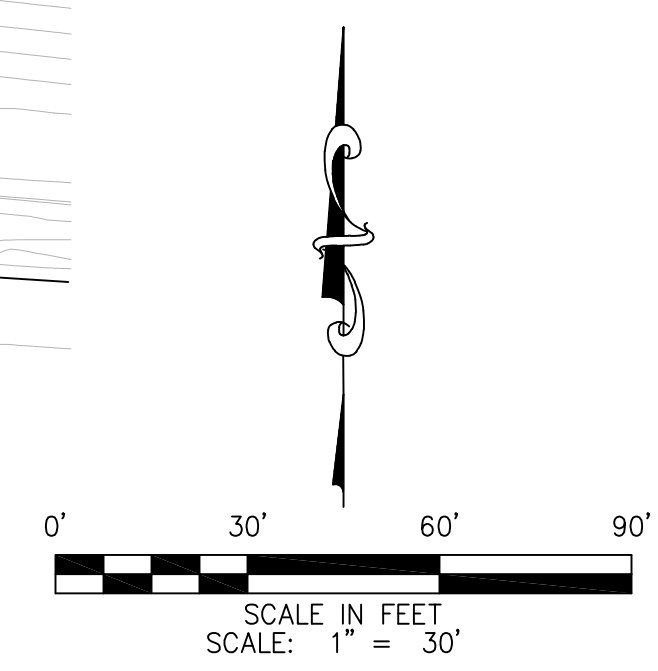




MATCHLINE SHEET C3.8



MATCHLINE SHEET C3.9



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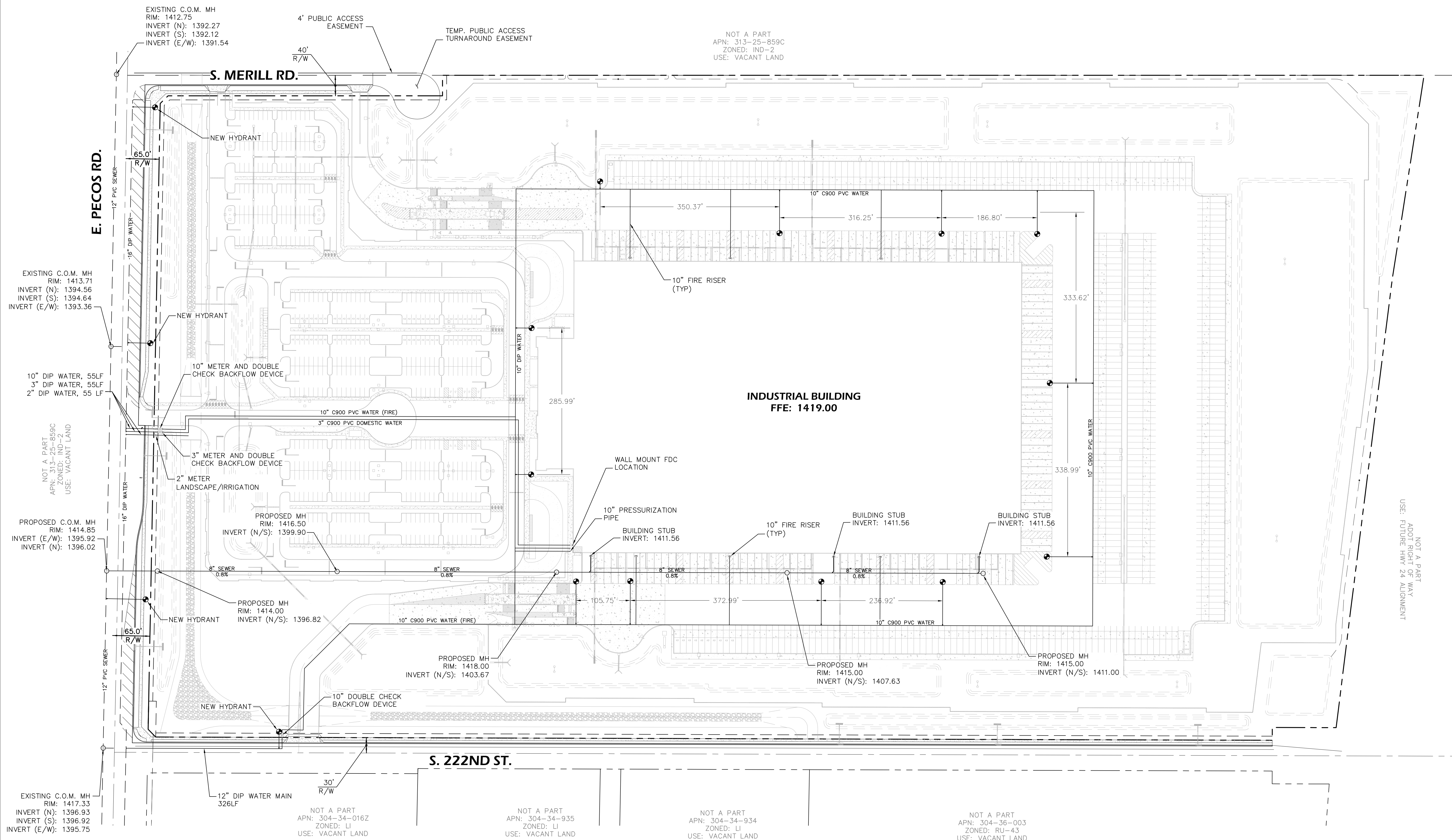
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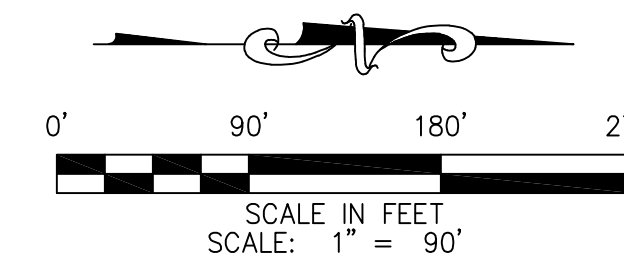


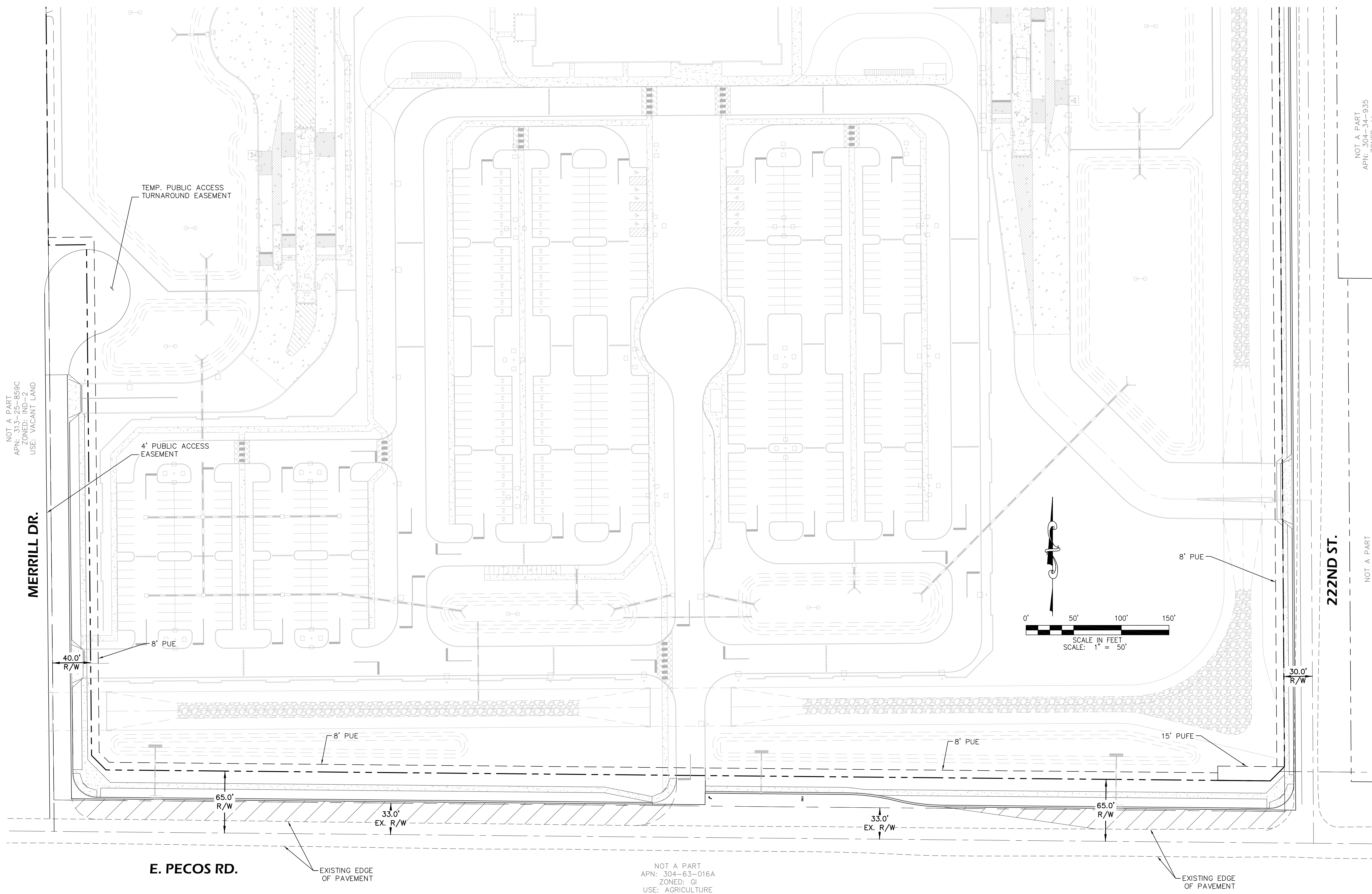
WATER & SEWER BASIS OF DESIGN

PECOS ROAD FRONTAGE — WILL DEDICATE TO BRING E. PECOS ROAD TO MAJOR COLLECTOR STREET STATUS WITH 75' AND 65' RIGHT OF WAY WIDTHS.

222ND ST — DISCUSSIONS WITH MCDOT HAVE INDICATED THAT WATER AND SEWER INFRASTRUCTURE IS NOT REQUIRED WITHIN 222ND, UNLESS THE DEVELOPMENT REQUIRES IT.

MERRILL ROAD EXTENSION — DISCUSSIONS WITH CITY OF MESA HAVE INDICATED THAT WATER AND SEWER INFRASTRUCTURE IS NOT REQUIRED WITHIN THE NORTH MERRILL ROAD EXTENSION AT THIS TIME





Preliminary Drainage Report

Project Cork – East Mesa Industrial Facility

APN : 304-34-015E

September 07, 2021

ANX21-00728

ZON21-00730

Prepared for

City of Mesa



Prepared by
Prefling Engineering
4435 E. Chandler Blvd, Suite 200
Phoenix, AZ 85048

Table of Contents

Cover Sheet

Table of Contents

- 1 Introduction**
 - 1.1 Location
 - 1.2 Existing Property Description
 - 1.3 Flood Hazard Zone
- 2 Existing Drainage Conditions**
 - 2.1 Onsite-Drainage
 - 2.2 Off-Site Drainage
 - 2.3 Existing Storm Sewer System
- 3 Proposed Storm Water Management**
 - 3.1 Design Intent
 - 3.2 Design Storm Requirements
 - 3.3 Characteristics of Basins
 - 3.4 Stormwater Retention
 - 3.5 Off-Site Flow
- 4 Conclusions**
- 5 References**

Exhibits

Figure 1 – Vicinity Map

Figure 2 – Aerial Image

Figure 3 – FIRM

Appendices

Appendix 1 – NOAA Rainfall Data

Appendix 2 – Existing Conditions and Historical Flows

Appendix 3 – East Mesa ADMS Excerpts



Introduction

The purpose of this report is to indicate the methods used and to provide discussion of the proposed stormwater drainage for a new industrial facility located at the northwest corner of E. Pecos Road and 222nd Street in the City of Mesa. The development is a 71 acre site that will consist of one large industrial building. The proposed improvements include construction of parking lots, open space areas, 1 new building, driveways, pedestrian access ramps, sidewalks, utilities, and stormwater drainage structures and basins. This report will indicate how the storm water generated on the subject property is addressed and how it complies with the City of Mesa drainage requirements.

Location and Project Description

Location:

The Project Cork property is currently an undeveloped desert lot in Mesa, Arizona. The lot is currently zoned "RU-43". The property is located within a Zone X shaded FIRM Zone per map Number 04013C2790L. The lot is 3,195,997 ft² in size (73.4 acres).

Existing Property Description:

The existing property is an undeveloped lot. There are no structures, paving, or hardscape on the site.

The total area of the lot is 71.31 acres and is currently zoned RU-43.

There are regional washes present on the site and the site lies within a significant offsite flow pattern. The flood control district of Maricopa County prepared an Area Drainage Master Plan with various updates last dated 2014 which will be referenced in the offsite flows section later in this report.

Historical offsite flow patterns can be seen in Appendix 2.

Flood Hazard Zone

As defined by the Flood Insurance Rate Map (FIRM) for Maricopa County, Arizona, and Incorporated Areas, as shown on Map Number 04013C2790L dated October 16, 2013, this site is designated as Zone "X". As such, it is determined to be outside the 0.2% annual chance of floodplain. Refer to Figure 3 for the FIRM Map.

Existing Drainage Conditions

On-Site Drainage Patterns

The existing site is an undeveloped desert lot. The site general slopes from north to south and east to west. It appears there has been some man-made grading embankments on the site to create a low point and ponding area near at the southern end of the site near Pecos Road. Offsite flows enter the site along the eastern and southeastern boundary and sheet-flow across the site to historical outlet points at the western and southwestern boundary. These flows are collected in drainage channels that are adjacent to the west and southwest which continue to carry runoff to the west.

Off-Site Drainage Patterns

This site is located within the East Mesa Area Drainage Master Plan. This report was updated in 2014 and is currently undergoing another update. Discussions with the Flood Control district have clarified revised regional drain basin areas that affect this site. These are shown in Appendix 2.

Offsite flows enter the site along the eastern and southeastern boundary and sheet-flow across the site to historical outlet points at the western and southwestern boundary. These flows are collected in drainage channels that are adjacent to the west and southwest which continue to carry runoff to the west.

Existing Storm Sewer Systems

There are no apparent private or public underground storm system within the immediate area of the property.

Proposed Storm Water Management

Design Intent

On-site drainage will be stored in a series of surface retention basins that will all be connected and equalized so as to act as one hydraulic system. The onsite retention volumes will have a metered outlet to a new conveyance channel that is being designed along the east and southern boundary (222nd and Pecos frontages).

Offsite flows will be conveyed through the via several methods. Some flow will be contained within Pecos Road. A 40' wide conveyance channel is being designed into the frontage. The channel will pick up flows at the historical entry points along the east and southeast boundaries of the site. These flows will be outlet to the southwest corner of the site to continue along their historical path along Pecos road.

Design Storm Requirements

In accordance with the City of Mesa Engineering Department, Engineering and Design Manual 2019, and the design standards and methodologies developed by the Flood Control District of Maricopa County. The 100-year 2-hour storm event is required based on providing the necessary storage volume for the property and half-street areas.

Finished Floor Elevation

Building Finished Floor elevations have been established to provide protection from localized flooding. The proposed industrial building will have truck wells that will sit 4' below finished floor elevation. The desire to keep these dry during storm events drove the finished floor elevations. Based upon the current site grading, the finished floors will all have at least 2 feet of freeboard from the high-water elevations of the corresponding retention basins.

Stormwater Retention

Required stormwater retention is calculated based on the increase in impervious area as follows:

Required Storage:

Stormwater storage required is calculated in accordance with the Paradise Valley Storm Drainage Design Manual as follows:

$$V_R = C * (P/12) * A$$

Where: V_R = Retention Volume Required in ft³
C = Impervious runoff coefficient (set at 0.95)
P = 100-year 2-hr precipitation in inches (Appendix II)
A = Area of site + ½ streets (3,239,557 ft²)

$$V_R = 0.95 * (2.2/12) * 3,239,557$$

$$V_R = 564,223 \text{ ft}^3$$

Provided Storage:

The current design provides an excess of retention volume totaling 1,180,685 ft³. This is accomplished by a series of surface basins that are all connected and equalized. The system will ultimately bleed off to the conveyance channel that is being proposed.

Offsite Flows

The East Mesa ADMS report from 2014 identifies this site as being within subbasin ID of E24A which is calculated to have 1003 ft³/sec. However, there has been significant development in the area this offsite flow value is no longer accurate. A review of regional topography in the region along with discussions with the Flood Control district have resulted in an adjusted regional drainage area summary as shown in Appendix 2. It is calculated that 287.3 ft³/sec enters the site at the south and eastern boundaries.

Offsite flows will be managed and conveyed through the site through a series of methods. In addition to conveyance, the site is also set back 85 from the new proposed right-of-way and 4' above the street grades.

