

OCTOBER 18 / 2024

Chloe Durfee Daniel
City of Mesa Planning Division
55 N. Center Street
Mesa, AZ 85201

RE: MPCA AZ4 Expansion
Mitsubishi Pure Chemicals America, Inc.
6560 S. Mountain Road
Mesa, Arizona 85212
Gray Project No. 2024045

Project Narrative

This project is an expansion to an existing chemical manufacturing facility at 6560 S. Mountain Rd owned and operated by MGC Pure Chemicals America, Inc. (MPCA) consisting of 16 structures totaling approximately 58,700 square feet. The structures house chemical processing equipment and various chemical storage tanks associated with the manufacturing process, which is to produce super-pure hydrogen peroxide and super-pure ammonium hydroxide. The structures vary in height, and are a mixture of pre-engineered metal buildings and conventional steel structures. The primary façade materials will include insulated metal wall panels, perforated metal screening panels, split-face masonry and metal wire mesh, specifically for the open-air structures sheltering the storage tanks. The project will also include an exterior steel pipe bridge carrying process piping between the new buildings, additional parking and truck/fire apparatus access roads, and additional outdoor ISO container storage on the southern side of the property. The property itself is zoned as Heavy Industrial as well as Heavy Industrial with a Planned Area Development Overlay (HI and HI PAD), and is approximately 20 acres.

Special Use Permit

The project will require a Special Use Permit due to exceeding the height limitation of 50'-0" specified in Table 11-7-3 of the Mesa Zoning Ordinance. The additional height for buildings B-14, B-15, B-17 and B-18 is due to two main factors. The first is to accommodate the required tanks, piping and other equipment that will be necessary for the chemical manufacturing process. The second factor is related to the roof articulation requirements found in MZO 11-7-3. In order to comply with these requirements, a certain degree of vertical modulation is required, which in turn has increased the overall height of the structures on the site. We believe that this SUP request satisfies the criteria listed in MZO 11-70-5.E for the reasons outlined below.

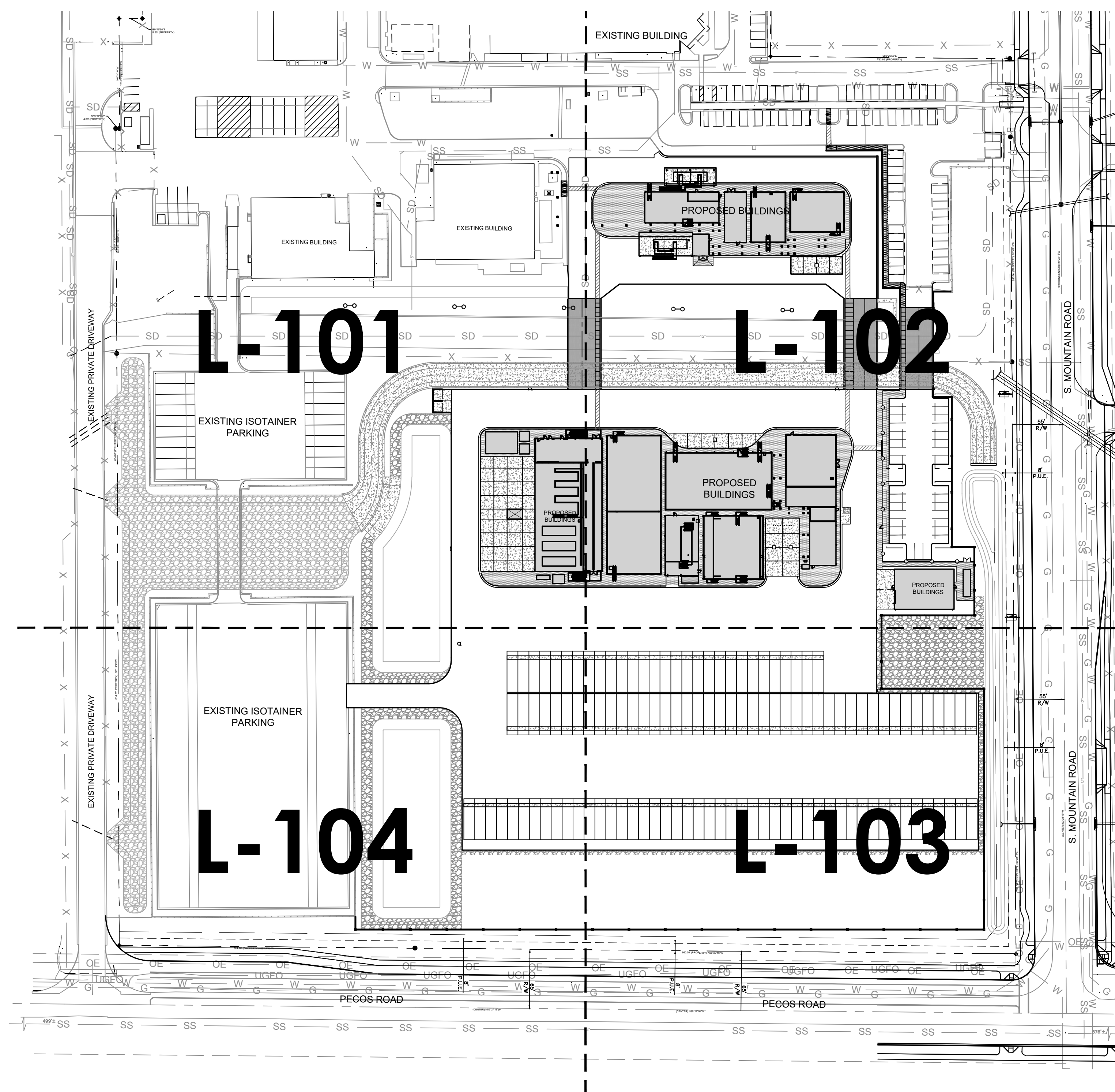
- MZO 11-70-5.E.1
 - The project should advance certain goals/objectives mentioned in the General Plan, including:
 - LU4: "Create design and development standards that improve the City's visual quality, urban form, and function to enhance the quality of life for current and future generations."
 - Through an elevated level of design along Mountain Road, the proposed project will help to elevate the local area
 - ED1: "Attract businesses and employers that provide jobs and wages at or above the regional average."
 - The proposed project is an expansion to an existing industrial facility, and will generate new jobs and encourage MPCA to continue operations in the area for the foreseeable future

- The principal activity that will occur on the site (chemical manufacturing) is consistent with the HI district in which the site is located
- The proposed buildings and site development are consistent with the City's "Evolve" goal for the area (Figure 5 on page 72 and "Urban Design Characteristics" section on page 100) due to the elevated design standards that the project will follow.
- MZO 11-70-5.E.2
 - The operating characteristics, size and overall design of the project are consistent with the zoning of the site (HI)
 - The design, size, location and operating characteristics of the project are consistent with the General Plan, as previously described in the justification of MZO 11-70-5.E.1 above.
- MZO 11-70-5.E.3
 - The proposed project is not injurious or detrimental to the adjacent and surrounding properties.
 - The manufacturing activities of the project are consistent with the industrial area that it is located in.
 - The proposed project will not be injurious or detrimental to the neighborhood or the City.
 - The proposed project has the potential to improve the design characteristics of the area, particularly on Mountain Road, and through that, contribute positively to the City and the goals/objectives of the General Plan, as already described above.
- MZO 11-70-5.E.4
 - There will be adequate public services, public facilities and public infrastructure available to serve the project.
 - Aerial fire apparatus access roads are being provided in the proposed design
 - Existing infrastructure, including water, natural gas, electricity, internet and sewer, are already present in the area
 - The proposed project is within 6 miles of a police station (Queen Creek Police Department), fire station (Fire Station 221) and hospital (Dignity Health - Arizona General Hospital Mesa).

