

Mesa Council Chambers Lower Level – 57 E 1st St

Date: December 4, 2024 Time: 5:00 p.m.

MEMBERS PRESENT:

Chair Alexis Wagner
Boardmember Nicole Lynam
Boardmember Heath Reed
Boardmember Troy Glover
Boardmember Todd Trendler
Boardmember Gerson Barrera*

MEMBERS ABSENT:

Vice Chair Shelly Allen

(*Boardmembers and staff participated in the meeting through the use of audio conference equipment)

STAFF PRESENT:

Kelly Whittemore
Jennifer Merrill
Kwasi Abebrese
Emily Johnson
Sergio Solis
Tulili Tuiteleleapaga-Howard
Noah Bulson
Vanessa Felix

OTHERS PRESENT:

1 Call meeting to order.

Chair Wagner excused Vice Chair Allen and declared a quorum present, and the Study Session was called to order at 5:10 p.m.

2 Staff Update: The meeting in January will be held on January 15, 2025 due to a holiday.

3 Review and discuss items listed on the Public Hearing agenda for December 4, 2024.

***3-a Staff member Emily Johnson presented case BOA24-00371 to the Board.
See attached presentation.**

***3-b Staff member Sergio Solis presented case BOA24-00550 to the Board.
See attached presentation.**

***3-c Staff member Kwasi Abebrese presented case BOA24-00714 to the Board.
See attached presentation.**

***3-d Staff member Noah Bulson presented case BOA24-00889 to the Board.
See attached presentation.**

- *3-e Staff member Tulili Tuiteleleapaga-Howard presented case BOA24-00893 to the Board.**
See attached presentation.

4 Adjournment.

Boardmember Lynam moved to adjourn the Study Session and was seconded by Boardmember Trendler. Without objection, the Study Session was adjourned at 5:34 p.m.

Respectfully submitted,

Jennifer Merrill

Jennifer Merrill,

On behalf of Zoning Administrator (Mary Kopaskie-Brown)



Board of Adjustment



BOA24-00371

Emily Johnson, Planner II

December 4, 2024



Request

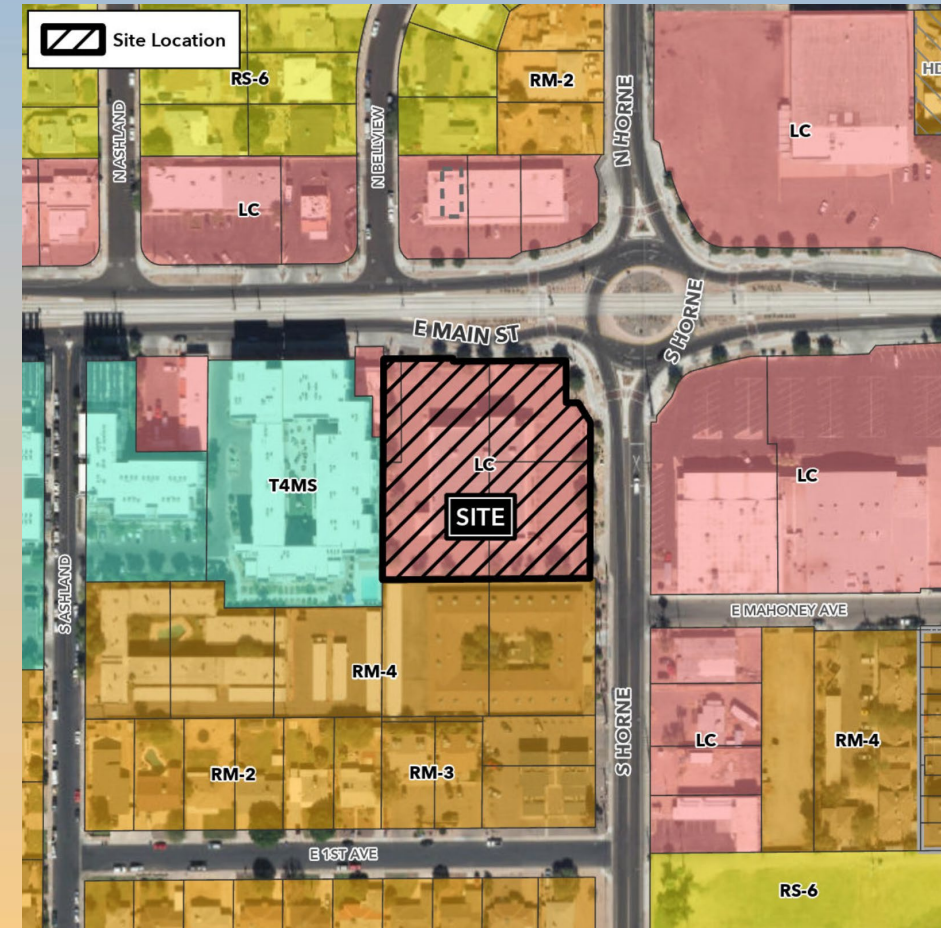
- Substantial Conformance Improvement Permit (SCIP) to allow deviations from certain development standards for a medical office and general retail sales development





Location

- On the south side of Main Street
- West of Horne
- East of Mesa Drive





General Plan

Neighborhood - Traditional Sub-Type

- Provide safe places for people to live and feel secure. May contain commercial uses along arterial frontages.
- Traditional neighborhoods may contain supportive land uses.





General Plan

Transit Corridor

- Develop a mixed-use, pedestrian oriented, urban environment.

Central Main Street Area Plan

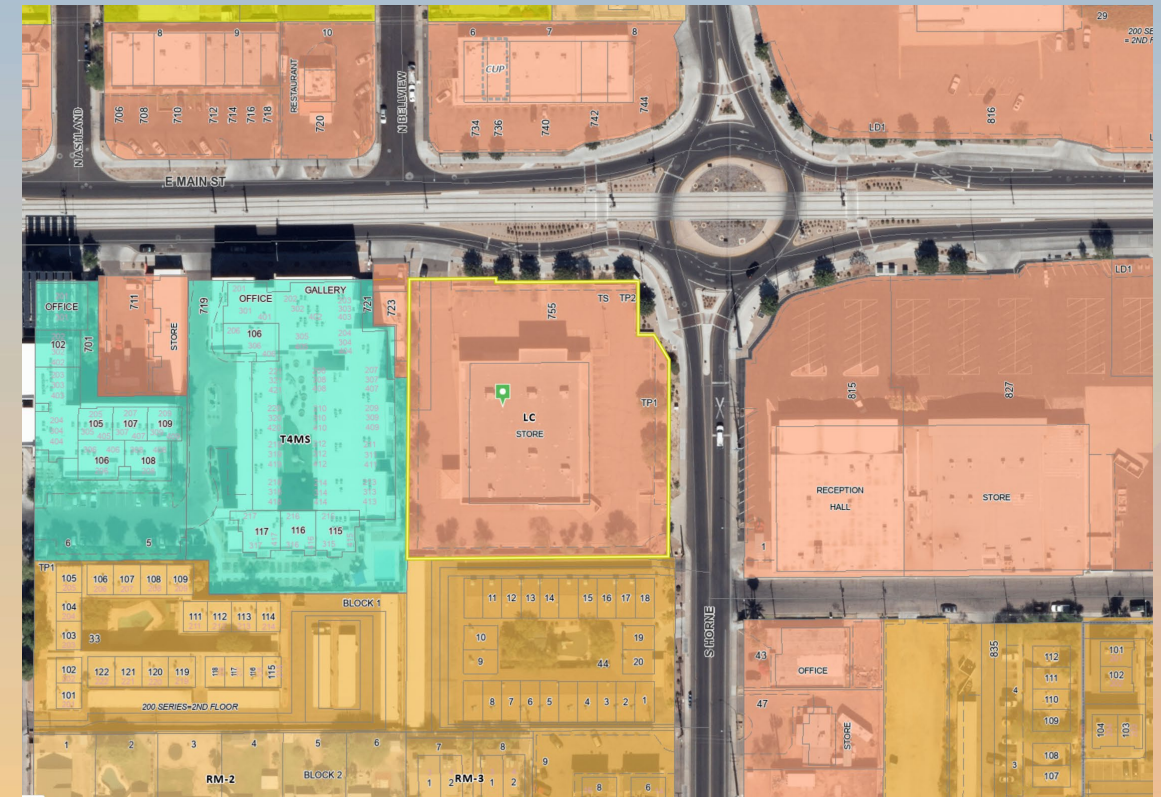
- Transform into a node incorporating a mix of uses that support surrounding residential neighborhood.





Zoning

- Limited Commercial (LC)
- Medical Office and General Retail Sales are permitted uses





Site Photo



Looking south from Main Street



Site Photo

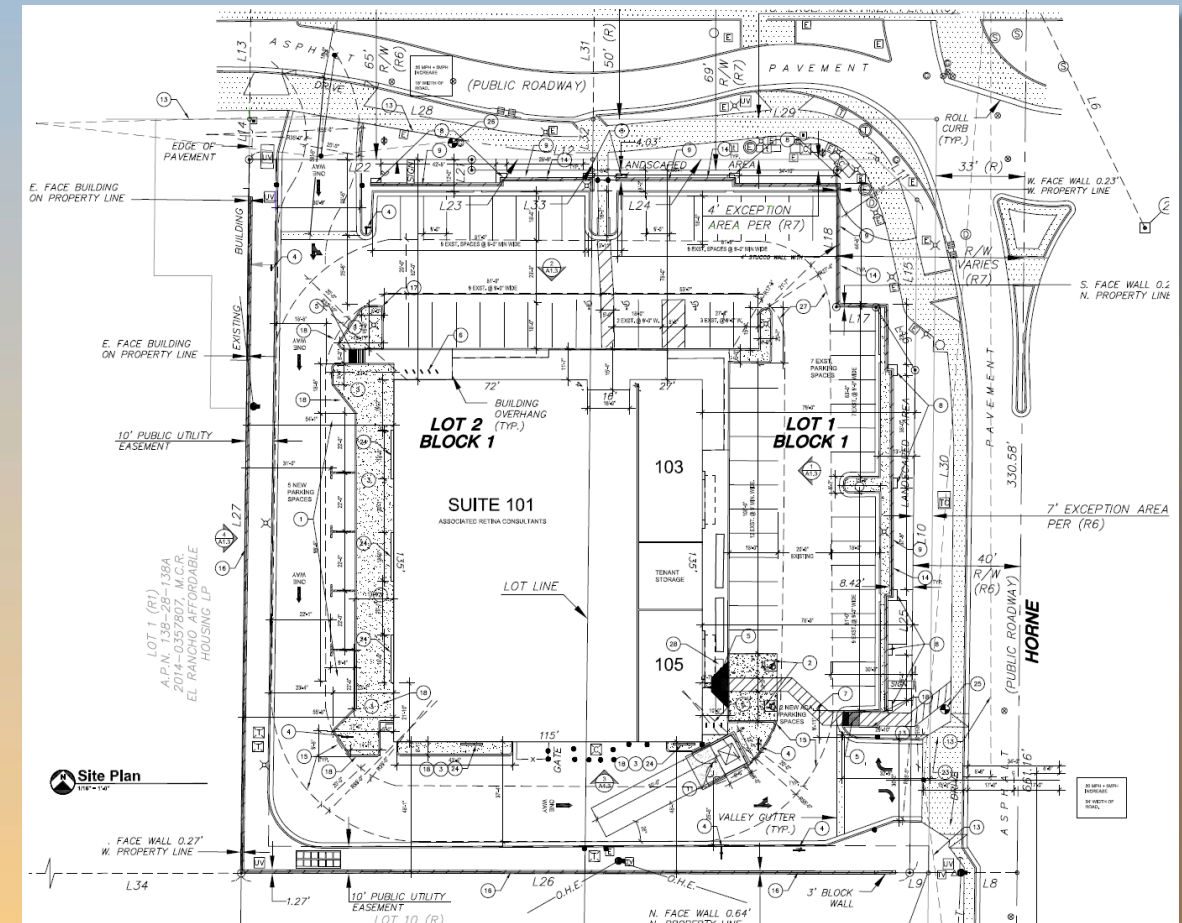


Looking west from Horne



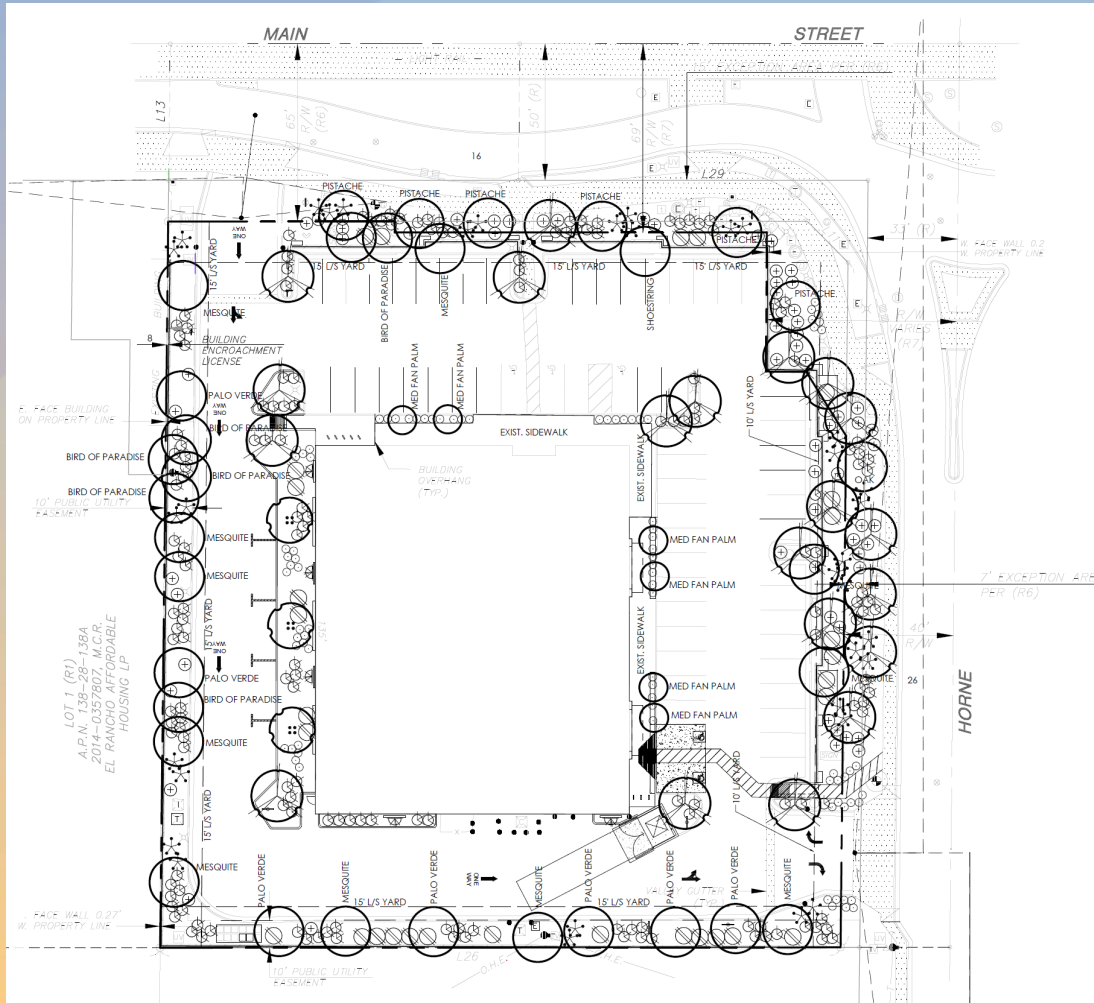
Site Plan

- Former Walgreens building repurposed for a medical office with two retail suites
- Primary access from Main Street and Horne
- 67 parking spaces required; 67 provided














