

# PROJECT INFORMATION

DESCRIPTION:  
TO CONSTRUCT/BUILD NEW TWO STOREY MULTIPLE FAMILY RESIDENCE.  
TO CONSTRUCT A TWO (2) BEDROOM, TWO (2) BATHROOM STRUCTURE, WITH  
9'-0" CEILINGS WITH KITCHEN. BUILDING IS TWO (2) STORY.  
THERE WILL BE FOUR (4) DWELLING STRUCTURES, IDENTICAL, BUT REVERSED  
SERVED BY A COMMON "OPEN PARKING".

ADDRESS: 554 RIO SALADO PARKWAY MESA  
APN: 135-16-041  
OWNER: JOSE CARREON  
JURISDICTION: MESA  
ZONING: RM-2  
LOT AREA: 19,922 SQ.FT.

MAXIMUM HEIGHT (FT.) 30 FT.  
PROPOSED HEIGHT 25 FT. 6 INCHES

MAXIMUM BUILDING COVERAGE (% OF LOT) 45 % ; PROVIDED 20 %

COMPUTATION: EACH UNIT IS 884 SQ.FT x 4 UNITS = 3,536 SQ.FT.  
4,000 SQ.FT. / 19,922 SQ.FT. (LOT AREA) = 20 %

MINIMUM OPEN SPACE (SQ. FT./UNIT) 200 SQ.FT. per UNIT

PARKING PROVIDED: NINE (9) PARKING SLOTS  
INCLUDING TWO (2) ADA VAN ACCESSIBLE STALLS

COMPUTATION: TWO (2) BEDROOMS PER UNIT  
= 2.1 PARKING SPACES  
4 DWELLING UNITS x 2.1 SPACE PER UNIT  
= EIGHT (8.4) REQUIRED ; 9 PROVIDED

SETBACKS: FRONT 20' REQUIRED ; 33'-11" PROVIDED  
REAR 20' REQUIRED ; 171'-6" PROVIDED  
SIDES 20'/20' REQUIRED ; 30'/10' PROVIDED (DIP APPROVED)

LOT COVERAGE (NEW CONSTRUCTION)  
MAIN FLOOR 3,536 SQ. FT. (884 SQ.FT. x 4 UNITS)  
COVERED PATIO/BALCONY 1,024 SQ. FT. (256 SQ.FT. x 4 UNITS)  
COMMON CIRCULATION SPACE 720 SQ. FT. (360 SQ.FT. x 2 FLRS)  
TOTAL NEW AREA 5,280 SQ. FT.

OPEN SPACE REQUIREMENT FOR 2 BEDROOM MINIMUM 100 SQ.FT.  
COMMON OPEN SPACE = 1,387 SQ.FT.  
TOTAL OPEN SPACE PER UNIT = 347 SQ.FT. PROVIDED

MAXIMUM LOT COVERAGE (% OF LOT) 70 %

TOTAL XERISCAPE/LANDSCAPE PROVIDED = 4,000 FT. (15%)  
TOTAL PERVIOUS STORM RETENTION AREA = 4,100 FT. (20%)

TOTAL PERVIOUS AREA PROVIDED = 8,100 FT. (40%)  
TOTAL PERVIOUS AREA REQUIRED = (30%)

### NOTE:

ALL EXTERIOR ILLUMINATING DEVICES SHALL BE FULLY OR PARTIALLY SHIELDED AS REQUIRED IN ARTICLE 1112.4.2. (MCOZ 1112.4.1, 1501.3.3) ON A REVISED PLAN, PLEASE INCLUDE A NOTE THAT LIGHTING WILL CONFORM TO THIS REGULATION.

ALL EXISTING OVERHEAD UTILITIES, TWELVE KILOVOLT (12KV) OR LESS WITHIN PUBLIC RIGHT-OF-WAY ADJACENT TO DEVELOPING PROPERTIES, SHALL BE RELOCATED UNDERGROUND. THIS REQUIREMENT SHALL APPLY TO ALL UTILITIES INCLUDING ELECTRIC DISTRIBUTION LINES, ELECTRIC SERVICE LINES, TELEPHONE CABLES AND LINES, AND LINES USED FOR OTHER COMMUNICATION SYSTEMS SUCH AS CABLE-TRANSMITTED TELEVISION. THE UNDERGROUND INSTALLATION SHALL COMPLY WITH ALL UTILITY COMPANY'S REQUIREMENTS.

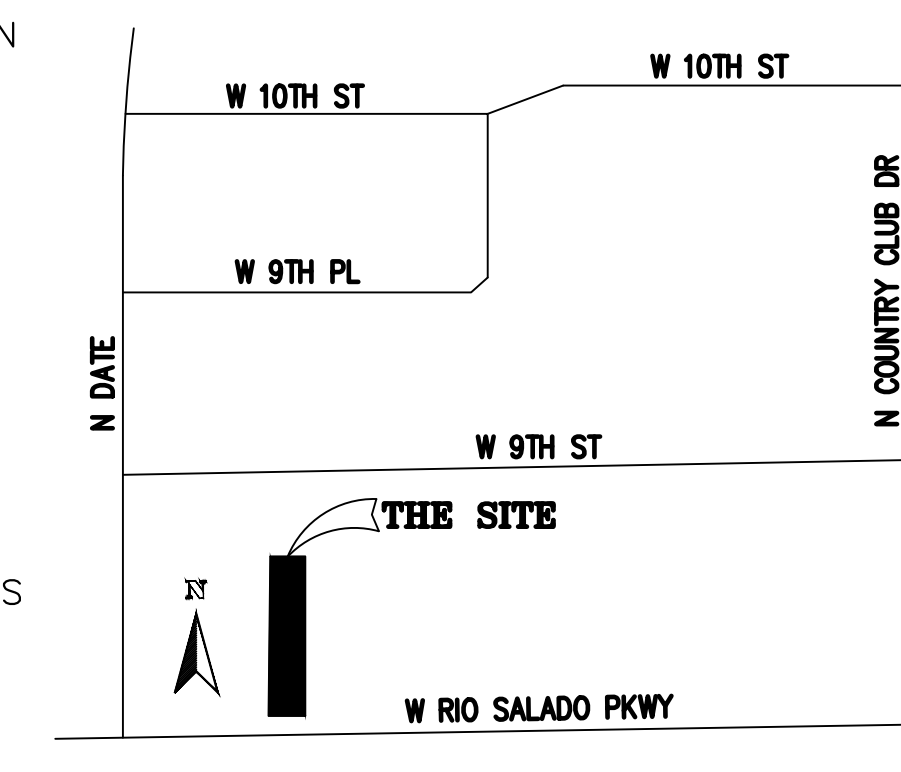
# KEYNOTES

- (A) NOTHING SHALL BE CONSTRUCTED OR ALLOWED TO GROW WITHIN SIGHT TRIANGLES PER AASHTO GREEN BOOK DESIGN GUIDELINES FIGURE 2.3.
- (B) EXISTING RESIDENTIAL BUILDING TO BE REMOVED
- (C) EXISTING 8" CITY SEWER LINE
- (D) EXISTING 6" CITY WATER LINE
- (E) EXISTING 5' WIDE CONCRETE SIDEWALK
- (F) EXISTING 6" VERTICAL CURB
- (G) 4" DOMESTIC SEWER DRAIN LINE (SEE SHEET C.01)
- (H) 1-1/2" DOMESTIC WATER LINE (SEE SHEET C.01)
- (J1) 1" WATER MAIN METER (SEE SHEET C.01)
- (J2) 3/4" WATER SUBMETERS (4 PLACES)
- (K) EACH E. METER @ 200A ELECTRICAL PANEL INSTALLED UNDER STAIRS
- (L) ADA PATH OF TRAVEL
- (M) NEW PAVED DRIVEWAY, 2.5" ASPHALTIC CONCRETE OVER 6" AGGREGATE BASE COURSE OR 5" PORTLAND CEMENT CONCRETE PAVEMENT OVER NATIVE MATERIAL PER MARICOPA COUNTY REQUIREMENTS. SECURE MCDOT PERMIT FOR ALTERATION OR CONSTRUCTION WITHIN THE EXISTING CURB OR PAVEMENT.
- (N) 5" PORTLAND CEMENT CONCRETE PAVEMENT OVER NATIVE MATERIAL PER MARICOPA COUNTY REQUIREMENTS
- (O) XERISCAPE AREA (SEE LANDSCAPE PLANS)
- (P) 4.5'X4.0' BARREL COLLECTION LOCATION AREA PER CITY OF MESA DETAIL M-62.08 PROVIDE A LOCATION IDENTIFIER PER CITY OF MESA DETAIL M-62.09
- (Q) NEW MASONRY FENCE PER CIVIL ENG'G DETAIL SHEET C.02 (TOTAL 651 LINEAR FT.)
- (R) BICYCLE RACK 2'X6' (10 UNITS)
- (S) PEDESTRIAN WALKWAY
- (T) PROPOSED MONUMENT SIGN LOCATION AND APPROXIMATE APPEARANCE AT DETAIL 3/A10 PROVIDED FOR REFERENCE ONLY. PRECISE DETAILS SHALL BE SUBMITTED FOR APPROVAL UNDER SEPARATE SIGN PERMIT.
- (U) CONSTRUCT PARKING LITES (SEE PHOTOMETRIC PLAN)
- (V) DEDICATED STORM RETENTION AREA
- (W) OUTDOOR ACU CONDENSER IN CONCRETE PAD

# DRAWING INDEX

- CS COVER SHEET/SITE PLAN
- C.01 GRADING & DRAINAGE
- C.02 CIVIL DETAILS
- A10 FLOOR PLAN
- A20 ROOF PLAN
- A30 ELEVATIONS
- A31 COLORED ELEVATIONS
- A40 SECTIONS
- P10 PLUMBING PLANS
- E10 ELECTRICAL PLANS
- E20 PHOTOMETRIC PLAN
- M10 MECHANICAL PLANS
- GSN GEN. STRUCTURAL NOTES
- S10 FOUNDATION PLAN
- S20 SHEAR WALL PLAN
- S30 ROOF FRAMING PLAN
- SD1 STRUCTURAL DETAILS

# VICINITY MAP



# CODE SUMMARY

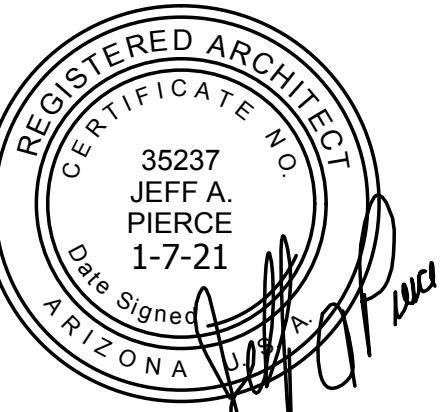
### GOVERNING CODES:

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IEC)
- 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL PLUMBING CODE (IPC)
- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2017 NATIONAL ELECTRIC CODE (NEC)
- CODE OF ORDINANCES CITY OF MESA, ARIZONA



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SELF-CERTIFIED BY: JEFF A. PIERCE

DATE: \_\_\_\_\_

\* PLANS WERE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR REVIEWED BY THE SELF-CERTIFIED PROFESSIONAL.