The project team would also like to make an Alternative Compliance request as outlined in MZO 11-7-3-B.6. Refer to the included written request document for further information.

10/21/2024





LANDSCAPE COVER SHEET



Ref. North NOT TO SCALE

GENERAL NOTES:

1. ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE, SIZE AND COLOR AS NOTED IN LEGEND, 2" DEPTH, TYP. APPLIED OVER PRE-EMERGENT PER MFG. SPECS, 2 APPLICATIONS, MIN.
2. VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDDING/ INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION, IN WRITING.
3. NO PLANT SUBSTITUTION ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
4. LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
5. LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT HE/SHE DEEMS UNACCEPTABLE.
6. FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
7. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
8. PLANT LIST/QTY'S PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS TAKE PRECEDENCE.
9. FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
10. GROUND COVER AND/OR DG SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
11. ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
12. ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
13. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVEING WHETHER IT IS SHOWN ON THE PLANS OR NOT.
14. LANDSCAPE CONTRACTOR RESPONSIBLE TO DEMO ALL EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN.

EXIST. CONDITIONS GENERAL NOTES

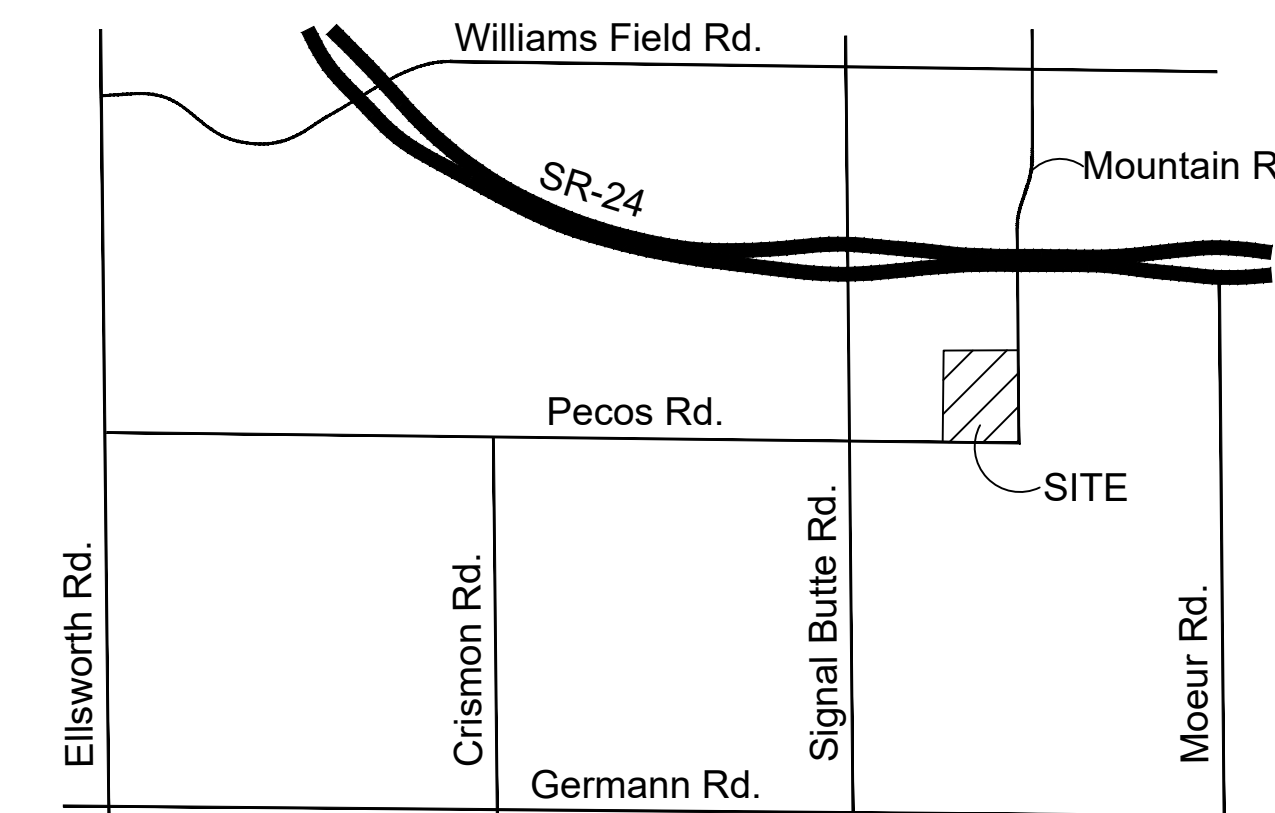
1. ALL PLANT MATERIAL DESIGNATED AS "EXISTING TO REMAIN" SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY TREE THAT DIES DUE TO LACK OF WATER, MAINTENANCE OR CARE, NEGLIGENCE OR VANDALISM SHALL BE REPLACED BY LIKE TYPE AND SIZE TREE AT NO ADDITIONAL COST TO THE OWNER. ALL SHRUBS/GCOVERS SHALL BE REPLACED W/ 5 GAL PLANTS. LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION SHALL BE REPLACED W/ NEW DG MATCHING EXISTING. BLEND ALL DISTURBED AREAS SO THERE IS SMOOTH TRANSITION BETWEEN ALL EDGES.
2. ANY/ALL BROKEN HEADERS TO BE REPLACED.
3. ALL EXISTING PLANT MATERIAL AND ADJACENT PLANT MATERIAL SHALL HAVE UNINTERRUPTED WATERING DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO; HAND WATERING, TRUCK WATERING, TEMPORARY SYSTEM, ETC.
4. THE EXISTING IRRIGATION SYSTEM SHALL BE PROTECTED, MAINTAINED AND REPAIRED DURING ALL PHASES OF CONSTRUCTION. THE EXISTING SYSTEM IS TIED TO ADJACENT PROPERTIES. ALL EQUIPMENT SUCH AS MAINLINE, WIRES, LATERALS, HEADS, EMITTERS, ETC SHALL BE REPAIRED/REPLACED AS REQ TO MAINTAIN CONTINUOUS WATER.
5. ALL EXISTING TREES TO REMAIN SHALL BE SELECTIVELY PRUNED PER LANDSCAPE ARCHITECT DIRECTION.