Pecos Road Capacity = 35 ft³/sec
Conveyance Channel = 572 ft³/sec
Additional Frontage = 113 ft³/sec

Total Offsite Flow Conveyance Capacity = 720 ft³/sec

These offsite flows are being passed through the southern frontage of the site and outlet to the existing drainage channel at the southwest corner of the site to the adjacent property owner.

Conclusions

Overall Project:

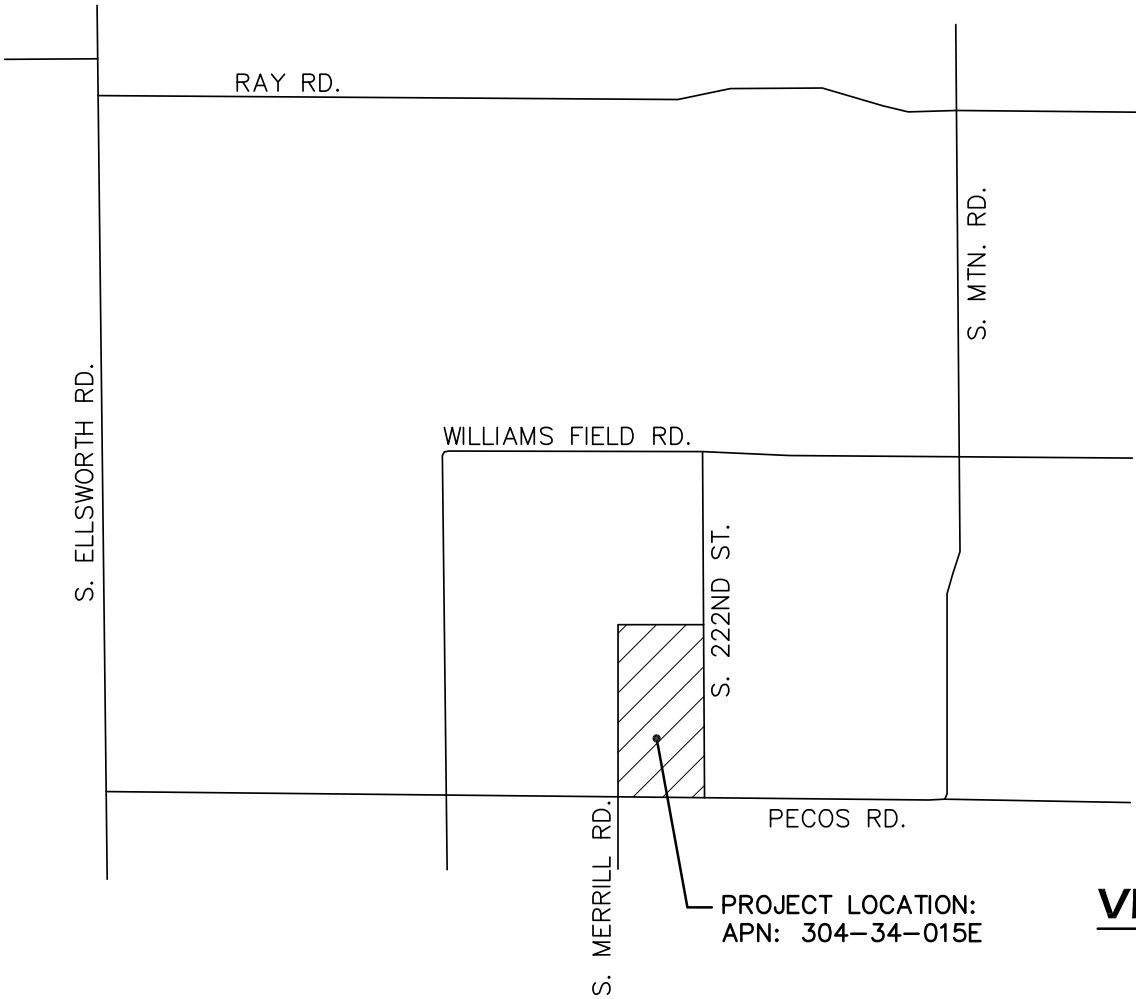
1. This project has been designed to conform to the City of Mesa storm drainage design requirements.
2. Proposed drainage improvements will include above ground retention basins and an underground storm drain network.
3. The system is sized to retain the 100yr, 2hr storm event volume. Proposed storm drain inlets and storm drainpipes will be adequately sized to convey the expected peak flows to the retention basins. The retention basins will be connected and equalized and ultimately bleed out to the new conveyance channel this is being designed at the Pecos frontage.
4. Excess flows generated onsite will overflow to the existing drainage channels and Pecos Road at the southwest, which generally matches the historic overflow pattern. No adverse impacts to the offsite downstream properties are anticipated as a result of the proposed improvements. It is our intention to coordinate and partner with adjacent property owners to find the best solutions for the large offsite flow volumes that are affecting developments along this Pecos corridor.

References

1. *City of Mesa Engineering Department, Engineering and Design Standards 2019*
 2. *Flood Control District of Maricopa County, Maricopa County Drainage Policies and Standards. Revised, August 22, 2018.*
-

Exhibits





PROJECT LOCATION:
APN: 304-34-015E



VINICITY MAP
NOT TO SCALE



Feature Information

(1 of 1)

Clear ?

304-34-015E

Owner Information

Owner Name: TUCKER PROPERTIES LTD
 Property Address:
 Mailing Address: 4010 E GROVE CIRCLE MESA AZ 85206
 Deed Number: 850601255
 Sale Date:
 Sale Price: \$

Property Information

Lat/Long: 33.295439, -111.607103
 S/T/R: 35 15 7E
 Jurisdiction: NO CITY/TOWN
 Zoning: RU-43
 PUC: 4717
 Lot Size (sq ft): 3,106,317
 MCR #:
 Subdivision:
 Lot #:
 Floor: 1
 Construction Year:
 Living Space (sq ft):

Valuation Information

Tax Year:	2022	2021
FCV:	\$18,652	\$18,152
LPV:	\$12,678	\$12,074
Legal Class:	M	M



Zoom to



Address or Intersection



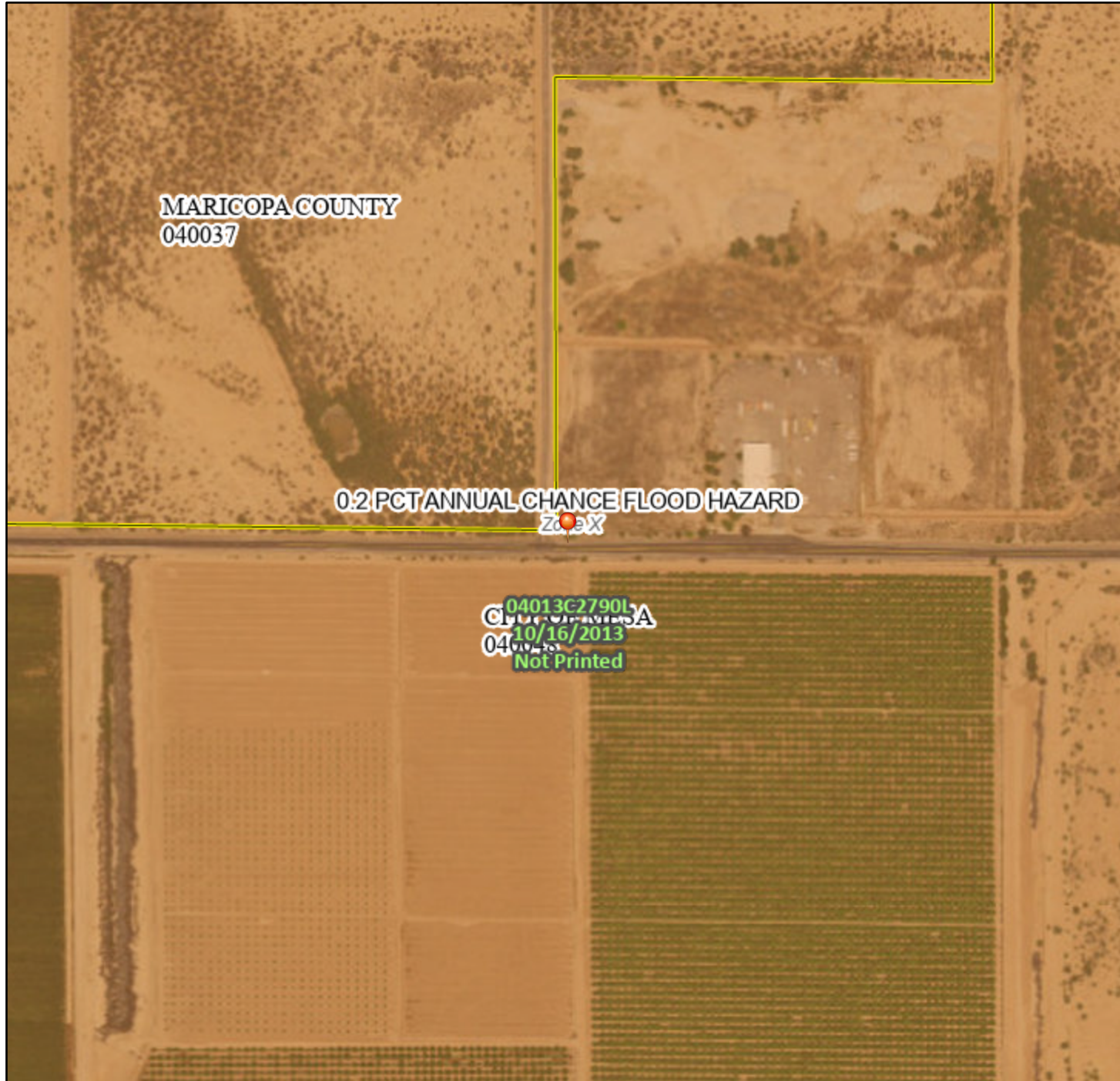
E PECOS RD E PECOS RD E PECOS RD E PECOS RD

-111.613320 33.294514 Degrees

National Flood Hazard Layer FIRMette



111°36'35"W 33°17'46"N



111°35'58"W 33°17'16"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance 17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **9/7/2021 at 1:28 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Appendix I
Rainfall Data





NOAA Atlas 14, Volume 1, Version 5
Location name: Mesa, Arizona, USA*
Latitude: 33.292°, Longitude: -111.6046°
Elevation: 1421.46 ft**



* source: ESRI Maps
 ** source: USGS

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps_&_aerials](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.192 (0.163-0.234)	0.252 (0.214-0.306)	0.340 (0.286-0.412)	0.407 (0.340-0.492)	0.499 (0.410-0.600)	0.570 (0.463-0.683)	0.642 (0.512-0.769)	0.716 (0.561-0.855)	0.814 (0.621-0.975)	0.888 (0.665-1.07)
10-min	0.293 (0.248-0.356)	0.383 (0.326-0.466)	0.517 (0.435-0.627)	0.620 (0.517-0.748)	0.759 (0.624-0.913)	0.867 (0.705-1.04)	0.977 (0.780-1.17)	1.09 (0.853-1.30)	1.24 (0.946-1.48)	1.35 (1.01-1.62)
15-min	0.363 (0.307-0.441)	0.474 (0.404-0.577)	0.641 (0.539-0.777)	0.768 (0.642-0.927)	0.941 (0.774-1.13)	1.08 (0.874-1.29)	1.21 (0.966-1.45)	1.35 (1.06-1.61)	1.54 (1.17-1.84)	1.68 (1.25-2.01)
30-min	0.488 (0.413-0.593)	0.639 (0.543-0.777)	0.864 (0.726-1.05)	1.03 (0.864-1.25)	1.27 (1.04-1.52)	1.45 (1.18-1.74)	1.63 (1.30-1.95)	1.82 (1.42-2.17)	2.07 (1.58-2.48)	2.26 (1.69-2.71)
60-min	0.604 (0.511-0.734)	0.790 (0.672-0.961)	1.07 (0.899-1.29)	1.28 (1.07-1.55)	1.57 (1.29-1.89)	1.79 (1.46-2.15)	2.02 (1.61-2.42)	2.25 (1.76-2.69)	2.56 (1.95-3.06)	2.79 (2.09-3.36)
2-hr	0.693 (0.586-0.828)	0.900 (0.765-1.08)	1.19 (1.01-1.43)	1.42 (1.19-1.70)	1.73 (1.43-2.06)	1.97 (1.61-2.34)	2.22 (1.78-2.62)	2.47 (1.94-2.91)	2.80 (2.15-3.30)	3.06 (2.30-3.63)
3-hr	0.739 (0.628-0.892)	0.946 (0.807-1.14)	1.24 (1.05-1.50)	1.47 (1.24-1.77)	1.80 (1.49-2.15)	2.06 (1.68-2.45)	2.33 (1.86-2.76)	2.61 (2.05-3.09)	3.00 (2.28-3.55)	3.32 (2.46-3.93)
6-hr	0.895 (0.774-1.05)	1.13 (0.980-1.33)	1.45 (1.25-1.70)	1.70 (1.45-1.98)	2.04 (1.72-2.37)	2.30 (1.92-2.67)	2.58 (2.11-2.99)	2.87 (2.30-3.32)	3.26 (2.55-3.77)	3.57 (2.73-4.14)
12-hr	1.01 (0.893-1.16)	1.28 (1.12-1.46)	1.61 (1.41-1.84)	1.88 (1.63-2.13)	2.23 (1.93-2.53)	2.51 (2.14-2.83)	2.79 (2.34-3.15)	3.07 (2.54-3.47)	3.45 (2.79-3.93)	3.75 (2.97-4.29)
24-hr	1.22 (1.09-1.38)	1.54 (1.38-1.75)	1.97 (1.76-2.23)	2.32 (2.06-2.61)	2.80 (2.45-3.15)	3.17 (2.75-3.56)	3.56 (3.07-4.00)	3.97 (3.37-4.47)	4.53 (3.77-5.11)	4.97 (4.07-5.64)
2-day	1.27 (1.14-1.43)	1.61 (1.45-1.82)	2.09 (1.87-2.35)	2.47 (2.19-2.77)	2.99 (2.63-3.34)	3.39 (2.96-3.79)	3.82 (3.29-4.27)	4.26 (3.63-4.77)	4.86 (4.06-5.47)	5.34 (4.38-6.04)
3-day	1.36 (1.23-1.51)	1.73 (1.57-1.93)	2.26 (2.04-2.50)	2.68 (2.40-2.97)	3.26 (2.92-3.61)	3.73 (3.31-4.12)	4.23 (3.71-4.68)	4.75 (4.12-5.26)	5.47 (4.67-6.08)	6.05 (5.11-6.76)
4-day	1.45 (1.33-1.59)	1.85 (1.69-2.03)	2.42 (2.21-2.66)	2.88 (2.62-3.16)	3.54 (3.20-3.87)	4.07 (3.66-4.46)	4.64 (4.14-5.08)	5.24 (4.62-5.74)	6.08 (5.29-6.69)	6.77 (5.83-7.48)
7-day	1.60 (1.46-1.76)	2.04 (1.86-2.24)	2.67 (2.44-2.93)	3.19 (2.90-3.49)	3.92 (3.55-4.29)	4.51 (4.06-4.93)	5.15 (4.59-5.63)	5.82 (5.13-6.37)	6.77 (5.89-7.44)	7.53 (6.48-8.32)
10-day	1.74 (1.59-1.90)	2.22 (2.03-2.42)	2.90 (2.66-3.17)	3.46 (3.16-3.77)	4.24 (3.85-4.62)	4.86 (4.39-5.30)	5.53 (4.95-6.03)	6.22 (5.53-6.80)	7.21 (6.31-7.90)	7.99 (6.93-8.79)
20-day	2.15 (1.97-2.36)	2.76 (2.52-3.03)	3.63 (3.30-3.97)	4.28 (3.89-4.68)	5.17 (4.68-5.65)	5.85 (5.27-6.40)	6.54 (5.87-7.16)	7.25 (6.46-7.95)	8.20 (7.23-9.03)	8.93 (7.82-9.86)
30-day	2.52 (2.30-2.75)	3.23 (2.95-3.52)	4.22 (3.86-4.60)	4.98 (4.55-5.43)	6.01 (5.46-6.55)	6.80 (6.15-7.41)	7.61 (6.85-8.30)	8.43 (7.54-9.22)	9.53 (8.45-10.5)	10.4 (9.12-11.5)
45-day	2.95 (2.69-3.22)	3.78 (3.46-4.14)	4.95 (4.52-5.41)	5.81 (5.30-6.35)	6.95 (6.32-7.59)	7.81 (7.07-8.53)	8.67 (7.81-9.48)	9.53 (8.53-10.4)	10.7 (9.46-11.7)	11.5 (10.2-12.7)
60-day	3.29 (3.01-3.59)	4.22 (3.86-4.61)	5.51 (5.04-6.01)	6.44 (5.88-7.03)	7.66 (6.98-8.36)	8.57 (7.77-9.35)	9.47 (8.55-10.3)	10.4 (9.30-11.3)	11.5 (10.3-12.6)	12.3 (10.9-13.6)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