\* PLANS ARE COMPLETE.

\* THE PLANS ARE, AS OF THE DATE OF SUBMISSION, IN COMPLIANCE WITH CITY OF PHOENIX BUILDING, CIVIL, SITE AND ZONING CODES, ORDINANCES, AND ALL OTHER APPLICABLE LAWS.

PROJECT NAME / LOCATION

**APN 135-16-041**  
**TWO STOREY**  
**QUADPLEX**

554 W RIO SALADO PKWY,  
MESA, ARIZONA 85201-4008

OWNER NAME / ADDRESS

**JOSE CARREON /**  
**NATIONAL**  
**CONSULTING GROUP**  
**LLC**

636 E 6TH PL MESA, AZ  
85203-6302

#	REVISION DESCRIPTION	DATE

SHEET CONTENTS

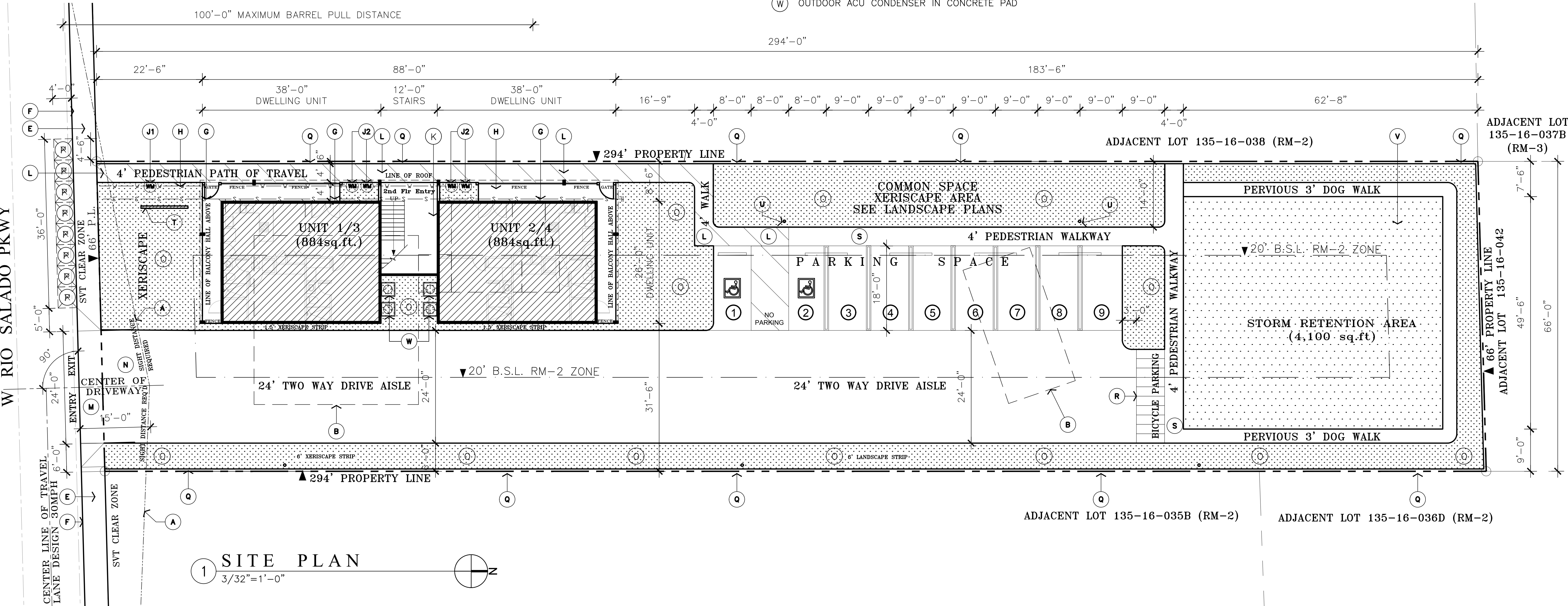
**COVER SHEET**  
**SITE PLAN**

DRAWN BY: J60  
CHECKED BY: J60  
DATE: 3.03.2023

SHEET NUMBER

**CS**

24" X 36" PAPER SIZE



**1 SITE PLAN**  
3/32" = 1'-0"

# KEYNOTES

- 1 200A SERVICE PANEL
- 2 WATER HEATER WITH DRAIN PAN. SEE GENERAL NOTE #23 FOR DRAIN PAN COMPLIANCE
- 3 SHOWER WITH WATERPROOF SURROUND ON WALLS, FLOOR AND CEILING. SHOWERHEAD AT 78" AFF.
- 4 WATER CLOSET 1.5GALLON PER FLUSH
- 5 LAVATORY ON 2'10" HIGH BUILT-IN BASE CABINET
- 6 KITCHEN REFRIGERATOR
- 7 DISHWASHER - PROVIDE GFCI OUTLET AT UNDERCOUNTER FOR POWER CONNECTION
- 8 KITCHEN SINK W/ DISPOSAL GARBAGE - PROVIDE SWITCH UNDER SINK CABINERY
- 9 ELECTRIC RANGE
- 10 KITCHEN BASE CABINET
- 11 UPPER CABINET WITH 20" SPACE BETWEEN TOP OF COUNTER AND BOTTOM OF UPPER CABINET
- 12 CONDENSING UNIT MOUNTED ON 12" CONCRETE PAD
- 13 CLOTHE WASHER
- 14 CLOTHE DRYER
- 15 GARBAGE BINS BARREL SERVICE ENCLOSED IN CMU WALL SCREEN
- 16 20" X 30" ATTIC ACCESS
- 17 LANDSCAPE / GARDEN SPACE
- 18 NEW CLOSET WITH 2' DEEP BUILT IN SHELVES AND HANGER ROD @ 6" HIGH
- 19 2' DEEP BUILT IN SHELVES FOR W.I.C. (WALK-IN CLOSET)

# DOORS & WINDOWS SCHEDULE

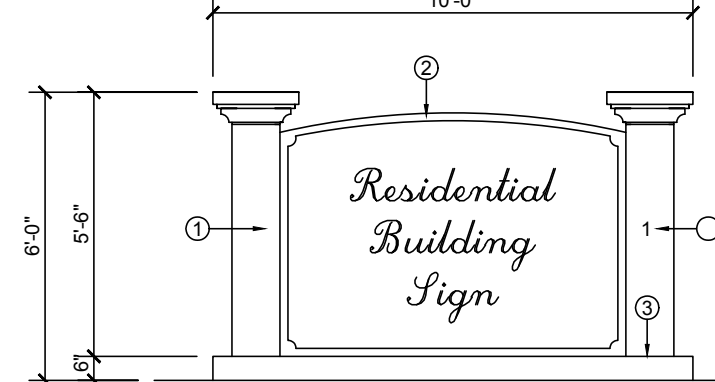
DOOR SCHEDULE (FOR EACH INDIVIDUAL UNIT)					
NO.	ROOM NAME	SIZE	MATERIAL	FRAMES / FINISH	REMARKS
01	MAIN ENTRANCE/EXIT	2'-8" x 8'-0"	SOLID CORE WOOD DOOR	SOLID WOOD / PAINTED	PANEL DOOR
02	LIVING / DINING	6'-0" x 8'-0"	SOLID CORE WOOD DOOR	SOLID WOOD / PAINTED	FRENCH DOOR
03	STORAGE	2'-8" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED	PANEL DOOR
04	BEDROOMS	2'-4" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED	PANEL DOOR
05	BATHROOMS	2'-4" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED	PANEL DOOR

WINDOW SCHEDULE (FOR EACH INDIVIDUAL UNIT)							
NO.	QTY.	SIZE (W x H)	MATERIAL	HDR. HT.	DUAL GLAZED	TEMPERED	REMARKS
W1	2	4'-0" x 5'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W2	1	4'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W3	2	8'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W4	2	2'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SMOKED AWNING

NOTE - SAFETY GLAZING AS PER R308.4

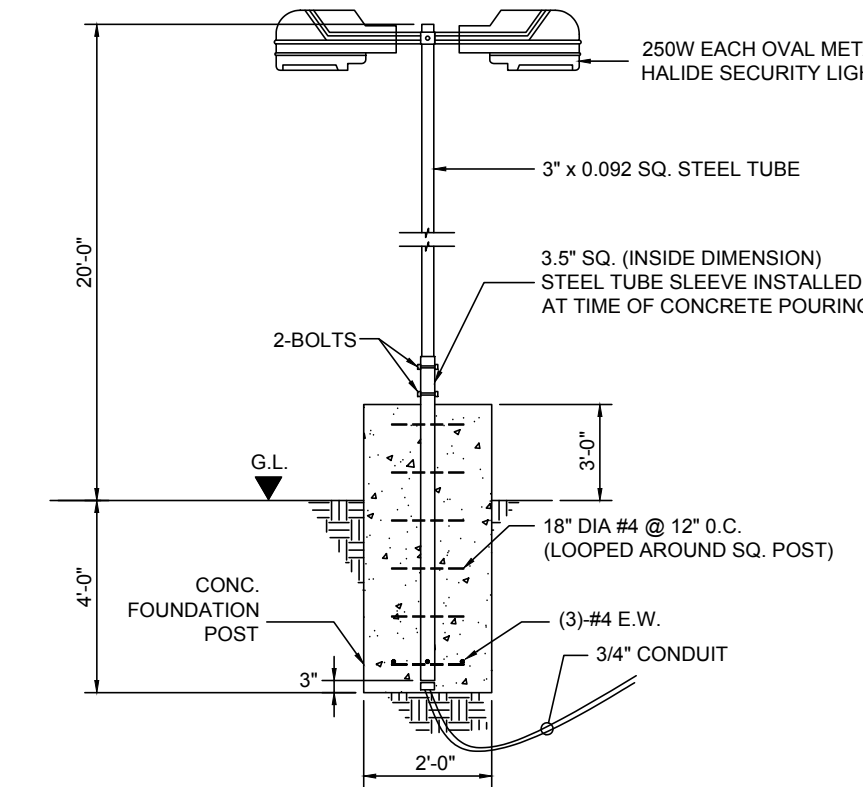
INSULATION AND FENESTRATION				
MAX U-FACTOR	MAX SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE
0.40	0.25	38	13	13

NOTE - ALL VALUES SHALL MEET OR EXCEED THE MINIMUMS PROVIDED BY THIS TABLE WHEN SHOWING COMPLIANCE WITH THIS METHOD.