CITY NOTES:

1. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC.... ARE TO BE REMOVED FROM THE PROJECT AREA AND DISPOSED OF PROPERLY OFFSITE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN SCARIFY EXISTING SUBGRADE, TO A MINIMUM 8-INCH DEPTH.
2. SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE MADE SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE AND INCORPORATE SUCH ADDITIVES PRIOR TO OR AT THE TIME OF PLANTING.
3. CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT NAME OF PLANT LEGEND ITEM NUMBER FROM PLANS.
4. CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION (480-644-2253) 24-HOURS IN ADVANCE FOR APPROVAL OF STAKED PLANT LOCATIONS.
5. PLANT PITS MUST BE INSPECTED BY CITY LANDSCAPE INSPECTOR PRIOR TO PLANTING BY CONTRACTOR. CONTRACTOR TO REQUEST INSPECTION 48-HOURS IN ADVANCE.
6. WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY (1/3) ONE-THIRD OVER SPECIFICATION, AND A LIQUID PENETRATE, "AL-KALICHE" OR APPROVED EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL ALSO COMPLY WITH SOIL TEST RECOMMENDATIONS.
7. ALL TOP SOIL MIXTURE FOR PLANTS SHALL BE FREE OF GRASS AND NOXIOUS WEEDS. SEE SECTION 795 OF THE M.A.G. SPECIFICATIONS.
8. PLANT SOIL MIXTURE SHALL CONSIST OF 3 1/2-PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6-INCH LIFTS. EACH LIFT SHALL BE WATER SETTLED, WITHOUT PUDDLING.
9. ALL PLANT MATERIAL SHALL CONFORM TO GRADING, TYPE, ETC..., AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS.
10. THE CITY OF MESA RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINER TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS FOR CONDITIONS WHICH MAY DESTROY ROOT BALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST.
11. 120 VOLT POWER FOR SPRINKLER SYSTEM CONTROLLER IS TO BE ORDERED FROM APPROPRIATE POWER UTILITY BY CONTRACTOR. CONTRACTOR ACTS AS OWNER AND PAYS RELATED COSTS. IF METER IS INSTALLED, METER IS TO BE IN CONTRACTOR'S NAME UNTIL FINAL APPROVAL AND/OR ACCEPTANCE OF THE PROJECT AND THEN TRANSFERRED TO THE MAINTAINING PARTY.
12. THE CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND LABOR NECESSARY TO INSTALL THE COMPLETE AUTOMATIC SPRINKLER SYSTEM INCLUDING THE WATER SERVICE AND METER. THE CONTRACTOR SHALL ORDER THE WATER METER AND PAY ALL RELATED CHARGES AT THE PUBLIC WORKS SERVICES. THE CITY MAY INSTALL THE WATER SERVICE AND METER AND CHARGE THE CONTRACTOR AT THE CITY'S DISCRETION.
13. THE PLANT GUARANTEE AND MAINTENANCE SHALL BE AS PER SECTION 430.8 OF M.A.G. SPECIFICATIONS UNTIL PROJECT APPROVAL AND/OR ACCEPTANCE.
14. UNLESS SPECIFIED ON THE PLANS FOR REMOVAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 1. DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC....
 2. DAMAGES TO UTILITIES CAUSED AS A RESULT OF HIS WORK.
 3. INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING BID.
15. THE CONTRACTOR SHALL MAINTAIN UNCOVERED, ALL EXISTING UTILITY COVERS, BOXES, LIDS, AND MANHOLES.
16. ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED IN THE PLANS OR IN THE SPECIFICATION WHICH ARE REQUIRED TO COMPLETE THE INSTALLATION, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF HIS CONTRACT WORK.

CITY LANDSCAPE NOTES:

1. REQUIRED TREES SHALL BE MINIMUM SIZE AS SPECIFIED IN THE ARIZONA NURSERY ASSOCIATION "RECOMMENDED TREE SPECIFICATIONS" LATEST EDITION. 11-33-2(B)
2. ALL LANDSCAPE MATERIAL INSTALLED SHALL BE MAINTAINED BY OWNER /OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. 11-33-2(I)
3. A "NATURAL" LANDSCAPE MAINTENANCE PROGRAM IS TO BE UTILIZED AND THE LANDSCAPE SHALL BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPING INDUSTRY. 11-33-2(I)4
4. PLANT MATERIAL WITHIN THE SIGHT DISTANCE TRIANGLE SHALL NOT EXCEED 30-INCHES IN HEIGHT AT FULL MATURITY. 1105.4 TREES PLANTED WITHIN THE SIGHT DISTANCE TRIANGLES SHALL BE 24-INCH TO 42-INCH BOX SPECIMENS WITH NO BRANCHES LOWER THAN 8- FEET ABOVE THE SIDEWALK ELEVATION, AND 14- FEET OVER VEHICULAR TRAFFIC WAYS.
5. REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT A PART OF THE LANDSCAPING DESIGN. 11-33-2(A)
6. BACKFLOW PREVENTERS 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE MATERIAL LOCATED WITHIN A 6' RADIUS OF THE BACKFLOW PREVENTERS. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET AND PAINTED GREEN. (THE POLICE DEPARTMENT'S CRIME PREVENTION DIVISION HAS REQUESTED THE CHANGE TO GREEN TO DISCOURAGE THEFT.) [PAGE 20]



VICINITY MAP
SCALE: N.T.S.

LANDSCAPE / PLANTING CALCULATIONS:

	TOTAL TREES	36" TREES	24" BOX	15 GALLON TREES	5 GALLON SHRUBS
MOUNTAIN RD FRONTAGE REQUIREMENTS - 982 L.F.	39 TREES REQUIRED	10 TREES REQUIRED	20 TREES REQUIRED	REMAINDER REQ.	236 SHRUBS REQUIRED
1 TREE/ 6 SHRUB PER 25 L.F.	49 TREES PROVIDED	12 TREES PROVIDED	37 TREES PROVIDED	N / A	239 SHRUBS PROVIDED
PECOS RD FRONTAGE REQUIREMENTS - 985 L.F.	39 TREES REQUIRED	10 TREES REQUIRED	20 TREES REQUIRED	REMAINDER REQ.	236 SHRUBS REQUIRED
1 TREE/ 6 SHRUB PER 25 L.F.	44 TREES PROVIDED	17 TREES PROVIDED	27 TREES PROVIDED	N / A	276 SHRUBS PROVIDED
PARKING LOT REQUIREMENTS	19 TREES REQUIRED	4 TREES REQUIRED	REMAINDER REQ.		57 SHRUBS REQUIRED
1 TREE / 3 SHRUB PER ISLAND	19 TREES PROVIDED	9 TREES PROVIDED	10 TREES PROVIDED	N / A	63 SHRUBS PROVIDED