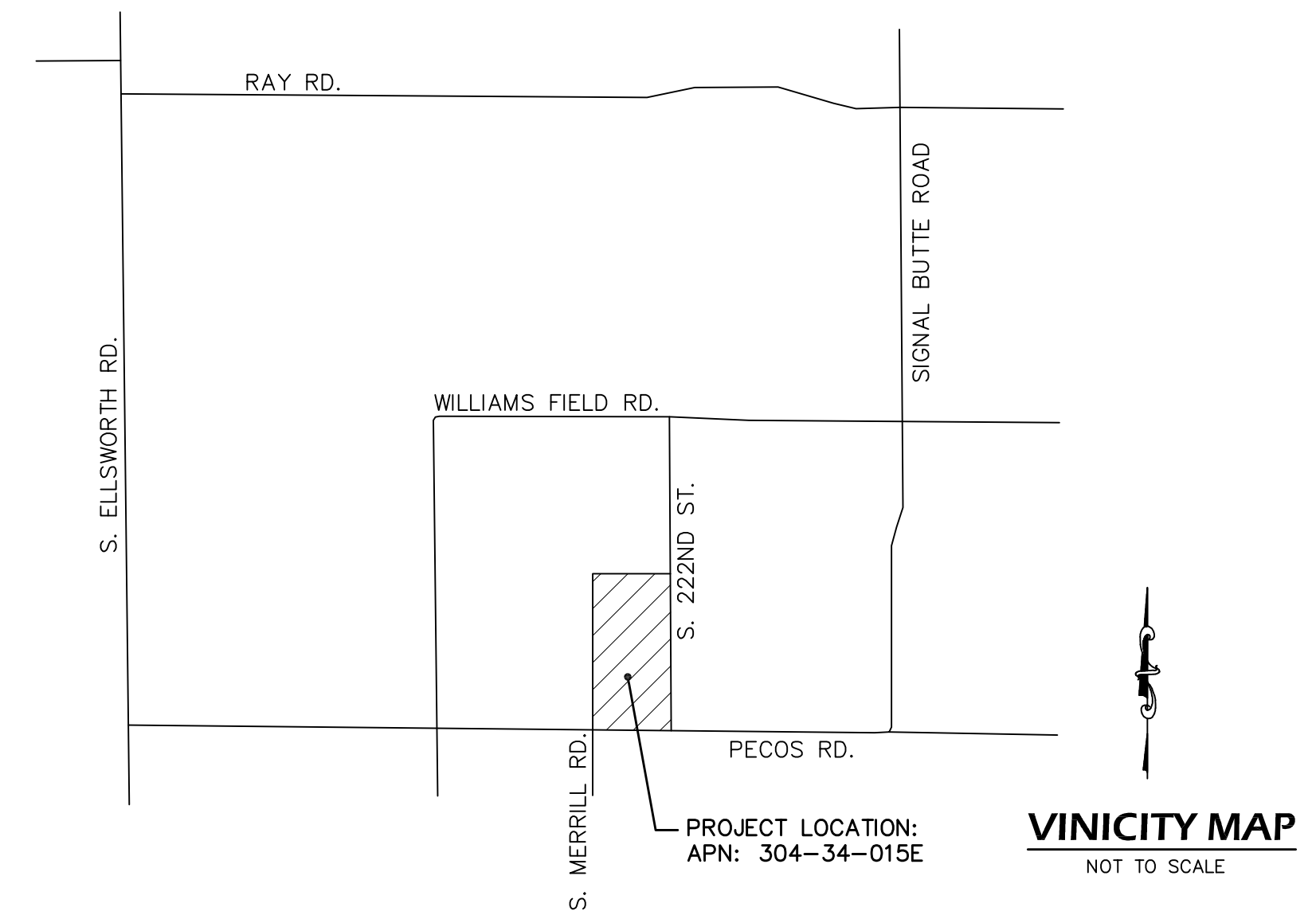
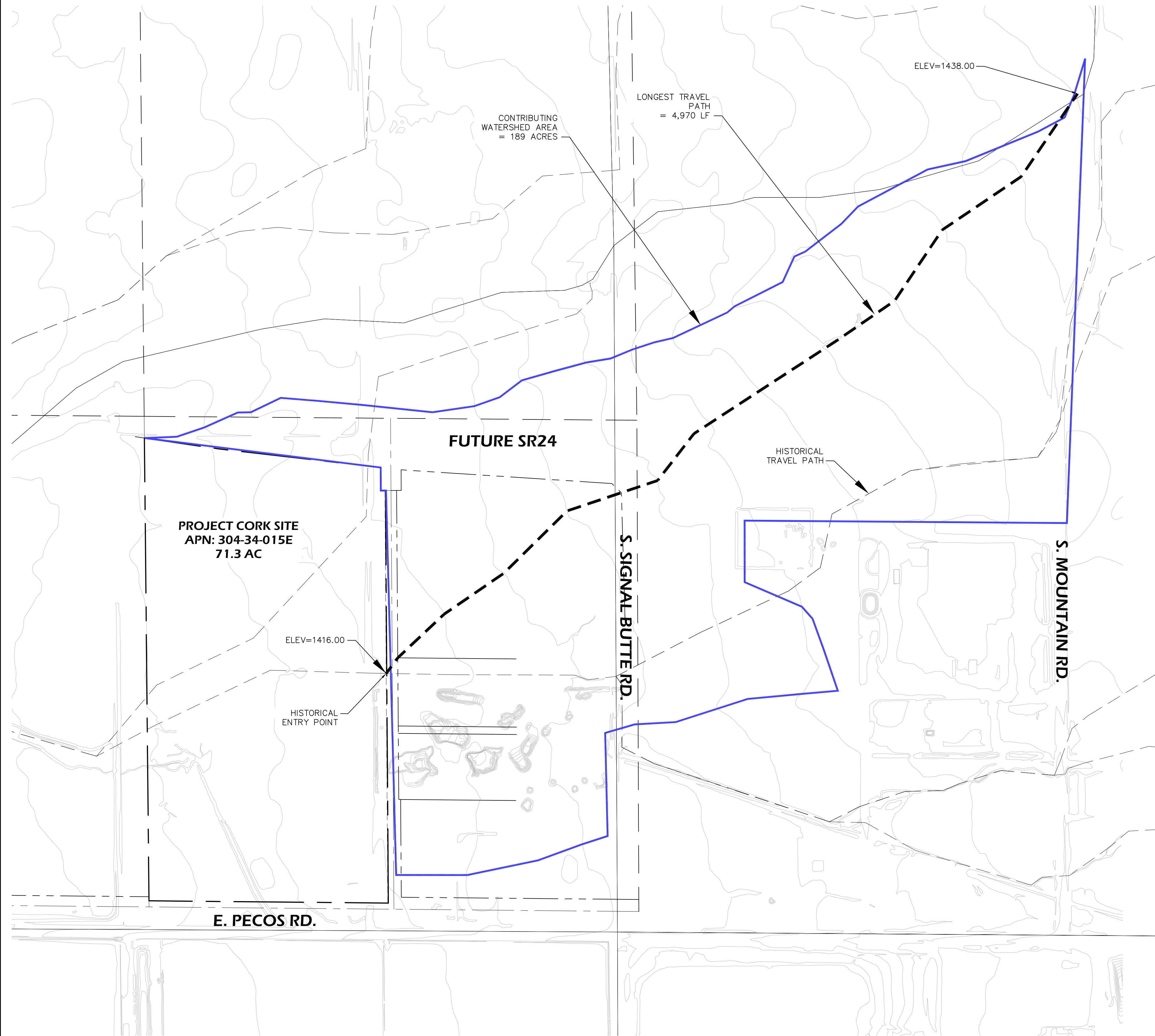
PF graphical

Appendix II
Historical Flow and Offsite Flow Summary

C:\USERS\WIKEP\BOX_SYNC\PREFLING\ENGINEERING\PROJECTS\PROJECT_CORK - PECOS\DRAINAGE_REPORT\OFFSITE_FLOW_SUMMARY.DWG 09/06/21 - 10:09pm

GRADING, PAVING, AND UTILITY PLAN FOR PROJECT CORK - PECOS SITE

A PORTION OF SECTION 35, TOWNSHIP 1 SOUTH, RANGE 7 EAST,
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



Flood Control District of Maricopa County
Drainage Design Management System
SUB BASINS
Project Reference: PROJECT CORK
9/2/2021

ID	Sub Basin Data					Sub Basin Hydrology Summary							
	Area (acres)	Length (ft)	USGE	DSGE	Slope (ft/m)	Kb	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year	
Major Basin ID: 01													
DA1	189.0	4,970	1,438.00	1,416.00	23.4	0.049	Q (cfs)	63.5	98.3	126.3	183.0	236.8	287.3
							C	0.40	0.40	0.40	0.44	0.48	0.50
							CA (ac)	75.60	75.60	75.60	82.16	90.72	94.50
							Volume (ac-ft)	6,4689	8,4776	9,8937	12,9219	15,6322	17,9094
							Tc (min)	55	47	43	38	36	34
							I (in/hr)	0.84	1.30	1.67	2.20	2.61	3.04

* Non default value

**PROJECT CORK
INDUSTRIAL FACILITY**

A PORTION OF SECTION 35,
TOWNSHIP 1 SOUTH, RANGE 7 EAST,
OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.

4435 E. Chandler Blvd
Suite 200
Phoenix, AZ 85048
480-625-9795

**OFFSITE FLOW SUMMARY
AND CALCULATIONS**

PREFLING
Engineering

Version: 1
1ST SUBMITTAL 09/07/2021
Designed by: MJP
Drawn by: MJP
Checked by: MJP
Date: 09/07/2021



SEAL
Professional Engineer
MICHAEL J. PREFLING
ARIZONA, U.S.A.

EXPIRES: 9/30/22

JOB NUMBER
100

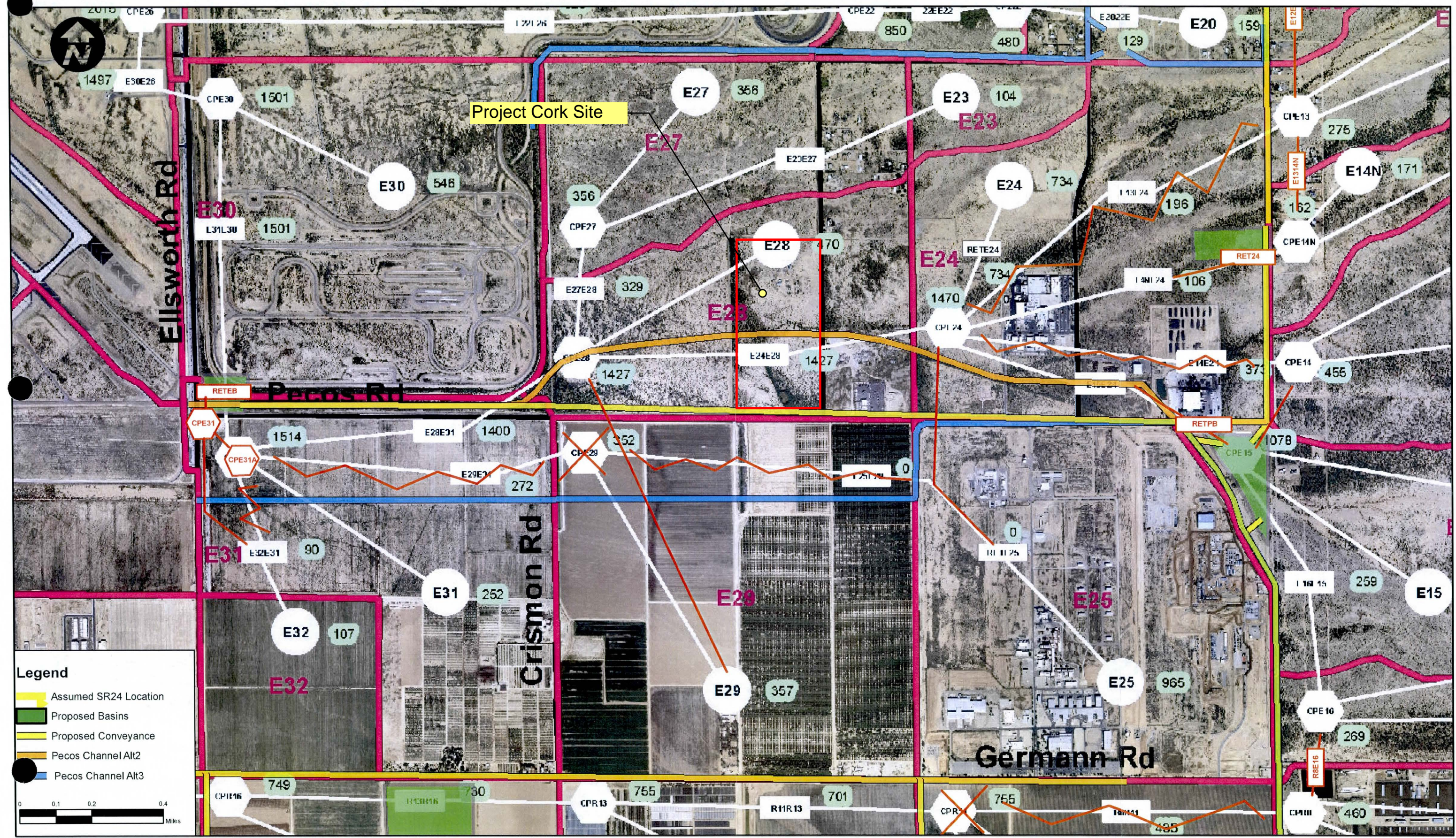
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1 OF 1

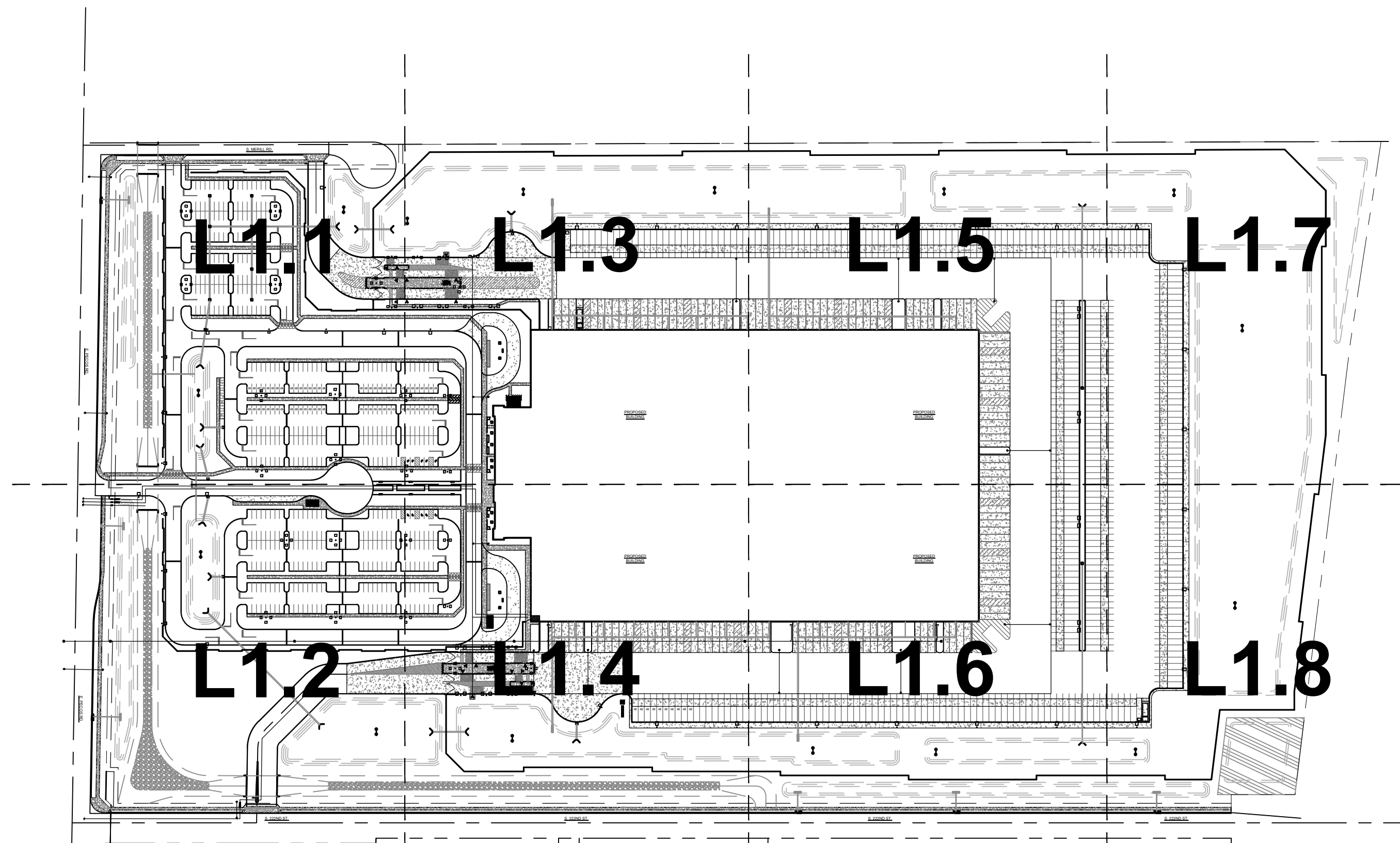
Appendix III
East Mesa ADMS Excerpts



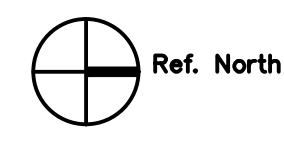
East Mesa Area Drainage Master Plan Update