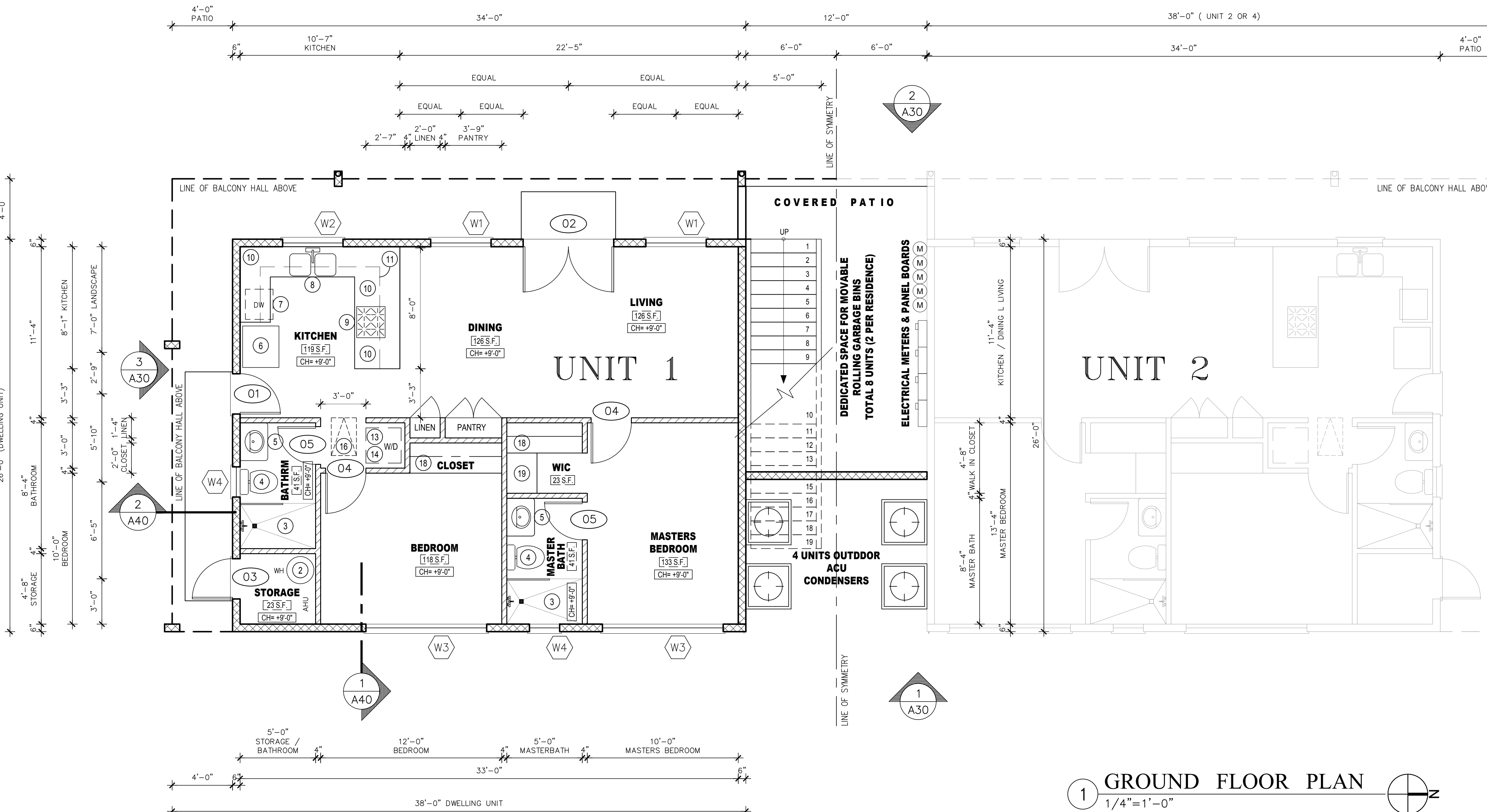
1. 12" SQ. CONC. BLOCK PILASTER
2. 6" THK MASONRY WALL WITH STUCCO
3. 6" THK. CONC. SLAB

NOTE: SEE BLDG. ELEVATION FOR COLORS



## 3 MONUMENT SIGN DETAIL PER SEPARATE PERMIT

## 2 LIGHT DETAIL N T S



## 1 GROUND FLOOR PLAN 1/4" = 1'-0"

# GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ALL WALLS BEHIND AND ADJACENT TO PLUMBING FIXTURES SHALL BE WATER RESISTANT.
3. WHEN ALTERATIONS, REPAIRS, OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRING FOR NEW DWELLINGS; THE SMOKE ALARMS SHALL BE INTERCONNECTED AND HARD WIRED AS PER R313.2.
4. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE WITH A HEIGHT OF NOT LESS THAN 6 FEET ABOVE FLOOR (AS REQUIRED BY IRC SECTION R307.2)
5. CONTRACTOR SHALL USE FIBER-CEMENT BACKERS PER ASTM C 1288 OR EQUAL FOR CERAMIC TILE ON WALLS IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS
6. TOILETS, BATHTUBS, SINKS, AND SHOWER SPACES SHALL BE SPACED IN ACCORDANCE WITH R307.1 AND WITH ACCORDANCE WITH SECTION P2705.1.
7. WATER CLOSETS, URINALS, LAVATORIES AND BIDETS. A WATER CLOSET, URINAL, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 18 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION, VANITY OR OTHER OBSTRUCTION, OR CLOSER THAN 30 INCHES (762MM) CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21-INCH (533MM) CLEARANCE IN FRONT OF THE WATER CLOSET, URINAL, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR. WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30 INCHES (762MM) WIDE
8. ALL WALLS WILL BE FINISHED WITH GYPSUM AND PAINTED
9. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOM, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION.
10. ALL FLAT ROOFS ARE TO SLOPE A MINIMUM OF 2% TOWARDS ROOF DRAINS. ROUGH CARPENTER TO PROVIDE SHIMS BELOW ROOF SHEATHING TO ALLOW FOR PROPER SLOPE TO DRAIN. DO NOT ALLOW OBSTACLES TO BLOCK WATER FLOW TO DRAINS.
11. PROVIDE FIRE STOP AT EAVE ENDS TO PREVENT ENTRY OF FLAME OR MEMBERS UNDER ROOFING MATERIALS.
12. VENTS AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRING BY CODE. PAINT SUCH VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATE IN AREA LEAST VISIBLE FROM STREET / DRIVE AND CONCEAL IN DORMER VENT WHEN POSSIBLE. COORDINATE EXACT LOCATION WITH ARCHITECT
13. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.
14. PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS. ALL JOINTS IN FLASHING TO BE SOLDERED OR SEALED WITH MASTIC
15. TOTAL ATTIC VENTILATION SHALL BE A MINIMUM OF 1/150 OF THE ATTIC AREA TO BE VENTILATED
16. NO VENTILATION IS REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACES BETWEEN INSULATION AND ROOF SHEATHING
17. PROVIDE ATTIC DRAFT STOPS TO COMPLY WITH APPLICABLE CODES (IRC 302.12).
18. PROVIDE INSECT SCREEN MESH AT ALL OPENINGS IN ROOF. INSECT SCREEN WITH MAX 1/4" OPENINGS
19. PROVIDE 5/8" EXPANSION JOINTS EVERY 30 FEET IN GUTTERS. SEE EAVE DETAIL FOR GUTTER AND DOWN SPOUT MATERIALS.
20. SEE ROOF PLAN AND EXTERIOR ELEVATIONS, EAVES DETAILS FOR DOWN SPOUT LOCATION, MATERIALS, FINISH, SIZE, AND WEATHER DOWN SPOUTS ARE CONCEALED OR EXPOSED.
21. DOWN SPOUTS AT FLAT ROOF SHALL BE A MINIMUM OF 4' WITH OVERFLOW PER U.B.C. 1506.3. PROVIDE OVERFLOW DRAINS WITH SEPARATE DRAIN LEADER PIPE. OVERFLOW DRAINS HAVING THE SAME AS THE ROOF DRAINS WITH THE INLET FLOW LINE LOCATED 2' ABOVE THE LOW POINT OF THE ROOF
22. OVERFLOW DRAINS SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES.
23. ROOF MATERIAL FASTENERS SHALL BE RATED TO SUSTAIN A MINIMUM WIND OF 80 MPH
24. PROVIDE DOME WIRE BASKET AT EACH RAIN WATER LEADER AND ROOF DRAIN
25. CONTRACTOR SHALL TEST ALL CONCEALED DOWN SPOUTS FOR WATER LEAKS PRIOR TO CONCEALING WORK BEHIND FINISHED MATERIALS. ALL ROOFING WORK TO COME WITH A MINIMUM 10 YEAR WARRANTY. WARRANTIES TO BE ISSUED TO OWNER PRIOR TO FINAL PAYMENT.
26. APPLY NAILING STANDARDS ARE PER U.B.C. OR LOCAL GOVERNING JURISDICTION. PROVIDE TIES BETWEEN ROOF TILE TO PREVENT TILE FROM FALLING IN CASE OF EARTHQUAKE.
27. THE NOSE OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
28. THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC.
29. ALL RAKE TILE SHALL BE FASTENED WITH TWO NAILS AS WELL AS SET IN SETTING BED.
30. USE CORROSION RESISTIVE NAILS AND FASTENERS. AVOID CONTACT BETWEEN DISSIMILAR METALS.
31. FOR FURNACES LOCATED IN ATTIC SPACES THEY MUST BE POSITIONED SO THAT THE REQUIRED FLUE LENGTH FROM THE FURNACE TO THE CAP IS PROVIDED WITHIN THE ATTIC, ALLOWING THE CAP TO BE A MINIMUM HEIGHT ABOVE THE FINISHED FLOOR ALLOWED BY CODE
32. SWEEP ROOF SURFACE BROOM CLEAN AND COVER KNOT HOLES WITH TIN.
33. WATER HEATER T&P LINE TERMINATION SHALL NOT BE LESS THAN 6-INCHES AND NOT MORE THAN 12-INCHES ABOVE GRADE PER MARICOPA COUNTY AMENDMENTS FOR IRC SECTION P2803.6.1



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APN 135-16-041  
TWO STOREY  
QUADPLEX

554 W RIO SALADO PKWY,  
MESA, ARIZONA 85201-4008

OWNER NAME / ADDRESS

JOSE CARREON /  
NATIONAL  
CONSULTING GROUP  
LLC

636 E 6TH PL MESA, AZ  
85203-6302

#	REVISION DESCRIPTION	DATE

SHEET CONTENTS

TYPICAL  
FLOOR PLAN

DRAWN BY: J60  
CHECKED BY: J60  
DATE: 3.03.2023

SHEET NUMBER

**A10**  
24" X 36" PAPER SIZE



# KEYNOTES

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DOOR SCHEDULE (FOR EACH INDIVIDUAL UNIT)					
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NOTE 1= SAFETY GLAZING AS PER R308.4

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NOTE 2= ALL VALUES SHALL MEET OR EXCEED THE MINIMUMS PROVIDED BY THIS TABLE WHEN SHOWING COMPLIANCE WITH THIS METHOD.