Landscape Plan



EXISTING LANDSCAPE LEGEND

-  EXISTING TREE
PROTECT FROM CONSTRUCTION
-  EXISTING SHRUB
PROTECT FROM CONSTRUCTION
-  PISTACHE X 'RED-PUSH'
RED PUSH PISTACHE
36" BOX
-  ACACIA ANEURA
MULGA (SRP/APS APPROVED)
24" BOX
-  TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
-  RUELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON
-  CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON
-  PODRANEA RICASOLINA
PINK TRUMPET VINE
5 GALLON
-  LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON

1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

MAIN STREET (NORTH)

PROPERTY LINE = 248'
10 TREES REQUIRED
10 TREES PROVIDED (9-36" box equiv., 1-new 36" box)
60 SHRUBS REQUIRED
60 SHRUBS PROVIDED

WEST PROPERTY LINE

PROPERTY LINE = 265'
8 TREES REQUIRED
12 TREES PROVIDED (12-36" box equiv.)
53 SHRUBS REQUIRED
53 SHRUBS PROVIDED

SOUTH PROPERTY LINE

PROPERTY LINE = 248'
8 TREES REQUIRED
8 TREES PROVIDED (8-36" box equiv.)
50 SHRUBS REQUIRED
50 SHRUBS PROVIDED

HORNE ROAD (EAST)

PROPERTY LINE = 265'
11 TREES REQUIRED
11 TREES PROVIDED (3-36" box equiv. 8-new 36" box)
64 SHRUBS REQUIRED
64 SHRUBS PROVIDED

PARKING LOT

NON-COMPLIANT PARKING WILL BE
ADDED TO THE SCP
PARKING STALLS = 62
12 TREES REQUIRED (2-36" box, 10-24" box)
12 TREES PROVIDED (12-36" box)
36 SHRUBS REQUIRED (5-gallon)
40 SHRUBS PROVIDED (5-gallon)

LANDSCAPE COVERAGE

LANDSCAPE AREA: 10,667 SQ.FT.
LANDSCAPE COVERAGE REQUIRED: 5,334 SQ.FT. (50%)
LANDSCAPE COVERAGE PROVIDED: 6,133 SQ.FT. (57%)

FOUNDATION BASE:

BUILDING PERIMETER: 500 L.F.T.
TREES REQUIRED: 10 TREES (1-36" BOX, 9-24" BOX)
TREES PROVIDED: 12 TREES (8-36" BOX EQUIV., 4-24" BOX)



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Maximum Lot Coverage – Table 11-6-3.A</i>	80%	82% (existing)
<i>Building Form and Location – Front and Street-Facing Side – Table 11-6-3.A:</i>		
Main Street	15 feet	0 feet (existing parking at northeast corner of site) 8 feet 2 inches (existing parking along Main Street)
Horne	15 feet	13 feet (existing parking along Horne)



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Fences and Freestanding Walls Maximum Height in Front Yards and Required Street Side Yards – Section 11-30-4(B)(1)(a):</i></p> <p>Main Street</p> <p>Horne</p>	<p>3.5 feet</p> <p>3.5 feet</p>	<p>5 feet 7 inches (existing wall along west property line starting 13.5 feet from front property line)</p> <p>4 feet (existing wall once iron fence removed along Main Street)</p> <p>4 feet (existing wall once iron fence removed along Horne)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Fence Articulation – Section 11-30-4(E):</i></p> <p><i>The maximum length of continuous, unbroken and uninterrupted fence or wall plane adjacent to right-of-way or private streets functioning as public roads shall be forty (40) feet. Articulation shall be provided through the use of columns, landscaping pockets and/or a change to different materials</i></p>	<p>40 feet</p>	<p>44 feet 8 inches (longest existing wall without articulation)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Minimum Setbacks from Intersections for Parking Areas and Drive Aisles – Table 11-30-10:</i></p> <p><i>Major/Midsection Collection (90-110' R.O.W.) with Major/Midsection Collector</i></p>	<p>Minimum 35-foot radius</p>	<p>Within 35-foot radius (existing)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Standard Parking Space and Aisle Dimensions – Table 11-32-2-H-1:</i></p> <p><i>90 Degree Angle of Parking</i></p> <p>North Drive Aisle</p> <p>East Drive Aisle</p>	<p>Two-way aisle width – 24 feet</p> <p>Two-way aisle width – 24 feet</p>	<p>23 feet (existing)</p> <p>20 feet (existing)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Setbacks of Cross Drive Aisles – Section 11-32-4(A):</i> <i>Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 50 ft from the property line abutting the street.</i></p> <p>North Property Line East Property Line</p>	<p>50 feet 50 feet</p>	<p>28 feet 5 inches (existing) 32 feet 9 inches (existing)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Perimeter Landscaping – Table 11-33-3.A.4:</i></p> <p>1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (North Property Line)</p> <p>1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (East Property Line)</p>	<p>10 trees and 60 shrubs</p> <p>11 trees and 64 shrubs</p>	<p>4 trees and 16 shrubs</p> <p>3 trees and 15 shrubs</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Required Landscape Yards – Section 11-33-3(B)(2)(a)(ii): Properties that are not part of a group C-O-I Development, as defined in Chapter 87, must provide a 15-foot landscape yard except where a cross-access drive aisle occurs within the required landscape yard.</i></p>		
<p>West Property Line</p>	<p>15 feet</p>	<p>9 feet (existing)</p>
<p>South Property Line</p>	<p>15 feet</p>	<p>9 feet (existing)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Number of Plants – Section 11-33-3(B)(2)(c):</i> <i>A minimum of three (3) non-deciduous trees and 20 shrubs per 100 linear feet of adjacent property line shall be provided. In the event of fractional results, the resulting number will be rounded to the next highest whole number. Shrubbery and ground covers are not necessary if the area is not visible from public parking and drive aisles.</i></p>		
<p>West Property Line</p>	<p>8 trees and 53 shrubs</p>	<p>0 trees and 53 shrubs</p>
<p>South Property Line</p>	<p>8 trees and 50 shrubs</p>	<p>0 trees and 53 shrubs</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Interior Parking Lot Landscaping – Landscape Islands – Section 11-33-4(B)(1):</i></p> <p>Parking lot landscape islands shall be installed at each end of a row of stalls and in between for maximum 8 contiguous parking spaces.</p>	<p>8 contiguous parking spaces</p>	<p>14 contiguous parking spaces (existing maximum)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Interior Parking Lot Landscaping – Landscape Islands – Section 11-33-4(B)(2):</i></p> <p>Landscape islands shall be a minimum of eight feet wide and 15 feet in length for single-row and 30 feet in length for double-row parking. All measurements are to face of curb.</p>	<p>8 feet wide by 15 feet in length</p>	<p>4 feet 9 inches wide (existing minimum landscape island width)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Foundation Base along Exterior Walls</i></p> <ul style="list-style-type: none"> – Exterior Walls with Public Entrance – Section 11-33-5(A)(1): A 15-foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall. For buildings with corner entries, both adjacent walls require a 15-foot-wide foundation base. <p>North Elevation</p> <p>East Elevation</p>	<p>15 feet</p> <p>15 feet</p>	<p>11 feet 7 inches (existing)</p> <p>10 feet (existing)</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Foundation Base along Exterior Walls</i> – Exterior Walls with Public Entrance – Section 11-33-5(A)(1)(a):</p> <p>For buildings larger than 10,000 square feet with parking spaces that abut the foundation base, additional foundation base width is required as follows: An additional foundation base shall be provided at the entrance to create an entry plaza area. The plaza area shall have a minimum width and depth of 20 feet, and a minimum area of 900 square feet.</p>	<p>Additional minimum 20-foot-deep entry plaza area with minimum area of 900 square feet</p>	<p>No additional entry plaza (existing)</p>



Approval Criteria

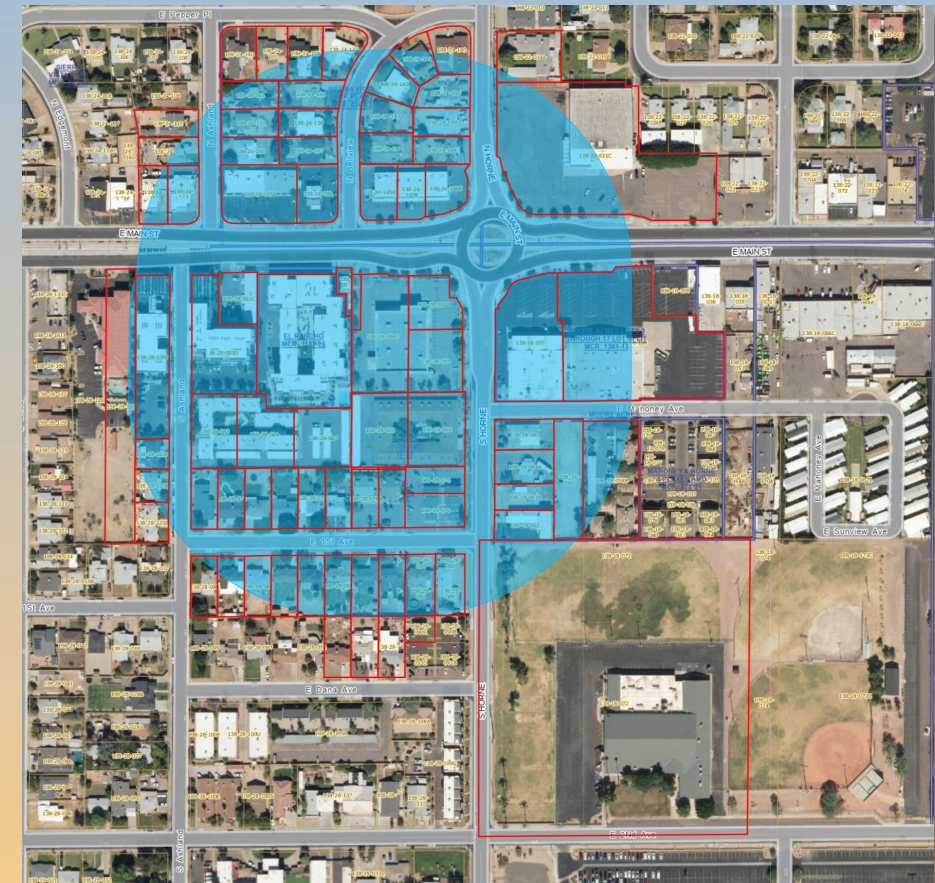
Section 11-73-3 SCIP Criteria

- ✓ Significant alterations to the site would need to occur to bring the site into full conformance with current MZO development standards
- ✓ Full compliance would discourage redevelopment of the site
- ✓ No new non-conforming conditions will be created
- ✓ Proposed request is compatible with, and not detrimental to, adjacent properties or neighborhood



Citizen Participation

- Notified property owners within 500 feet
- Staff has received no correspondence regarding the proposal





Findings

- ✓ Complies with the Mesa 2040 General Plan
- ✓ Meets the SCIP findings of Section 11-73-3 of the MZO

Staff recommends Approval with Conditions



Board of Adjustment



Elevations



1 East Elevation
NTS



2 North Elevation
NTS



Elevations



3 South Elevation
NTS



4 West Elevation
NTS



Rendering





Board of Adjustment



BOA24-00550

Avalon Ranch CSP

Sergio Solis, Planner I

December 4, 2024



Request

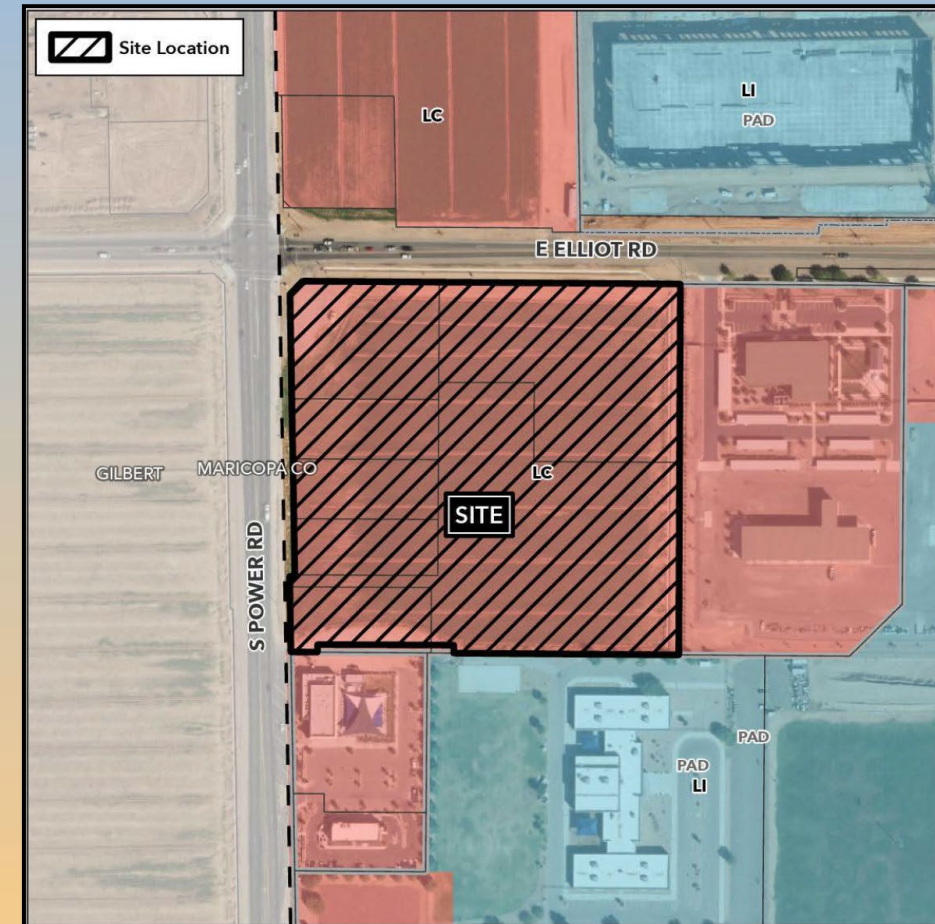
- Special Use Permit (SUP) for a Comprehensive Sign Plan (CSP)





