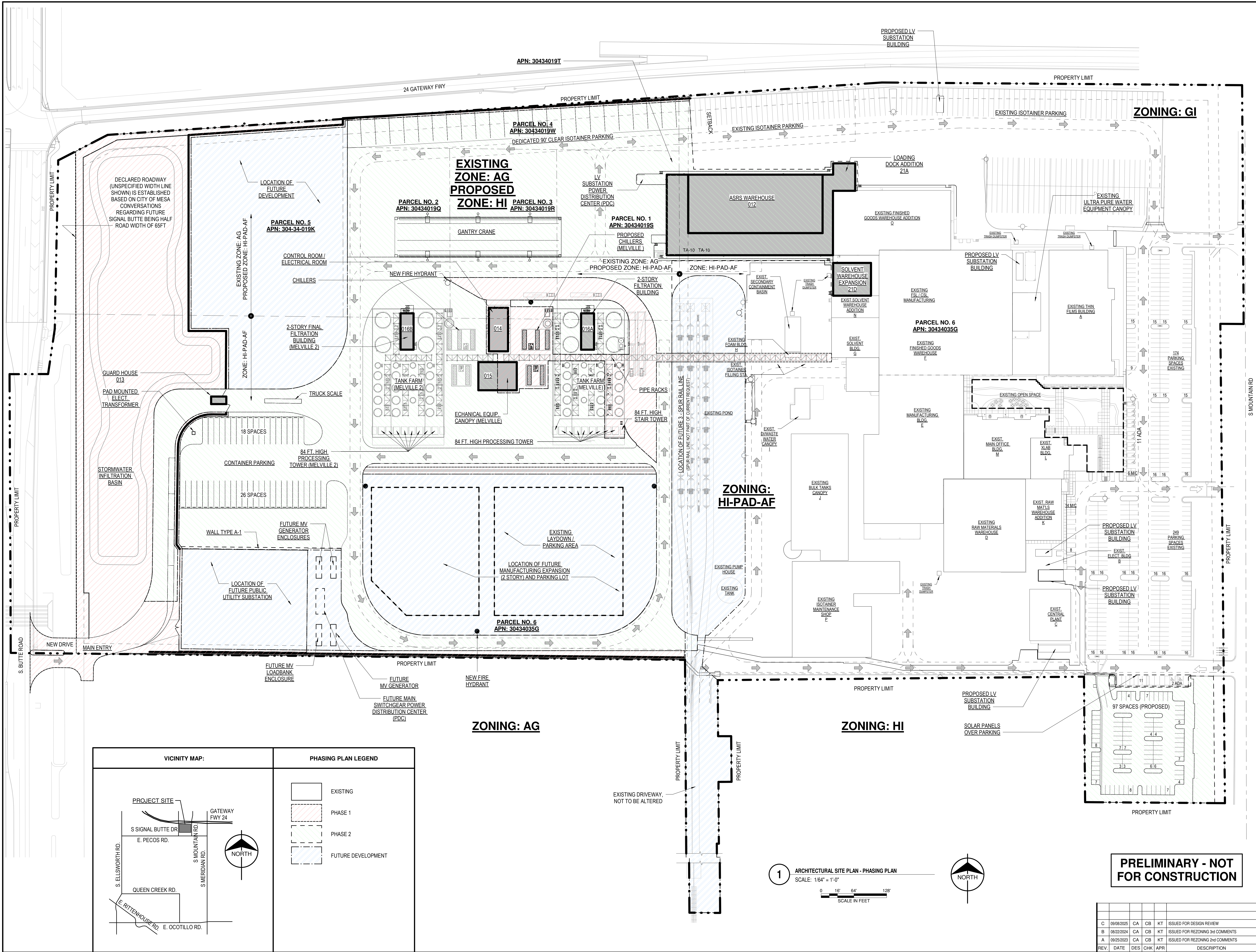


EXISTING BUILDING HEIGHTS & AREAS		PROPOSED BUILDING HEIGHTS & AREAS		CONTACT		PROJECT / SITE DATA							
A. <u>THIN FILMS BUILDING</u> - CONSTRUCTION TYPE: OCCUPANCY: 1ST FLOOR: 2ND FLOOR: TOTAL BUILDING AREA: BUILDING HEIGHT:		II-B, AFSS B / H-3 / H-4 29,540 SF 11,023 SF 40,563 S.F. 32'-0"		PHASE 1 14. CONTROL ROOM BUILDING CONSTRUCTION TYPE: OCCUPANCY: TOTAL BUILDING AREA: BUILDING HEIGHT:		II-B, AFSS* B 3,177 SF 22'-0"		OWNER & DEVELOPER FUJIFILM ELECTRONIC MATERIALS U.S.A., INC. SCOTT KLAMM 6550 SOUTH MOUNTAIN ROAD MESA, AZ 85212 CONTACT: SCOTT KLAMM EMAIL: scott.klamm@fujifilm.com PHONE: (480) 987-7092 APPLICANT QUARLES & BRADY LLP BENJAMIN GRAFF 2 NORTH CENTRAL AVENUE SUITE 600 PHOENIX, AZ 85004 CONTACT: Benjamin.Graff@Quarles.com PHONE: (602)229-5683 ARCHITECTS AND ENGINEERS BURNS & McDONNELL 1850 NORTH CENTRAL AVENUE SUITE 800 PHOENIX, AZ 85004 PROJECT MANAGER CONTACT: STEPHEN PETRUS EMAIL: spetrus2@burnsmcd.com PHONE: (864)-263-5300 ARCHITECT CONTACT: KAYLA TRUSS-BORDEN EMAIL: k trussborden@burnsmcd.com PHONE: (480)-581-6565 LANDSCAPE ARCHITECT CONTACT: BRITTNEY SWARTZ EMAIL: bswartz@burnsmcd.com PHONE: (816)-590-2970 CIVIL ENGINEER CONTACT: ALLYSON MONSOUR EMAIL: armonsour@burnsmcd.com PHONE: (757)-916-4376 ELECTRICAL ENGINEER CONTACT: HEIKO STUGG EMAIL: hstugg@burnsmcd.com PHONE: (864) 420-1331		6550 S MOUNTAIN RD. MESA, AZ 85212 PARCEL NUMBERS AND (ZONE - EXISTING): PARCEL NO. 1: 304-34-019S (AG) PARCEL NO. 2: 304-34-019Q (AG) PARCEL NO. 3: 304-34-019R (AG) PARCEL NO. 4: 304-34-019W (AG) PARCEL NO. 5: 304-34-019K (AG) PARCEL NO. 6: 304-34-035G (HI-PAD-AF)		PARKING - REQUIRED PARKING PARKING REQUIRED FOR EXISTING CONSTRUCTION PER ZON18-00362* 387 SPACES PROPOSED REQUIRED FOR PROPOSED CONSTRUCTION PER ZON18-00362** PHASE 1: 6 SPACES PHASE 2: 96 SPACES TOTAL PARKING REQUIRED 483 SPACES PROVIDED PARKING EXISTING PARKING SPACES PROVIDED 423 SPACES NEW PARKING SPACES PROPOSED PHASE 1 0 SPACES PHASE 2 97 SPACES TOTAL PARKING PROVIDED + PROPOSED 520 SPACES REQUIRED ACCESSIBLE PARKING: REQUIREMENT: 2% OF TOTAL SPACE, 1 OF EVERY 6 SPACES MUST BE VAN ACCESSIBLE ACCESSIBLE PARKING REQUIRED FOR EXISTING CONSTRUCTION 9 SPACES ACCESSIBLE PARKING REQUIRED FOR PROPOSED CONSTRUCTION PHASE 1: 0 SPACES PHASE 2: 2 SPACES TOTAL ACCESSIBLE PARKING REQUIRED: 11 SPACES (INCL. 2 VAN) PROVIDED ACCESSIBLE PARKING EXISTING ACCESSIBLE SPACES PROVIDED 11 SPACES (INCL. 2 VAN) NEW ACCESSIBLE PARKING PROPOSED PHASE 1: 0 SPACES PHASE 2: 0 SPACES TOTAL ACCESSIBLE PARKING PROVIDED + PROPOSED 11 SPACES (INCL. 2 VAN) BICYCLE PARKING REQUIRED BICYCLE PARKING REQUIREMENT: 1 PER 10 VEHICLES FOR FIRST 50 BIKE PARKING SPACES, 1 PER 20 VEHICLES AFTER BICYCLE PARKING REQUIRED FOR EXISTING CONSTRUCTION 43 SPACES BICYCLE PARKING REQUIRED FOR PROPOSED CONSTRUCTION PHASE 1: 0 SPACES PHASE 2: 8 SPACES TOTAL BICYCLE PARKING REQUIRED 51 SPACES PROVIDED BICYCLE PARKING EXISTING BICYCLE SPACES PROVIDED 12 SPACES NEW BICYCLE PARKING SPACES PROPOSED PHASE 1: 0 SPACES PHASE 2: 40 SPACES TOTAL BICYCLE PARKING PROVIDED + PROPOSED 52 SPACES MOTORCYCLE PARKING EXISTING MOTORCYCLE PARKING SPACES PROVIDED 20 SPACES NEW MOTORCYCLE PARKING SPACES PROVIDED PHASE 1: 0 SPACES PHASE 2: 0 SPACES TOTAL MOTORCYCLE PARKING PROVIDED + PROPOSED 20 SPACES	