# GENERAL NOTES

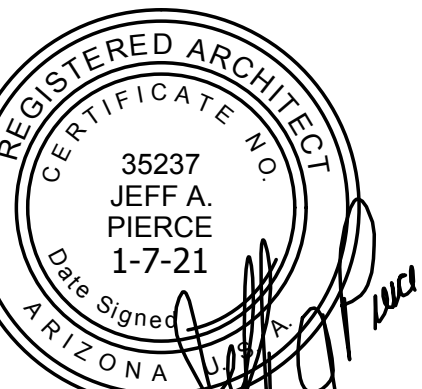
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5. CONTRACTOR SHALL USE FIBER-CEMENT BACKERS PER ASTM C 1288 OR EQUAL FOR CERAMIC TILE ON WALLS IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS
6. TOILETS, BATHTUBS, SINKS, AND SHOWER SPACES SHALL BE SPACED IN ACCORDANCE WITH R307.1 AND WITH ACCORDANCE WITH SECTION P2705.1.
7. WATER CLOSETS, URINALS, LAVATORIES AND BIDETS. A WATER CLOSET, URINAL, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 18 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION, VANITY OR OTHER OBSTRUCTION, OR CLOSER THAN 30 INCHES (762MM) CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21-INCH (533MM) CLEARANCE IN FRONT OF THE WATER CLOSET, URINAL, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR. WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30 INCHES (762MM) WIDE
8. ALL WALLS WILL BE FINISHED WITH GYPSUM AND PAINTED
9. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOM, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION.
10. ALL FLAT ROOFS ARE TO SLOPE A MINIMUM OF 2% TOWARDS ROOF DRAINS. ROUGH CARPENTER TO PROVIDE SHIMS BELOW ROOF SHEATHING TO ALLOW FOR PROPER SLOPE TO DRAIN. DO NOT ALLOW OBSTACLES TO BLOCK WATER FLOW TO DRAINS.
11. PROVIDE FIRE STOP AT EAVE ENDS TO PREVENT ENTRY OF FLAME OR MEMBERS UNDER ROOFING MATERIALS.
12. VENTS AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRING BY CODE. PAINT SUCH VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATE IN AREA LEAST VISIBLE FROM STREET / DRIVE AND CONCEAL IN DORMER VENT WHEN POSSIBLE. COORDINATE EXACT LOCATION WITH ARCHITECT
13. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.
14. PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS. ALL JOINTS IN FLASHING TO BE SOLDERED OR SEALED WITH MASTIC
15. TOTAL ATTIC VENTILATION SHALL BE A MINIMUM OF 1/150 OF THE ATTIC AREA TO BE VENTILATED
16. NO VENTILATION IS REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACES BETWEEN INSULATION AND ROOF SHEATHING
17. PROVIDE ATTIC DRAFT STOPS TO COMPLY WITH APPLICABLE CODES (IRC 302.12).
18. PROVIDE INSECT SCREEN MESH AT ALL OPENINGS IN ROOF. INSECT SCREEN WITH MAX 1/4" OPENINGS
19. PROVIDE 5/8" EXPANSION JOINTS EVERY 30 FEET IN GUTTERS. SEE EAVE DETAIL FOR GUTTER AND DOWN SPOUT MATERIALS.
20. SEE ROOF PLAN AND EXTERIOR ELEVATIONS. EAVES DETAILS FOR DOWN SPOUT LOCATION, MATERIALS, FINISH, SIZE, AND WEATHER DOWN SPOUTS ARE CONCEALED OR EXPOSED.
21. DOWN SPOUTS AT FLAT ROOF SHALL BE A MINIMUM OF 4' WITH OVERFLOW PER U.B.C. 1506.3. PROVIDE OVERFLOW DRAINS WITH SEPARATE DRAIN LEADER PIPE. OVERFLOW DRAINS HAVING THE SAME AS THE ROOF DRAINS WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF
22. OVERFLOW DRAINS SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES.
23. ROOF MATERIAL FASTENERS SHALL BE RATED TO SUSTAIN A MINIMUM WIND OF 80 MPH
24. PROVIDE DOME WIRE BASKET AT EACH RAIN WATER LEADER AND ROOF DRAIN
25. CONTRACTOR SHALL TEST ALL CONCEALED DOWN SPOUTS FOR WATER LEAKS PRIOR TO CONCEALING WORK BEHIND FINISHED MATERIALS. ALL ROOFING WORK TO COME WITH A MINIMUM 10 YEAR WARRANTY. WARRANTIES TO BE ISSUED TO OWNER PRIOR TO FINAL PAYMENT.
26. APPLY NAILING STANDARDS ARE PER U.B.C. OR LOCAL GOVERNING JURISDICTION. PROVIDE TIES BETWEEN ROOF TILE TO PREVENT TILE FROM FALLING IN CASE OF EARTHQUAKE.
27. THE NOSE OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS
28. THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC.
29. ALL RAKE TILE SHALL BE FASTENED WITH TWO NAILS AS WELL AS SET IN SETTING BED.
30. USE CORROSION RESISTIVE NAILS AND FASTENERS. AVOID CONTACT BETWEEN DISSIMILAR METALS.
31. FOR FURNACES LOCATED IN ATTIC SPACES THEY MUST BE POSITIONED SO THAT THE REQUIRED FLUE LENGTH FROM THE FURNACE TO THE CAP IS PROVIDED WITHIN THE ATTIC, ALLOWING THE CAP TO BE A MINIMUM HEIGHT ABOVE THE FINISHED ROOFING ALLOWED BY CODE
32. SWEEP ROOF SURFACE BROOM CLEAN AND COVER KNOT HOLES WITH TIN.
33. WATER HEATER T&P LINE TERMINATION SHALL NOT BE LESS THAN 6-INCHES AND NOT MORE THAN 12-INCHES ABOVE GRADE PER MARICOPA COUNTY AMENDMENTS FOR IRC SECTION P2803.6.1



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TWO STOREY  
QUADPLEX**

554 W RIO SALADO PKWY,  
MESA, ARIZONA 85201-4008

OWNER NAME / ADDRESS

**JOSE CARREON /  
NATIONAL  
CONSULTING GROUP  
LLC**

636 E 6TH PL MESA, AZ  
85203-6302

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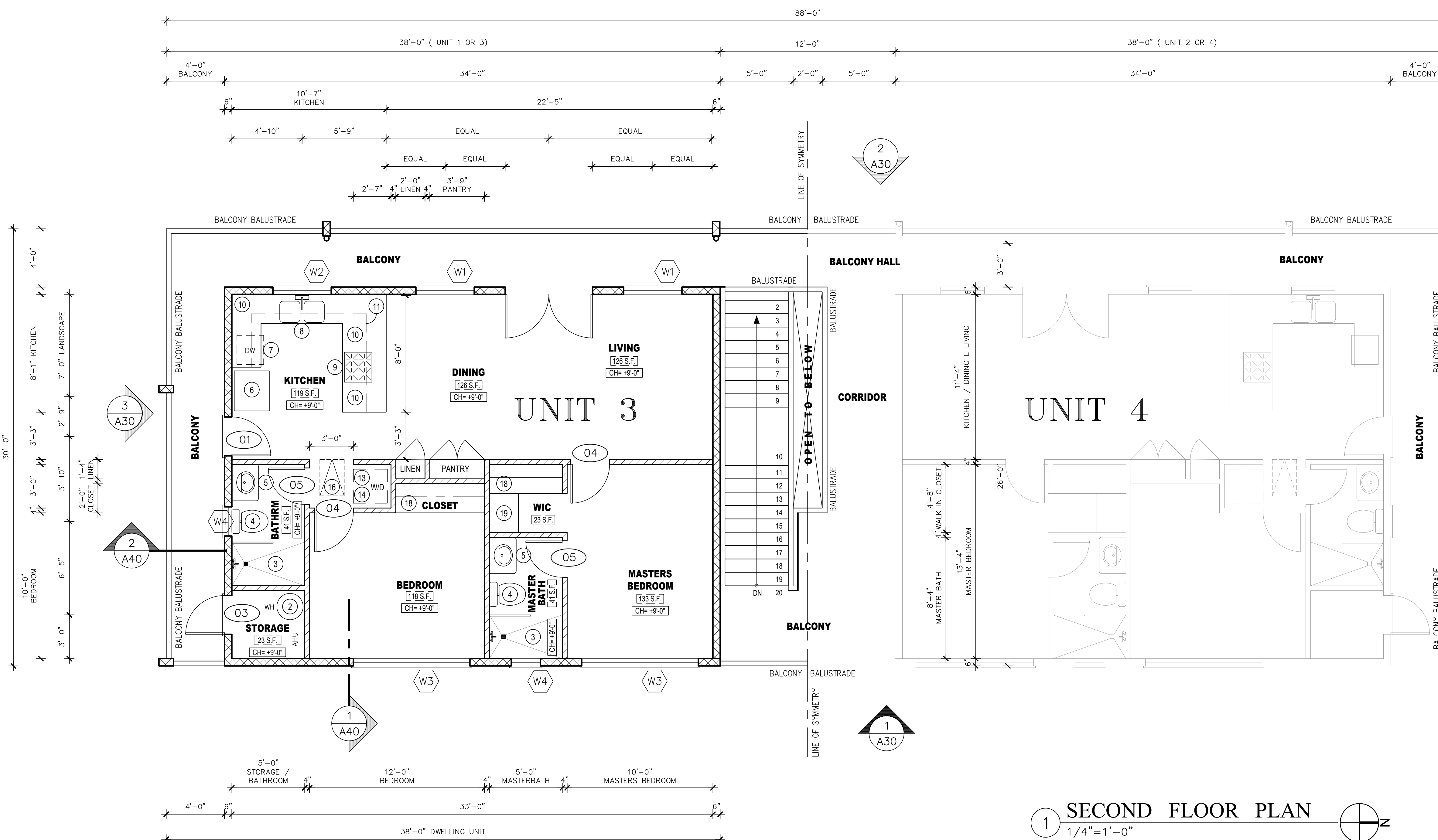
SHEET CONTENTS

TYPICAL  
FLOOR PLAN

DRAWN BY: J60  
CHECKED BY: JS0  
DATE: 3.03.2023

SHEET NUMBER

**A11**  
24" X 36" PAPER SIZE



1 SECOND FLOOR PLAN  
1/4" = 1'-0"

## ROOF MATERIALS SPECIFICATIONS

- REFER TO BID FOR ROOF FINISH
- ALL FLAT ROOFS TO BE CLASS "A" TORCHED DOWN BITUMEN SYSTEM
- ROOF UNDERLAYMENT FOR SLOPED ROOFS TO BE 2 LAYERS 30# FELT PAPER
- PROVIDE SHEATHING PER STRUCTURAL WITH A MINIMUM 3/4" THICK MATERIAL
- CAPABLE OF RESISTING ROOF LOAD
- ALL ROOFING MATERIALS TO A " CLASS A" FIRE RATING