Alternatives 1, 2, & 3: Pecos System, Existing Conditions HEC-1 Modifications





LANDSCAPE COVER SHEET



NOT TO SCALE

CITY NOTES:

- ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC...., ARE TO BE REMOVED FROM THE PROJECT AREA AND DISPOSED OF PROPERLY OFFSITE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN SCARIFY EXISTING SUBGRADE, TO A MINIMUM 8-INCH DEPTH.
- SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE MADE SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE AND INCORPORATE SUCH ADDITIVES PRIOR TO OR AT THE TIME OF PLANTING.
- CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT NAME OF PLANT LEGEND ITEM NUMBER FROM PLANS.
- CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION (480-644-2253) 24-HOURS IN ADVANCE FOR APPROVAL OF STAKED PLANT LOCATIONS.
- PLANT PITS MUST BE INSPECTED BY CITY LANDSCAPE INSPECTOR PRIOR TO PLANTING BY CONTRACTOR. CONTRACTOR TO REQUEST INSPECTION 48-HOURS IN ADVANCE.
- WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY (1/3) ONE-THIRD OVER SPECIFICATION, AND A LIQUID PENETRATE, "AL-KALICHE" OR APPROVED EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL ALSO COMPLY WITH SOIL TEST RECOMMENDATIONS.
- ALL TOP SOIL MIXTURE FOR PLANTS SHALL BE FREE OF GRASS AND NOXIOUS WEEDS. SEE SECTION 795 OF THE M.A.G. SPECIFICATIONS.
- PLANT SOIL MIXTURE SHALL CONSIST OF 3 1/2-PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6-INCH LIFTS. EACH LIFT SHALL BE WATER SETTLED, WITHOUT PUDDLING.
- ALL PLANT MATERIAL SHALL CONFORM TO GRADING, TYPE, ETC.... AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.
- THE CITY OF MESA RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINER TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS FOR CONDITIONS WHICH MAY DESTROY ROOT BALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST.
- 120 VOLT POWER FOR SPRINKLER SYSTEM CONTROLLER IS TO BE ORDERED FROM APPROPRIATE POWER UTILITY BY CONTRACTOR. CONTRACTOR ACTS AS OWNER AND PAYS RELATED COSTS. IF METER IS INSTALLED, METER IS TO BE IN CONTRACTOR'S NAME UNTIL FINAL APPROVAL AND/OR ACCEPTANCE OF THE PROJECT AND THEN TRANSFERRED TO THE MAINTAINING PARTY.
- THE CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND LABOR NECESSARY TO INSTALL THE COMPLETE AUTOMATIC SPRINKLER SYSTEM INCLUDING THE WATER SERVICE AND METER. THE CONTRACTOR SHALL ORDER THE WATER METER AND PAY ALL RELATED CHARGES AT THE PUBLIC WORKS SERVICES. THE CITY MAY INSTALL THE WATER SERVICE AND METER AND CHARGE THE CONTRACTOR AT THE CITY'S DISCRETION.
- THE PLANT GUARANTEE AND MAINTENANCE SHALL BE AS PER SECTION 430.8 OF M.A.G. SPECIFICATIONS UNTIL PROJECT APPROVAL AND/OR ACCEPTANCE.
- UNLESS SPECIFIED ON THE PLANS FOR REMOVAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC....
 - DAMAGES TO UTILITIES CAUSED AS A RESULT OF HIS WORK.
 - INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING BID.
- THE CONTRACTOR SHALL MAINTAIN UNCOVERED, ALL EXISTING UTILITY COVERS, BOXES, LIDS, AND MANHOLES.
- ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED IN THE PLANS OR IN THE SPECIFICATION WHICH ARE REQUIRED TO COMPLETE THE INSTALLATION, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF HIS CONTRACT WORK.

GENERAL NOTES:

- ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE, SIZE AND COLOR AS NOTED IN LEGEND, 2" DEPTH, TYP. APPLIED OVER PRE-EMERGENT PER MFG. SPECS, 2 APPLICATIONS, MIN.
- VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDDING/ INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION, IN WRITING.
- NO PLANT SUBSTITUTION ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
- LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT HE/SHE DEEMS UNACCEPTABLE.
- FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
- PLANT LIST/QTY'S PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS TAKE PRECEDENCE.
- FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
- GROUND COVER AND/OR DG SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
- ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
- ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
- LANDSCAPE CONTRACTOR RESPONSIBLE TO DEMO ALL EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN.

LANDSCAPE / PLANTING CALCULATIONS:

TOTAL SITE AREA: 3,026,387 S.F.	TOTAL OPEN SPACE AREA: 629,767 S.F. = 21% SITE AREA	314,883 S.F. LIVE COVERAGE REQUIRED 464,136 S.F. LIVE COVERAGE PROVIDED			
	TOTAL TREES	36" TREES	24" BOX	TOTAL SHRUBS	5 GALLON SHRUBS
PECOS ROAD FRONTAGE REQUIREMENTS 1 TREE/ 6 SHRUB PER 25 L.F.	51 TREES REQUIRED 54 TREES PROVIDED	13 TREES REQUIRED 14 TREES PROVIDED	25 TREES REQUIRED 40 TREES PROVIDED	300 SHRUBS REQUIRED 1,051 SHRUBS PROVIDED	150 SHRUBS REQUIRED 354 SHRUBS PROVIDED
222nd STREET FRONTAGE REQUIREMENTS 1 TREE/ 6 SHRUB PER 25 L.F.	88 TREES REQUIRED 88 TREES PROVIDED	22 TREES REQUIRED 26 TREES PROVIDED	44 TREES REQUIRED 62 TREES PROVIDED	528 SHRUBS REQUIRED 1,695 SHRUBS PROVIDED	264 SHRUBS REQUIRED 459 SHRUBS PROVIDED
MERRILL ROAD FRONTAGE REQUIREMENTS 1 TREE/ 4 SHRUB PER 25 L.F.	16 TREES REQUIRED 16 TREES PROVIDED	4 TREES REQUIRED 10 TREES PROVIDED	8 TREES REQUIRED 6 TREES PROVIDED	64 SHRUBS REQUIRED 175 SHRUBS PROVIDED	32 SHRUBS REQUIRED 52 SHRUBS PROVIDED
PERIMETER LANDSCAPE REQUIREMENTS 3 TREE/ 20 SHRUB PER 100 L.F.	92 TREES REQUIRED 92 TREES PROVIDED	N / A 15 TREES PROVIDED	46 TREES REQUIRED 77 TREES PROVIDED	613 SHRUBS REQUIRED 1,005 SHRUBS PROVIDED	N / A
PARKING LOT REQUIREMENTS 1 TREE / 3 SHRUB PER ISLAND	94 TREES REQUIRED 114 TREES PROVIDED	24 TREES REQUIRED 41 TREES PROVIDED	REMAINDER REQ. 73 TREES PROVIDED	282 SHRUBS REQUIRED 691 SHRUBS PROVIDED	N / A
FOUNDATION PLANTING REQUIREMENTS - 712 LF 1 TREE PER 50 L.F.	13 TREES REQUIRED 16 TREES PROVIDED	2 TREES REQUIRED 16 TREES PROVIDED	REMAINDER REQ. N / A	N / A	N / A

OVERALL TREE CALCULATIONS

ALL TREES PROPOSED ARE A MINIMUM 24" BOX SIZE
25% OF REQUIRED TREES TO BE 36" BOX SIZE
355 TOTAL REQUIRED TREES
205 TOTAL 36" TREES PROVIDED (58%)

PROPOSED PLANT PALETTE

TREES	SIZE/COMMENT/QTY
CERCIDIUM PRAECOX 'AZT #5' AZT HYBRID PALO BREA	36" BOX / 68 QTY / LOW-BREAKING / MATCHED
PROSOPIS 'AZT SEEDLESS' AZT HYBRID MESQUITE	36" BOX / 88 QTY / LOW BREAKING / MATCHED
PROSOPIS GLANDULOSA HONEY MESQUITE	36" BOX / 49 QTY / LOW BREAKING / MATCHED
CHILOPSIS LINEARIS 'BI-COLOR' HYBRID DESERT WILLOW	24" BOX / 132 QTY / LOW-BREAKING / MATCHED
ACACIA FARNESIANA SWEET ACACIA	24" BOX / 114 QTY / LOW BREAKING / MATCHED
EBENOPSIS EBANO TEXAS EBONY	24" BOX / 74 QTY / LOW-BREAKING / MATCHED
SHRUBS	SIZE/COMMENT/QTY
EREMOPHILA CARNOSA WINTER BLAZE EMU	5 GAL, 24 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL, 192 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL, 818 QTY
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL, 261 QTY
MUHLENBERGIA RIGIDA NASHVILLE GRASS	5 GAL, 571 QTY
RUELLIA PENINSULARIS BAJA RUELLIA	5 GAL, 405 QTY
SIMMONDSIA CHINENSIS JOJOBA	5 GAL, 530 QTY
TECOMA STANS ARIZONA YELLOW BELLS	5 GAL, 164 QTY
GROUNDCOVERS	SIZE/COMMENT/QTY
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	1 GAL, 1,325 QTY
IPOMEA BATATAS POTATO VINE	1 GAL, 54 QTY
LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL @ 3' O.C., 515 QTY
EREMOPHILA GLABRA 'MIGNEW GOLD' OUTBACK SUNRISE EMU	1 GAL @ 4' O.C., 1,163 QTY
EREMOPHILA CARNOSA WINTER BLAZE EMU	1 GAL @ 4' O.C., 1,020 QTY
JUSTICIA CALIFORNICA CHUPAROSA	1 GAL @ 4' O.C., 1,409 QTY
ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL @ 5' O.C., 330 QTY
RUELLIA BRITTONIANA MEXICAN PETUNIA	1 GAL @ 4' O.C., 741 QTY
BOUTELOUA 'BLONDE AMBITION' BLONDE AMBITION GRAMA	1 GAL @ 3' O.C., 1,011 QTY
DG	DECOMPOSED GRANITE GOLD COLOR AS SELECTED 3/8" MINUS, 2" DEPTH, TYP.
DG1	STABILIZED DECOMPOSED GRANITE ROCK PROS - PAINTED DESERT 1/4" MINUS, COMPACTED, 2" DEPTH, TYP.
SITE AMENITIES	
	BENCH TYP.
	FORMS + SURFACES OR EQUAL TABLE WITH CHAIRS TYP. FORMS + SURFACES OR EQUAL



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CONSULTANTS



PROJECT INFORMATION

PROJECT CORK

PECOS ROAD
MESA, ARIZONA

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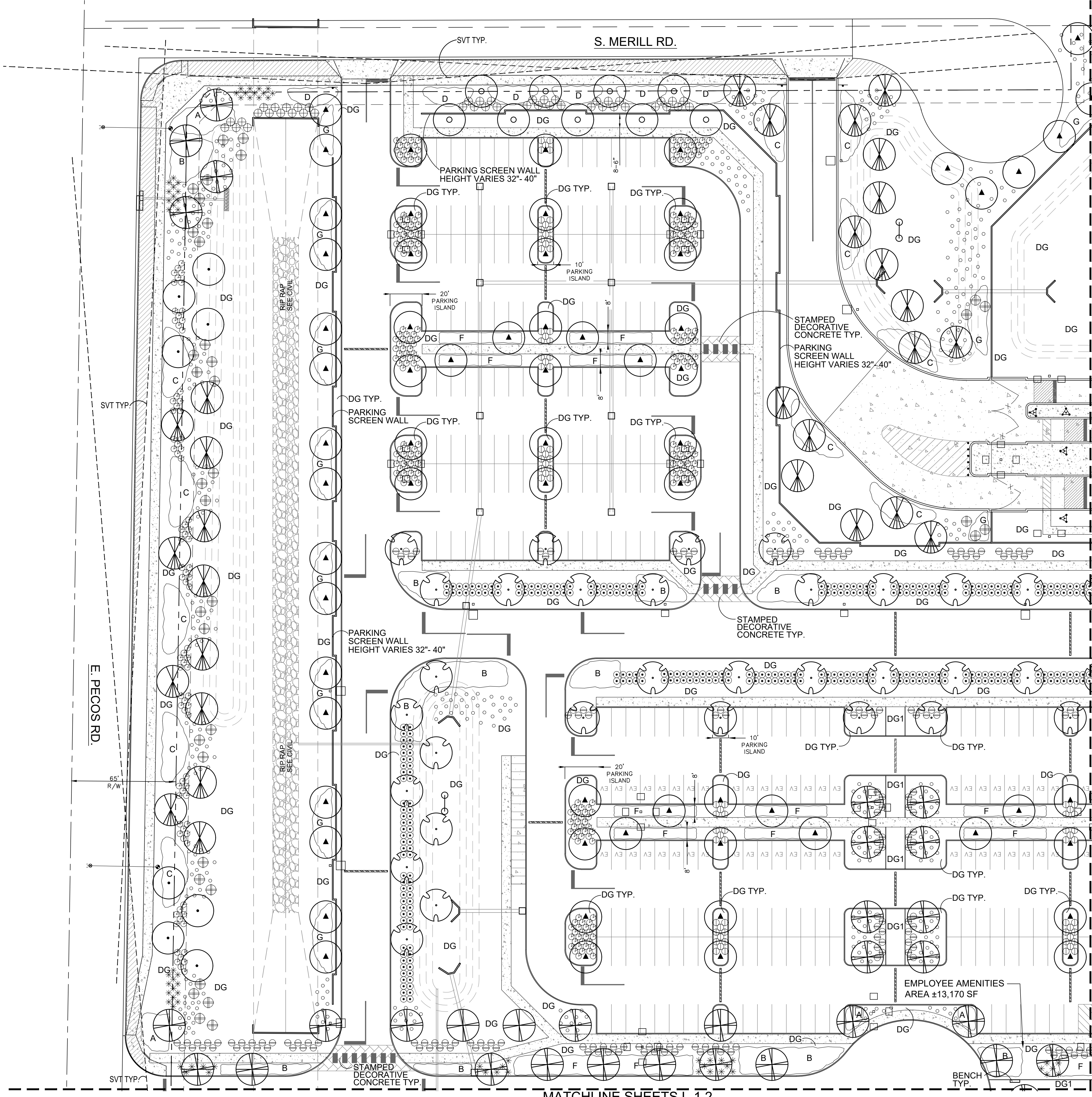
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09.07.2021

LANDSCAPE COVER SHEET

L1.0

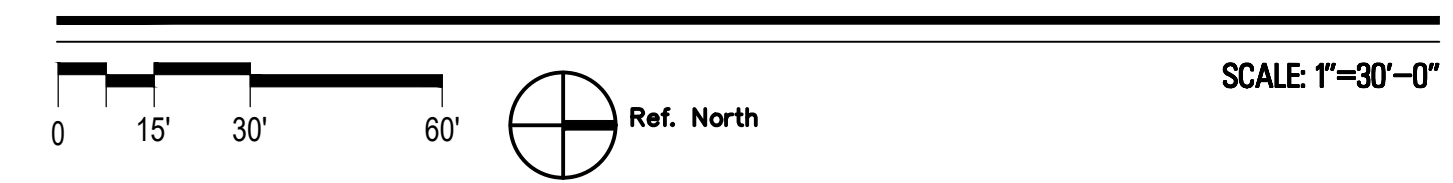




PROPOSED PLANT PALETTE

TREES	SIZE/COMMENT/QTY
CERCIDIUM PRAECOX 'AZT #5' AZT HYBRID PALO BREA	36" BOX / 68 QTY / LOW-BREAKING / MATCHED
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GROUNDCOVERS	SIZE/COMMENT/QTY
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	1 GAL, 1,325 QTY
IPOMEA BATATAS POTATO VINE	1 GAL, 54 QTY
A LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL @ 3' O.C., 515 QTY
B EREMOPHILA GLABRA 'MIGNEW GOLD' OUTBACK SUNRISE EMU	1 GAL @ 4' O.C., 1,163 QTY
C EREMOPHILA CARNOSA WINTER BLAZE EMU	1 GAL @ 4' O.C., 1,020 QTY
D JUSTICIA CALIFORNICA CHUPAROSA	1 GAL @ 4' O.C., 1,409 QTY
E ACACIA REDOLENS 'DESERT CARPET' TRAILING ACACIA	1 GAL @ 5' O.C., 330 QTY
F RUELLIA BRITTONIANA MEXICAN PETUNIA	1 GAL @ 4' O.C., 741 QTY
G BOUTELOUA 'BLONDE AMBITION' BLONDE AMBITION GRAMA	1 GAL @ 3' O.C., 1,011 QTY
DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	3/8" MINUS, 2" DEPTH, TYP.
DG1 STABILIZED DECOMPOSED GRANITE ROCK PROS - PAINTED DESERT	1/4" MINUS, COMPACTED, 2" DEPTH, TYP.
SITE AMENITIES	
BENCH TYP.	
FORMS + SURFACES OR EQUAL	
TABLE WITH CHAIRS TYP.	
FORMS + SURFACES OR EQUAL	