DOC. REL.#	DATE	DESCRIPTION
8	08/21/2024	PERMIT DOCUMENTS
10	09/23/2024	PERMIT DOCUMENTS
	10/18/2024	PERMIT DOCUMENTS



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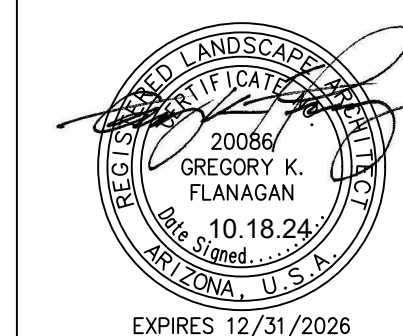
GRAY AE, PSC
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Lexington, Kentucky 40507-1450
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Facsimile: (859) 252-5300



4626 N. 44th Street
PHOENIX, AZ 85018
602 . 912 . 9691
602 . 912 . 9693 fax

POLLUTANT FROM OWNER'S OPERATIONS. CUSTOMER'S KNOWLEDGE OF ITS ACTIVITIES SHALL BE CONSIDERED TO WITHIN THE SPECIFICITY TO BE DESIGNED BY GRAY AND CONFIRMED BY GRAY AND THE MATERIALS AND METHODS TO BE SUPERVISOR TO GRAY'S KNOWLEDGE. ACCORDINGLY, ANY AND ALL INFORMATION CONTAINED IN THIS CONTRACT DOCUMENT IS TO BE CONSIDERED AS GRAY'S OWN. ANY AND ALL INFORMATION CONTAINED HEREIN SHALL NOT APPLY TO THE DISCHARGE, DISPERSAL, ESCAPE, RELEASE OR SATURATION OF ANY POLLUTANT INTO THE AIR OR WATER OR ANY BODY OF WATER OR ON, INTO, UPON, IN OR INTO THE SURFACE OR SUBSURFACE OF LAND. FOR PURPOSE OF THIS SECTION, THE WORD "POLLUTANT" SHALL MEAN AND INCLUDE: LIQUID, GASEOUS, OR THERMAL EFFLUENT OR CONTAMINANT, INCLUDING BUT NOT LIMITED TO: SMOKE, VAPOR, SOOT, FUMES, ACIDS, ALKALIS, CHEMICALS AND WASTE AND SHALL INCLUDE ANY HAZARDOUS SUBSTANCE. THE CAPACITY OF THE FACILITY AND THE DESIGN OF ANY OF ITS PARTS, SO AS TO PREVENT THE ESCAPE, RELEASE, DISCHARGE, DISPERSAL OR SATURATION OF POLLUTANTS SHALL BE THE SOLE RESPONSIBILITY OF THE CUSTOMER.

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CORP. SEAL

A NEW MANUFACTURING FACILITY EXPANSION FOR MPCA - AZ4
6560 S. Mountain Rd., Mesa, AZ 85212

LANDSCAPE COVER

JOB NUMBER
2024045

SHEET NUMBER
L-100

FINAL: FOR DESIGN REVIEW
BOARD APPROVAL 11/12/2024



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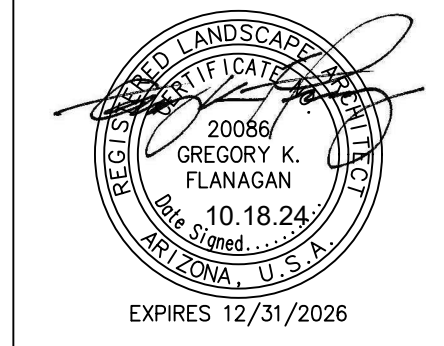
G.K. FLANAGAN
ASSOCIATES