Location

- East of Power Road
- South of Elliot Road

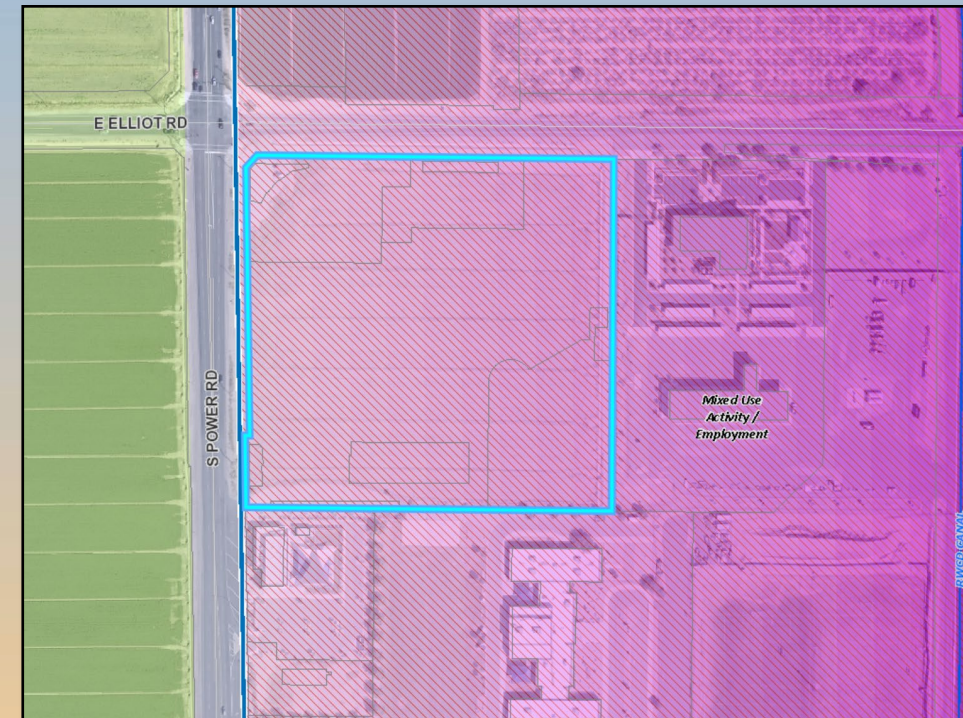




General Plan

Mixed Use Activity District/Employment

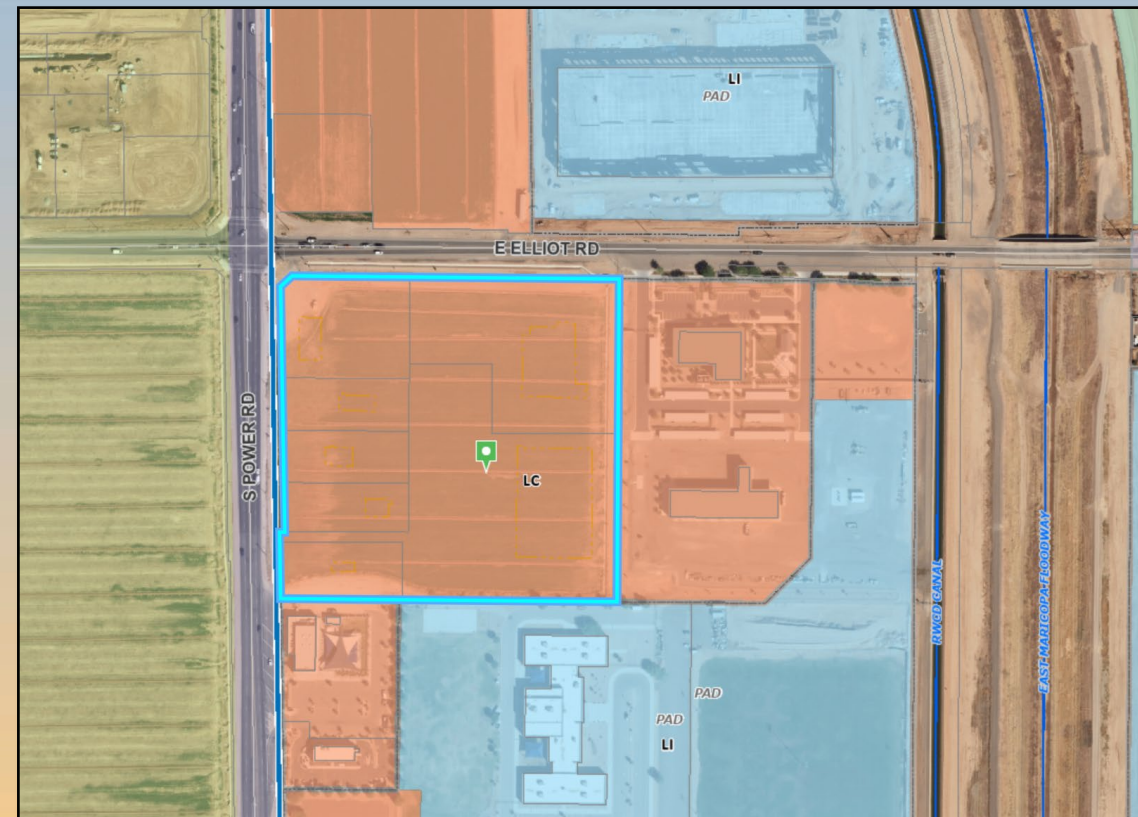
- Regional activity areas
- Wide range of employment
- Supportive commercial





Zoning

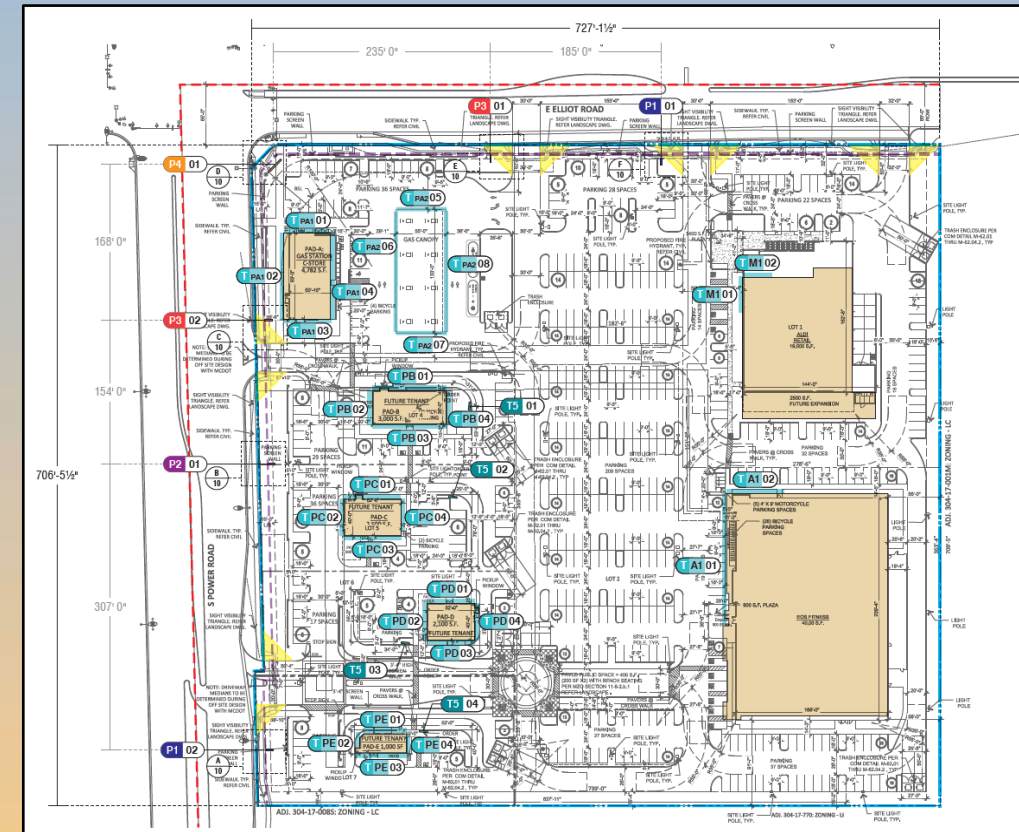
- Limited Commercial (LC) District





Site Plan

- 7 commercial buildings
 - Approximately 75,000 SF
 - 1 service station
 - 4 restaurants with drive-thrus
 - 2 major anchor tenants
-
- 727± feet of frontage (Elliot Rd.)
 - 706± feet of frontage (Power Rd.)

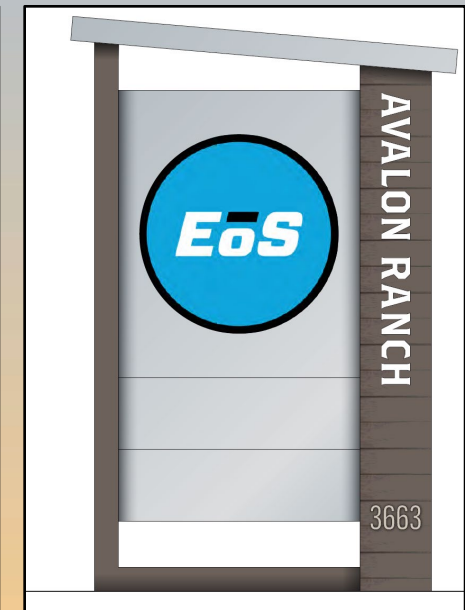
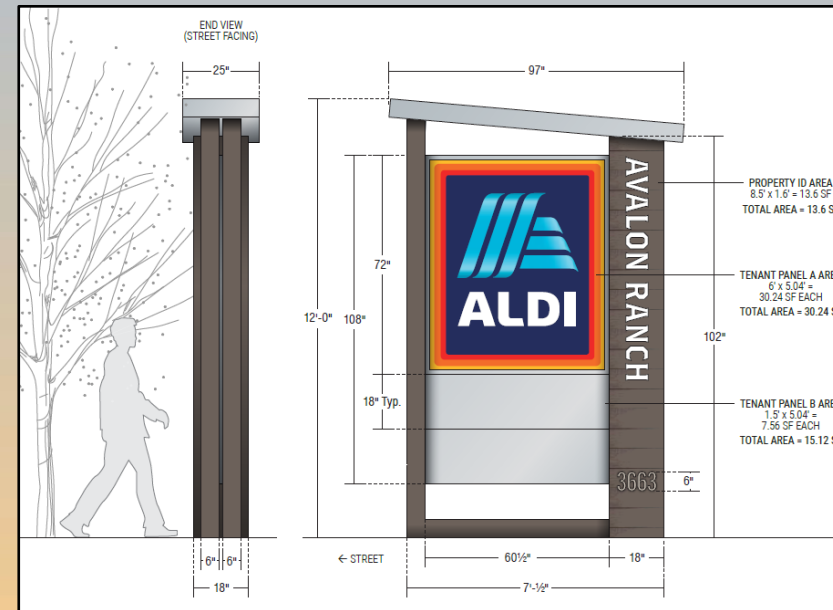




Sign Plan

Freestanding Monument Signs – P1

- **No deviations requested**
- Aluminum framing and finishes
- Nichia Fiber Cement Exterior Cladding
- Face-illuminated cabinet

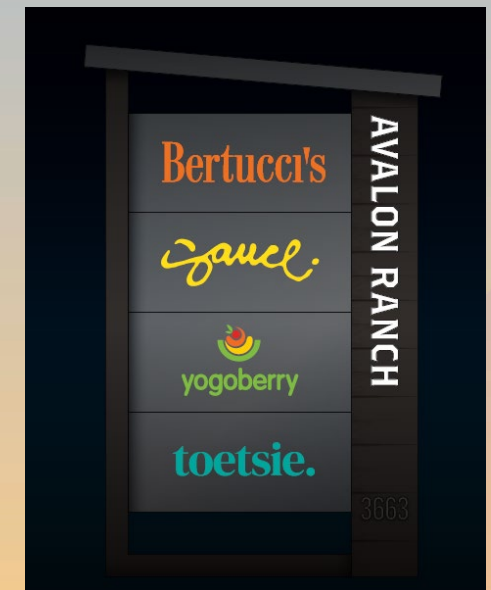
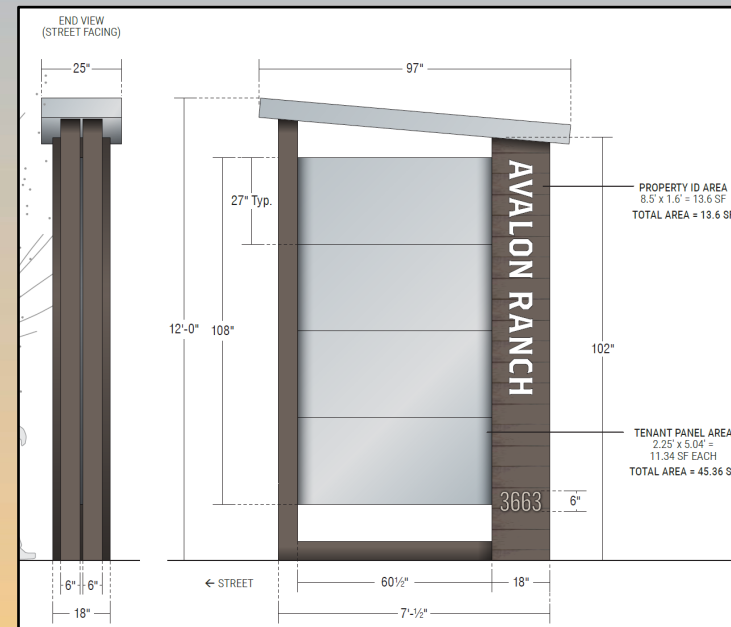