PLANTING PLAN



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PROJECT CORK

PECOS ROAD MESA, ARIZONA

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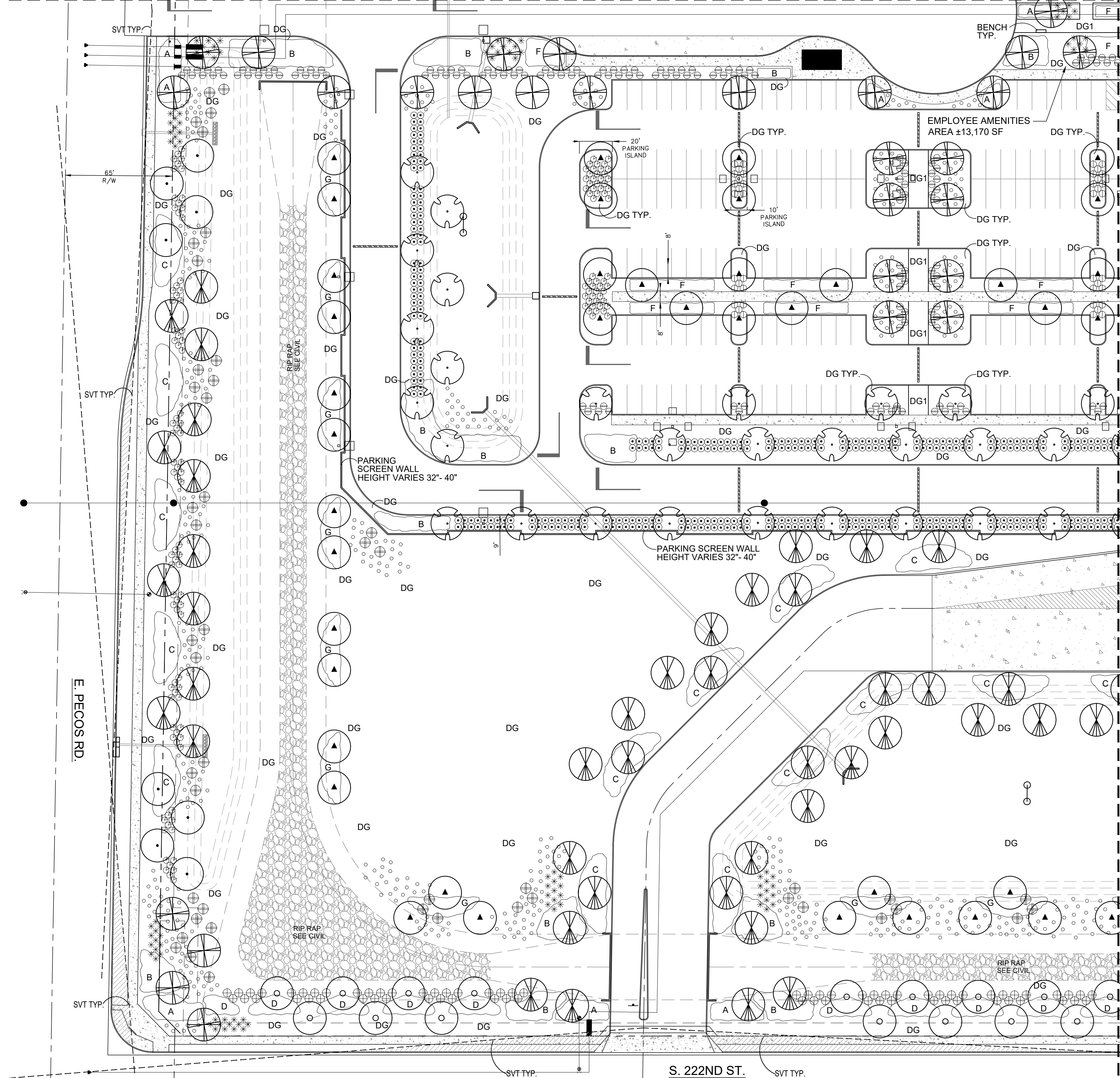
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ISSUE #	DATE	DESCRIPTION

DESIGN REVIEW

09.07.2021

PLANTING PLAN

L1.1



MATCHLINE SHEETS L-1.4

PROPOSED PLANT PALETTE

TREES	SIZE/COMMENT/QTY
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DG1 STABILIZED DECOMPOSED GRANITE ROCK PROS - PAINTED DESERT	1/4" MINUS, COMPACTED, 2" DEPTH, TYP.
SITE AMENITIES	
BENCH TYP. FORMS + SURFACES OR EQUAL	
TABLE WITH CHAIRS TYP. FORMS + SURFACES OR EQUAL	

PLANTING PLAN



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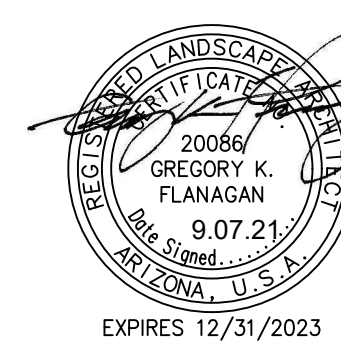
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PLANTING PLAN

L1.2



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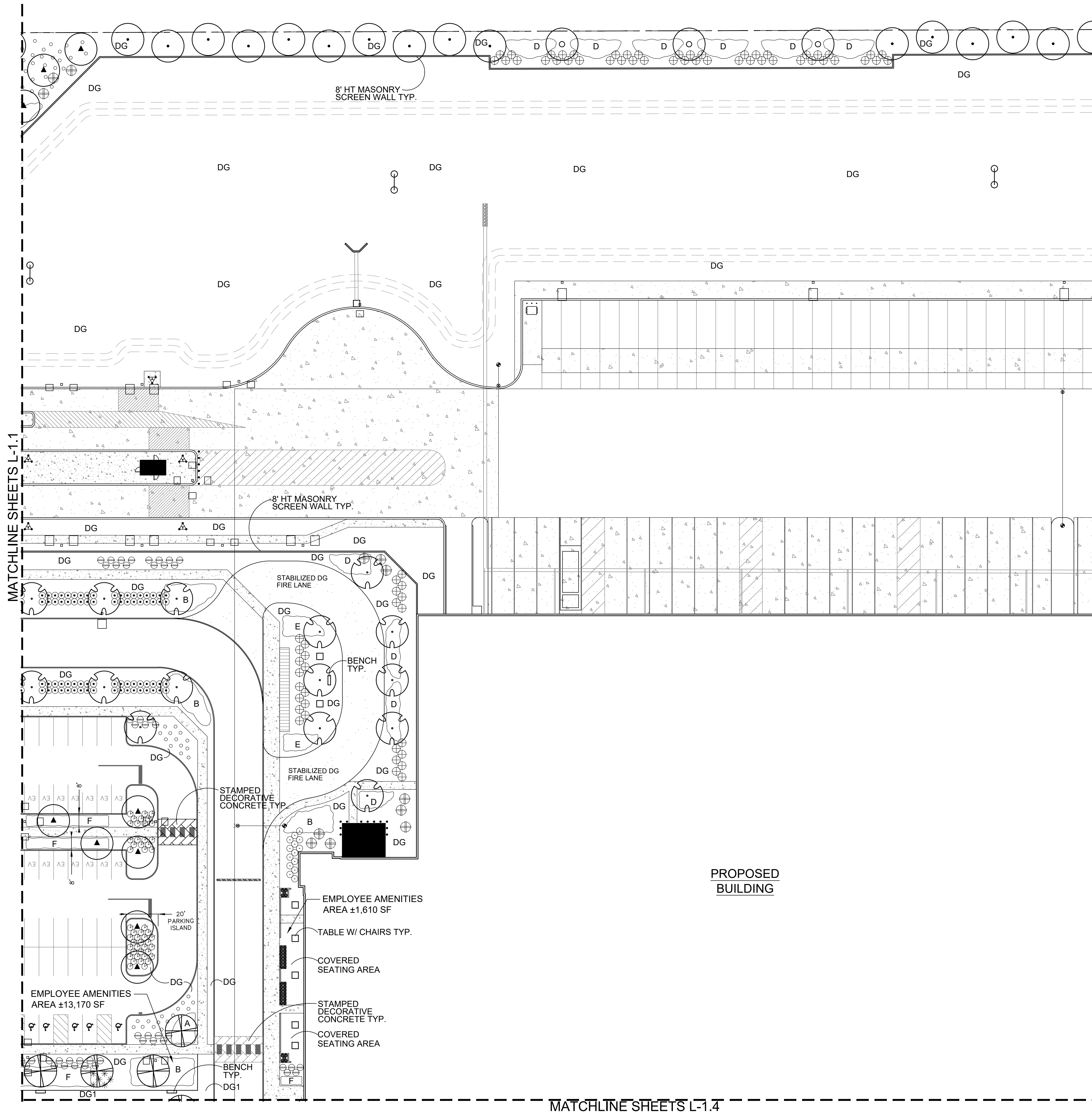
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ISSUE #	DATE	DESCRIPTION

DESIGN REVIEW

09.07.2021

PLANTING PLAN

L1.3



PROPOSED PLANT PALETTE

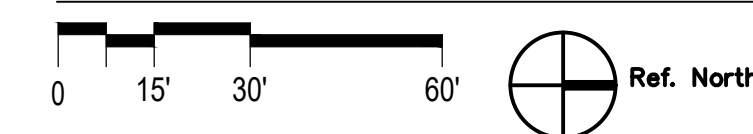
TREES	SIZE/COMMENT/QTY
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SHRUBS	SIZE/COMMENT/QTY
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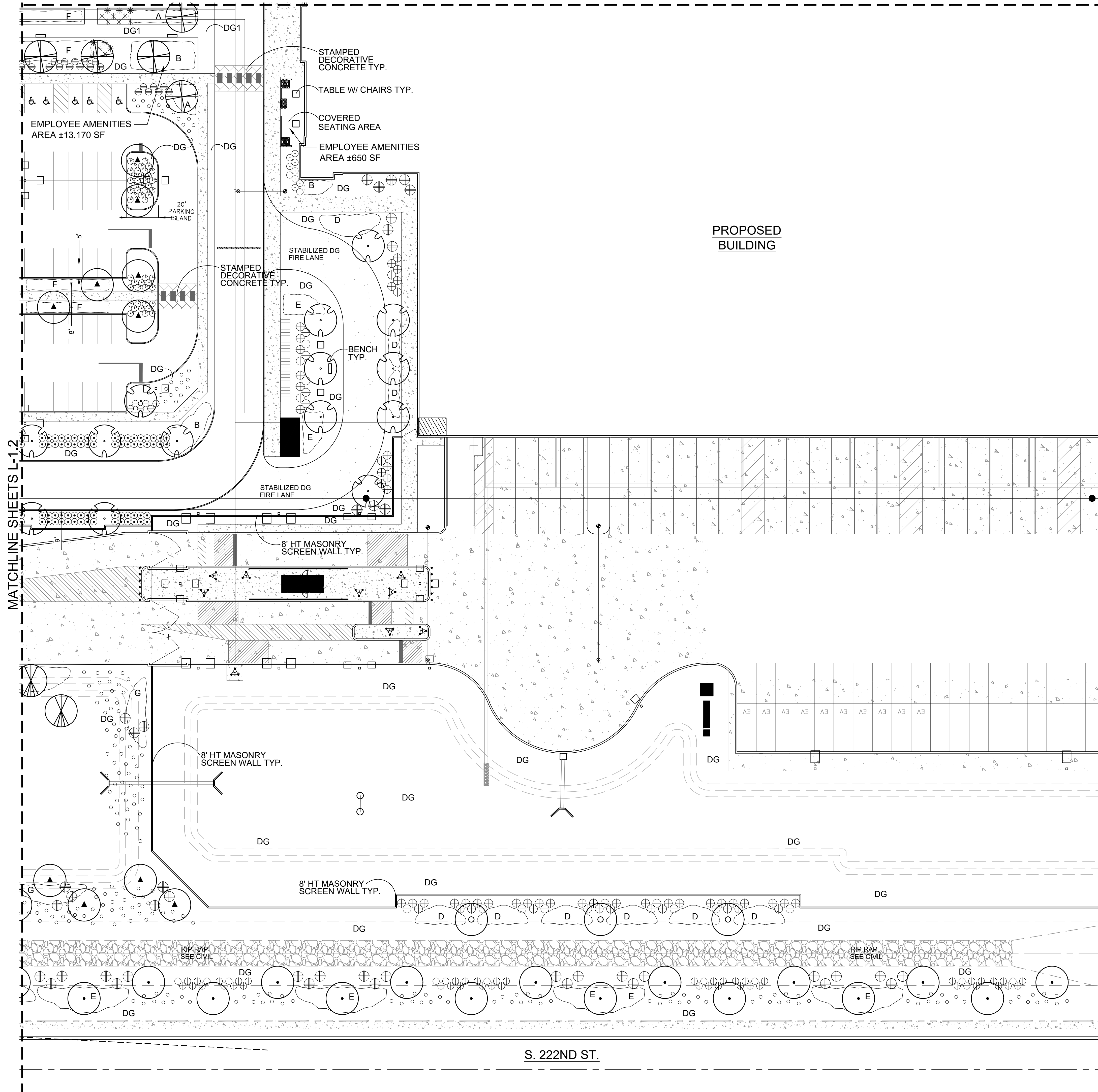
GROUNDCOVERS	SIZE/COMMENT/QTY
ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	1 GAL, 1,325 QTY
IPOMEA BATATAS POTATO VINE	1 GAL, 54 QTY
LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL @ 3' O.C., 515 QTY
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DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	3/8" MINUS, 2" DEPTH, TYP.
DG1 STABILIZED DECOMPOSED GRANITE ROCK PROS - PAINTED DESERT	1/4" MINUS, COMPACTED, 2" DEPTH, TYP.

SITE AMENITIES	FORMS + SURFACES OR EQUAL
BENCH TYP.	FORMS + SURFACES OR EQUAL
TABLE W/ CHAIRS TYP.	FORMS + SURFACES OR EQUAL

PLANTING PLAN



SCALE 1"=30'-0"



PROPOSED BUILDING

MATCHLINE SHEETS L-1.2

MATCHLINE SHEETS L-1.6

PROPOSED PLANT PALETTE

TREES	SIZE/COMMENT/QTY
CERCIDIUM PRAEcox 'AZT #5' AZT HYBRID PALO BREA	36" BOX / 68 QTY / LOW-BREAKING / MATCHED
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SITE AMENITIES	
BENCH TYP.	FORMS + SURFACES OR EQUAL
TABLE WITH CHAIRS TYP.	FORMS + SURFACES OR EQUAL



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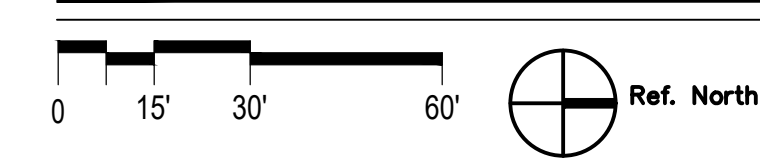
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ISSUE #	DATE	DESCRIPTION

DESIGN REVIEW

09.07.2021

PLANTING PLAN

PLANTING PLAN



SCALE 1"=30'-0"