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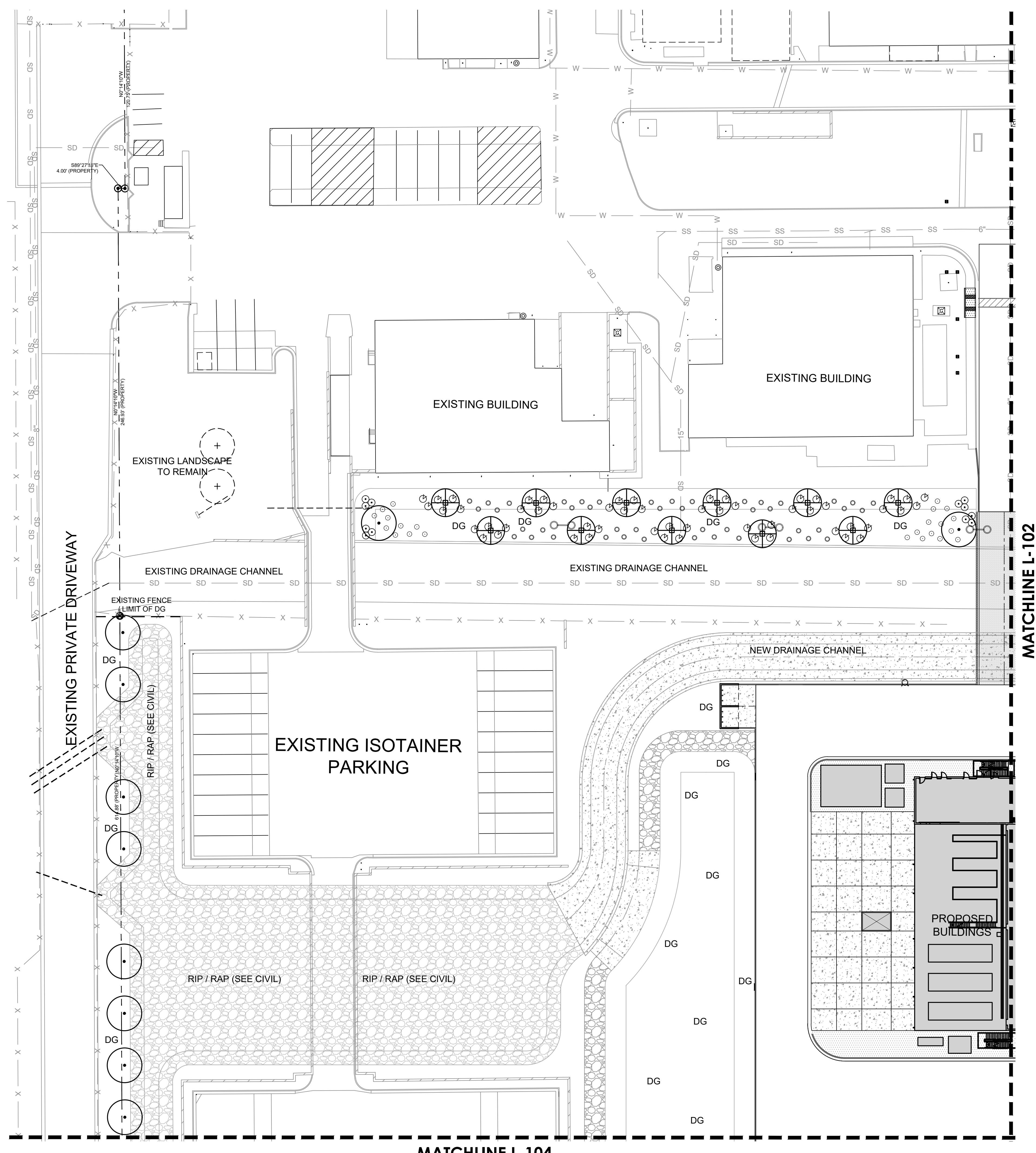
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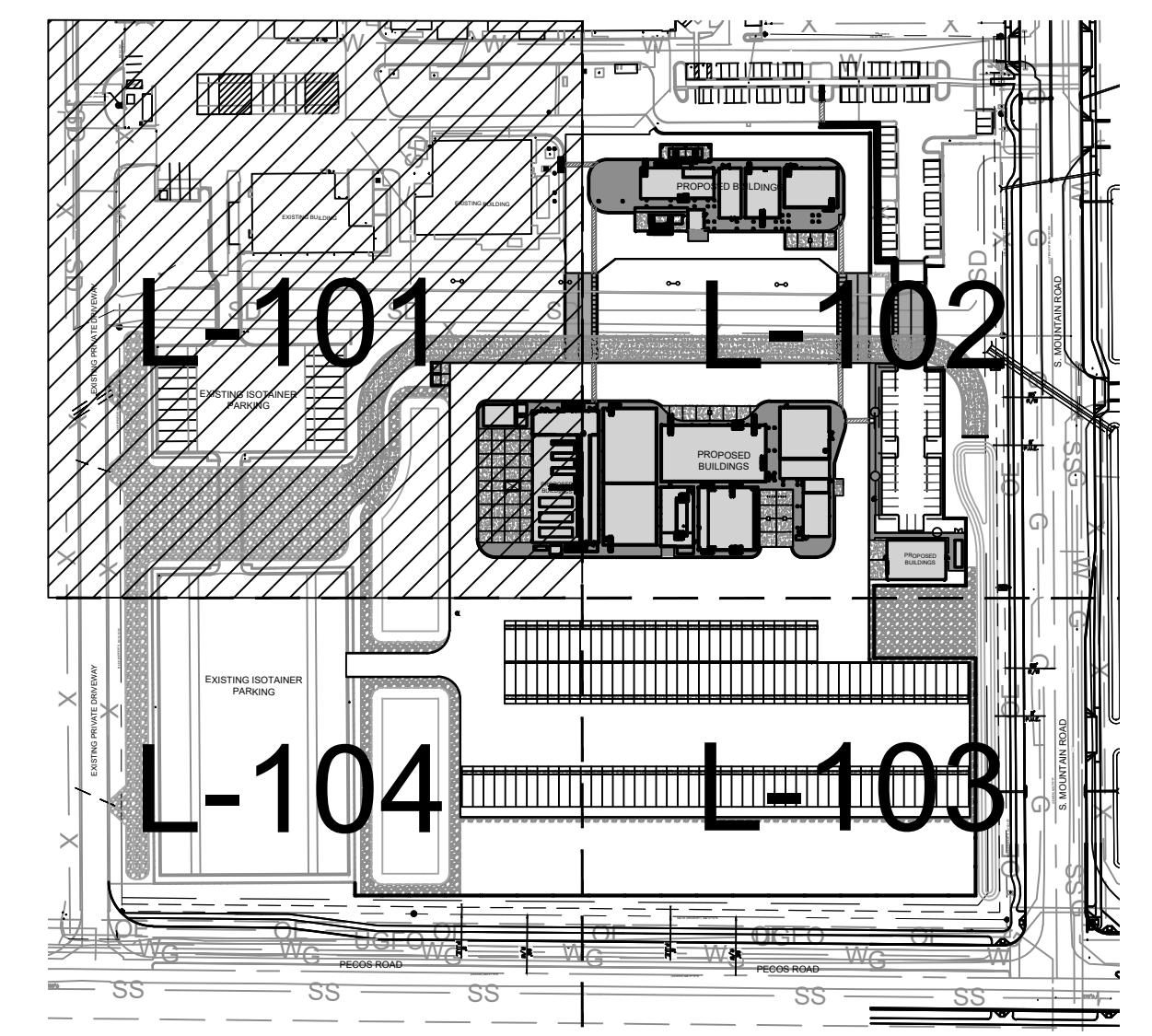
PLANTING PLAN

JOB NUMBER	SHEET NUMBER
2024045	L-101



PROPOSED PLANT PALETTE

TREES	SIZE/COMMENTS
EXISTING TREE (TO REMAIN)	N/A
CERCIDIUM FLORIDUM BLUE PALO VERDE	36" BOX / LOW BREAKING MATCHED / 15 QTY
PROSOPIS VELUTINA NATIVE MESQUITE	36" BOX / LOW BREAKING MATCHED / 29 QTY
PROSOPIS 'COOPERI' HYBRID MESQUITE	24" BOX / LOW BREAKING MATCHED / 27 QTY
CHILOPSIS LINEARIS DESERT WILLOW	24" BOX / LOW BREAKING MATCHED / 43 QTY
CERCIDIUM MACROPHYLLA FOOTHILL PALO VERDE	24" BOX / LOW BREAKING MATCHED / 46 QTY
SHRUBS	SIZE/COMMENTS
OPUNTIA ENGELMANNII PRICKLY PEAR	10 PAD MINIMUM / 8 QTY
HESPERALOE PARVIFLORA RED YUCCA	5 GAL / 112 QTY
JUSTICIA CALIFORNICA CHUPAROSA	5 GAL / 298 QTY
RUPELLIA PENINSULARIS BAJA RUPELLIA	5 GAL / 116 QTY
SIMMONDSIA CHINENSIS JOJOBA	5 GAL / 139 QTY
DODONAEA VISCOSA HOPBUSH	5 GAL / 123 QTY
GROUND COVER	SIZE/COMMENTS
E. FARINOSA / A. DELTOIDEA BRITTLEBUSH / BURSAGE	50 / 50 MIX 1 GAL EA. / 438 QTY
ERICAMERIA LARICIFOLIA TURPENTINE BUSH	1 GAL EA. / 395 QTY
DECOMPOSED GRANITE ROCK PROS - DATE CREEK GOLD	2" THICK TYP. 1/2" MINUS