## SPRAY FOAM ROOFING NOTES:

SPRAY FOAM ROOFING SHALL BE MINIMUM 2" THICK SPRAYED IN PLACE. POLYURETHANE FOAM APPLIED TO PREPARED PLYWOOD DECK. ICC ER-3182 FOAM ROOFING ASSEMBLY, SYSTEM 3 BY RESIN TECHNOLOGY CORP. FINISH SHALL BE 3 COATS ACRYLIC ELASTOMERIC PAINT. THE 2ND COAT SHALL BE PIGMENTED TO MATCH HOUSE AND SHALL HAVE SILICA AGGREGATE BROADCAST ON WHILE PAINT IS STILL PLASTIC. A FINAL MIST COAT SHALL BE APPLIED IN SUFFICIENT QUANTITY TO INSURE ADHESION OF AGGREGATE. PROVIDE 24X24 RUBBER MAT SPLASH BLOCKS AT ALL PARAPET SLEEVES

## GENERAL NOTES

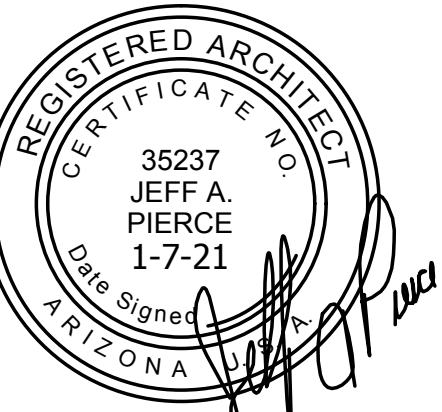
- ALL FLAT ROOFS ARE TO SLOPE A MINIMUM OF 2% TOWARDS ROOF DRAINS. ROUGH CARPENTER TO PROVIDE SHIMS BELOW ROOF SHEATHING TO ALLOW FOR PROPER SLOPE TO DRAIN. DO NOT ALLOW OBSTACLES TO BLOCK WATER FLOW TO DRAINS.
- PROVIDE FIRE STOP AT EAVE ENDS TO PREVENT ENTRY OF FLAME OR MEMBERS UNDER ROOFING MATERIALS.
- VENTS AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT SUCH VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATE IN AREA LEAST VISIBLE FROM STREET / DRIVE AND CONCEAL IN DORMER VENT WHEN POSSIBLE. COORDINATE EXACT LOCATION WITH ARCHITECT.
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- CONTRACTOR SHALL TEST ALL CONCEALED DOWN SPOUTS FOR WATER LEAKS PRIOR TO CONCEALING WORK BEHIND FINISHED MATERIALS. ALL ROOFING WORK TO COME WITH A MINIMUM 10 YEAR WARRANTY. WARRANTIES TO BE ISSUED TO OWNER PRIOR TO FINAL PAYMENT.
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- SWEEP ROOF SURFACE BROOM CLEAN AND COVER KNOT HOLES WITH TIN.



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## KEYNOTES:

1	FLAT ROOF BUILT-UP WITH LIQUID-APPLIED ACRYLIC COATING APPLIED OVER A SPRAY-APPLIED POLYURETHANE FOAM PLASTIC INSULATION. ICC ESR-3916. SPRAY-APPLIED PU FOAM PLASTIC INSULATION SHALL BE A TWO-COMPONENT, SPRAY-APPLIED, POLYURETHANE FOAM PLASTIC INSULATION WITH NOMINAL DENSITY OF 2.5-3.0 PCF. MANUFACTURED BY HUNTSMAN BUILDING SOLUTIONS LLC OR EQUIVALENT
2	
3	STUCCO SYSTEM (APMO ER#382 & ICC-ES AC11) COLOR: BRUSHED CLAY, DUNN EDWARDS PAINTS
4	SCUPPER DRAIN TOTAL ROOF AREA: FLAT ROOF 175 SF + SLOPED ROOF 1,675 SF = 1,850 SF RAINFALL RATE: 6-INCH PER HOUR DRAIN SIZE: 4" @ 3,070 SF PER DRAIN 1,850 SF / 3,070 SF PER DRAIN = 0.60 OR 1 DRAIN NEEDED PROVIDED: 2 - 4"x4" SCUPPER DRAINS
6	STUCCO SYSTEM (APMO ER#382 & ICC-ES AC11) COLOR: CASCADING WHITE, DUNN EDWARDS PAINTS
<p>ROOF VENTILATION CALCULATION NET FREE AREA REQUIRED PER IRC 2018 R806</p> <p>SLOPED ROOF TOTAL AREA: 1,675 SF CALCULATION: 1,675 SF / 300 = 5.58 SF 5.60 X 144 = 803.52 SQ. IN. REQUIRED</p> <p>AVAILABLE VENTS:</p> <p>12 IN. DIA. (KP-12) KEEPA VENT AN ALUMINUM ROOF VENT FOR FLAT ROOFS 113 SQ. IN. NET FREE AREA (NFA)</p> <p>MASTERFLOW GAF DA1424 14" x 24" 141 SQ. IN. NET FREE AREA (NFA)</p> <p>VENT PROVIDED: 1016 SQ. IN. TOTAL VENT AREA PROVIDED</p> <p>12 IN. DIA. (KP-12) KEEPA VENT AN ALUMINUM ROOF VENT FOR FLAT ROOFS 113 SQ. IN. X 4 = 452 SQ. IN. PROVIDE 4 VENTS FOR HIGH / EXHAUST VENT</p> <p>MASTERFLOW GAF DA1424 181 SQ. IN. X 4 = 564 SQ. IN. PROVIDE 2 VENTS FOR LOW / INTAKE VENTS</p>	
9	MECHANICAL CONDENSING UNITS INSTALLED ABOVE ROOF. PROVIDE STRUCTURAL MOUNTING SUPPORT.

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**TWO STOREY**  
**QUADPLEX**

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OWNER NAME / ADDRESS

**JOSE CARREON /**  
**NATIONAL**  
**CONSULTING GROUP**  
**LLC**

636 E 6TH PL, MESA, AZ  
85203-6302

#	REVISION DESCRIPTION	DATE

SHEET CONTENTS

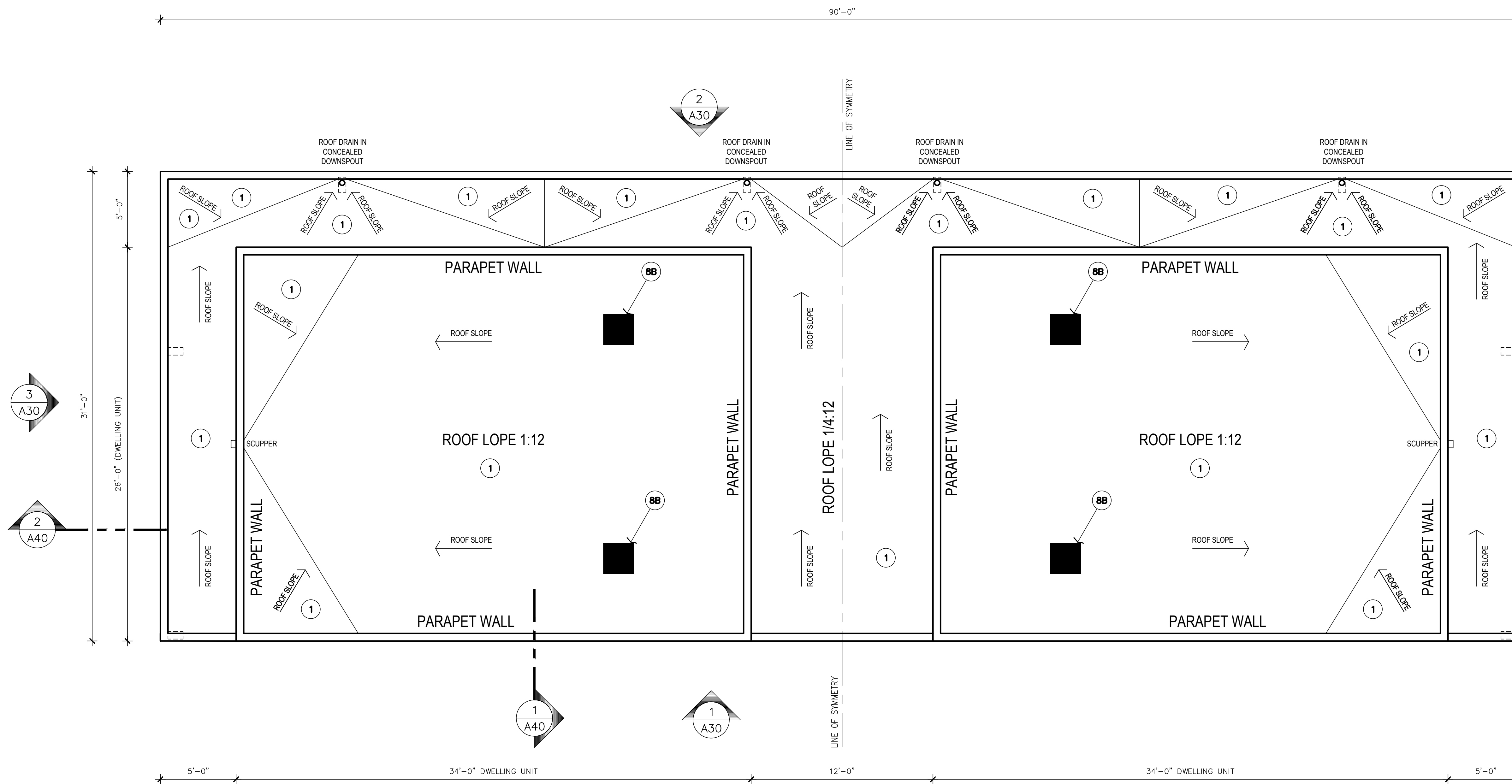
TYPICAL  
FLOOR PLAN

DRAWN BY: J60  
CHECKED BY: JS0  
DATE: 3.03.2023

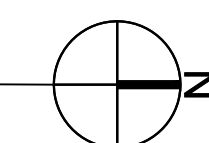
SHEET NUMBER

**A20**

24" X 36" PAPER SIZE



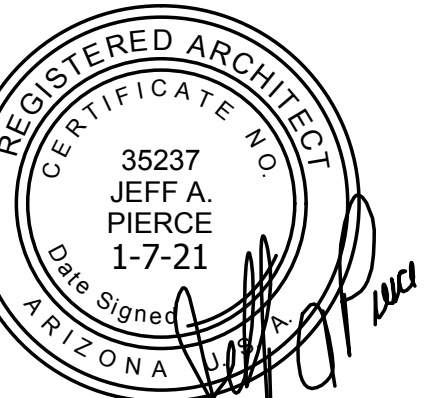
1 TYPICAL ROOF PLAN  
1/4" = 1'-0"