B. <u>ELECTRICAL BUILDING</u> - CONSTRUCTION TYPE: OCCUPANCY: TOTAL BUILDING AREA: BUILDING HEIGHT:		II-B, AFSS F-1 250 SF 14'-8"		15. MECHANICAL CANOPY CONSTRUCTION TYPE: OCCUPANCY: STRUCTURE FOOTPRINT: STRUCTURE HEIGHT:		II-B, AFSS* S-1 2,117 SF 25'-0"		ZONING: EXISTING: HI-PAD-AF AND AG PROPOSED: HI-PAD-AF (REZONING REQUESTED) SITE AREA GROSS: PARCEL NO. 1: ~79,174 SF (~1.8176 ACRES) PARCEL NO. 2: ~69,233 SF (~1.5894 ACRES) PARCEL NO. 3: ~69,263 SF (~1.5901 ACRES) PARCEL NO. 4: ~51,166 SF (~1.1746 ACRES) PARCEL NO. 5: ~202,555 SF (~4.6500 ACRES) PARCEL NO. 6: ~2,244,964 SF (~51.5373 ACRES) TOTAL AREA: ~2,716,356 SF (~62.3590 ACRES) SITE AREA (NET): UNBUILDABLE RIGHT OF WAY AND DRAINAGE EASMENTS (ACROSS ALL PARCELS): ~ 125,913 SF (~2.8906 ACRES) NET SITE AREA: ~2,590,443 SF (~59.4684 ACRES) BUILDING SETBACKS REQUIRED*: FREEWAYS (STATE ROUTE 24) 30 FT FOR BUILDINGS ARTERIAL STREETS (SIGNAL BUTTE RD & PECOS RD) 15 FT COLLECTOR STREETS (MOUNTAIN RD) 20 FT INTERIOR ADJACENT TO AG & GC 20 FT MIN ** INTERIOR ADJACENT TO HI 0 FT * BUILDING SETBACKS SHOWN WITH THE ASSUMPTION THAT ALL PARCELS WILL BE REZONED AS HI-PAD-AF ** 1 FT SETBACK FOR EACH FOOT OF BUILDING HEIGHT WITH MINIMUM 20 FT SETBACK LANDSCAPE SETBACKS (REQUIRED / EXISTING OR PROPOSED): FREEWAYS (STATE ROUTE 24) @ PARCEL NO. 6 0 FT (EXISTING) FREEWAYS (STATE ROUTE 24) @ PARCEL NO. 4 30 FT (REQ) / 0 FT (PROPOSED) FREEWAYS (STATE ROUTE 24) @ PARCEL NO. 5 30 FT (REQ) / 15 FT (PROPOSED) ARTERIAL STREET (SIGNAL BUTTE RD) 15 FT (REQ) / 15 FT (PROPOSED) ARTERIAL STREET (PECOS RD) NO CHANGE TO EXISTING COLLECTOR STREET (MOUNTAIN RD) 20 FT (REQ) / 20 FT (PROPOSED) INTERIOR ADJ. TO AG & GC @ PARCEL NO. 6 20 FT (REQ) ** / 0 FT BLOCK WALL (PROPOSED) INTERIOR ADJACENT TO HI DISTRICTS 0 FT (REQ) / 0 FT (PROPOSED) * LANDSCAPE SETBACKS SHOWN WITH THE ASSUMPTION THAT ALL PARCELS WILL BE REZONED AS HI-PAD-AF ** 1 FT SETBACK FOR EACH FOOT OF BUILDING HEIGHT WITH MINIMUM 20 FT SETBACK BUILDING AREAS: EXISTING AREA OF BUILDING FOOTPRINT 275,235 SF PROPOSED BUILDING FOOTPRINT AREA PHASE 1: 3,177 SF PHASE 2: 64,447 SF TOTAL PROPOSED AREA OF BUILDING FOOTPRINT 67,624 SF TOTAL AREA OF BUILDING FOOTPRINT EXISTING + PROPOSED*: 342,859 SF *REFER TO INDIVIDUAL BUILDING AREAS FOR ADDITIONAL INFORMATION LANDSCAPING: REFER TO LANDSCAPE PLANS BUILDING HEIGHT: EXISTING MAXIMUM ALLOWABLE HEIGHT 120'-0" FT (VARIANCE REQUESTED) PROPOSED MAXIMUM ALLOWABLE BUILDING HEIGHT REFER TO PROPOSED BUILDING ACTUAL BUILDING HEIGHT HEIGHTS & AREAS SECTION LOT COVERAGE: EXISTING LOT COVERAGE SF (%) ~ 1,257,385 (48.5%) PROPOSED LOT COVERAGE SF (%) PHASE 1: ~ 111,968 (4.3%) PHASE 2: ~ 660,436 (25.5%) TOTAL PROPOSED LOT COVERAGE ~ 772,404 (29.8%) TOTAL AREA OF LOT COVERAGE EXISTING + PROPOSED ~ 2,029,789 (78.4%) MAXIMUM ALLOWABLE LOT COVERAGE: ~ 2,331,399 SF (90%) (LOT COVERAGE = AREA COVERED WITH IMPERVIOUS SURFACES, SUCH AS BUILDINGS, PATIOS OR DECKS WITH ROOFS, PARKING LOTS OR ANY OTHER TYPE OF STRUCTURE.) COMMON OPEN SPACE REQUIRED: BUILDINGS OVER 30,000 GSF: BUILDING SF REQ'D COMMON SPACE 1. EXISTING THIN FILMS