SHEET INDEX - KEY MAP
N.T.S. Ref. North

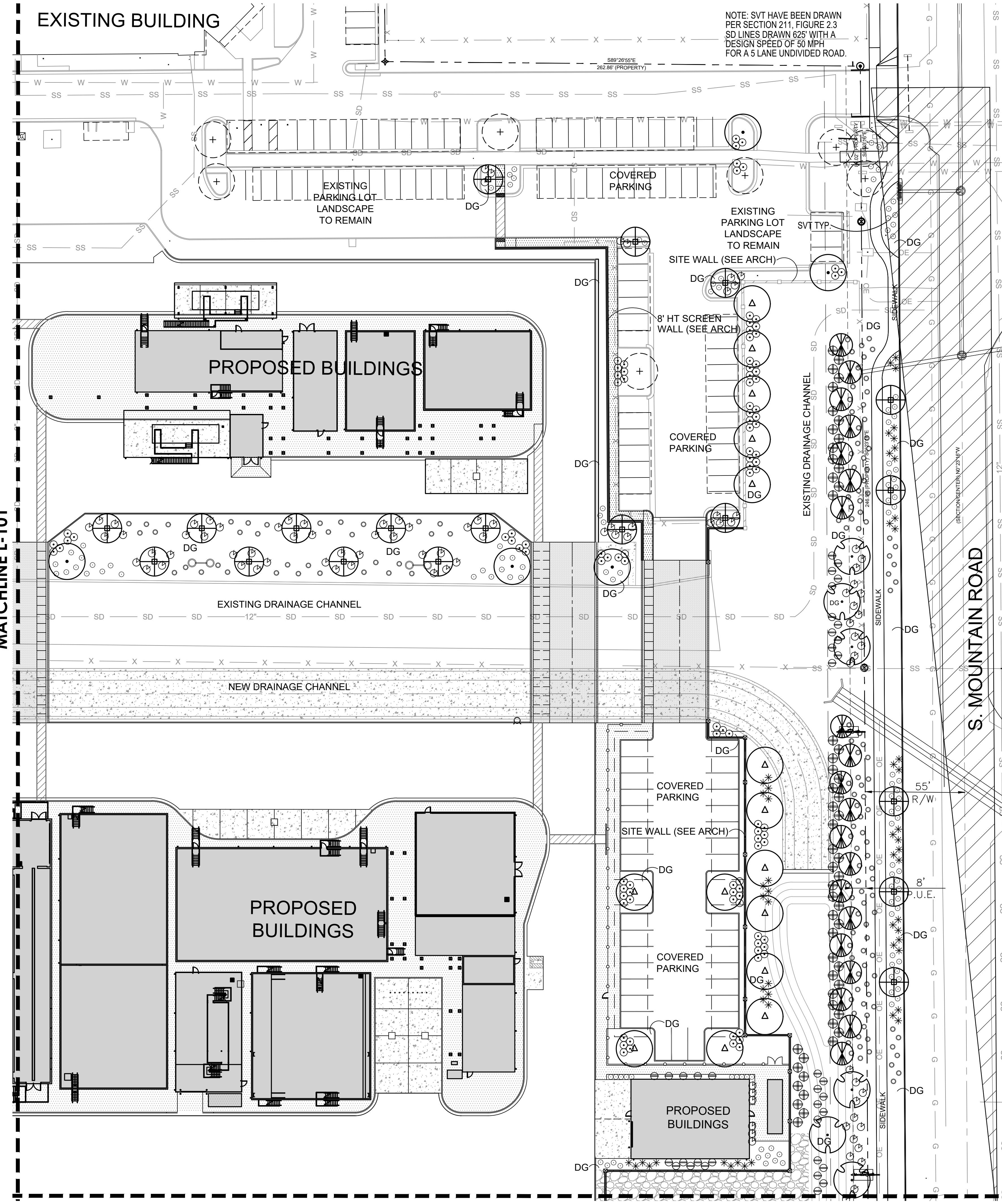
CONCEPTUAL PLANTING PLAN
SCALE: 1"=30'-0"
0 15' 30' 60' Ref. North

Contact Arizona 811 at least two full working days before you begin excavation



Call 811 or click Arizona811.com

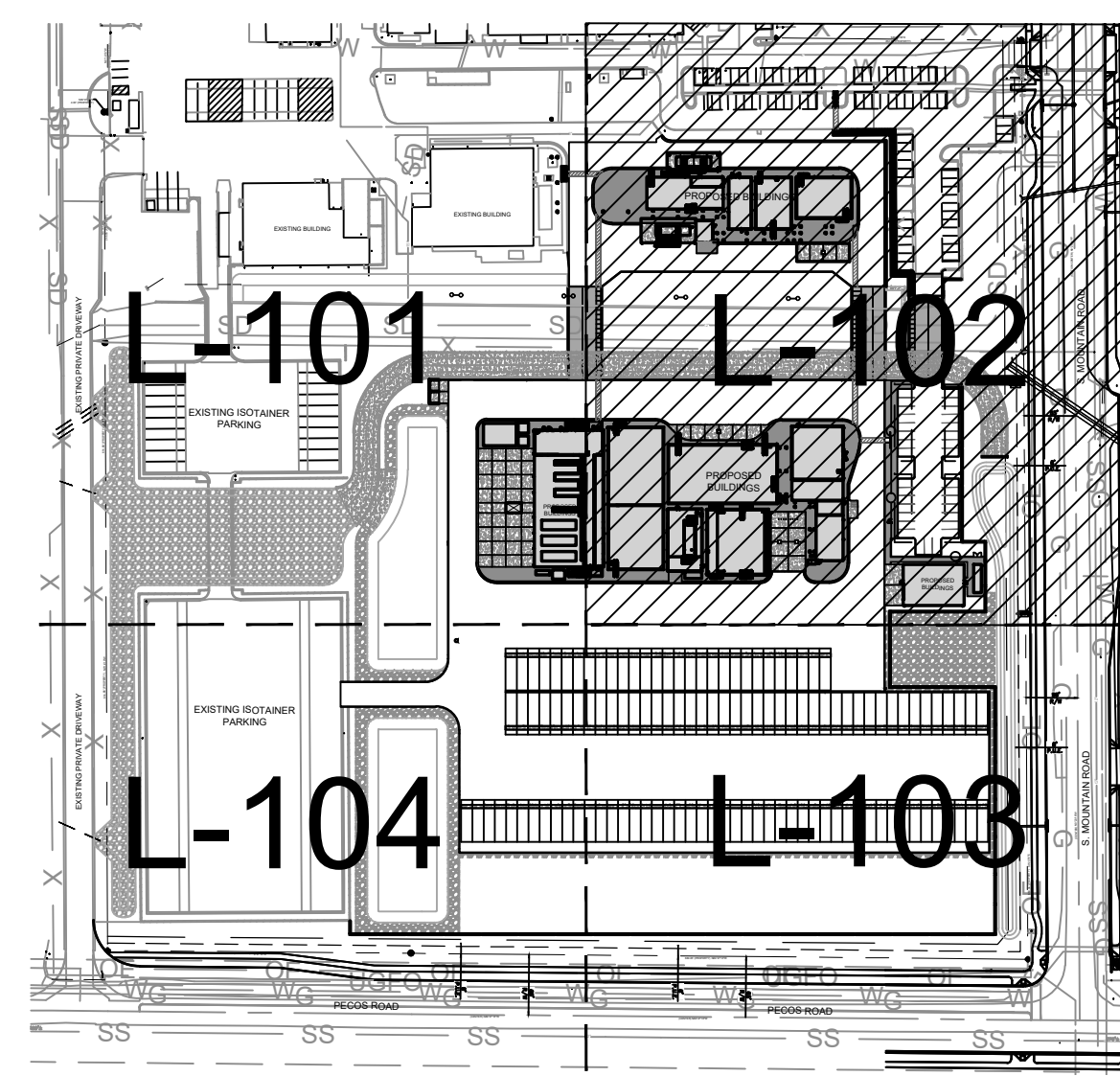
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NOTE: SVT HAVE BEEN DRAWN PER SECTION 211, FIGURE 2.3 SD LINES DRAWN 625' WITH A DESIGN SPEED OF 50 MPH FOR A 5 LANE UNDIVIDED ROAD.