Sign Plan

Freestanding Monument Signs – P2

- No deviations requested

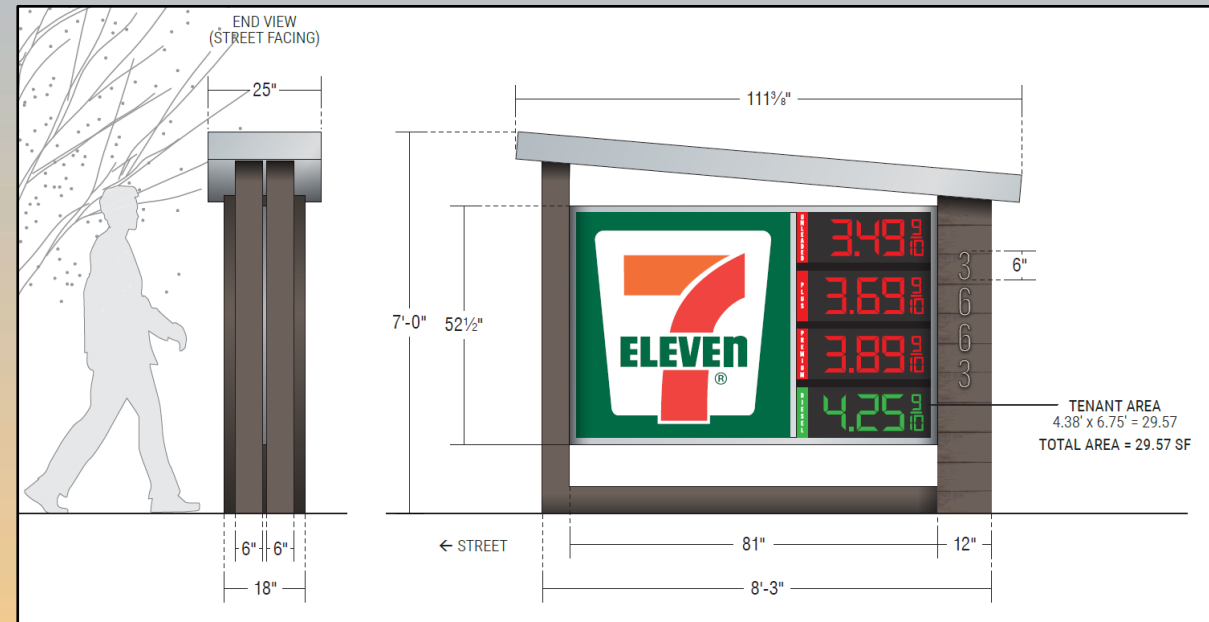




Sign Plan

Service Station Monument Signs – P3

- No deviations requested





Sign Plan

Project ID Sign – P4



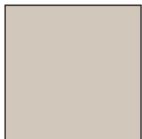

- No deviations requested





Sign Plan

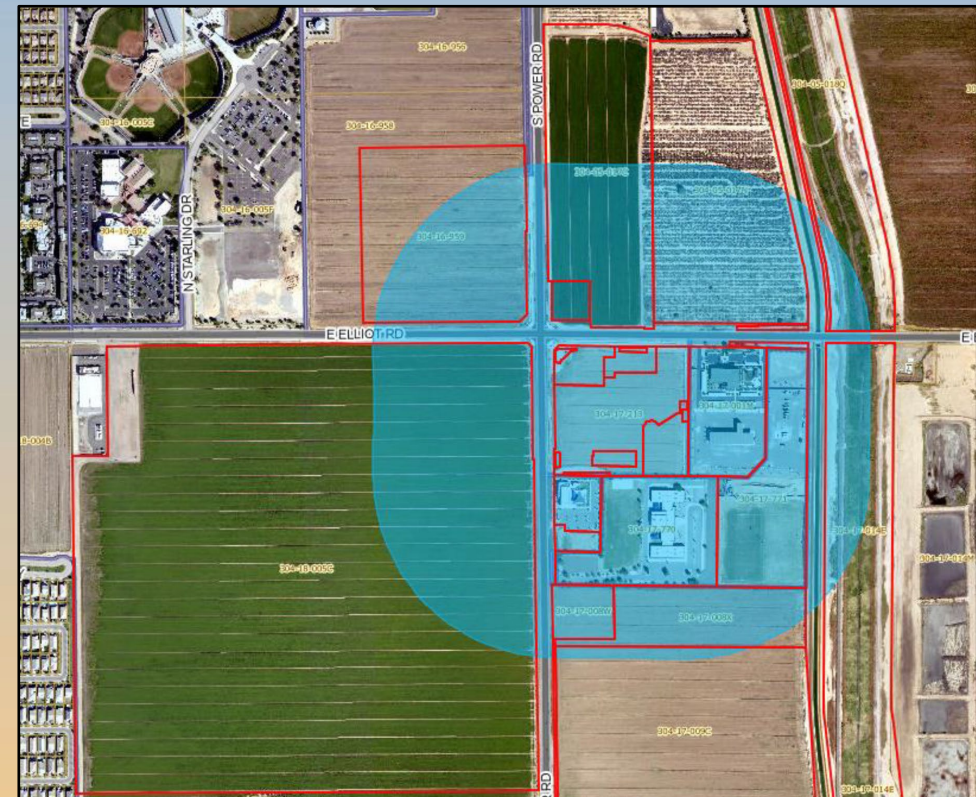
- Palette harmonious with approved commercial center

Color & Materials Palette	
	Brush Aluminum Matthew Paint to Match Omega-Lite Bright Silver Wall Panels
	437R2398 - Aged Bronze Matthews Paint closest Match
	104 - Dryvit Systems Dover Sky Matthews Paint closest Match
	Nichia Fiber Cement Exterior Cladding Vintagewood - Bark Closest Match - Paint Pattern, Powder Coat, or Print



Citizen Participation

- Notification letters were sent to property owners within 500' of the site.
- Staff received no feedback.





Approval Criteria

Section 11-46-3(D) CSP Criteria

- ✓ The site contains unique or unusual physical conditions that would limit or restrict normal sign visibility, **or**
- ✓ The development exhibits unique characteristics of land use, that represent a clear variation from conventional development, **or**
- ✓ The proposed signage incorporates special design features that reinforce or are integrated with the building architecture.



Approval Criteria

Section 11-70-5.E Special Use Permit Criteria

- ✓ Project will advance the goals and objectives of the General Plan and other City plan and/or policies;
- ✓ Location, size, design, and operating characteristics are consistent with the purposes of the district where it is located and conform with the General Plan and any other applicable City plan or policies;
- ✓ Project will not be injurious or detrimental to the surrounding properties, the neighborhood, or to the general welfare of the City; and
- ✓ Adequate public services, public facilities and public infrastructure are available.



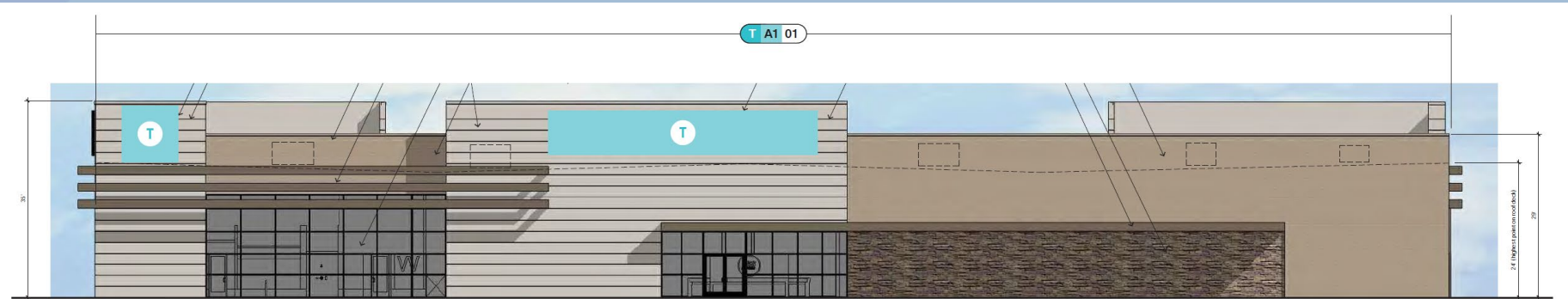
Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Meets required findings for Sections 11-70-5.E and 11-46-3.D of the MZO

Staff recommends Approval with Conditions



Board of Adjustment



EOS - FITNESS - West Elevation
Scale: 1" = 20'0"



EOS - FITNESS - North Elevation
Scale: 1" = 20'0"



Board of Adjustment



BOA24-00714

Kwasi Abebrese, Planner II

December 4, 2024



Request

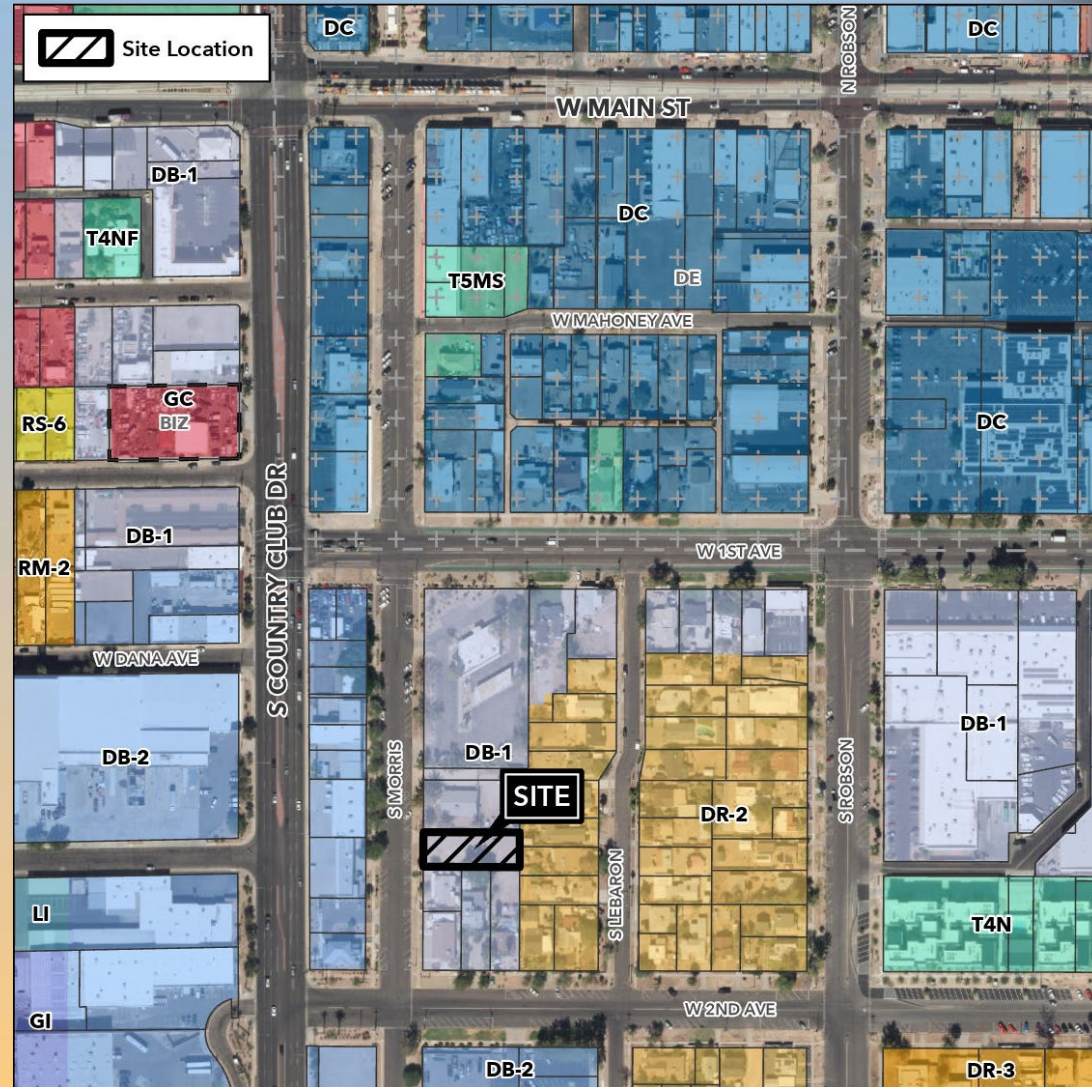
- Variance from the Form-Based Code Building Form Standards
- To allow for a multiple residence development