A 40,563 SF 406 SF 2. EXISTING ISOTAINER MAINTENANCE SHOP P 31,725 SF 317 SF 3. COMBINED GROSS SQUARE FOOTAGE OF BUILDING COMPLEX TO INCLUDE: 322,365 SF 3,223.65 SF EXISTING RAW MATERIALS WAREHOUSE D 29,772 SF EXISTING MANUFACTURING BUILDING E 60,548 SF EXISTING FINISHED GOODS WAREHOUSE F 65,318 SF EXISTING SOLVENT BUILDING G 11,458 SF EXISTING RAW MATLS WAREHOUSE ADDITION K 8,400 SF EXISTING XLAB BLDG L 11,233 SF EXISTING MAIN OFFICE BLDG M 32,453 SF EXISTING FINISHED GOODS WAREHOUSE ADDITION O 28,515 SF PROPOSED ASRS WAREHOUSE BUILDING 012 65,305 SF PROPOSED LOADING DOCK ADDITION 21A 2,280 SF PROPOSE SOLVENT WAREHOUSE EXPANSION 21B 7,083 322,365 SF 3,223.65 SF 3,899 SF 1% OPEN SPACE REQUIRED COMMON OPEN SPACES PROVIDED: PERCENTAGE OF AREA OPEN TO THE SKY: 100% LANDSCAPE WITH LIVE PLANTS: 21,858 SF REQUIRED PERCENTAGE LANDSCAPED: 75% ACTUAL PERCENTAGE LANDSCAPED: 79%					
C. <u>CENTRAL PLANT</u> - CONSTRUCTION TYPE: OCCUPANCY: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, AFSS B 8,053 SF 28'-0"		470. MELVILLE TANK FARM (CONTAINER AREA) - CONSTRUCTION TYPE: OCCUPANCY: TOTAL STRUCTURE AREA - PHASE 1: STRUCTURE HEIGHT:		II-B, AFES 5,859 SF 84'-0"							
D. <u>RAW MATERIALS WAREHOUSE</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING FOOTPRINT: CANOPIES: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, AFSS H-3 / H-4 29,012 SF 760 SF 29,772 SF 40'-0"		SUBTOTAL PROPOSED - PHASE 1 BUILDING AREAS: 1ST FLOOR: CANOPIES / BREEZEWAY / STAIRS:		3,177 S.F. 7,976 S.F.							
E. <u>MANUFACTURING BUILDING</u> - CONSTRUCTION TYPE: OCCUPANCY: 1ST FLOOR: 2ND FLOOR: CANOPIES: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, AFSS B / H-3 / H-4 49,688 SF 7,460 SF 3,400 SF 60,548 SF 40'-0"		TOTAL BUILDING AREA / ALLOWED: MAX. BUILDING HEIGHT:		11,153 S.F. / UL 84'-0" / 120'							
F. <u>FINISHED GOOD WAREHOUSE</u> - CONSTRUCTION TYPE: OCCUPANCY: 1ST FLOOR: 2ND FLOOR: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, AFSS H-3 / H-4 63,460 SF 1,858 SF 65,318 SF 40'-0"		PHASE 2 12. <u>AUTOMATED STORAGE RETRIEVAL</u> SYSTEM WAREHOUSE - ASRS CONSTRUCTION TYPE: OCCUPANCY: 1ST FLOOR B: 1ST FLOOR H-3/H-4: TOTAL 1ST FLOOR: 2ND FLOOR B: 2ND FLOOR H: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, ESFR** H-3 / H-4/B 7,500 AD 43,570 SF 51,070 SF 14,235 SF 65,305 SF 110' - 1"							
G. <u>SOLVENT BUILDING</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING AREA: BREEZEWAY: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, AFSS H-2 / H-4 9,170 SF 2,288 SF 11,458 SF 40'-0"		13. <u>GUARDHOUSE BUILDING</u> - CONSTRUCTION TYPE: OCCUPANCY: TOTAL BUILDING AREA: BUILDING HEIGHT:		II-B, NR*** B 450 SF 16'-0"							
H. <u>FOAM / PUMP BLDGS / MECH CANOPY</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING FOOTPRINT: BUILDING HEIGHT:		II-B, AFSS H-3 / H-4 1,877 SF 12'-0"		15. <u>MECHANICAL CANOPY EXPANSION</u> CONSTRUCTION TYPE: OCCUPANCY: STRUCTURE FOOTPRINT - PHASE 2 EXPANSION: STRUCTURE HEIGHT:		II-B, AFSS* S-1 2,008 SF 25'-0"							
I. <u>DI/WASTE WATER CANOPY</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING AREA: BUILDING HEIGHT:		II-B, AFSS H-3 / H-4 2,009 SF 20'-0"		16A. <u>FILTER ROOM BUILDING - AT MELVILLE 1</u> CONSTRUCTION TYPE: OCCUPANCY: 1ST FLOOR: 2ND FLOOR: TOTAL BUILDING AREA: BUILDING HEIGHT:		II-B, AFSS* S-1 1,797 SF 1,797 SF 3,594 SF 44'-0"							