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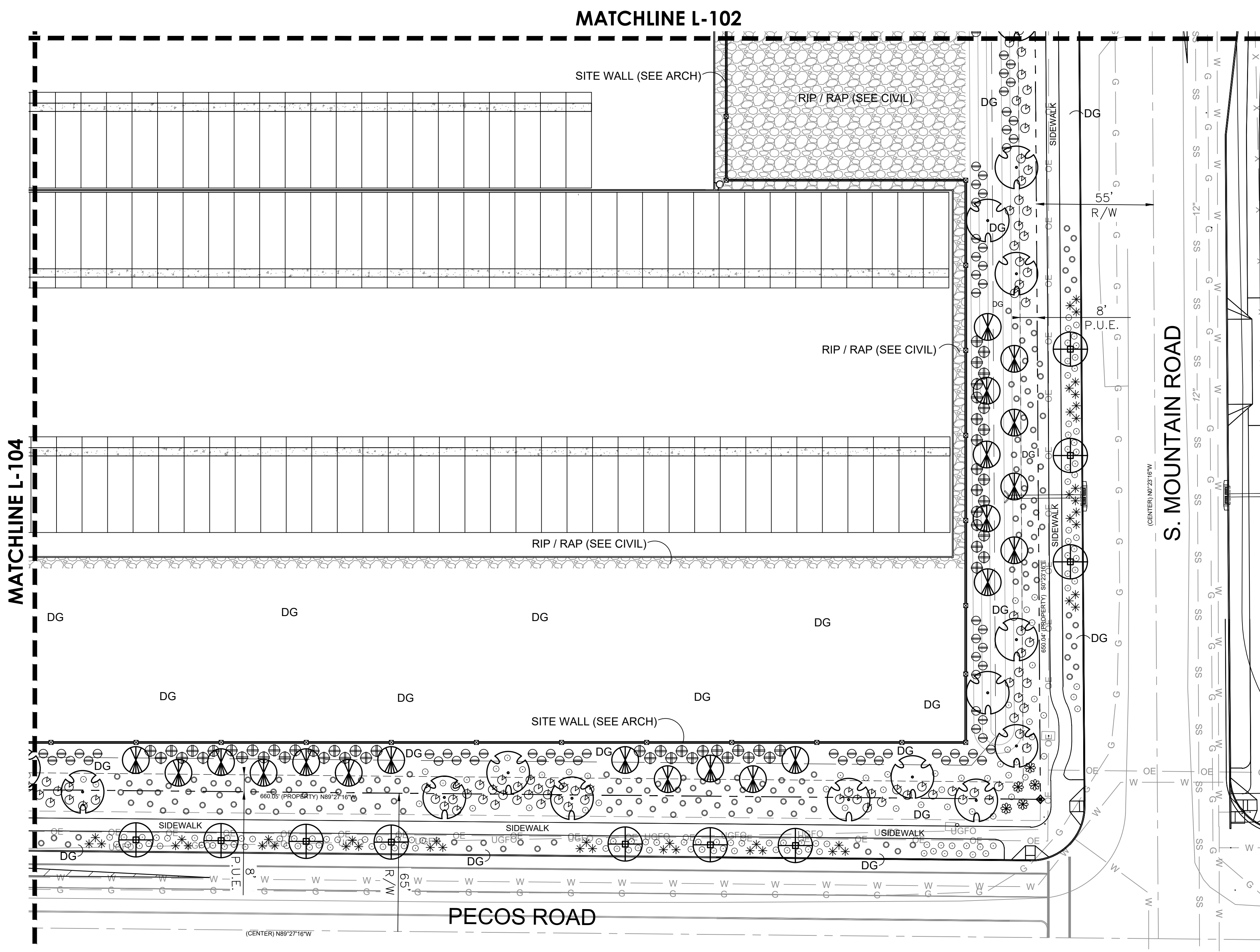
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JOB NUMBER 2024045	SHEET NUMBER L-102
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ARIZONA 811
Call 811 or click Arizona811.com