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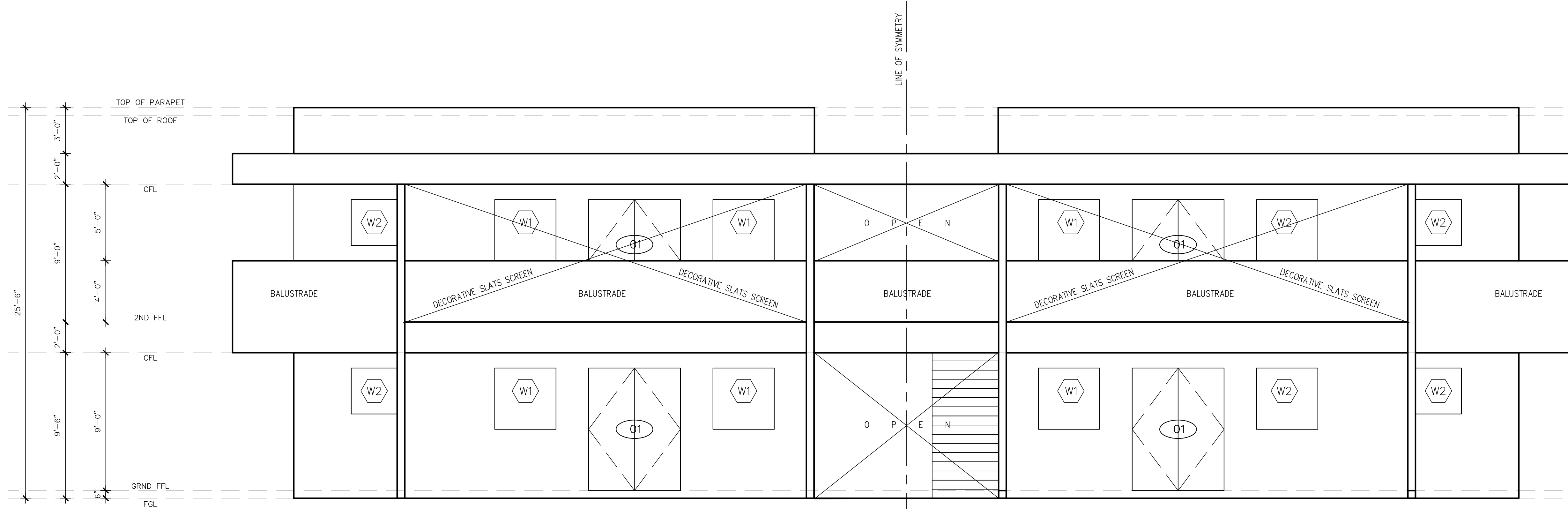
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ELEVATIONS

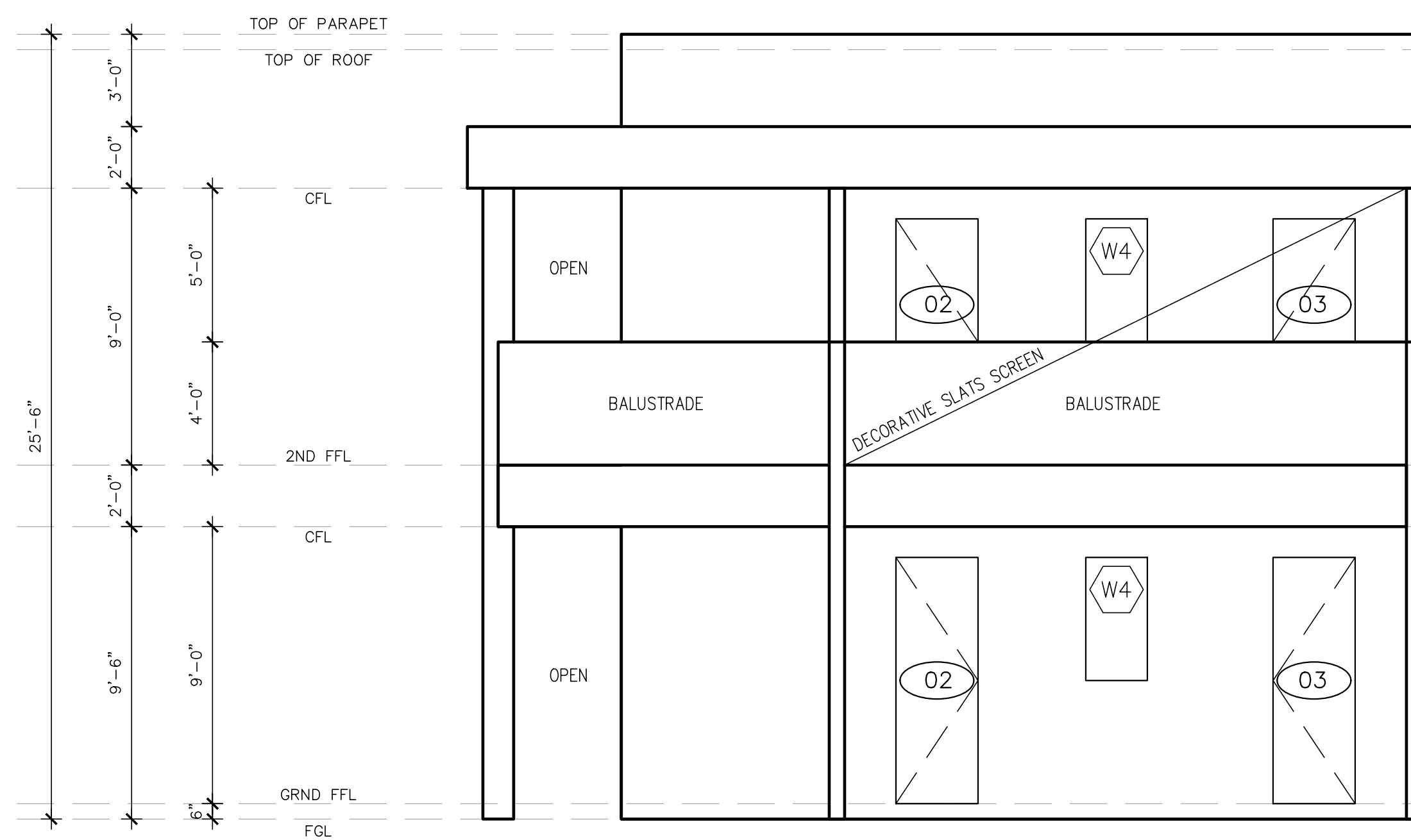
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CHECKED BY: JSD  
DATE: 3.03.2023

SHEET NUMBER

**A30**  
24" X 36" PAPER SIZE



**2 ELEVATION AT WEST**  
1/4" = 1'-0"



**3 ELEVATION AT SOUTH**  
1/4" = 1'-0"

**KEYNOTES:**

- FLAT ROOF BUILT-UP WITH LIQUID-APPLIED ACRYLIC COATING APPLIED OVER A SPRAY-APPLIED POLYURETHANE FOAM PLASTIC INSULATION. ICC ESR-3816.  
SPRAY-APPLIED PU FOAM PLASTIC INSULATION SHALL BE A TWO-COMPONENT, SPRAY-APPLIED, POLYURETHANE FOAM PLASTIC INSULATION WITH NOMINAL DENSITY OF 2.5-3.0 PCF.  
MANUFACTURED BY HUNTSMAN BUILDING SOLUTIONS LLC OR EQUIVALENT
- 
- STUCCO SYSTEM (APMO ER#382 & ICC-ES AC11)  
COLOR: BRUSHED CLAY, DUNN EDWARDS PAINTS
- SCUPPER DRAIN  
TOTAL ROOF AREA: FLAT ROOF 175 SF + SLOPED ROOF 1,675 SF = 1,850 SF  
RAINFALL RATE: 6-INCH PER HOUR  
DRAIN SIZE: 4" @ 3,070 SF PER DRAIN  
1,850 SF / 3,070 SF PER DRAIN = 0.60 OR 1 DRAIN NEEDED  
PROVIDED: 2-4"x4" SCUPPER DRAINS
- 
- STUCCO SYSTEM (APMO ER#382 & ICC-ES AC11)  
COLOR: CASCADING WHITE, DUNN EDWARDS PAINTS
- ROOF VENTILATION CALCULATION  
NET FREE AREA REQUIRED PER IRC 2018 R806  
  
SLOPED ROOF TOTAL AREA: 1,675 SF  
CALCULATION: 1,675 SF / 300 = 5.58 SF  
5.60 X 144 = 803.52 SQ. IN. REQUIRED  
  
AVAILABLE VENTS:  
12 IN. DIA. (KP-12) KEEP-A-VENT AN ALUMINUM ROOF VENT FOR FLAT ROOFS  
113 SQ.IN. NET FREE AREA (NFA)  
MASTERFLOW GAF DA1424 14" x 24"  
141 SQ.IN. NET FREE AREA (NFA)  
  
VENT PROVIDED: 1016 SQ.IN TOTAL VENT AREA PROVIDED  
  
8B 12 IN. DIA. (KP-12) KEEP-A-VENT AN ALUMINUM ROOF VENT FOR FLAT ROOFS  
113 SQ.IN X 4 = 452 SQ.IN.  
PROVIDE 4 VENTS FOR HIGH / EXHAUST VENT  
  
8A MASTERFLOW GAF DA1424  
181 SQ.IN X 4 = 564 SQ.IN.  
PROVIDE 2 VENTS FOR LOW / INTAKE VENTS

**DOORS & WINDOWS SCHEDULE**

DOOR SCHEDULE (FOR EACH INDIVIDUAL UNIT)						
NO.	ROOM NAME	SIZE	MATERIAL	FRAMES / FINISH		REMARKS
O1	MAIN ENTRANCE/EXIT	2'-8" x 8'-0"	SOLID CORE WOOD DOOR	SOLID WOOD / PAINTED		PANEL DOOR
O2	LIVING / DINING	6'-0" x 8'-0"	SOLID CORE WOOD DOOR	SOLID WOOD / PAINTED		FRENCH DOOR
O3	STORAGE	2'-8" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED		PANEL DOOR
O4	BEDROOMS	2'-4" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED		PANEL DOOR
O5	BATHROOMS	2'-4" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED		PANEL DOOR

WINDOW SCHEDULE (FOR EACH INDIVIDUAL UNIT)							
NO.	QTY.	SIZE (W x H)	MATERIAL	HDR. HT.	DUAL GLAZED	TEMPERED	REMARKS
W1	2	4'-0" x 5'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W2	1	4'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W3	2	8'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W4	2	2'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SMOKED AWNING

NOTE \* = SAFETY GLAZING AS PER R308.4

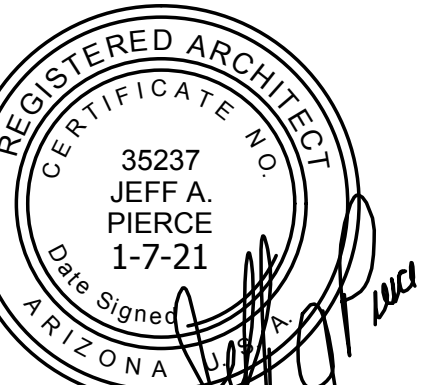
INSULATION AND FENESTRATION				
MAX U-FACTOR	MAX SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE
0.40	0.25	38	13	13

NOTE \* = ALL VALUES SHALL MEET OR EXCEED THE MINIMUMS PROVIDED BY THIS TABLE WHEN SHOWING COMPLIANCE WITH THIS METHOD.