J. <u>BULK TANKS CANOPY</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING AREA: BUILDING HEIGHT:		II-B, AFSS H-3 / H-4 26,287 SF 32'-0"		16B. <u>FILTER ROOM BUILDING - AT MELVILLE 2</u> CONSTRUCTION TYPE: OCCUPANCY: 1ST FLOOR: 2ND FLOOR: TOTAL BUILDING AREA: BUILDING HEIGHT:		II-B, AFSS* S-1 1,797 SF 1,797 SF 3,594 SF 44'-0"							
K. <u>RAW MATERIALS WAREHOUSE BLDG. ADDITION</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING AREA/ALLOWED: BUILDING HEIGHT:		I-A, ESFR H-3 / H-4 8,400 SF/UL 40'-0"		21A. <u>LOADING DOCK ADDITION</u> - CONSTRUCTION TYPE: OCCUPANCY: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, AFSS* F-1 2,280 SF 35'-0"							
L. <u>X LAB BUILDING</u> - CONSTRUCTION TYPE: OCCUPANCY: 1ST FLOOR: 2ND FLOOR: TOTAL BUILDING AREA/ALLOWED: BUILDING HEIGHT:		I-A, AFSS S-1 / H-3 / H-4 5,945 SF 5,288 SF 11,233 SF/UL 52'-0"		21B. <u>SOLVENT STORAGE EXPANSION</u> - CONSTRUCTION TYPE: OCCUPANCY: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, AFSS* H-2 / H-4 7,083 SF 40'-0"							
M. <u>MAIN BLDG.</u> - CONSTRUCTION TYPE: OCCUPANCY: 1ST FLOOR: 2ND FLOOR: STAIRS: TOTAL BUILDING AREA: BUILDING HEIGHT:		I-A, AFSS A-3 / B / H-3 / H-4 16,137 SF 15,550 SF 766 SF 32,453 SF 36'-0" /48'-0" TO SCREEN		470. <u>MELVILLE TANK FARM (CONTAINER AREA)</u> - CONSTRUCTION TYPE: OCCUPANCY: STRUCTURE AREA-PHASE 2 EXPANSION: STRUCTURE HEIGHT:		II-B, AFES 60,753 SF 86'-0"							
N. <u>SOLVENT BUILDING ADDITION</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING FOOTPRINT: BREEZEWAY: CANOPIES: TOTAL BUILDING AREA/ALLOWED: BUILDING HEIGHT:		I-A, ESFR H-3 / H-4 3,311 SF 687 SF 328 SF 4,326 SF/UL 40'-0"		SUBTOTAL PROPOSED - PHASE 2 BUILDING AREAS: 1ST FLOOR: 2ND FLOOR: SUBTOTAL: CANOPIES/BREEZEWAY / STAIRS:		64,447 SF 17,829 SF 82,276 SF 62,761 SF							
O. <u>FINISHED GOODS ADDITION</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING AREA: CANOPIES: TOTAL BUILDING AREA/ALLOWED: BUILDING HEIGHT:		I-A, ESFR H-3 / H-4 22,096 SF 936 SF 28,515 SF/UL 40'-0"		TOTAL BUILDING AREA / ALLOWED: MAX. BUILDING HEIGHT:		145,037 SF / UL 110'-1" / 120'							
P. <u>ISOTAINER MAINTENANCE SHOP</u> - CONSTRUCTION TYPE: OCCUPANCY: BUILDING AREA: CANOPIES: TOTAL BUILDING AREA/ALLOWED: BUILDING HEIGHT:		I-A, AFSS 0 SF 31,725 SF 31,725 SF/UL		TOTAL PROPOSED BUILDING AREAS: 1ST FLOOR: 2ND FLOOR: SUBTOTAL: CANOPIES/BREEZEWAY / STAIRS:		67,624 SF 17,629 SF 85,453 SF 70,737 SF							
Q. <u>UPW EQUIPMENT CANOPY</u> - (NON-OCCUPIABLE)		4,125 SF		TOTAL BUILDING AREA / ALLOWED - FULL BUILD-OUT: MAX. BUILDING HEIGHT - FULL BUILD-OUT:		156,190 SF / UL 110'-1" / 120'							
R. <u>MECHANICAL EQUIPMENT CANOPY</u> - (NON-OCCUPIABLE)		4,125 SF		*AFSS: AUTOMATIC FIRE SUPPRESSION SYSTEM **ESFR: EARLY SUPPRESSION FAST RESPONSE SPRINKLER SYSTEM ***NFR: FIRE SUPPRESSION SYSTEM NOT REQUIRED									
TOTAL EXISTING - BUILDING AREAS: 1ST FLOOR: 2ND FLOOR: SUBTOTAL: CANOPIES/BREEZEWAY/STAIRS: TOTAL BUILDING AREA: MAX. BUILDING HEIGHT:		275,235 SF 41,179 SF 316,414 SF 49,140 SF 365,554 SF 55'-0"											