Location

- East of Country Club Drive
- South of Main Street
- East of Morris





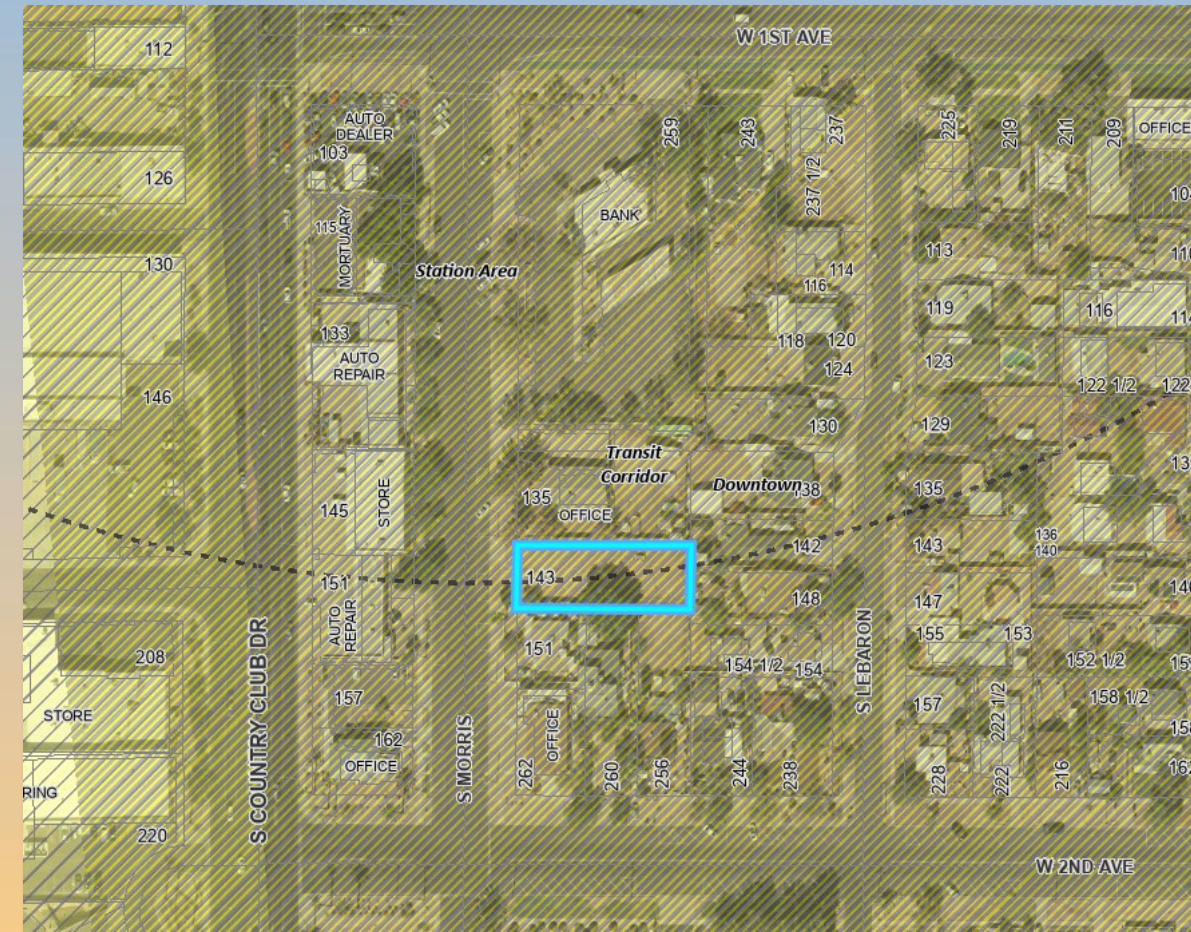
General Plan

Downtown with Transit District overlay of Station Area

- Pedestrian oriented
- Variety of housing, entertainment and events

Central Main Street Area Plan - Neighborhood Evolution Area

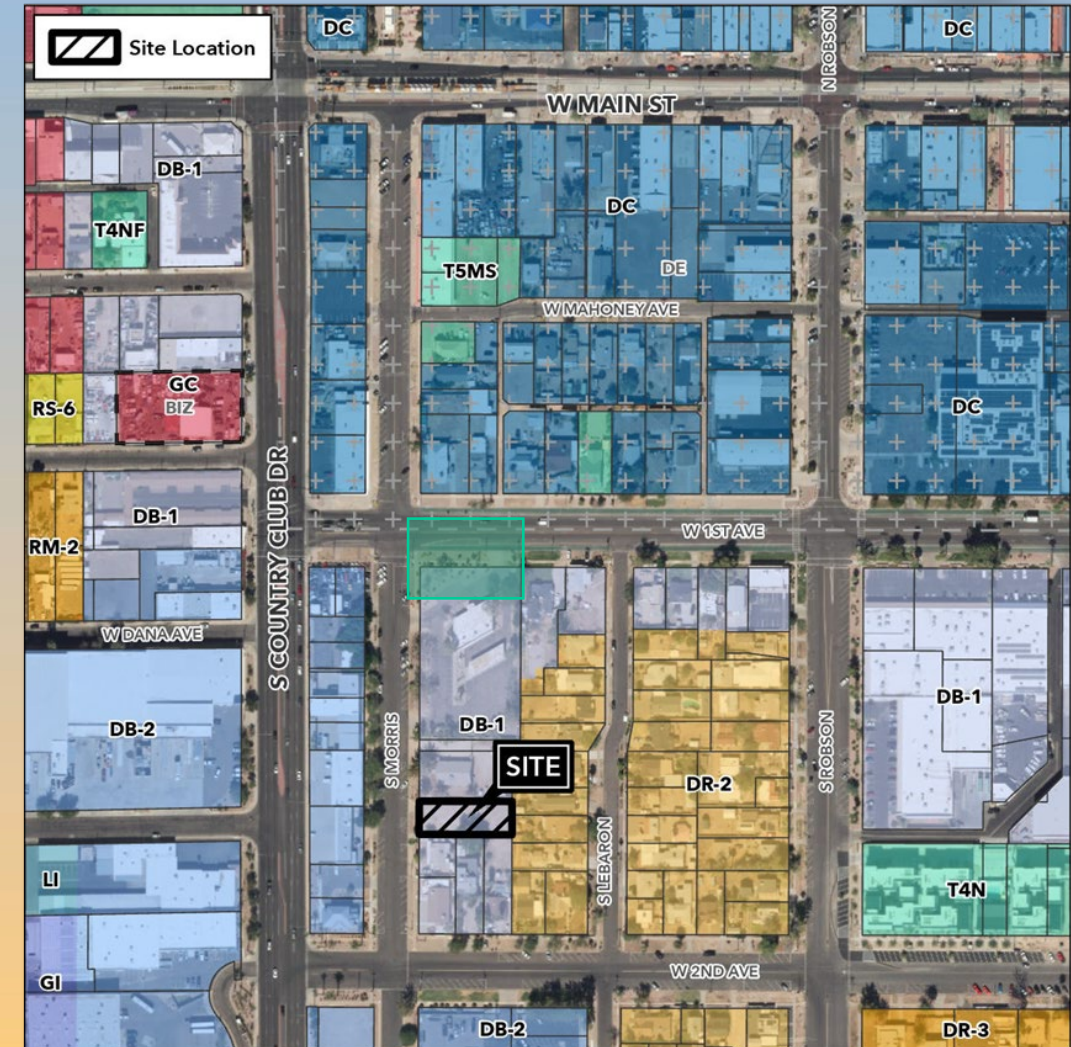
- Evolve over time into a neighborhood that can include a mix of single residence, duplex and small apartment buildings.





Zoning

- Transect 3 Neighborhood (T3N) district
- Proposed use is allowed in the T3N district





Site Photos

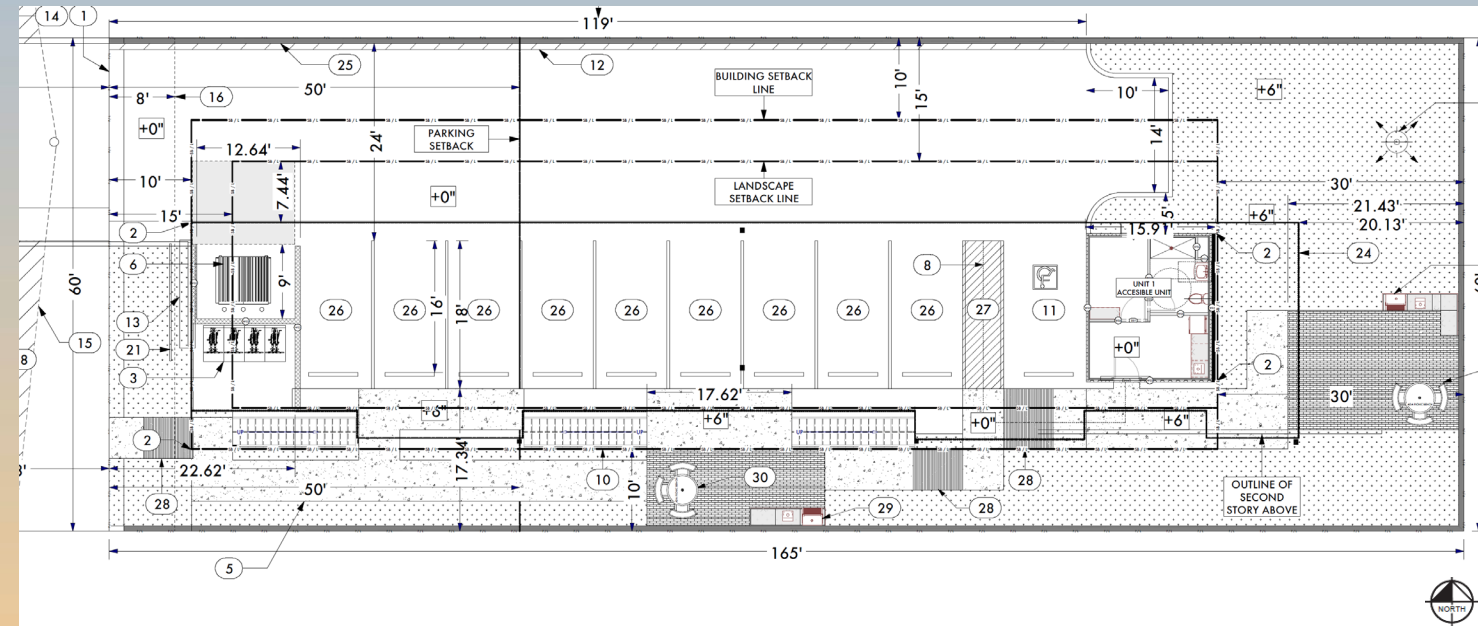


Looking east towards the site from Morris



Site Plan

- 6,168 sq. ft. two story multiple residence development
- 2,524 sq. ft. parking area and 311 sq. ft. livable area on ground floor
- 9 residential units

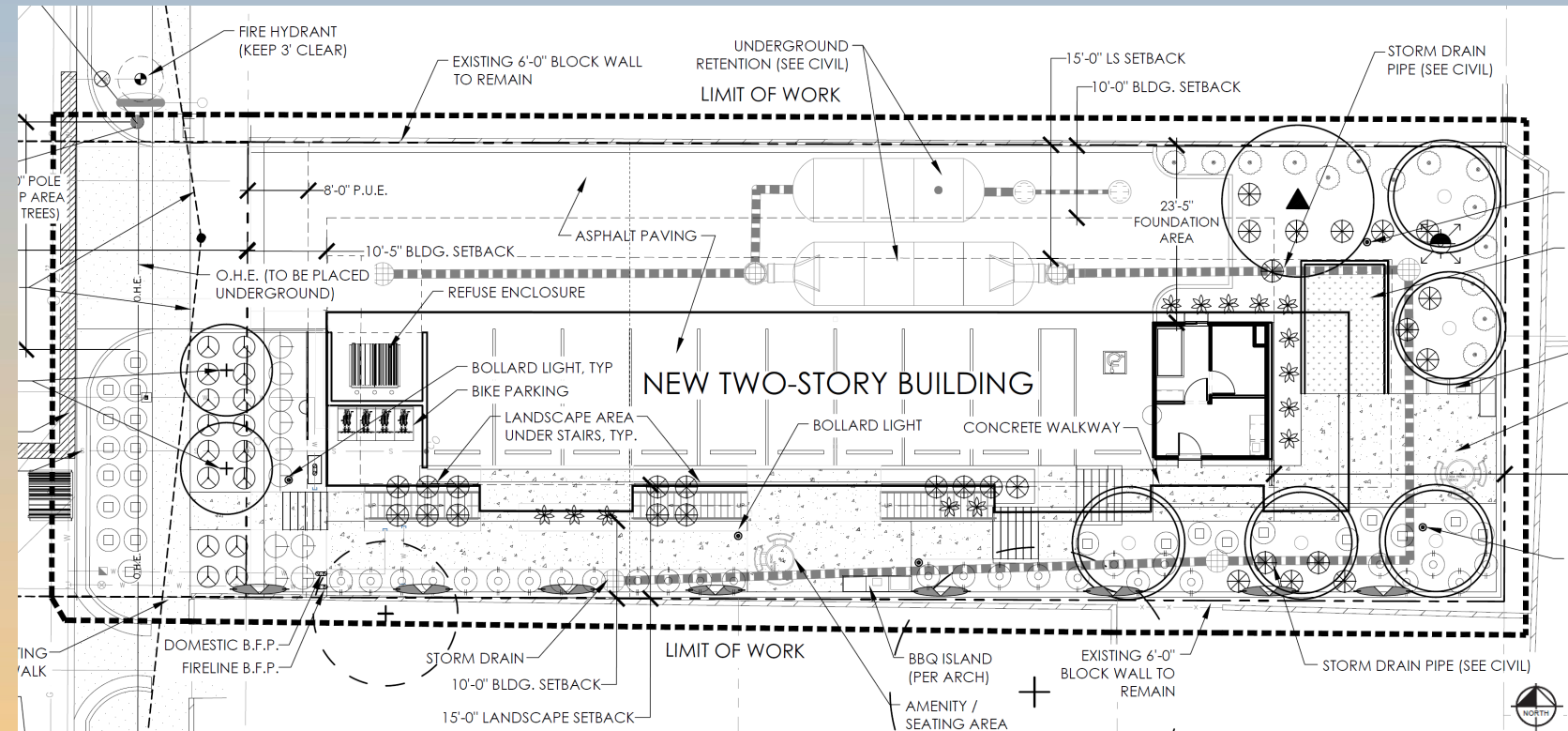




Landscape Plan

PLANT SCHEDULE *CAN BE PLANTED UNDER POWER LINES

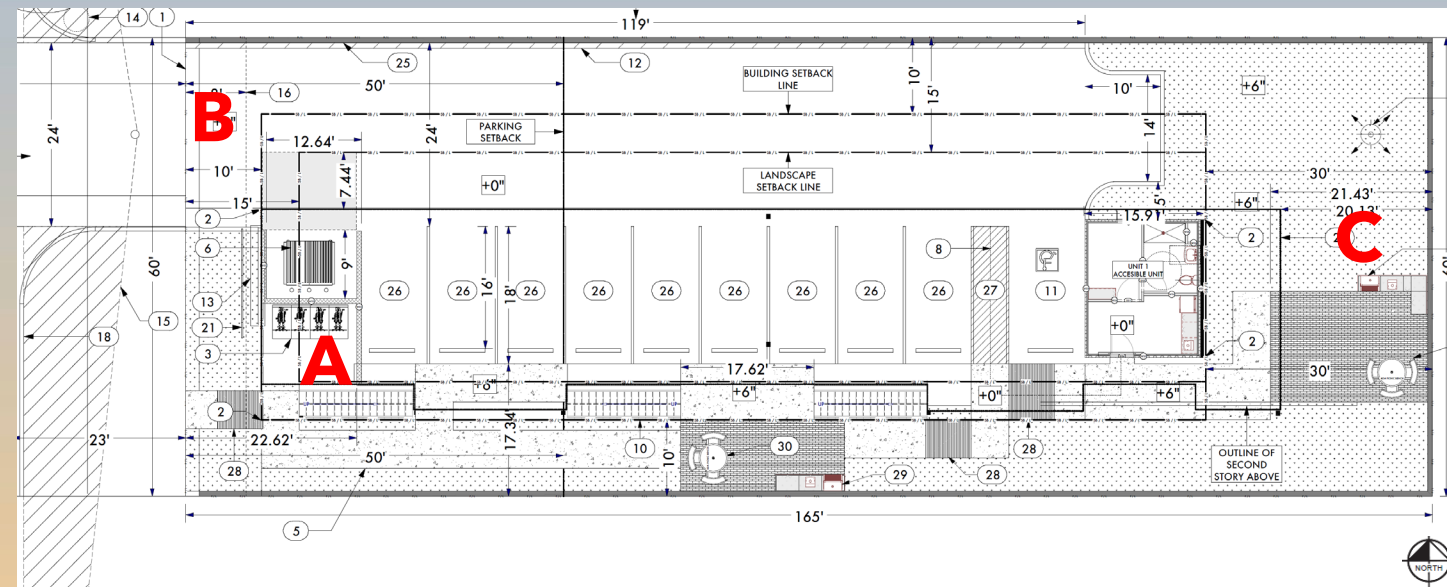
TREES		
TREES	SIZE / REMARKS	QTY
	LYSILOMA CANDIDA PALO BLANCO	36" BOX / STANDARD 5
	*PISTACIA LENTISCUS MASTIC TREE	36" BOX / STANDARD 2
	PROSOPIS SEEDLESS HYB 'AZT' SEEDLESS HYBRID MESQUITE	36" BOX, MULTI-TRUNK, MATCHED 1
ACCENTS		
ACCENTS	SIZE	QTY
	ALOE BARBADENSIS MEDICINAL ALOE	5 GAL 14
	FICUS PUMILA CREEPING FIG VINE	5 GAL / TRAIN TO WALL 8
	MUHLENBERGIA CAPILLARIS REGAL MIST DEER GRASS	5 GAL 16
	MUHLENBERGIA RIGENS DEER GRASS	5 GAL 29