L1.4



PROJECT CORK

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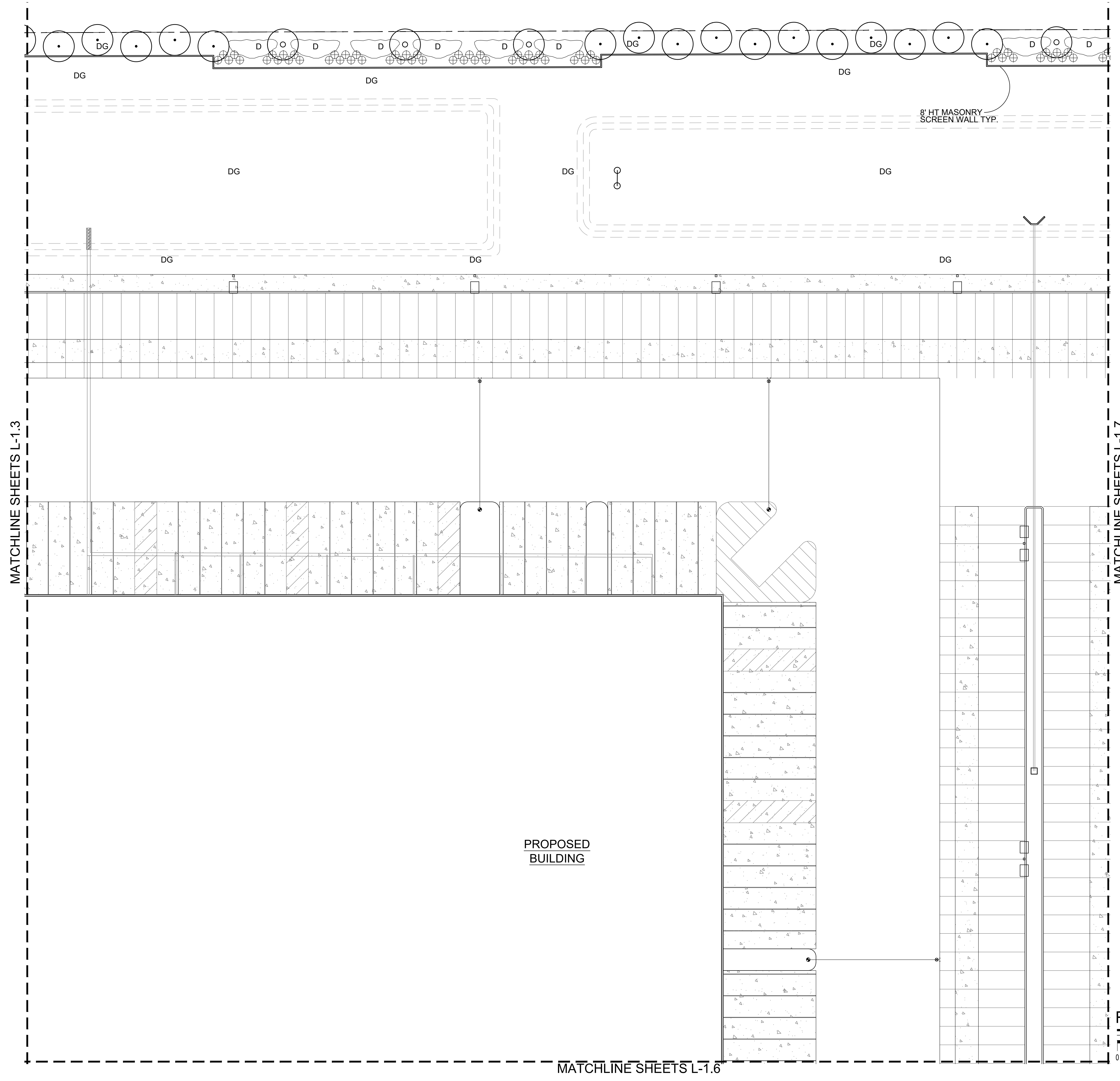
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PLANTING PLAN

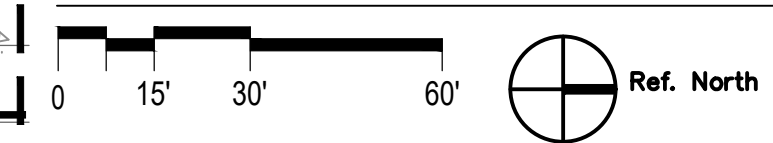
L1.5



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENT/QTY	
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SHRUBS	SIZE/COMMENT/QTY	
EREMOPHILA CARNOSA / WINTER BLAZE EMU	5 GAL, 24 QTY	
HESPERALOE PARVIFLORA / RED YUCCA	5 GAL, 192 QTY	
LEUCOPHYLLUM ZYGOPHYLLUM / CIMARRON SAGE	5 GAL, 818 QTY	
LEUCOPHYLLUM LANGMANIAE / RIO BRAVO SAGE	5 GAL, 261 QTY	
MUHLENBERGIA RIGIDA / NASHVILLE GRASS	5 GAL, 571 QTY	
RUELLIA PENINSULARIS / BAJA RUELLIA	5 GAL, 405 QTY	
SIMMONDSIA CHINENSIS / JOJOBA	5 GAL, 530 QTY	
TECOMA STANS / ARIZONA YELLOW BELLS	5 GAL, 164 QTY	
GROUNDCOVERS	SIZE/COMMENT/QTY	
ERICAMERIA LARICIFOLIA 'AGUIRRE' / TURPENTINE	1 GAL, 1,325 QTY	
IPOMEA BATATAS / POTATO VINE	1 GAL, 54 QTY	
LANTANA 'NEW GOLD' / TRAILING YELLOW LANTANA	1 GAL @ 3' O.C., 515 QTY	
EREMOPHILA GLABRA 'MIGNEW GOLD' / OUTBACK SUNRISE EMU	1 GAL @ 4' O.C., 1,163 QTY	
EREMOPHILA CARNOSA / WINTER BLAZE EMU	1 GAL @ 4' O.C., 1,020 QTY	
JUSTICIA CALIFORNICA / CHUPAROSA	1 GAL @ 4' O.C., 1,409 QTY	
ACACIA REDOLENS 'DESERT CARPET' / TRAILING ACACIA	1 GAL @ 5' O.C., 330 QTY	
RUELLIA BRITTONIANA / MEXICAN PETUNIA	1 GAL @ 4' O.C., 741 QTY	
BOUTELOUA 'BLONDE AMBITION' / BLONDE AMBITION GRAMA	1 GAL @ 3' O.C., 1,011 QTY	
DG	DECOMPOSED GRANITE / GOLD COLOR AS SELECTED	3/8" MINUS, 2" DEPTH, TYP.
DG1	STABILIZED DECOMPOSED GRANITE / ROCK PROS - PAINTED DESERT	1/4" MINUS, COMPACTED, 2" DEPTH, TYP.
SITE AMENITIES		
BENCH TYP.	FORMS + SURFACES OR EQUAL	
TABLE WITH CHAIRS TYP.	FORMS + SURFACES OR EQUAL	

PLANTING PLAN

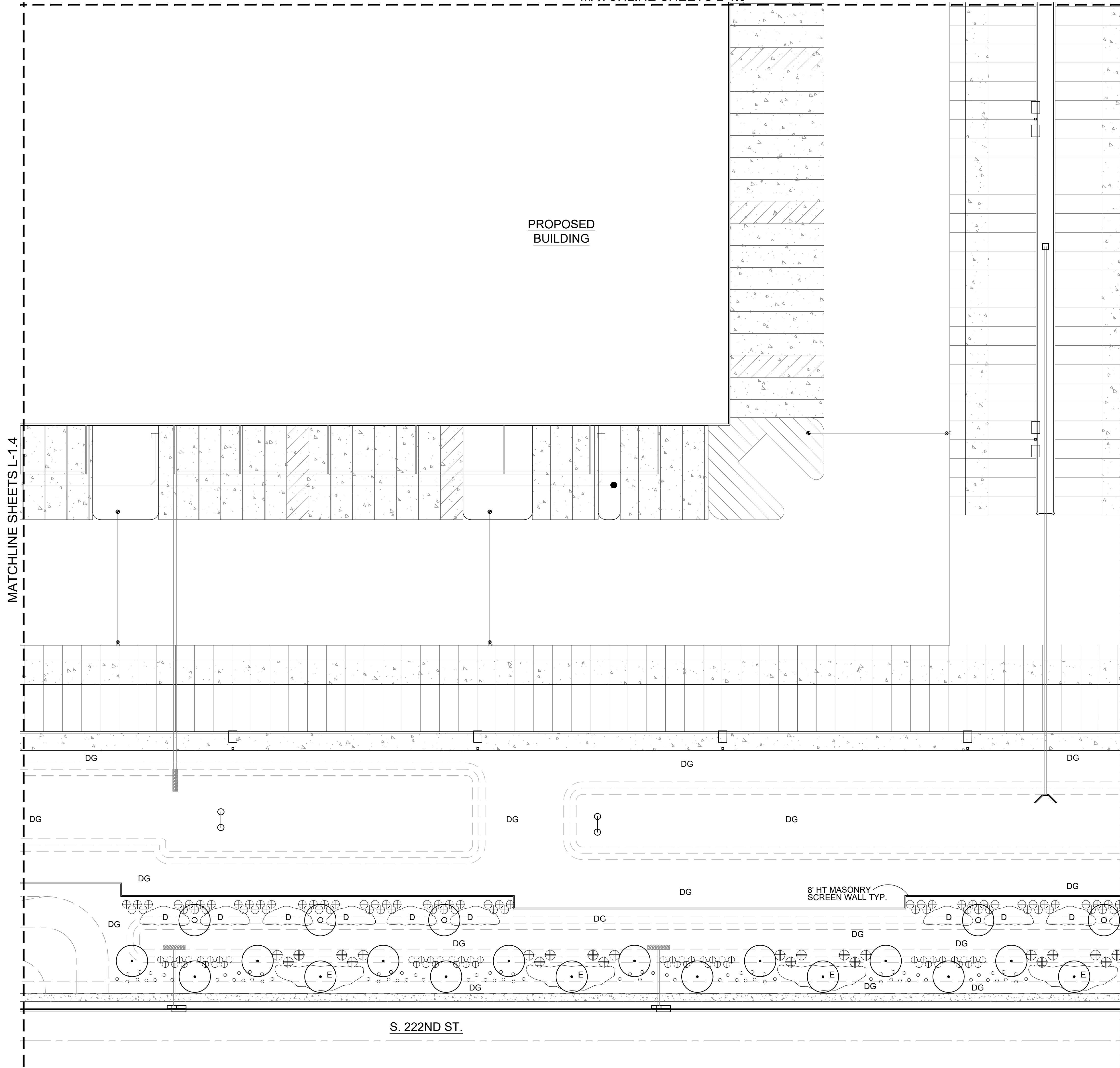


SCALE 1"=30'-0"

MATCHLINE SHEETS L-1.6

MATCHLINE SHEETS L-1.3

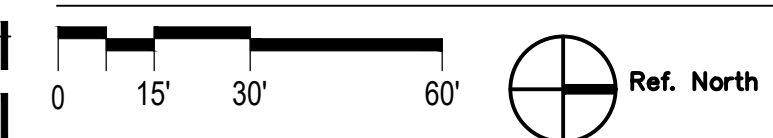
MATCHLINE SHEETS L-1.7



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENT/QTY
CERCIDIUM PRAEcox 'AZT #5' AZT HYBRID PALO BREA	36" BOX / 68 QTY / LOW-BREAKING / MATCHED
PROSOPIS 'AZT SEEDLESS' AZT HYBRID MESQUITE	36" BOX / 88 QTY / LOW-BREAKING / MATCHED
PROSOPIS GLANDULOSA HONEY MESQUITE	36" BOX / 49 QTY / LOW-BREAKING / MATCHED
CHILOPSIS LINEARIS 'BI-COLOR' HYBRID DESERT WILLOW	24" BOX / 132 QTY / LOW-BREAKING / MATCHED
ACACIA FARNESIANA SWEET ACACIA	24" BOX / 114 QTY / LOW-BREAKING / MATCHED
EBENOPSIS EBANO TEXAS EBONY	24" BOX / 74 QTY / LOW-BREAKING / MATCHED
SHRUBS	SIZE/COMMENT/QTY
EREMOPHILA CARNOSEA WINTER BLAZE EMU	5 GAL, 24 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL, 192 QTY
LEUCOPHYLLUM ZYGOPHYLLUM CIMARRON SAGE	5 GAL, 818 QTY
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL, 261 QTY
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SITE AMENITIES	
BENCH TYP.	FORMS + SURFACES OR EQUAL
TABLE WITH CHAIRS TYP.	FORMS + SURFACES OR EQUAL

PLANTING PLAN



SCALE 1"=30'-0"

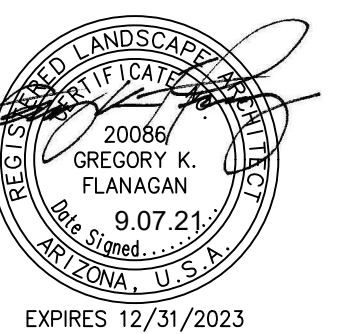


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CONSULTANTS



PROJECT INFORMATION

PROJECT CORK

PECOS ROAD
MESA, ARIZONA

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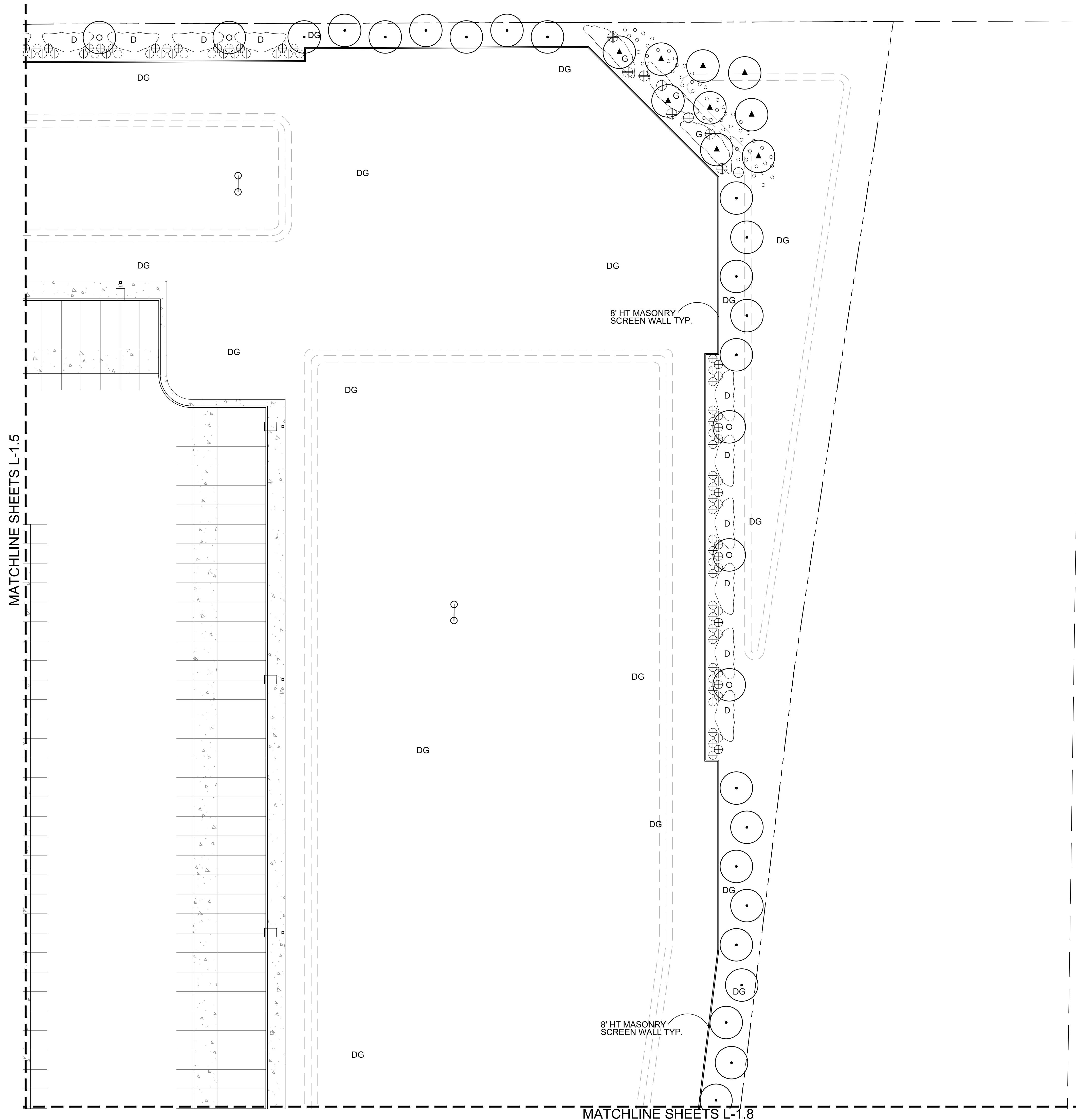
ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION

DESIGN REVIEW

09.07.2021

PLANTING PLAN

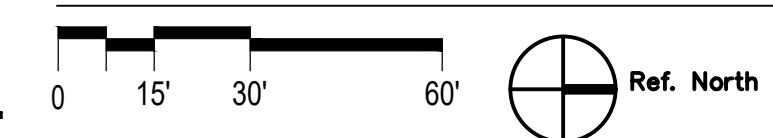
L1.6



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENT/QTY
CERCIDIUM PRAECOX 'AZT #5' AZT HYBRID PALO BREA	36" BOX / 68 QTY / LOW-BREAKING / MATCHED
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PROSOPIS GLANDULOSA HONEY MESQUITE	36" BOX / 49 QTY / LOW BREAKING / MATCHED
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ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE	1 GAL, 1,325 QTY
IPOMEA BATATAS POTATO VINE	1 GAL, 54 QTY
LANTANA 'NEW GOLD' TRAILING YELLOW LANTANA	1 GAL @ 3' O.C., 515 QTY
EREMOPHILA GLABRA 'MIGNEW GOLD' OUTBACK SUNRISE EMU	1 GAL @ 4' O.C., 1,163 QTY
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DG DECOMPOSED GRANITE GOLD COLOR AS SELECTED	3/8" MINUS, 2" DEPTH, TYP.
DG1 STABILIZED DECOMPOSED GRANITE ROCK PROS - PAINTED DESERT	1/4" MINUS, COMPACTED, 2" DEPTH, TYP.
SITE AMENITIES	
BENCH TYP. FORMS + SURFACES OR EQUAL	
TABLE WITH CHAIRS TYP. FORMS + SURFACES OR EQUAL	