PRELIMINARY - NOT FOR CONSTRUCTION

F	09/08/2025	CA	CB	KT	ISSUED FOR DESIGN REVIEW
E	08/22/2024	CA	CB	KT	ISSUED FOR REZONING 3rd COMMENTS
D	09/25/2023	CA	CB	KT	ISSUED FOR REZONING 2nd COMMENTS
C	07/31/2023	CA	CB	KT	ISSUED FOR REZONING COMMENTS
B	04/28/2023	CA	CB	KT	ISSUED FOR REZONING SUBMITTAL
A	02/27/2023	CA	CB	KT	ISSUED FOR REZONING PRE-SUBMITTAL
REV.	DATE	DES	CHK	APR	DESCRIPTION

9/8/2025 4:40:58 PM



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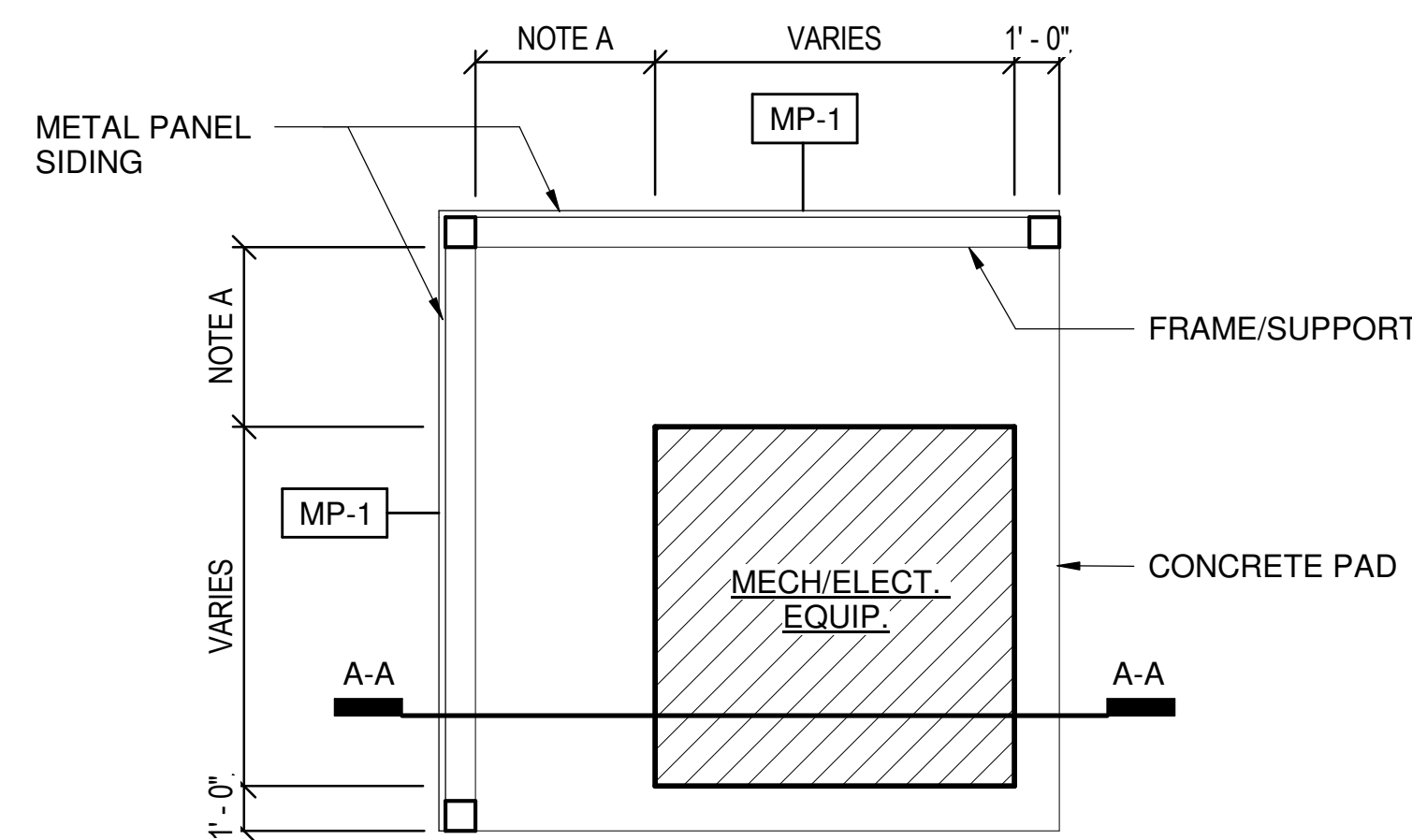
FUJIFILM - MESA AZ, SITE EXPANSION
ARCHITECTURAL SITE PLAN - PHASING PLAN

FUJIFILM

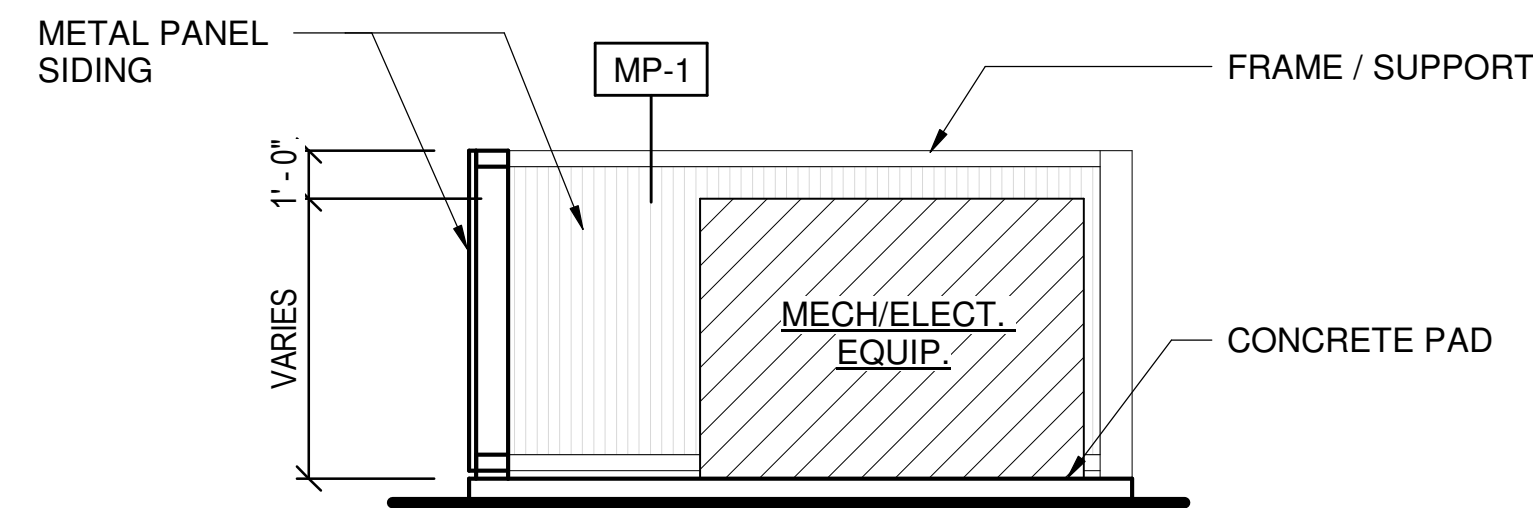
FUJIFILM

FUJIFILM

FUJIFILM NO.: 147051
AAE FIRM NO.: 147051
DRAWN: C. ALICEA
CHECKED: C. BLEDSOE
DATE: 09/25/23
SCALE: AS NOTED
DRAWING: A0.4
SHEET OF