Request Variances

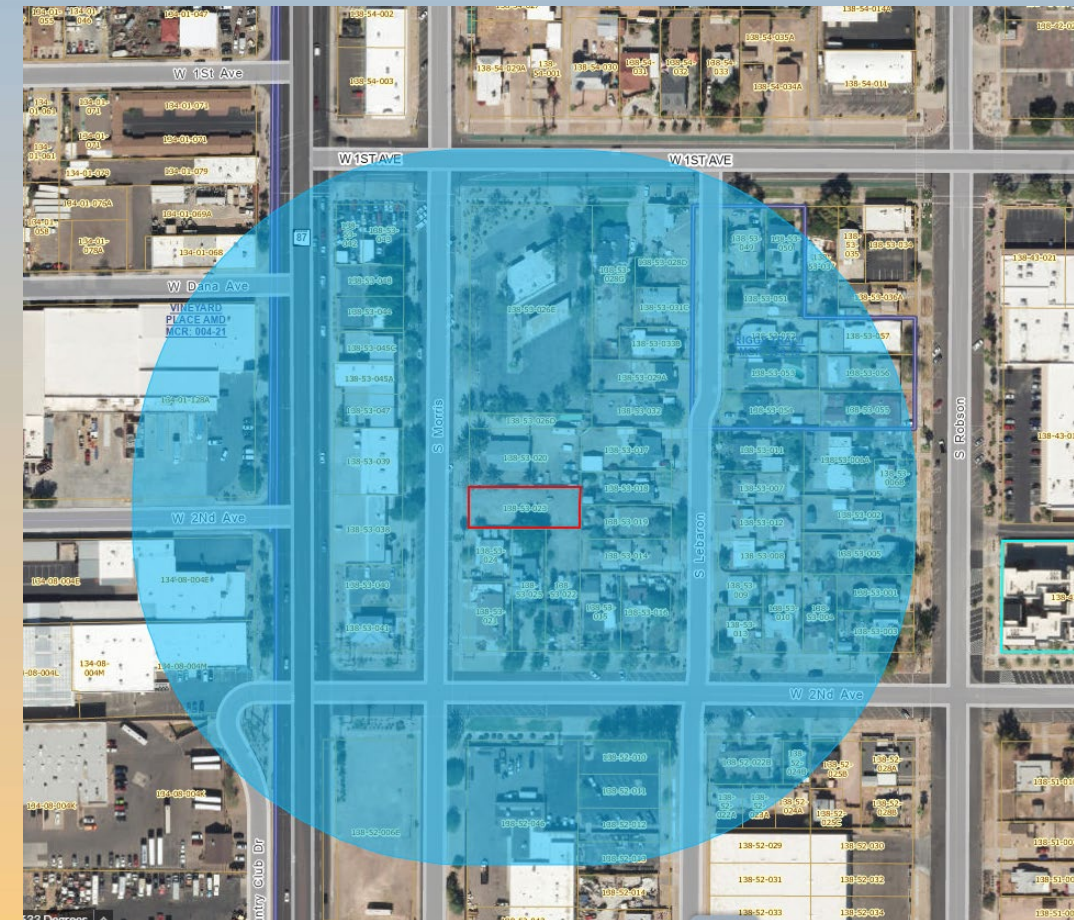
- Minimum setback of parking spaces from Property Line/ROW (**A**)
- Maximum width of Parking Access Drive (**B**)
- Minimum Rear Setback, Main Building (**C**)





Citizen Participation

- Notified property owners within 500 feet
- No feedback received





Approval Criteria

Section 11-80-3 Variance Criteria

- ✓ There are special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, and
- ✓ That such special circumstances are pre-existing, and not created by the property owner or appellant; and
- ✓ The strict application of the Zoning Ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district; and
- ✓ Any variance granted will assure that the adjustment authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.



Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with the Central Main Street Area Plan
- ✓ Meets the required findings for a Variance in Section 11-80-3 of the MZO

Staff recommends Approval with Conditions



Board of Adjustment

BOA24-00714



Board of Adjustment



BOA24-00889

Noah Bulson, Planning Technician

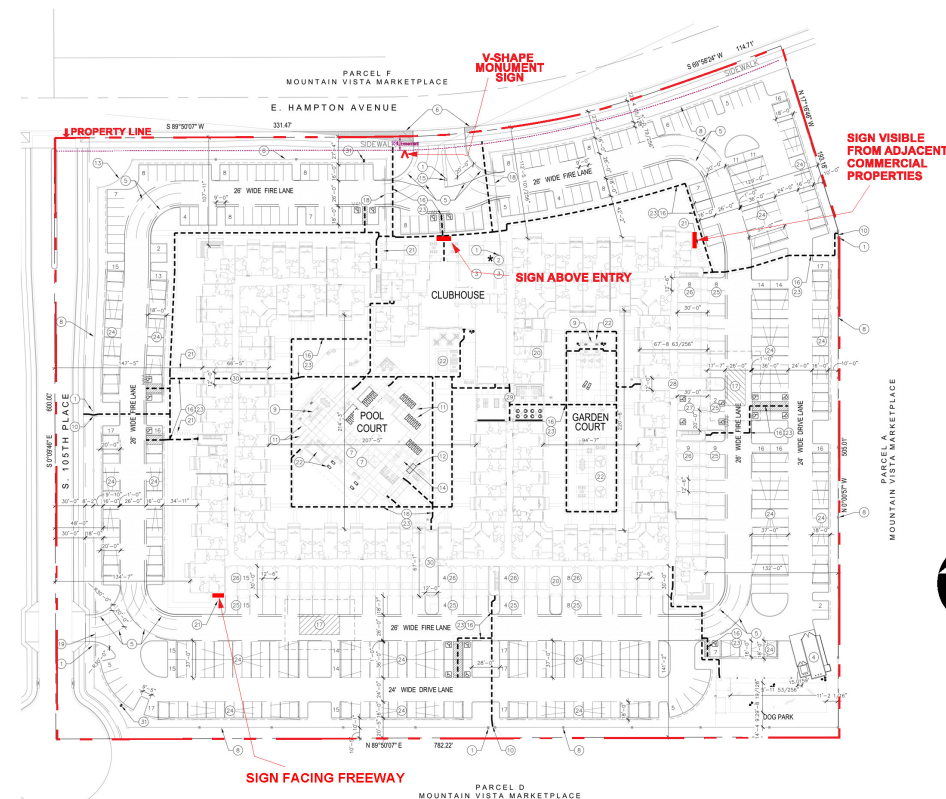
December 4, 2024



Request

- Special Use Permit (SUP) for a Comprehensive Sign Plan (CSP)

Preliminary Designs - Site Map Sign Locations



QUALITY. DESIGN. STRUCTURE.

Custom Architectural Signs

739 N. Cullen Way, St. Gilbert, Arizona 85233
480.943.0229 • ts&g.com

PROJECT NAME:

One @ Mountain Vista

CLIENT:

One @ Mountain Vista

DATE:

9.23.2021

PHASE OF COMPLETION:

CONCEPTUAL

REVISION

APPROVED DESIGN

SHOP DRAWING

REVISIONS:

1.

2.

3.

CLIENT APPROVAL:

SALES REP/DESIGNER:

Cassandra/Frankie

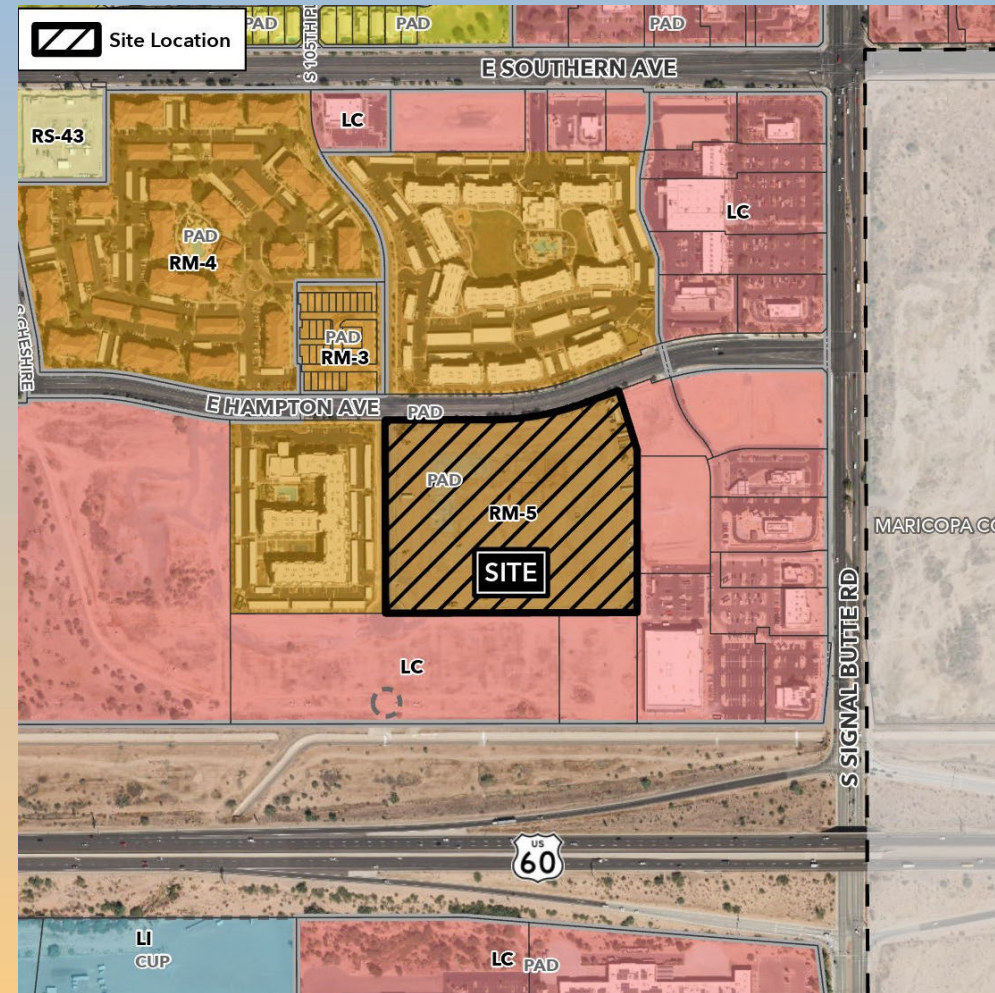


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Location

- South of Southern Avenue
- West of Signal Butte Road

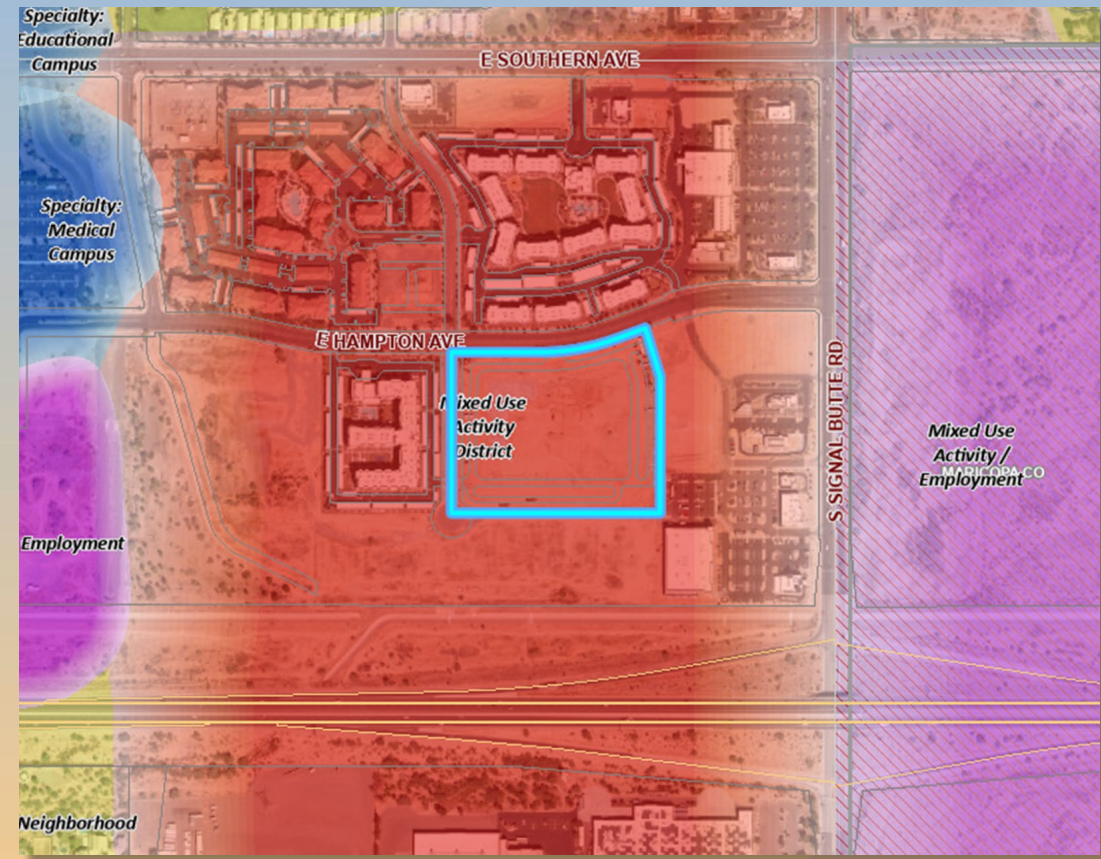




General Plan

Mixed Use Activity District

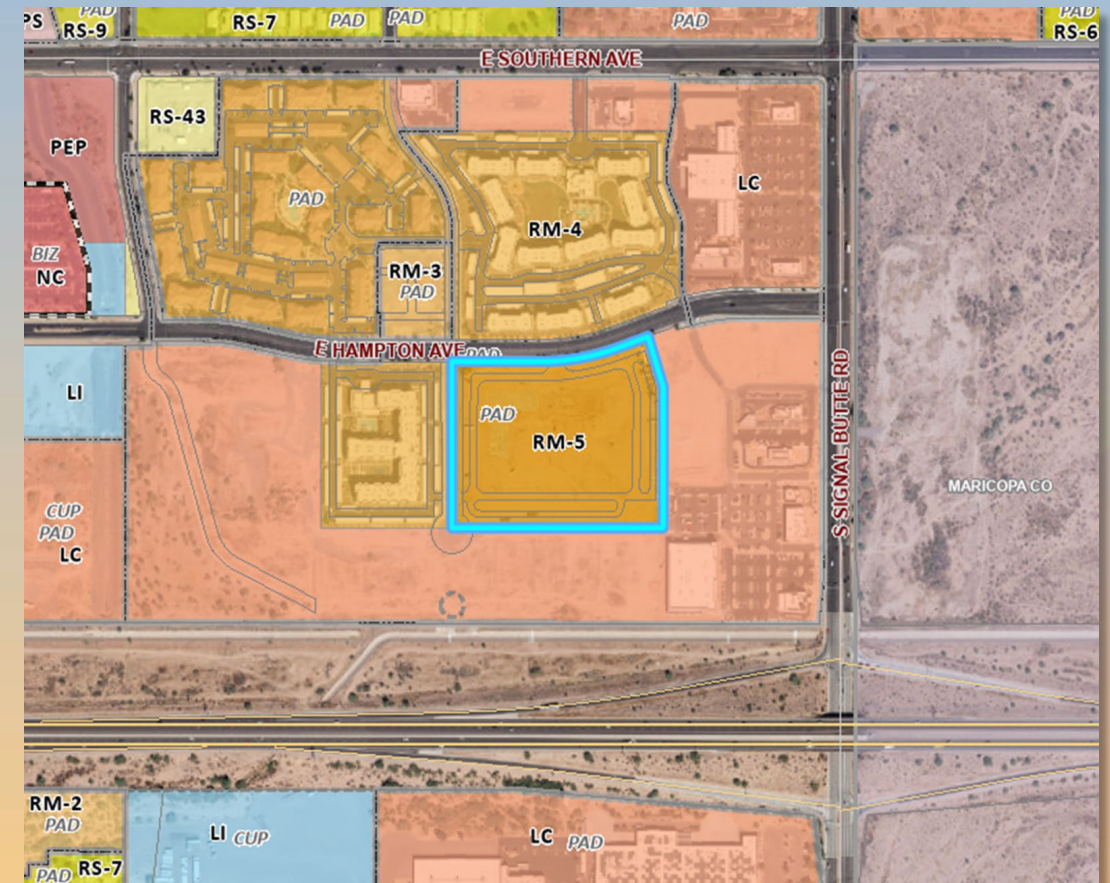
- Strong and viable centers of commercial activity