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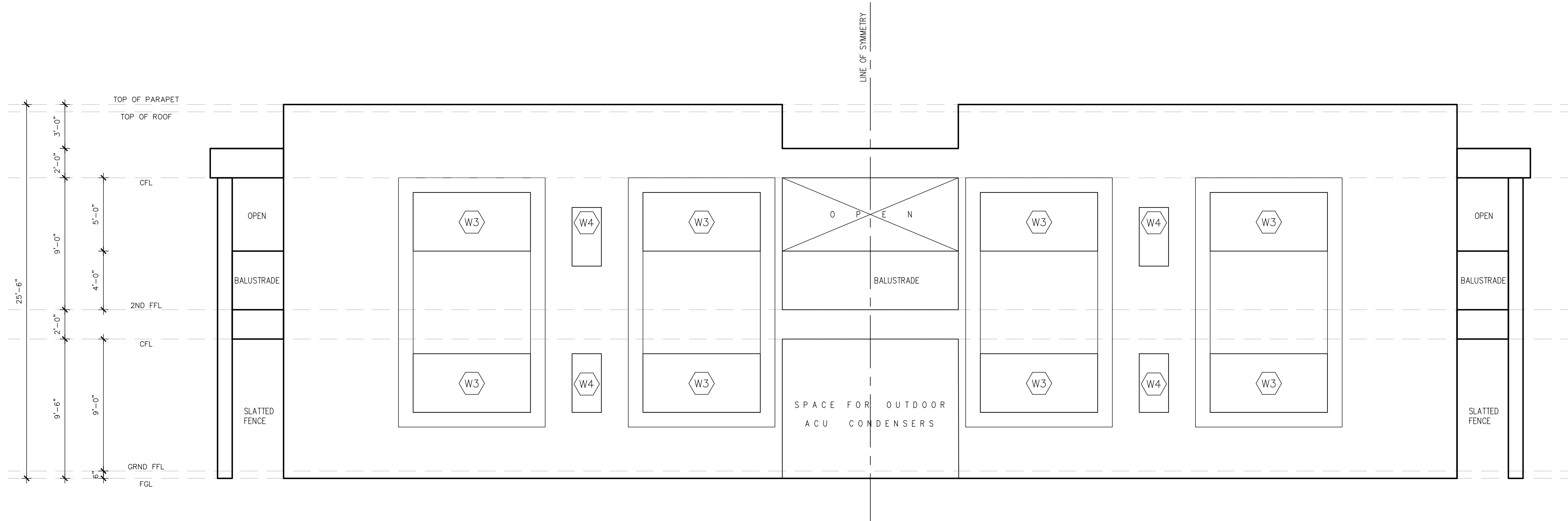
SHEET CONTENTS

ELEVATIONS

DRAWN BY: JGO  
CHECKED BY: JSQ  
DATE: 3.03.2023

SHEET NUMBER

**A30**  
24" X 36" PAPER SIZE



**2 ELEVATION AT EAST**  
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PROVIDE 2 VENTS FOR LOW / INTAKE VENTS

**DOORS & WINDOWS SCHEDULE**

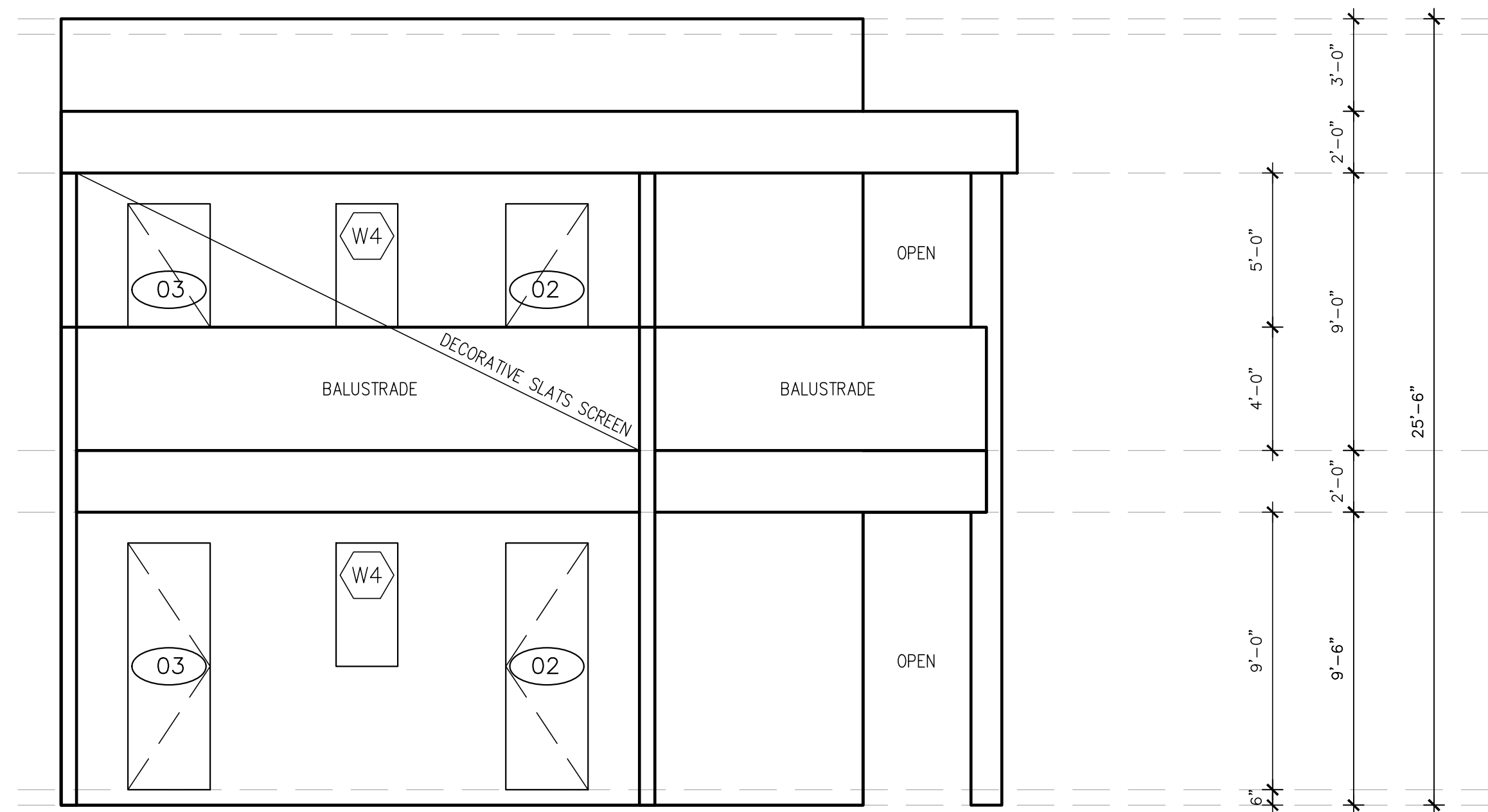
DOOR SCHEDULE (FOR EACH INDIVIDUAL UNIT)						
NO.	ROOM NAME	SIZE	MATERIAL	FRAMES / FINISH		REMARKS
01	MAIN ENTRANCE/EXIT	2'-8" x 8'-0"	SOLID CORE WOOD DOOR	SOLID WOOD / PAINTED		PANEL DOOR
02	LIVING / DINING	6'-0" x 8'-0"	SOLID CORE WOOD DOOR	SOLID WOOD / PAINTED		FRENCH DOOR
03	STORAGE	2'-8" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED		PANEL DOOR
04	BEDROOMS	2'-4" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED		PANEL DOOR
05	BATHROOMS	2'-4" x 8'-0"	HONEYCOMB CORE WOOD DOOR	SOLID WOOD / PAINTED		PANEL DOOR

WINDOW SCHEDULE (FOR EACH INDIVIDUAL UNIT)							
NO.	QTY.	SIZE (W x H)	MATERIAL	HDR. HT.	DUAL GLAZED	TEMPERED	REMARKS
W1	2	4'-0" x 5'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W2	1	4'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W3	2	8'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SLIDING WINDOW
W4	2	2'-0" x 4'-0"	VINYL/TEMPERED GLASS	8'-0"	●	●	SMOKED AWNING

NOTE \* = SAFETY GLAZING AS PER R308.4

INSULATION AND FENESTRATION				
MAX U-FACTOR	MAX SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE
0.40	0.25	38	13	13

NOTE \* = ALL VALUES SHALL MEET OR EXCEED THE MINIMUMS PROVIDED BY THIS TABLE WHEN SHOWING COMPLIANCE WITH THIS METHOD.



**3 ELEVATION AT NORTH**  
1/4" = 1'-0"

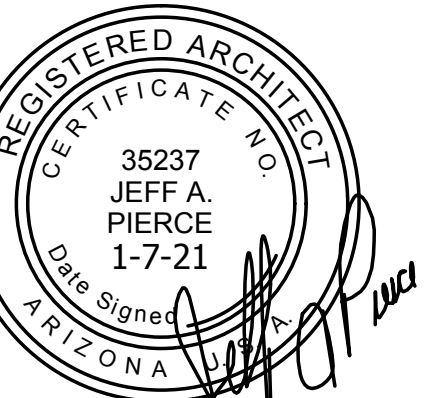




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EXP. 9/30/2022

SELF-CERTIFIED BY: JEFF A. PIERCE

DATE: \_\_\_\_\_

\* PLANS WERE PREPARED BY OR  
UNDER THE DIRECT SUPERVISION  
OF, OR REVIEWED BY THE  
SELF-CERTIFIED PROFESSIONAL.

\* PLANS ARE COMPLETE.

\* THE PLANS ARE, AS OF THE DATE  
OF SUBMISSION, IN COMPLIANCE  
WITH CITY OF PHOENIX BUILDING,  
CIVIL, SITE AND ZONING CODES,  
ORDINANCES, AND ALL OTHER  
APPLICABLE LAWS.