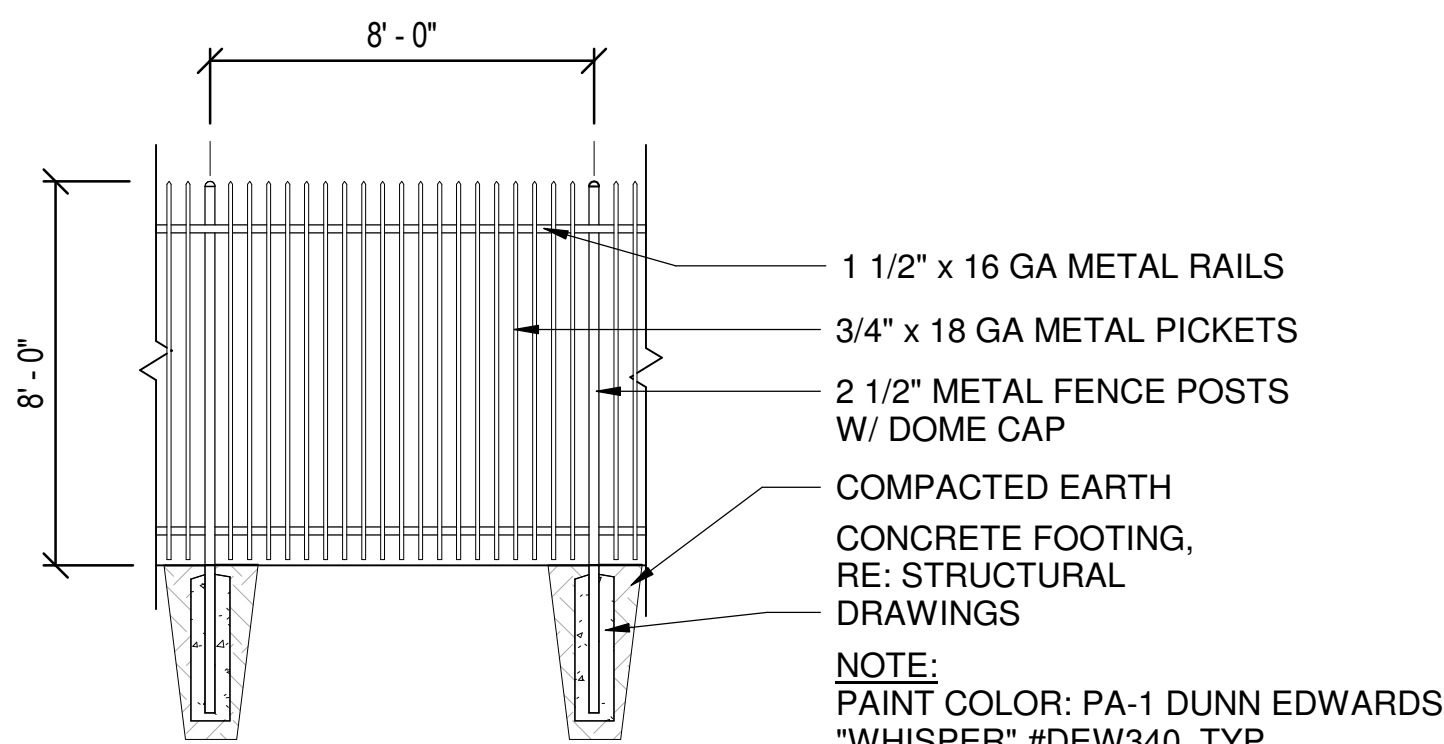
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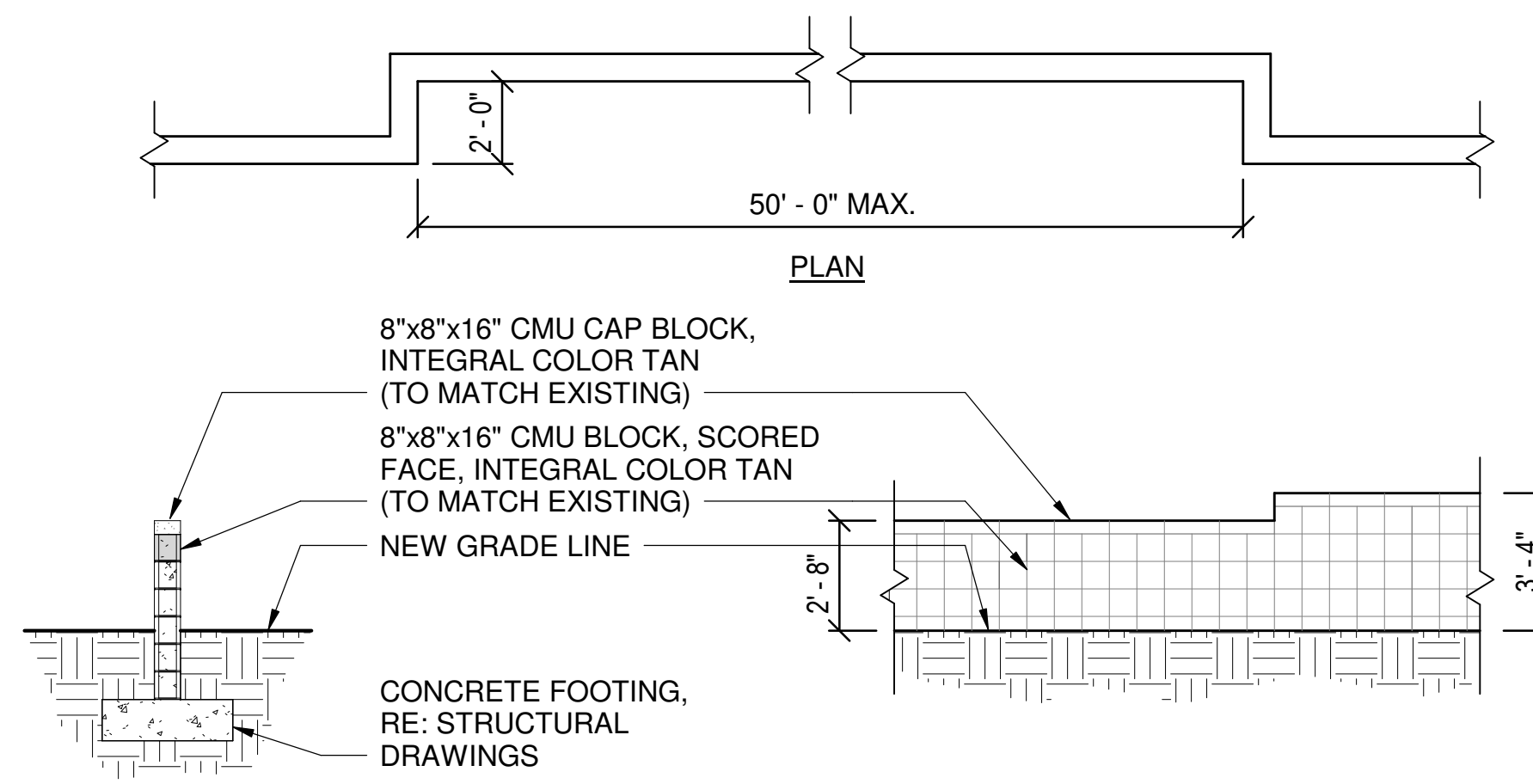
SECTION A-A