Zoning

- Multiple Residence 5 with two Planned Area Development Overlays (RM-5-PAD-PAD)

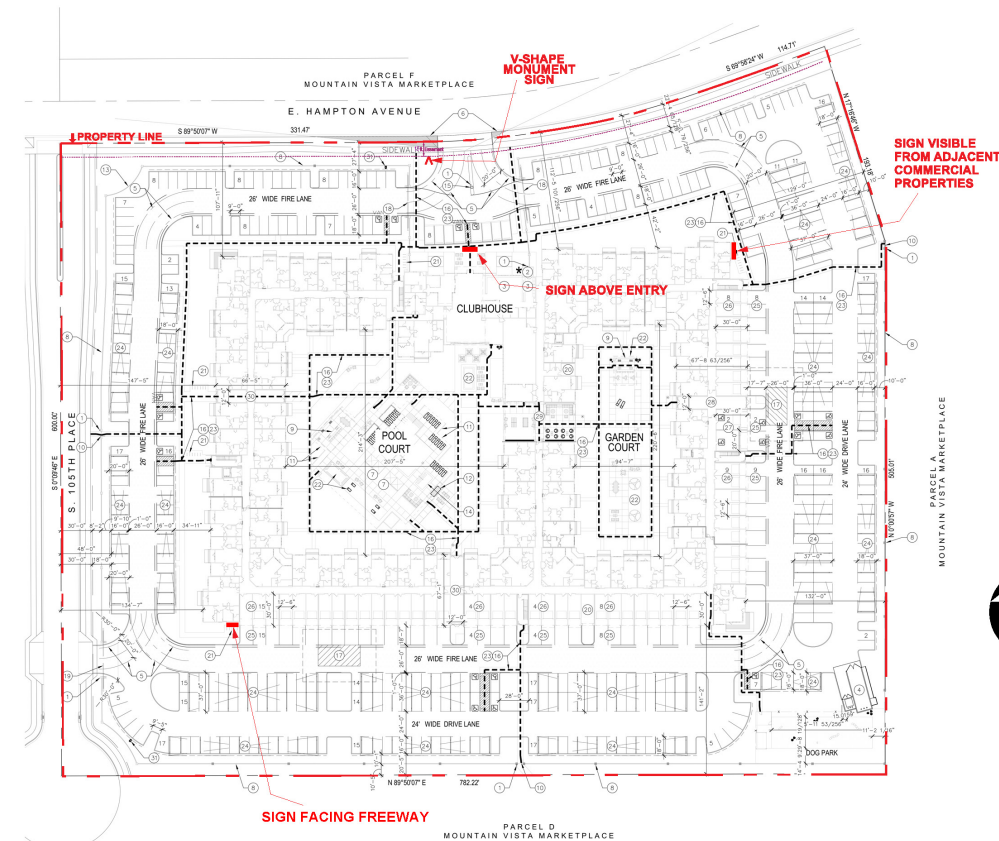




Sign Plan

- The applicant is proposing a new CSP that will allow for 1 detached monument sign and 3 attached building signs
- The proposed CSP requests deviation from sign allowances, sign area calculations, and sign illumination regulations.

Preliminary Designs - Site Map Sign Locations



QUALITY. DESIGN. STRUCTURES.
Custom Architectural Signs

729 N. Golden Key St. Gilbert, Arizona 85233
480.967.6229 • tsandg.com

PROJECT NAME:

One @ Mountain Vista

CLIENT:

One @ Mountain Vista

DATE:

9.23.2021

PHASE OF COMPLETION:

CONCEPTUAL

REVISION

APPROVED DESIGN

SHOP DRAWING

REVISIONS:

1.

2.

3.

CLIENT APPROVAL:

SALES REP/DESIGNER:

Cassandra/Frankie



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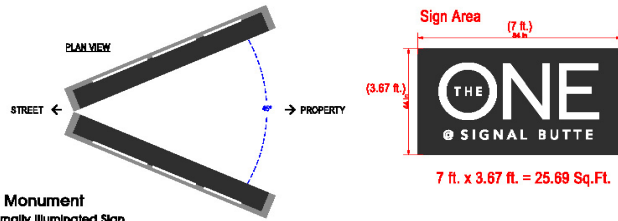
Deviation Requests

MZO	CSP Proposed	Staff Recommendation
<p><u>Table 11-43-3-B:</u></p> <p>2 signs per street front, attached or detached</p>	<p>4 signs total</p>	<p>As proposed</p>
<p><u>Table 11-43-3-B:</u></p> <p>1 sq. ft. of sign area per 5-lineal feet of street frontage up to a max. of 32 sq. ft.</p>	<p>Max of 107.03 square feet between 4 signs</p>	<p>As proposed</p>
<p><u>Table 11-43-3-B:</u></p> <p>Illumination is allowed if the sign is adjacent to an arterial or collector street.</p>	<p>Illumination permissible on all signage.</p>	<p>As proposed</p>

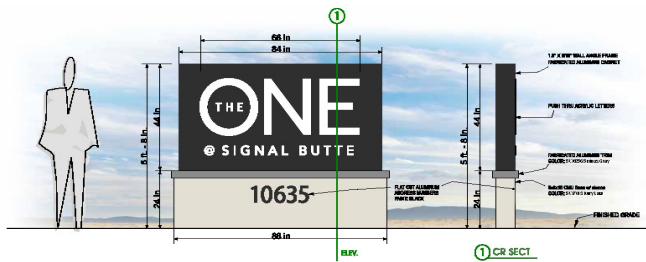


Elevations

ONE @ Signal Butte - Monument Sign Details
 Property Address: 10635 E Hampton Avenue Mesa, AZ 85209



V-Shape Monument
 Single Sided - Internally Illuminated Sign



- BASE COLOR:
 COLOR: SHERED - INKRYLAGE
- ALUMINUM CABINET:
 COLOR: SW 8284 - TROVORN BLACK
- ALUMINUM TRIM:
 COLOR: SW 9005 - SERRIOUS GRAY
- PUSH THRU LETTERS & GRAPHICS:
 COLOR: WHITE

T&G
 DESIGN CONSULTANTS
 211 S. Baseline Road, Suite 100
 Mesa, AZ 85204
 PROJECT NAME:
 ONE @ Signal Butte
 DATE:
 10.14.2024
 PHASE OF COMPLETION:
 CONCEPTUAL
 DESIGN
 APPROVED DESIGN
 PERMIT

Preliminary Designs - ID Wall Sign
 NORTH ELEVATION



OVERALL NORTH ELEVATION



Sign Area
 5.5625 ft. x 2.33 ft.
 = 13 Sq. Ft.

DESCRIPTION:

Face Lit "One" with Day/Night Vinyl, "THE" is Flat Cut Painted Aluminum, Bottom Bar has Push Thru Acrylic Face Lit " @ SIGNAL BUTTE"

COLOR OPTIONS DETAILS:



T&G
 DESIGN CONSULTANTS
 211 S. Baseline Road, Suite 100
 Mesa, AZ 85204
 PROJECT NAME:
 ONE @ Signal Butte
 DATE:
 5.16.2024
 PHASE OF COMPLETION:
 CONCEPTUAL
 DESIGN
 APPROVED DESIGN
 PERMIT

REVISIONS:
 1. 5.20.2024
 2. 10.4.2024
 3.
 CLIENT APPROVAL:
 NAME & PROFESSION:
 Camandra Franko

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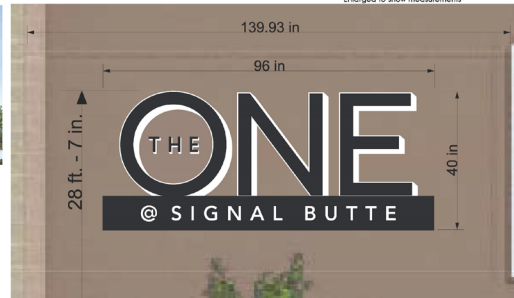
Elevations

Preliminary Designs - ID Wall Sign

EAST ELEVATION



Sign Area
8 ft. x 3.33 ft.
= 26.64 Sq. Ft.



*Enlarged to show measurements



DESIGN CONSULTING GROUP

11111 N. 19th Ave. Suite 1000
Phoenix, AZ 85024

PROJECT NAME

ONE @ Signal Butte

OWNER

Nalisa Holdings

DATE

5.16.2024

DESIGN COMPLETION

CONCEPTUAL

REVISION

APPROVED DESIGN

SIGN DRAWING

REVISIONS

1. 1.10.4.2024

2.

CLIENT APPROVAL

NAME REPRESENTING

Cassandra Frankle

DESCRIPTION:

Face Lit "One" with Day/Night Vinyl, "THE" is Flat Cut Painted Aluminum, Bottom Bar has Push Thru Acrylic Face Lit "@ SIGNAL BUTTE"

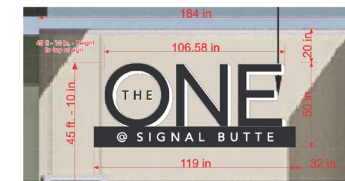
COLOR OPTIONS DETAILS:

White | Day/Night Vinyl | Sign Post

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Preliminary Designs - ID Wall Sign

SOUTH ELEVATION



Sign Area
9.92 ft. x 4.2 ft.
= 41.7 Sq. Ft.

*Enlarged to show measurements



DESIGN CONSULTING GROUP

11111 N. 19th Ave. Suite 1000
Phoenix, AZ 85024

PROJECT NAME

ONE @ Signal Butte

OWNER

Nalisa Holdings

DATE

5.16.2024

DESIGN COMPLETION

CONCEPTUAL

REVISION

APPROVED DESIGN

SIGN DRAWING

REVISIONS

1. 1.10.4.2024

2.

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NAME REPRESENTING

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COLOR OPTIONS DETAILS:

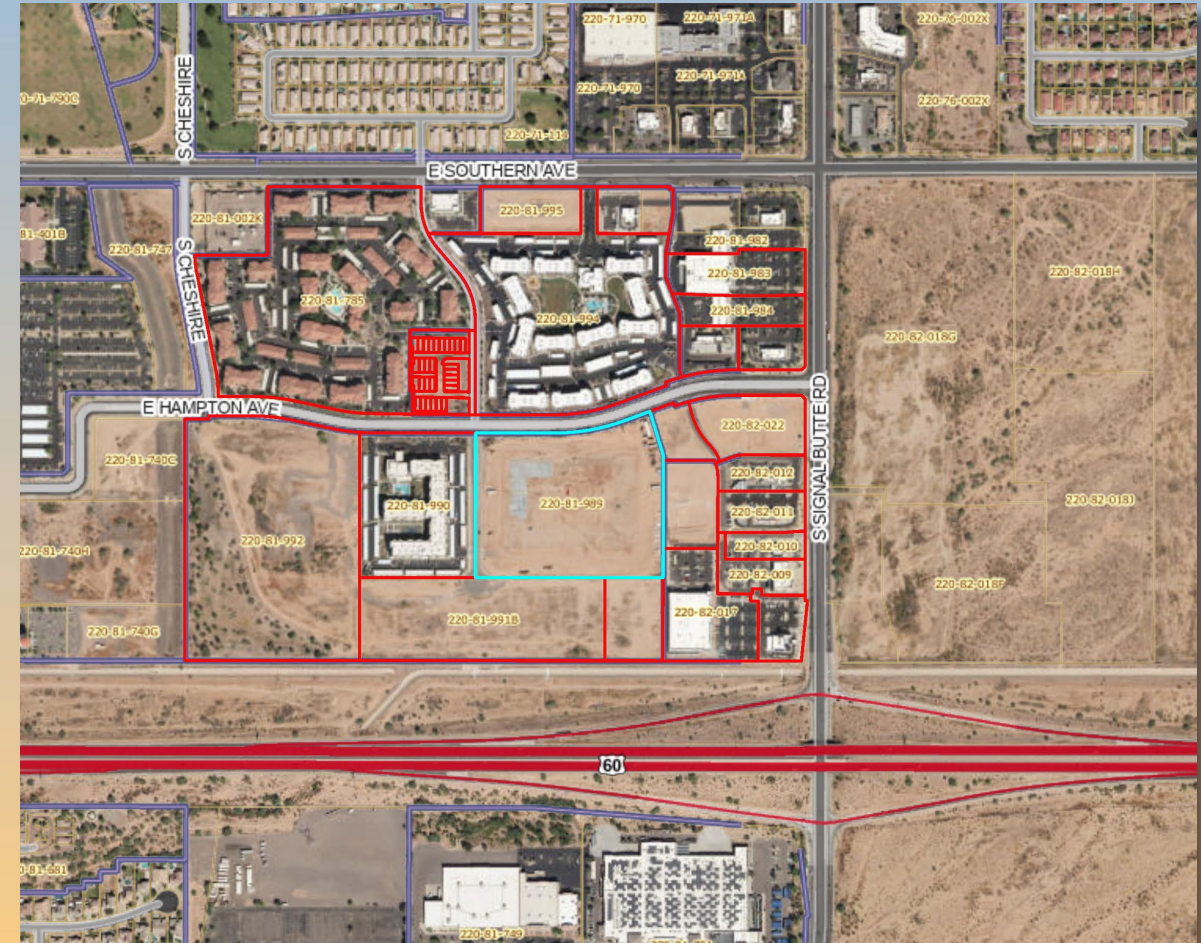
White | Day/Night Vinyl | Sign Post

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Citizen Participation

- Notified property owners within 500'
- Staff has not been contacted regarding this request.