PROJECT NAME / LOCATION

**APN 135-16-041**  
**TWO STOREY**  
**QUADPLEX**

554 W RIO SALADO PKWY,  
MESA, ARIZONA 85201-4008

OWNER NAME / ADDRESS

**JOSE CARREON /**  
**NATIONAL**  
**CONSULTING GROUP**  
**LLC**

636 E 6TH PL MESA, AZ  
85203-6302

#	REVISION DESCRIPTION	DATE

SHEET CONTENTS

**DWELLING**  
**SECTIONS**

DRAWN BY: JGO  
CHECKED BY: JSQ  
DATE: 3.03.2023

SHEET NUMBER

**A40**

24" X 36" PAPER SIZE

### GENERAL NOTES

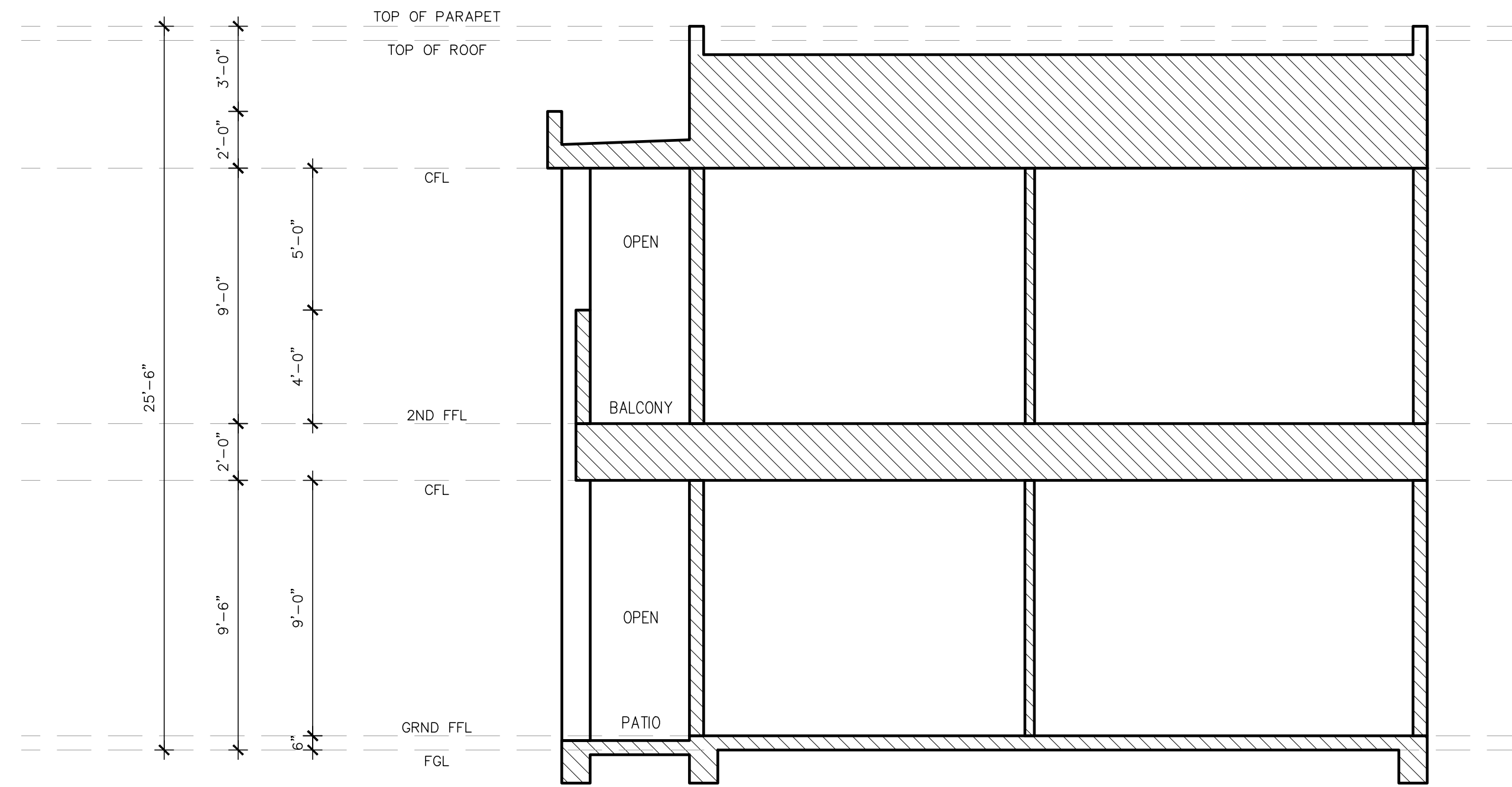
- A. BOTTOM PLATES SHALL BE PRESSURE TREATED WITH BORATE PER GREEN BUILDING CHECKLIST.
- B. SEE STRUCTURAL DRAWINGS FOR FRAMING SPECIFICATIONS OR DETAIL SHEETS FOR THE FOLLOWING INFORMATION:  
1. NAILING SCHEDULE  
2. RIPPER ATTACHMENT (WHERE APPLICABLE)  
3. CEILING JOIST SCHEDULE
- C. FIRE BLOCKING NOTES (SHALL COMPLY WITH R602.8)  
1. IN CONCEALED SPACES OF STUD WALLS AND PARTITION, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:  
1.1 VERTICAL AT THE CEILING AND FLOOR LEVELS  
1.2 HORIZONTAL AT INTERVALS NOT EXCEEDING 10 FEET  
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.  
3. IN CONCEALED SPACES BETWEEN STAIR STRINGER AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACE UNDER STAIR SHALL COMPLY WITH SECTION R311.2.2  
4. AT THE OPENING AROUND VENTS, PIPE AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.  
5. FOR THE FIRE BLOCKING OF CHIMNEY AND FIREPLACE, SEE SECTION R1001.16  
6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

### LEGEND:

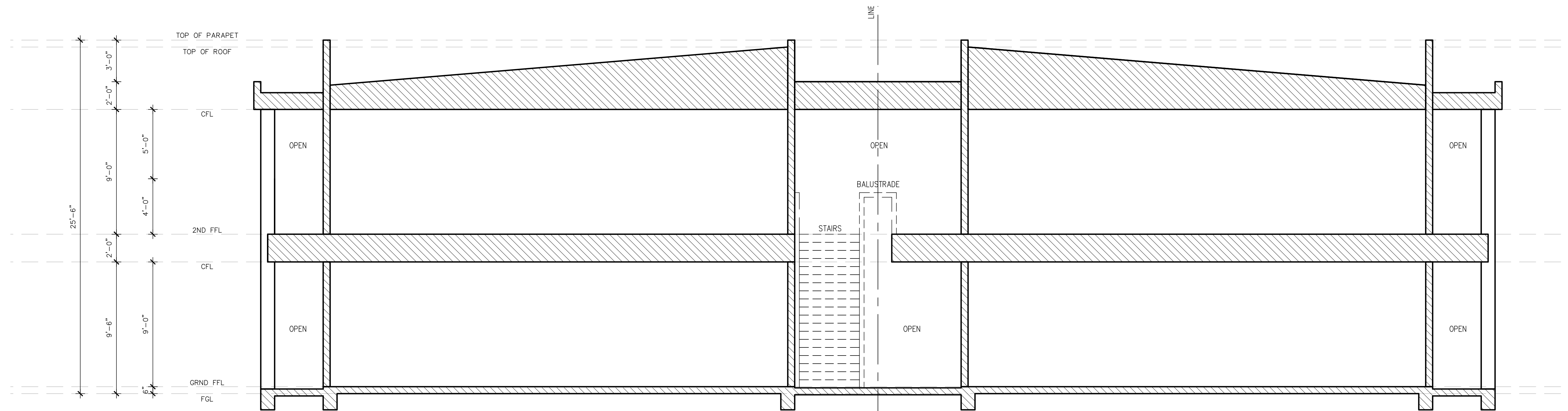
- W1 2"x6" STUDS SPACED AT 16" O.C. W/ 5/8" GYPSUM BOARD ON INTERIOR FACE OF WALL AND EXTERIOR FACE WITH 3/8" STUCCO FINISH OVER METAL LATH OVER SCHEDULED SHEATHING PANEL (SEE STRUCTURAL DRAWINGS). INSULATION SHALL BE 2".
- W2 2"x4" STUDS SPACED AT 16" O.C. W/ SCHEDULED SHEATHING PANEL (SEE STRUCTURAL DRAWINGS) ON BOTH SIDES OF WALL

### KEYNOTES:

1	1/2" PLYWOOD SOFFIT ATTACHED TO STUDS ON EXTERIOR SIDE OF WALL
2	2x6 WOOD FASCIA WITH 1X2 WOOD TRIM WRAPPED WITH 26 GA GI FLASHING
3	ASPHALT SHINGLES ASTM D3018 TYP. ICC-ESR-1475 AND ICC-AC438-ESR-3267 COLOR: PEWTER GREY BRAND: TIMBERLINE
4	R-19 WALL INSULATION
5	R-38 ROOF INSULATION
6	ENGINEERED TRUSS FRAMING TO STRUCTURAL ENGINEER REQUIREMENTS
7	FOUNDATION PER PLAN
8	2x6 PARAPET STUDS @ 16" O.C.
9	2X PRESSURE TREATED PLATE WITH 1/2" Ø A.B.S. SEE STRUCTURAL PLAN FOR SPACING
10	2X PLATE W/ 16d NAILS AT 12" O.C.
11	ROOF SHEATHING PER GSN
12	FLAT ROOF BUILT-UP WITH LIQUID-APPLIED ACRYLIC COATING APPLIED OVER A SPRAY-APPLIED POLYURETHANE FOAM PLASTIC INSULATION. ICC ESR-3916.
13	FLOOR FINISH AS SCHEDULED
14	1/2" SAG RESISTANT GYPSUM BOARD, PAINTED FINISH.
15	POWDERCOATED ALUMINIUM COPING WITH 1/2" THK PLYWOOD BACKING. COLOR TO MATCH WALL FINISH
16	4"x4" SCUPPER DRAIN
17	ALUMINIUM FLASHING FIXED TO WALL
18	ROOF VENT
19	2X4 STUDS SPACED AT 16" O.C. W/ 1/2" GYPSUM BOARD ON BOTH SIDES OF WALL
20	2X6 STUDS SPACED AT 16" O.C. W/ 1/2" GYPSUM BOARD ON BOTH SIDES OF WALL. INSULATION SHALL BE 2".
21	6X6 CAST ALUMINIUM BAND
22	2X10 CEILING JOISTS
23	BEAM OR WALL WHERE OCCURS, REFER TO STRUCTURAL DRAWINGS
24	MASTERFLOW GAF DA1212 12" x 12" 60 SQ.IN. NET FREE AREA (NFA)
25	2x CANTILEVER ROOF RAFTERS OVER COVERED PATIO



1 **TRANSVERSE SECTION**  
1/4"=1'-0"



2 **LONGITUDINAL SECTION**  
1/4"=1'-0"