NOTE A:

THAT OFFSET DISTANCE
BETWEEN EQUIPMENT
AND SCREEN WALL VARIES
PER MECHANICAL & ELECTRICAL
CLEARANCE REQUIREMENTS

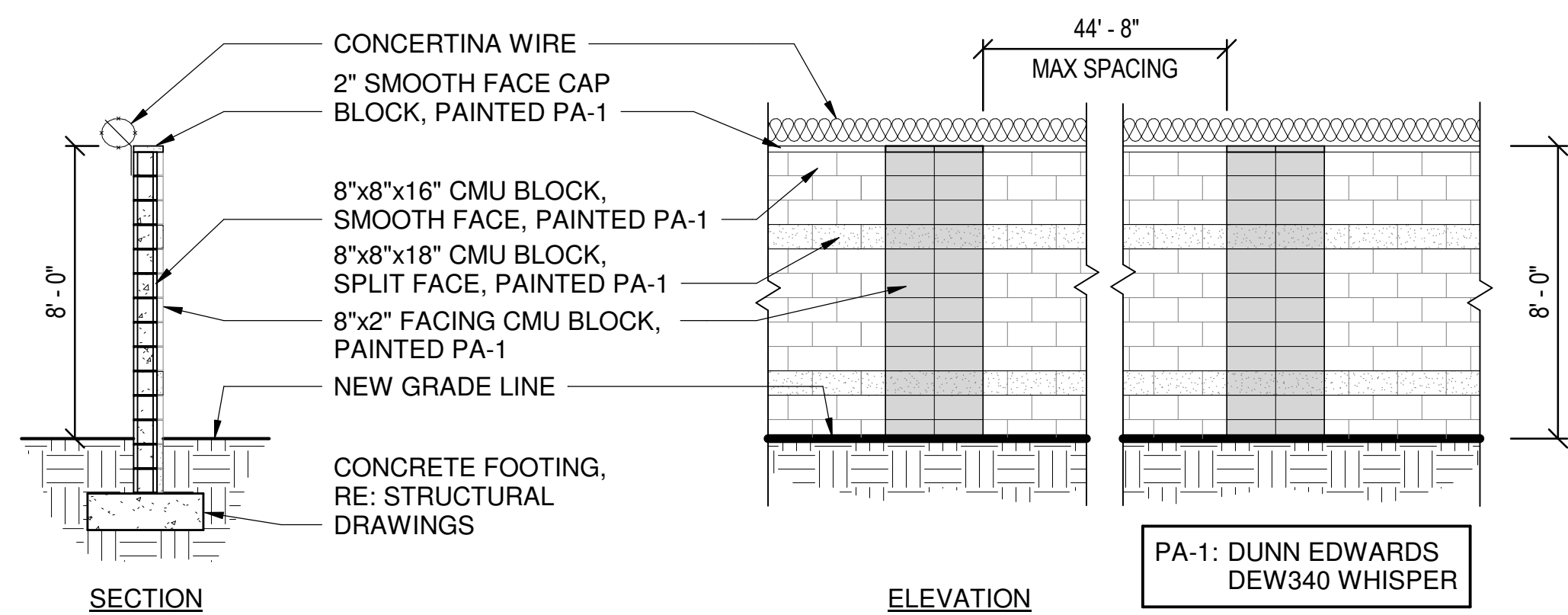


ELEVATION



SECTION

ELEVATION

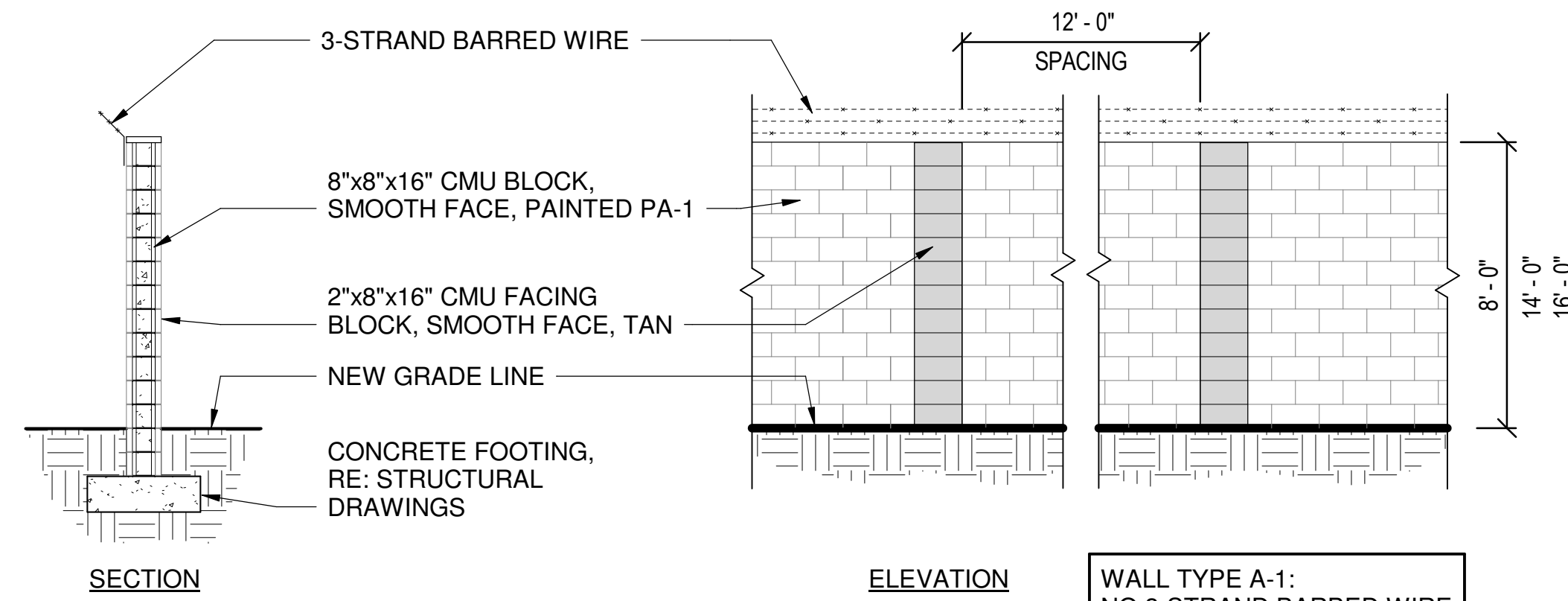
1 TYPICAL EQUIPMENT SCREENING WALL DETAIL
SCALE: 1/4" = 1'-0"**2 WALL TYPE D: DECORATIVE FENCING AT RETENCION POND**
SCALE: 1/4" = 1'-0"**3 WALL TYPE C - PARKING SCREEN WALL**
SCALE: 1/4" = 1'-0"

ELEVATION

PA-1: DUNN EDWARDS
DEW340 WHISPER

WALL TYPE B-1:
NO CONCERTINA WIRE

NOTE:
WIRE IS FACING INWARD TOWARD THE
PROPERTY AND NOT TOWARD THE RIGHT
OF WAY. THE WALLS WITH WIRE ARE NOT
ADJACENT TO ANY PEDESTRIAN AREAS
WITHIN THE RIGHT OF WAY.

4 WALL TYPE B - CMU SCREEN WALL (NORTH ALONG SR-24) TO MATCH EXISTING
SCALE: 1/4" = 1'-0"

ELEVATION

WALL TYPE A-1:
NO 3-STRAND BARBED WIRE

5 WALL TYPE A - CMU SCREEN WALL TYPICAL (UNO)
SCALE: 1/4" = 1'-0"**FUJI - BUILDING MATERIAL / COLOR LEGEND**

	DR-1	HOLLOW METAL DOOR AND FRAME PAINT COLOR: PA-1 DUNN EDWARDS "WHISPER" #DEW340
	MP-1	METAL PANEL: MP-1 BASIS OF DESIGN: CENTRIA CONCEPT SERIES SINGLE SKIN METAL PANEL, CORRUGATED METAL, PROFILE CS-260, COLOR: 971 CHROMIUM GRAY
	RO-1	ROOF WHITE SINGLE PLY ROOFING OVER COVERBOARD OVER MIN R-25 RIGID INSULATION ON STEEL DECK
	SG-1	STOREFRONT GLAZING BASIS OF DESIGN: KAWNEER TRIFAB VERSAGLAZE STOREFRONT GLAZING, SATIN ANODIZED ALUMINUM WITH 1" INSULATED LOW "E" VISION GLASS - VITRO ARCHITECTURAL GLASS, SOLARBAN 70 (2) SOLARGRAY + CLEAR IGU