PLANTING PLAN



SCALE 1"=30'-0"



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**PROJECT
CORK**

**PECOS ROAD
MESA, ARIZONA**

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09/07/21

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION

**DESIGN
REVIEW**

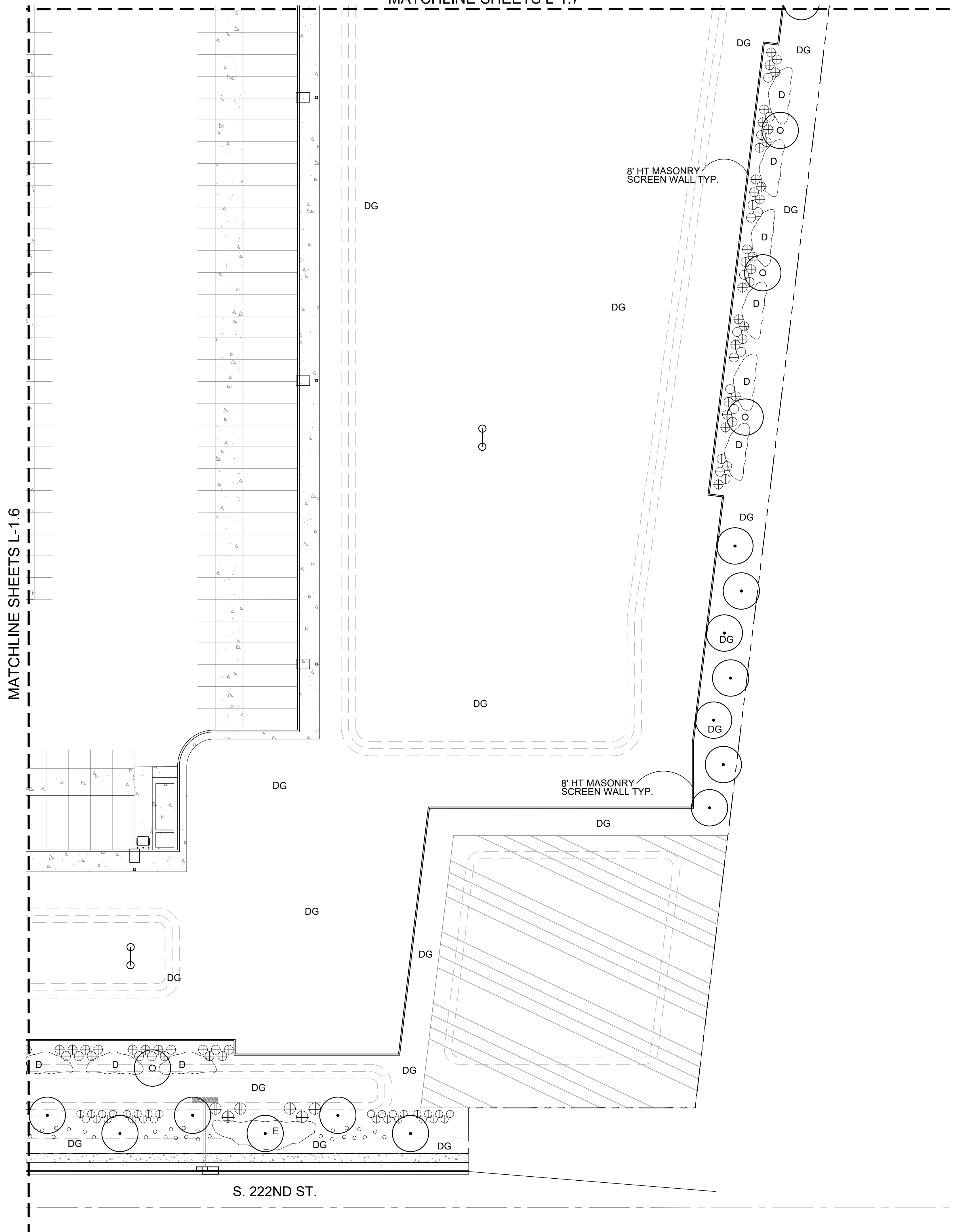
09.07.2021

PLANTING PLAN

L1.7

MATCHLINE SHEETS L-1.8

MATCHLINE SHEETS L-1.5



PROPOSED PLANT PALETTE

TREES		SIZE/COMMENT/QTY
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SITE AMENITIES		
	BENCH TYP.	
	TABLE WITH CHAIRS TYP.	
	FORMS + SURFACES OR EQUAL	



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PROJECT INFORMATION

PROJECT CORK

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MESA, ARIZONA

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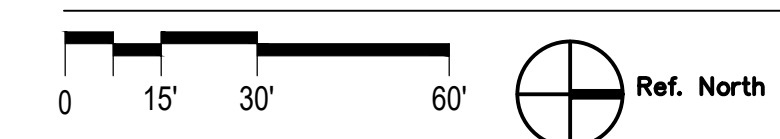
ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION

DESIGN REVIEW

09.07.2021

PLANTING PLAN

PLANTING PLAN



SCALE 1"=30'-0"

L1.8



RATIO™ BENCH

PRODUCT DATA



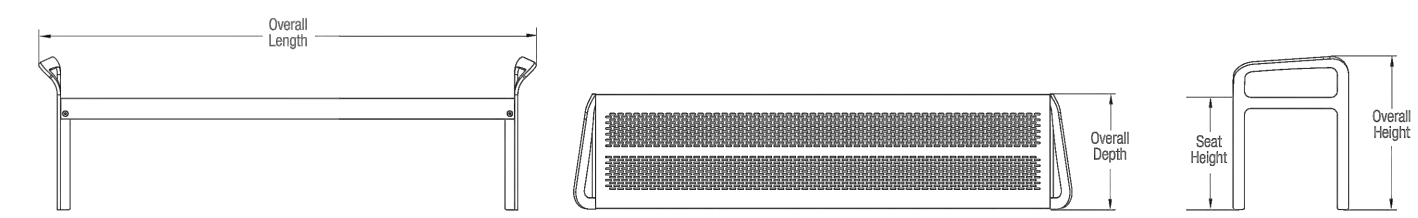
FORMS+SURFACES™



RATIO™ BENCH

PRODUCT DATA

NOMINAL DIMENSIONS (Continued)



MODELS	OVERALL LENGTH	OVERALL DEPTH	OVERALL HEIGHT	SEAT HEIGHT	WEIGHT
SBRAT-72NSS	77.82" (1977 mm)	18.0" (457 mm)	23.85" (606 mm)	17.4" (442 mm)	67.1 lbs (30.4 kg)
SBRAT-72NPC	77.82" (1977 mm)	18.0" (457 mm)	23.85" (606 mm)	17.4" (442 mm)	67.1 lbs (30.4 kg)

ENVIRONMENTAL CONSIDERATIONS

- Please refer to the Ratio Bench Environmental Data Sheet for detailed environmental impact information.
- Ratio has up to 84% recycled content and is fully recyclable.
- Standard powdercoat finishes are no-VOC; non-standard powdercoat finishes are no- or low-VOC, depending on color.
- Low maintenance.
- Easy to disassemble.

MODEL NUMBERS AND DESCRIPTIONS

MODEL	DESCRIPTION
SBRAT-72BSS	Ratio Bench, backed seat with stainless steel finish
SBRAT-72BPC	Ratio Bench, backed seat with powdercoat finish
SBRAT-72NSS	Ratio Bench, backless seat with stainless steel finish
SBRAT-72NPC	Ratio Bench, backless seat with powdercoat finish

PRODUCT OPTIONS

The following options are available for an upcharge

Premium Texture Colors from Forms+Surfaces Powdercoat Chart
Custom RAL powdercoat color

LEAD TIME: 6 to 8 weeks. Shorter lead times may be available upon request. Please contact us to discuss your specific timing requirements.

PRICING: Please contact us at 800.451.0410 or sales@forms-surfaces.com. At Forms+Surfaces, we design, manufacture and sell our products directly to you. Our sales team is available to assist you with questions about our products, requests for quotes, and orders. Territory Managers are located worldwide to assist with the front-end specification and quoting process, and our in-house Project Sales Coordinators follow your project through from the time you place an order to shipment.

TO ORDER SPECIFY: Quantity, model, powdercoat color for frame, stainless steel finish, or powdercoat color for seat, surface mount or freestanding. Quote/Order Forms are available on our website to lead you through the specification process in a simple checkbox format.

NOTE: Because different computers, monitors and printers render colors differently, actual colors will vary slightly from those shown here.

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page 2 of 2 | Rev. 06-15-17



CROSS TABLE

PRODUCT DATA



FORMS+SURFACES™



CROSS TABLE

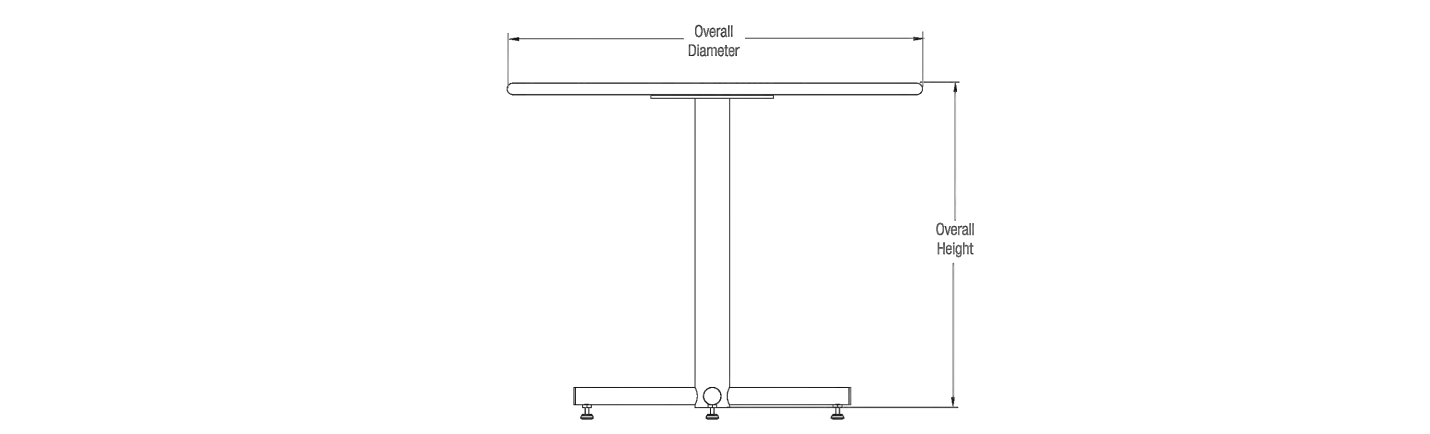
PRODUCT DATA

Forms+Surfaces' Cross Tables are constructed entirely of stainless steel. Simple in design, these exceptionally durable and corrosion-resistant tables have been developed for effortless integration into any indoor or outdoor space. Table bases, columns and tops are available in natural stainless steel finishes or may be specified in a wide range of powdercoat colors.

MATERIAL & CONSTRUCTION DETAILS

TABLE TOP FINISHES	COLUMNS & BASES	INSTALLATION & MAINTENANCE
<ul style="list-style-type: none"> • Standard stainless steel finishes are Sandstone, Diamond, and Satin. Please see our Stainless Steel Product Data Sheet for finish swatches. • See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge. 	<ul style="list-style-type: none"> • Columns are made of 3" diameter tubular stainless steel. • Bases use 1.5" diameter tubular stainless steel supports with black plastic end caps and are available in two sizes: 24" x 24" or 36" x 36". • Standard stainless steel finish is radial Satin. • See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge. 	<ul style="list-style-type: none"> • Tables can be freestanding or surface mounted; surface mounting is recommended for umbrella installations. • Anchors, levelers, and stainless steel mounting screws are provided when surface mounting is specified; levelers are supplied for freestanding units.
TABLE TOP CONSTRUCTION	UMBRELLA HOLE	MAINTENANCE
<ul style="list-style-type: none"> • Table tops are made of spun stainless steel with a welded stainless steel subframe and overall thicknesses of 1". • A concentric pattern of 1/4" round perforations is available on table tops for an upcharge. 	<ul style="list-style-type: none"> • Table tops may be specified with or without a center hole to receive a 1.5" (38 mm) - 1.75" (44.5 mm) diameter umbrella pole. When an umbrella hole is specified, a nylon collar and cap are included. 	<ul style="list-style-type: none"> • Surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

NOMINAL DIMENSIONS



MODEL	OVERALL DIAMETER	OVERALL HEIGHT	WEIGHT
SPCRO-24R24	24.0" (610 mm)	29.1" (739 mm)	24.3 lbs (11.0 kg)
SPCRO-24R30	30.0" (762 mm)	29.1" (739 mm)	29.0 lbs (13.2 kg)
SPCRO-24R36	36.0" (914 mm)	29.1" (739 mm)	34.5 lbs (15.6 kg)
SPCRO-36R42	42.0" (1067 mm)	29.1" (739 mm)	43.2 lbs (19.6 kg)
SPCRO-24S36	36.0" (914 mm) square	29.4" (747 mm)	41.4 lbs (18.8 kg)

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VISTA™ CHAIR

PRODUCT DATA



FORMS+SURFACES™



VISTA™ CHAIR

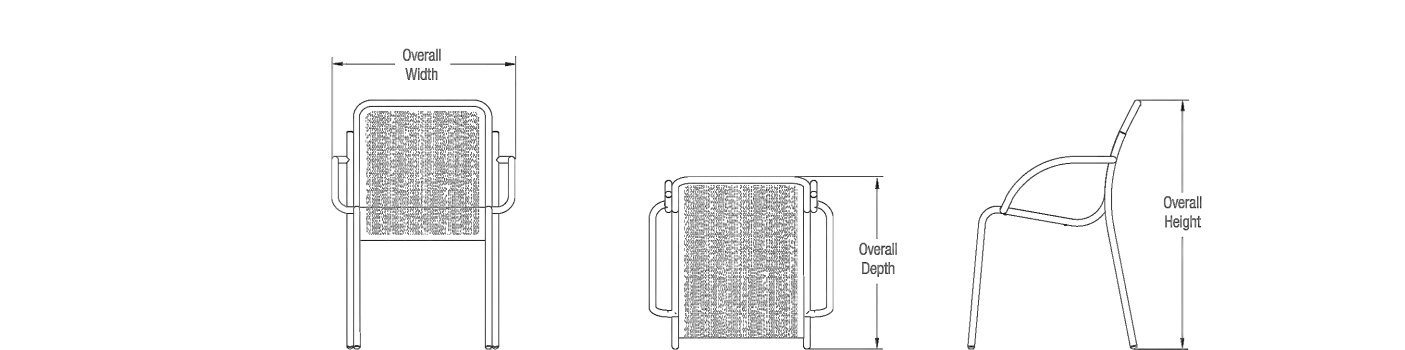
PRODUCT DATA

Great looks. Proven performance. Incredible value. The Vista Chair, with its simple, timeless design, is built for everyday use in the most demanding environments. Constructed of stainless steel, the Vista Chair has a stackable frame and perforated seat, providing the perfect seating solution for both indoors and out.