Approval Criteria

Section 11-70-5(E) Special Use Required Findings

- ✓ Project will advance the goals and objectives of the General Plan and other City plans and/or policies;
- ✓ Location, size, design, and operating characteristics are consistent with the purposes of the district where it is located and conform with the General Plan and any other applicable City plan or policies;
- ✓ Project will not be injurious or detrimental to the surrounding properties, the neighborhood, or to the general welfare of the City; and
- ✓ Adequate public services, public facilities, and public infrastructure are available.



Approval Criteria

Section 11-46-3(D) CSP Review Criteria

- ✓ The site contains unique or unusual physical conditions that would limit or restrict normal sign visibility, or
- ✓ The development exhibits unique characteristics of land use, that represent a clear variation from conventional development, or
- ✓ The proposed signage incorporates special design features that reinforce or are integrated with the building architecture.



Findings

- ✓ Complies with the 2040 General Plan
- ✓ Meets required findings and review criteria for Sections 11-70-5(E) and 11-46-3(D) of the MZO

Staff recommend Approval with Conditions



Board of Adjustment



Board of Adjustment



BOA24-00893

Tulili Tuiteleleapaga-Howard, Planner I

December 4, 2024



Request

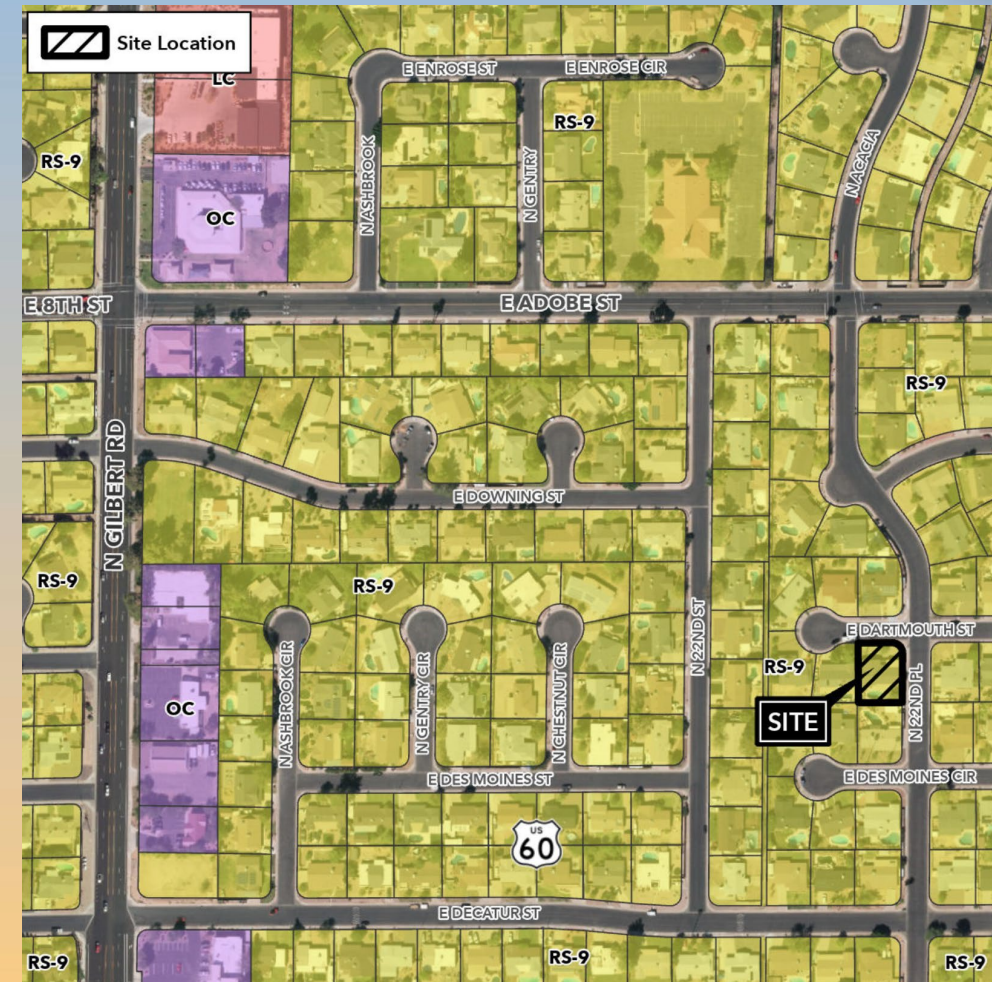
- Special Use Permit to allow an addition to extend into a nonconforming yard





Location

- 2221 East Dartmouth Street
- East of Gilbert Road and north of University Drive





General Plan

Neighborhood

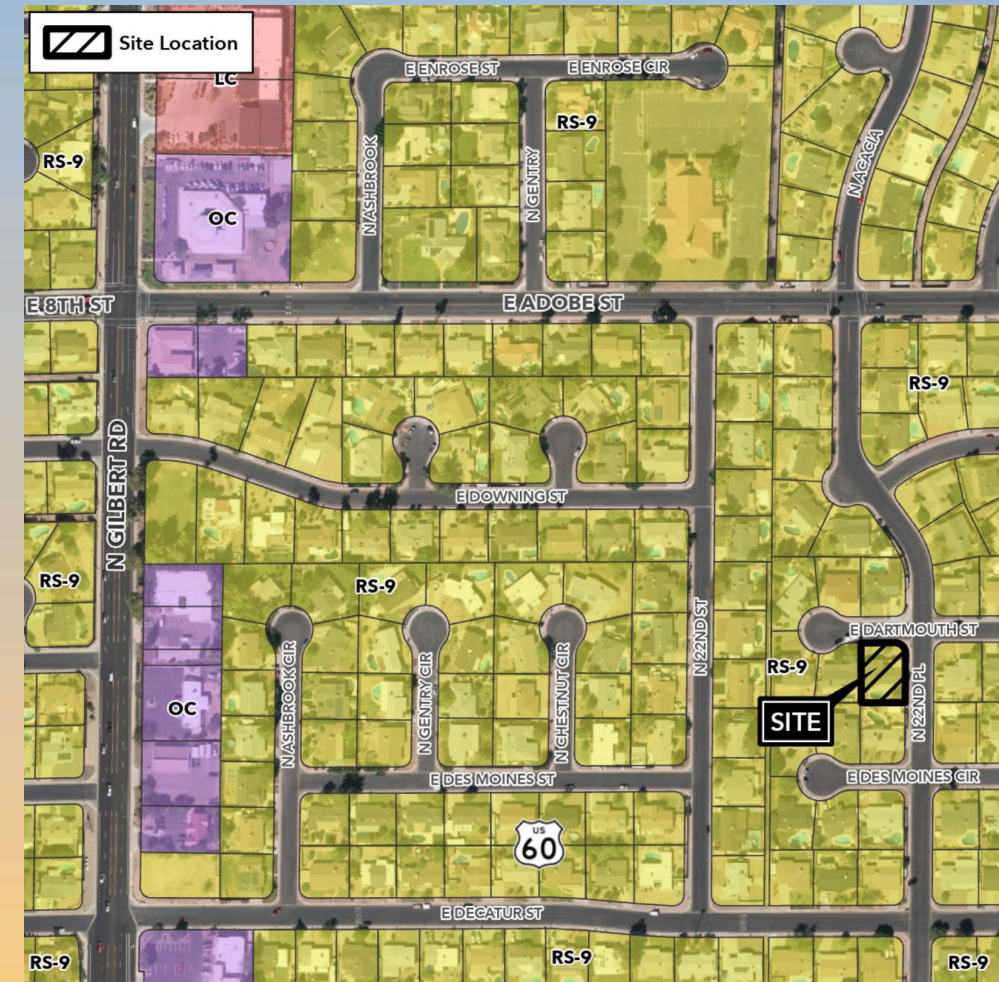
- Safe places for people to live with wide range of housing options allowed





Zoning

- Single Residence-9 (RS-9)





Site Photos

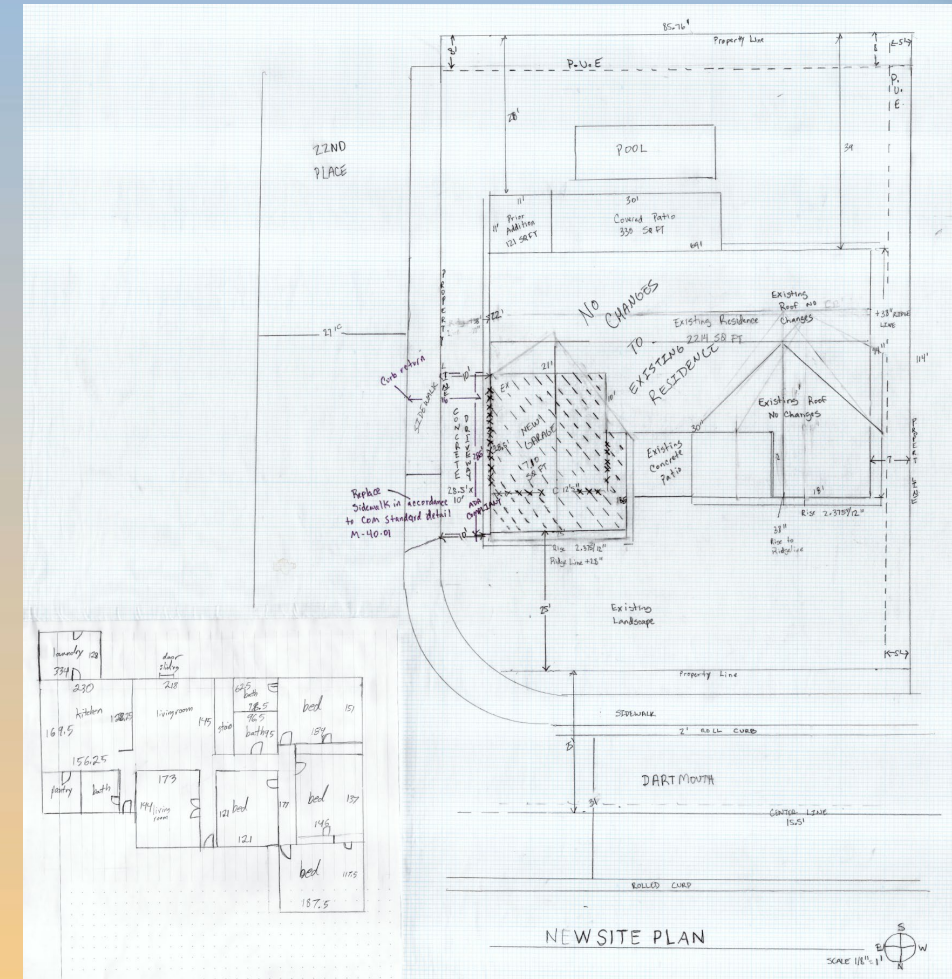


Looking south from Dartmouth St



Site Plan

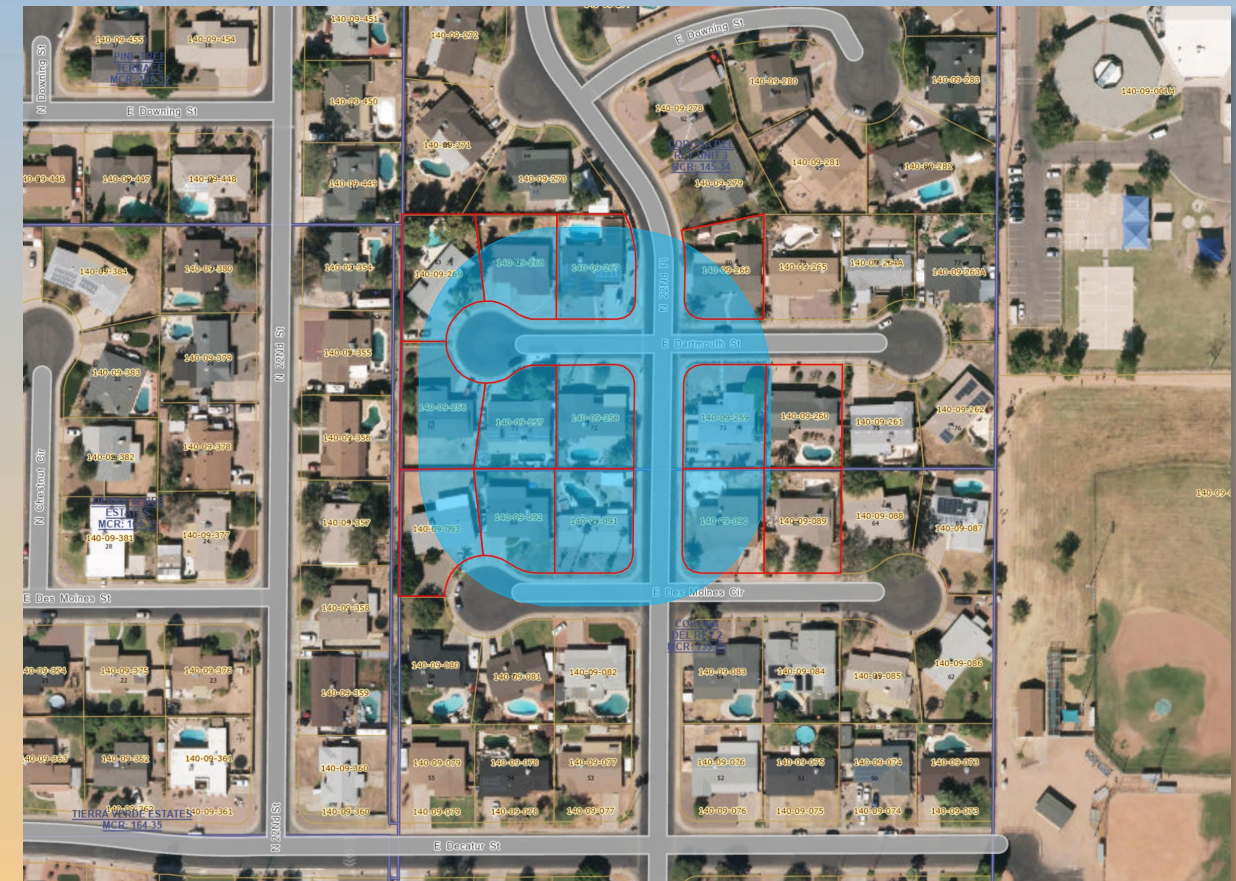
- Existing 441 square foot carport
- 269 square foot proposed addition to the carport to be converted to a 710 square foot garage





Citizen Participation

- Notified property owners within 150 feet
- Staff has received no correspondence regarding the proposal





Approval Criteria

Section 11-70-5 Special Use Permit Criteria

- ✓ #1 Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plans and/or policies;
- ✓ #2 The location, size, design, and operating characteristics of the proposed project are consistent with the purpose of the district where it is located and conform with the General Plan and any other applicable plans and/or policies;
- ✓ #3 The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, the greater neighborhood, or the general welfare of the City; and
- ✓ #4 Adequate public services, public facilities and public infrastructure are available to serve the proposed project



Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Meets required findings for a Special Use Permit in Section 11-70-5 of the MZO

Staff recommends Approval with Conditions



Board of Adjustment