	SSD-1	SOLAR BRISE SOLEIL BASIS OF DESIGN: KAWNEER VERSOLEIL SUN SHADING DEVICE, OUTRIGGER SYSTEM IN SATIN ANODIZED ALUMINUM
	TC-1	TILT-UP CONCRETE WALLS PAINT COLOR: DUNN EDWARDS PA-1 "WHISPER" #DEW340

LEGEND

EXISTING BUILDING

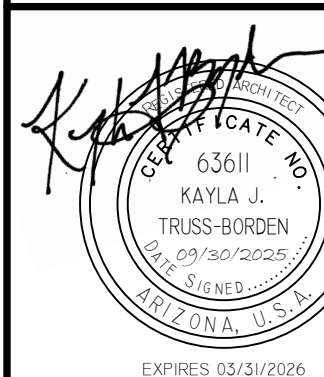
NOTES

- PENETRATIONS REFLECTED ON DRAWINGS ARE FOR EXTRA TRIM MATERIAL REFERENCE AND COORDINATION PURPOSES ONLY. ALL IMP PENETRATIONS TO BE FIELD PERFORMED.
- SUB CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND QUANTIFYING ALL PENETRATIONS.
- COORDINATE DOWNSPOUT ELEVATION WITH ROOF TAPERED INSULATION SLOPE AND LOCATION.
- MECHANICAL EQUIPMENT, ELECTRICAL METER AND SERVICE COMPONENTS, ROOF DRAINAGE SYSTEMS AND SIMILAR UTILITY DEVICES WHETHER GROUND LEVEL, WALL MOUNTED, OR ROOF MOUNTED, SHALL BE SCREENED TO APPEAR AS AN INTEGRAL PART OF THE BUILDING.

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MESA, ARIZONA 85212

FUJI FILM - MESA AZ, SITE EXPANSION
TYPICAL SITE DETAILS

**PRELIMINARY - NOT
FOR CONSTRUCTION**

REV.	DATE	DES	CHK	APR	DESCRIPTION
E	09/25/2025	CA	KT	SP	ISSUED FOR DESIGN REVIEW
D	08/13/2025	CA	CB	KT	ISSUED FOR DESIGN REVIEW
C	08/22/2024	CA	CB	KT	ISSUED FOR REZONING 3rd COMMENTS
B	09/25/2023	CA	CB	KT	ISSUED FOR REZONING 2nd COMMENTS
A	07/31/2023	CA	CB	KT	ISSUED FOR REZONING COMMENTS

FUJI NO.:
AAE FIRM NO.: 147051
DRAWN: C. ALICEA
CHECKED: C. BLEDSOE
DATE: 07/11/2023
SCALE: AS NOTED
DRAWING: A3.0
SHEET OF