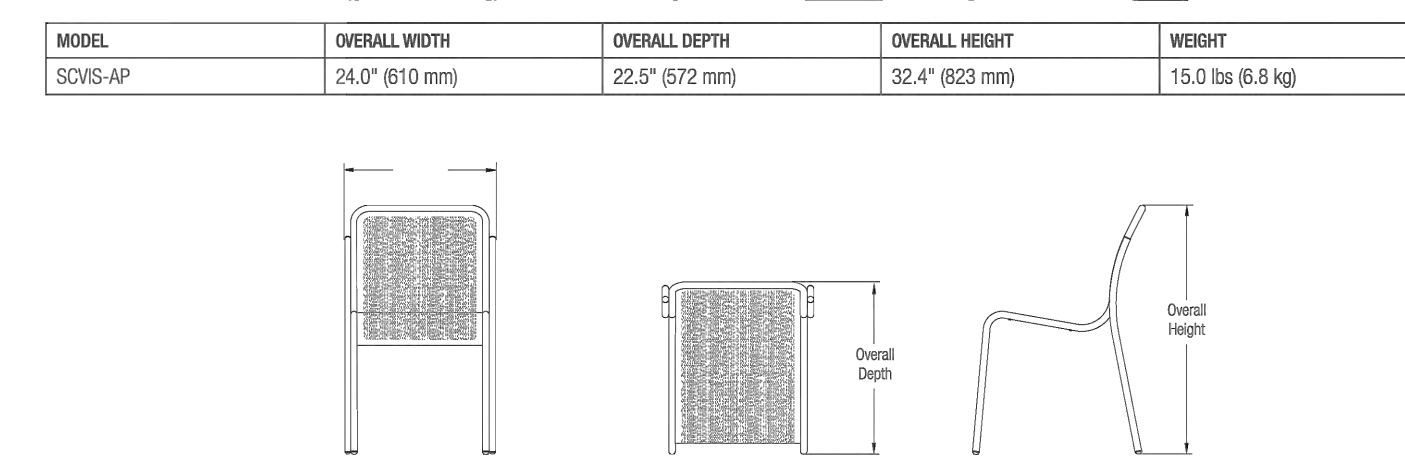
MATERIAL & CONSTRUCTION DETAILS

FRAME & ARMRESTS	FINISH OPTIONS	INSTALLATION & MAINTENANCE
<ul style="list-style-type: none"> • Chair frames and armrests are made of 7/8" (22 mm) diameter stainless steel tubing; all connection points are fully welded for maximum durability. 	<ul style="list-style-type: none"> • See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge. 	<ul style="list-style-type: none"> • Vista stacking chairs are freestanding and include nylon glides.
SEATS	STACKING	MAINTENANCE
<ul style="list-style-type: none"> • Perforated seats are formed from 14 gauge stainless steel sheet with an overall pattern of .25" (6 mm) diameter perforations; each seat is welded to the chair frame. 	<ul style="list-style-type: none"> • Chairs can generally be stacked to a height of 12 units with arms, or 15 units without arms, depending on surface levelness, winds, and other conditions. • Nylon bumpers are included on the underside to protect when stacking. 	<ul style="list-style-type: none"> • Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

NOMINAL DIMENSIONS



MODEL	OVERALL WIDTH	OVERALL DEPTH	OVERALL HEIGHT	WEIGHT
SCVS-AP	24.0" (610 mm)	22.5" (572 mm)	32.4" (823 mm)	15.0 lbs (6.8 kg)



MODEL	OVERALL WIDTH	OVERALL DEPTH	OVERALL HEIGHT	WEIGHT
SCVS-P	19.8" (503 mm)	22.5" (572 mm)	32.4" (823 mm)	12.7 lbs (5.8 kg)

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09/07/21

ISSUE RECORD

ISSUE # DATE DESCRIPTION

DESIGN REVIEW

09.07.2021

SITE AMENITIES

L1.9

Maricopa County Modified Retention Calculations Alternatives 1 and 2

E24A

Subbasin ID	area (sq-mi)	DDMSW q100 (cfs)	DDMSW vol100 ⁽¹⁾ (ac-ft)	Original 80% Retention vol100 (ac-ft)	New 100% Retention vol100 ⁽⁴⁾ (ac-ft)	New 80% Retention vol100 (ac-ft)	Subbasin Undeveloped (%)	Original Future Volume to be Retained ⁽²⁾ (ac-ft)	New Future Volume to be Retained ⁽²⁾ (ac-ft)	Subbasin Developed (%)	Ex Retention Volume (ac-ft)	80% Ex Retention Volume (ac-ft)	Original Fut Vol to be retained + Ex Retention (80%) ⁽³⁾ (ac-ft)	New Fut Vol to be retained + Ex Retention (80%) ⁽³⁾ (ac-ft)	Notes:
E24A	0.53	1003	49.49	39.59	60.38	48.30	100	39.59	48.3	0			39.6	48.3	
E24B	0.46	979	45.63	36.50	55.67	44.53	72	26.28	32.07	28	15.46	12.37	38.7	44.4	
E26A	0.87	1308	82.48	65.98	100.63	80.50	100	65.98	80.5	0			66.0	80.5	
E26B	0.26	511	25.07	20.06	30.59	24.47	100	20.06	24.47	0			20.1	24.5	
E27A	0.54	765	52.49	41.99	64.04	51.23	100	41.99	51.23	0			42.0	51.2	
E28B	0.54	940	52.51	42.01	64.06	51.25	100	42.01	51.25	0			42.0	51.3	
E29	1	1488	92.4	73.92	112.73	90.18	100	73.92	90.18	0			73.9	90.2	
E30B	0.88	962	83.89	67.11	102.35	81.88	100	67.11	81.88	0			67.1	81.9	
E31	0.81	1144	70.64	56.51	86.18	68.94	100	56.51	68.94	0			56.5	68.9	
E32	0.25	509	21.45	17.16	26.17	20.94	100	17.16	20.94	0			17.2	20.9	
E33B	0.85	1618	83.53	66.82	101.91	81.53	100	66.82	81.53	0			66.8	81.5	
EMF1A	0.94	2217	99.27	79.42	121.11	96.89	100	79.42	96.89	0			79.4	96.9	EMF1A not included in original hydrology update model.
EMF1B	1.04	1777	105.85	84.68	129.14	103.31	100	84.68	103.31	0	0.40	0.32	85.0	103.6	
EMF2	1.85	1914	179.45	143.56	218.93	175.14	9	12.92	15.76	91	121.19	96.95	109.9	112.7	(assumes undeveloped = 20% education, 30% GI, 5% trans = 9%)
EMF3	1.49	1549	125.17	100.14	152.71	122.17	59	59.08	72.08	41			59.1	72.1	(assumes undeveloped = 55% edu, 75% GI, 30% trans, 100% CC = 59%)
R19	1.53	2190	136.06	108.85	165.99	132.79	100	108.85	88.97	0	44.00	35.20	144.1	124.2	New Future Vol excludes 33% of R19 which is located on PMGA property. DIVR19 excludes existing ret.
R20	0.5	742	39.99	31.99	48.79	39.03	75	23.99	29.27	25	13.02	10.42	34.4	39.7	
R23	0.5	866	43.12	34.50	52.61	42.09	90	31.05	37.88	10	5.21	4.17	35.2	42.1	
R24	0.29	486	24.82	19.86	30.28	24.22	99	19.66	23.98	1			19.7	24.0	
R25	0.28	540	22.59	18.07	27.56	22.05	78.8	14.24	17.37	21.2			14.2	17.4	

⁽¹⁾ 100-YR, 2-HR Runoff Volumes from File: FUT EMADMP 20100705P

⁽²⁾ 80% of total retention requirement

⁽³⁾ Values in this column used in HEC-1 for future conditions retention requirements

⁽⁴⁾ Values increased by the ratio of the City of Mesa precipitation depth to the 100-YR, 2-HR precipitation depth = 2.7 / 2.219 = 1.22

The Law Offices of
GARRY D. HAYS, PC

UPDATED CITIZEN PARTICIPATION PLAN FOR PROJECT CORK

CASE# ANX21-00728 and ZON21-00730
Parcel #s 304-34-015E and 304-34-015D

Date: September 7, 2021

Developer: Ryan Companies Inc.

Zoning Attorney: Law Offices of Garry D Hays PC
2198 E Camelback Road, Suite 230
Phoenix, Arizona 85016
602.308.0579 email: ghays@lawgdh.com

The purpose of this Citizen Participation Plan is to inform, citizens, property owners, neighborhood associations, agencies, schools and businesses in the vicinity of the site of the application for Project Cork ("Project"). The Project is located at the north side of Pecos Road between Merrill Road and 222nd St. This is an application requesting Annexation, Rezoning, Site Plan Review, Design Review approval, and a Special Use Permit to allow an industrial development. This Citizen Participation Plan shall ensure that those affected by this application will have adequate opportunity to learn and comment on the proposal.

General Plan Compliance

This Project would conform with the Mesa General Plan and Light Industrial Zoning.

Affected Neighbors

Neighbors may contact Garry Hays, Law Offices of Garry D. Hays, for additional information or to register any comments via phone or email at the contact information listed above.

Pre-application meeting (PRS20-00730):

A pre-application meeting with City of Mesa planning staff was held on July 13, 2021. Staff reviewed the application and recommended that adjacent property owners within 1,000 feet of the property and nearby registered neighborhood organizations be included in this participation plan.

The Law Offices of
GARRY D. HAYS, PC

Action Plan:

In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have:

1. A contact list will be developed for citizens and agencies in this area including:
 - Interested neighbors – focused on 1000 feet from the site, but may include more.
 - Homeowners Associations within one half mile of the project.
 - All registered neighborhood associations within one mile of the project

2. All persons listed on the contact list will receive a letter describing the Project, a copy of the site plan and an invitation to a neighborhood meeting that will be held virtually.

The meeting will be an introduction to the project and opportunity to ask questions and state concerns (if needed). A virtual sign in sheet will be used. Copies of the sign in sheet and any comments will be given to the City of Mesa Planner assigned to this project.

3. Presentations will be made to groups of citizens or neighborhood associations upon request.

Schedule: Pre-submittal meeting: - July 13, 2021
First neighborhood meeting – September 21, 2021
Application submittal – September 7, 2021
Submittal of Citizens Participation Report and Notification materials – TBD
Planning and Zoning Board Hearing – October 27, 2021

The Law Offices of
GARRY D. HAYS, PC

NOTICE OF NEIGHBORHOOD MEETING

September 3, 2021

ANX21-00728 and ZON21-00730
Northwest corner of Pecos Road and 222nd Street

Dear Area Property Owner,

This letter is being sent to notify you of a virtual neighborhood meeting for an annexation, rezoning, site plan review, design review and Special Use Permits filed with the City of Mesa's Planning Department for the northwest corner of Pecos Road and 222nd Street. The application is requesting to annex and rezone 74 acres from R-43 to Light Industrial for a light industrial development. The purpose of this meeting is to share with the community the plans for this project. Enclosed with this letter is a copy of the proposed site plan.

The virtual neighborhood meeting will be held electronically via Zoom, a free online meeting service. It will be held at the date and time below:

DATE: Tuesday, September 21, 2021

TIME: 6:00 pm

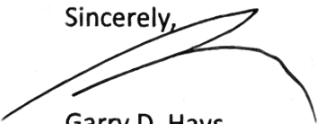
Website: www.zoom.us
Meeting ID: 889 6638 5650

If you wish to participate in the online Zoom meeting, we highly recommend you register for the meeting before it begins. Upon registration, Zoom will send you a link, password and options for entering the meeting.

The City Planner assigned to this case is Evan Balmer, Senior Planner. He can be reached at (480)-644-3654 or at evan.balmer@mesaaz.gov.

If you have questions, comments, or are unable to attend the meeting, please feel free to contact Garry Hays, The Law Offices of Garry D. Hays, PC, at 602-308-0579 or ghays@lawgdh.com or Evan Balmer, City of Mesa Senior Planner at the contact information listed above.

Sincerely,



Garry D. Hays
Enclosure

2198 E. Camelback Rd., Suite 230
Phoenix, AZ 85016

Maricopa County Assessor's Office
Parcel Viewer

Address or Intersection: 304-34-015E

Parcel Information

304-34-015E

Owner Information

Owner Name: TUCKER PROPERTIES LTD

Property Address: 40101 SNAVE ORCH MESA AZ 85139

Deed Number: 019611209

Deed Date: 1/1/2011

Deed Price: \$

Property Information

Latitude: 33.295406 -111.807100

UTM: 31 10 76

Acres: 40.0710709

Zoning: R1-40

MCD: 0107

Lot Size (sq ft): 3,006,317

MEQR: 1

Subdivision: 1

Plan: 1

Construction Year: 1

Living Space (sq ft): 1

Valuation Information

Tax Year: 2022 2021

PCN: \$10,442 \$35,102

CVL: 2,000,000 2,000,000

Search By

304-34-015D

Owner: TUCKER PROPERTIES LTD

Property Address: 40101 SNAVE ORCH MESA AZ 85139

Mailing Address: 40101 SNAVE ORCH MESA AZ 85139

Latitude: 33.295406176

Longitude: -111.807100709

304-34-015E

Owner: TUCKER PROPERTIES LTD

Property Address: 40101 SNAVE ORCH MESA AZ 85139

Mailing Address: 40101 SNAVE ORCH MESA AZ 85139

Latitude: 33.295406176

Longitude: -111.807100709

Parcel Number	Owner	Property Address	Mailing Address
304-63-016A	BYNER CATTLE COMPANY	10620 E GERMANN RD MESA 85212	333 N CENTRAL AVE PHOENIX AZ 85004-2121
304-34-933	GATEWAY LAND INVESTMENTS LLC	6637 S 222ND ST MESA 85212	1465 E MOTORPLEX LOOP STE 200 GILBERT AZ 85297
304-34-934	GATEWAY LAND INVESTMENTS LLC	6619 S 222ND ST MESA 85212	1465 E MOTORPLEX LOOP STE 200 GILBERT AZ 85297
304-34-935	GATEWAY LAND INVESTMENTS LLC	6655 S 222ND ST MESA 85212	1465 E MOTORPLEX LOOP STE 200 GILBERT AZ 85297
304-36-005	GATEWAY LAND INVESTMENTS LLC		1465 E MOTORPLEX LOOP STE 200 GILBERT AZ 85297
304-36-006	GATEWAY LAND INVESTMENTS LLC		1465 E MOTORPLEX LOOP STE 200 GILBERT AZ 85297
304-34-204A	HANSON LARRY R/PAMELA TR	16045 S 222ND ST MESA 85212	PO BOX 440 ROOSEVELT AZ 85545
304-37-048	HANSON LARRY R/PAMELA TR		PO BOX 440 ROOSEVELT AZ 85545
304-36-003	HORNE REAL ESTATE INVESTMENTS LLC	16045 S 222ND ST MESA 85212	1465 E MOTORPLEX LOOP STE 200 GILBERT AZ 85297
304-34-205	LIBBEY JOSEPH H/WILLIE M	16025 S 222ND ST MESA 85212	16025 S 222ND ST QUEEN CREEK AZ 85242
304-34-016Z	MAD AIM INVESTMENTS LLC	10630 E PECOS RD MESA 85212	PO BOX 13006 CHANDLER AZ 85248
304-34-931	MAD AIM INVESTMENTS LLC		PO BOX 13006 CHANDLER AZ 85248
304-63-006T	MESA CITY OF		PO BOX 1466 MESA AZ 85211
304-63-006W	OLD DOMINION FREIGHT LINE INC	10233 E PECOS RD MESA 85212	500 OLD DOMINION WAY THOMASVILLE NC 27360
313-25-859C	PACIFIC PROVING LLC	6321 S ELLSWORTH RD MESA 85212	2201 E CAMELBACK RD STE 650 PHOENIX AZ 85016
304-63-006S	PECOS-MERRILL 20 LLC		5730 ECHO CANYON DR PHOENIX AZ 85018
	PENDING		
	PENDING		
304-34-015D	TUCKER PROPERTIES LTD		4010 E GROVE CIRCLE MESA AZ 85206
304-34-015E	TUCKER PROPERTIES LTD		4010 E GROVE CIRCLE MESA AZ 85206
304-34-016Y	YBL LLC	10646 E PECOS RD MESA 85212	8525 N 75TH AVE PEORIA AZ 85345
312-19-886	YBL LLC	10714 E PECOS RD MESA 85212	8525 N 75TH AVE PEORIA AZ 85345

The Law Offices of
GARRY D. HAYS, PC

FINAL CITIZEN PARTICIPATION REPORT FOR PROJECT CORK

CASE# ANX21-00728 and ZON21-00730
Parcel #s 304-34-015E and 304-34-015D

Date: September 7, 2021
Updated October 12, 2021

Developer: Ryan Companies Inc.

Zoning Attorney: Law Offices of Garry D Hays PC
2198 E Camelback Road, Suite 230
Phoenix, Arizona 85016
602.308.0579 email: ghays@lawgdh.com

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The Law Offices of
GARRY D. HAYS, PC

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The meeting will be an introduction to the project and opportunity to ask questions and state concerns (if needed). A virtual sign in sheet will be used. Copies of the sign in sheet and any comments will be given to the City of Mesa Planner assigned to this project.

3. Presentations will be made to groups of citizens or neighborhood associations upon request.

4. Results of the Neighborhood meeting held on September 27, 2021:

The meeting commenced a little after 6 pm with 5 citizens and two people on behalf of Ryan Companies. A short presentation was made and the floor was opened for questions. The questions were about access, truck counts, number of employees, working with neighboring landowners, 222nd st and Merrill rd. All questions seemed to be answered to the satisfaction of the attendees. At the conclusion of the meeting, several attendees expressed support for the project. The meeting ended at approximately 6:30.

5. List of attendees at the neighborhood meeting:

Nathan Larson nlarson@bowmanconsulting.com

Matt Hall matthall509@gmail.com

Douglas Nelson dnelson@gmail.com

Reece Bawden reecebawden@gmail.com

David Jarvis djarvis55@gmail.com

Garry Hays ghays@lawgdh.com

Josh Tracy jtracy@ryancompanies.com

The Law Offices of
GARRY D. HAYS, PC

Schedule: Pre-submittal meeting: - July 13, 2021
First neighborhood meeting – September 21 2021
Application submittal – September 7, 2021
Submittal of Citizens Participation Report and Notification materials – October 12, 2021
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