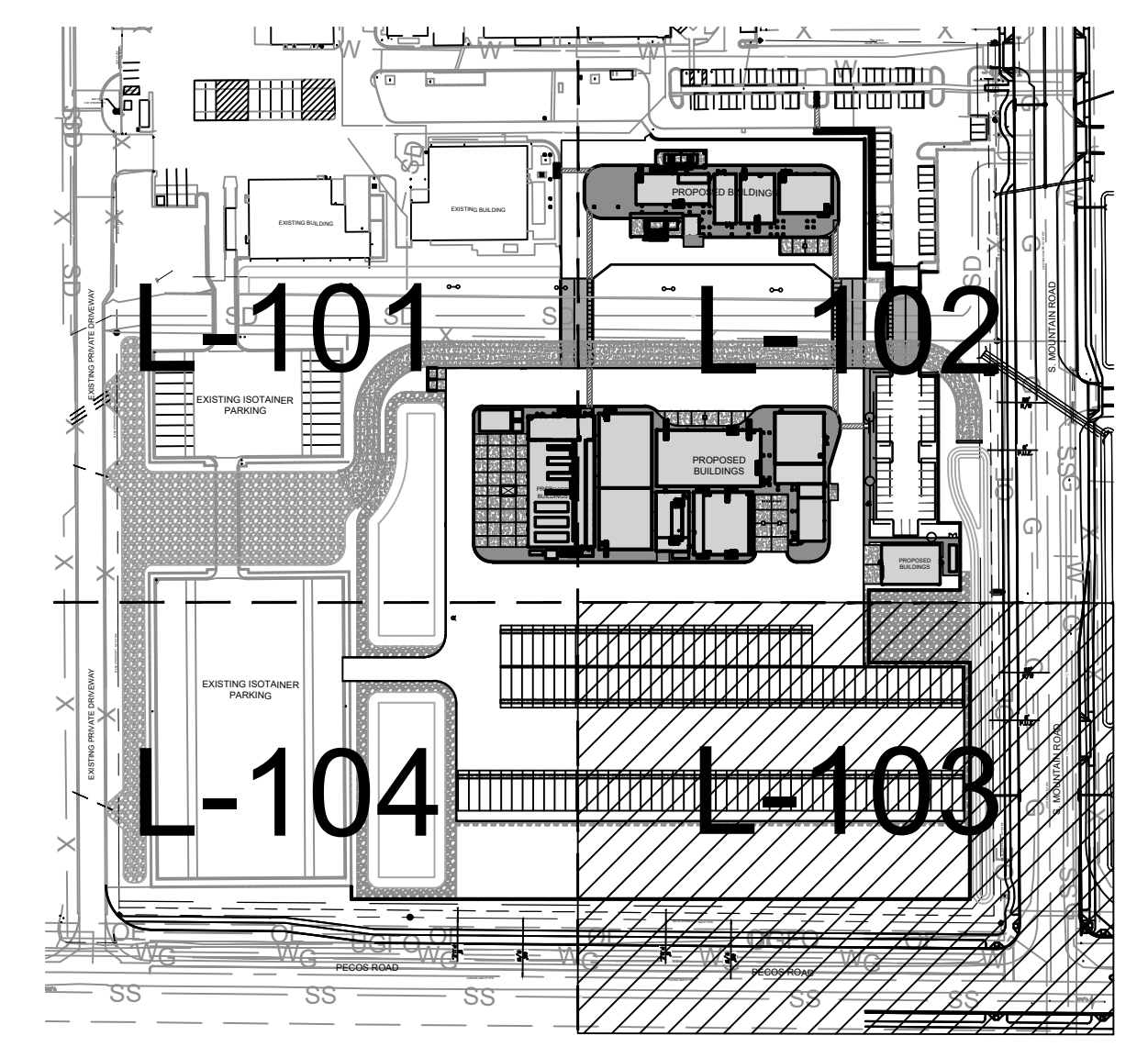
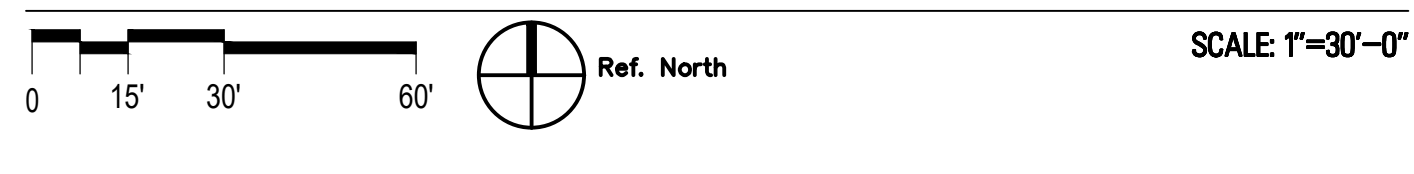
DOC. REL. #	DATE	DESCRIPTION
8	08/21/2024	PERMIT DOCUMENTS
10	09/23/2024	PERMIT DOCUMENTS
10	10/18/2024	PERMIT DOCUMENTS



PROPOSED PLANT PALETTE

- | TREES | SIZE/COMMENTS |
|---|--|
| EXISTING TREE (TO REMAIN) | N/A |
| CERCIDIUM FLORIDUM
BLUE PALO VERDE | 36" BOX / LOW BREAKING
MATCHED / 15 QTY |
| PROSOPIS VELUTINA
NATIVE MESQUITE | 36" BOX / LOW BREAKING
MATCHED / 29 QTY |
| PROSOPIS 'COOPER'
HYBRID MESQUITE | 24" BOX / LOW BREAKING
MATCHED / 27 QTY |
| CHILOPSIS LINEARIS
DESERT WILLOW | 24" BOX / LOW BREAKING
MATCHED / 43 QTY |
| CERCIDIUM MACROPHYLLA
FOOTHILL PALO VERDE | 24" BOX / LOW BREAKING
MATCHED / 46 QTY |
| SHRUBS | SIZE/COMMENTS |
| OPUNTIA ENGELMANII
PRICKLY PEAR | 10 PAD MINIMUM /
8 QTY |
| HESPERALOE PARVIFLORA
RED YUCCA | 5 GAL / 112 QTY |
| JUSTICIA CALIFORNICA
CHUPAROSA | 5 GAL / 298 QTY |
| RUPELLIA PENINSULARIS
BAJA RUELLIA | 5 GAL / 116 QTY |
| SIMMONDSIA CHINENSIS
JOJOBA | 5 GAL / 139 QTY |
| DODONAEA VISCOUSA
HOPBUSH | 5 GAL / 123 QTY |
| GROUNDCOVER | SIZE/COMMENTS |
| E. FARINOSA / A. DELTOIDEA
BRITTLEBUSH / BURSAGE | 50 / 50 MIX
1 GAL EA. / 438 QTY |
| ERICAMERIA LARICIFOLIA
TURPENTINE BUSH | 1 GAL EA. / 395 QTY |
| DECOMPOSED GRANITE
ROCK PROS - DATE CREEK GOLD | 2" THICK TYP.
1/2" MINUS |

CONCEPTUAL PLANTING PLAN



SHEET INDEX - KEY MAP
N.T.S.

10 Quality Street
Lexington, Kentucky 40507-1450
Telephone: (859) 281-5000
Facsimile: (859) 252-5300

Food & Beverage | Manufacturing
Automotive | Distribution
Mission Critical | Commercial

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G.K. FLANAGAN
ASSOCIATES

4626 N. 44th Street
PHOENIX, AZ 85018
602 . 912 . 9691
602 . 912 . 9693 fax

POLLUTANTS FROM OWNER'S OPERATIONS... CUSTOMER'S KNOWLEDGE OF ITS ACTIVITIES THAT WILL BE CONDUCTED WITHIN THE FACILITY TO BE DESIGNED BY GRAY AND CONSTRUCTED BY GRAY AND THE MATERIALS INVOLVED IN THOSE ACTIVITIES IS SUPERIOR TO GRAY'S DESIGN, ACCORDINGLY, AND ANYTHING CONTAINED IN THIS CONTRACT DOCUMENTS IS TO THE CONTRARY NOT WITHSTANDING, ANY OBTAINABLE FROM THIS HEREIN SHALL NOT APPLY TO THE DISCHARGE, DISPERSAL, ESCAPE, RELEASE OR SITUATION OF ANY POLLUTANT INTO THE ATMOSPHERE OR ANY BODY OF WATER OR ON, INTO, UPON, IN OR INTO THE SURFACE OR SUBSURFACE OF LAND, FOR PURPOSE OF THIS SECTION THE WORD "POLLUTANT" SHALL MEAN ANY SOLID, LIQUID, GASEOUS OR THERMAL IRRITANT OR CONTAMINANT, INCLUDING BUT NOT LIMITED TO SMOKE, VAPOR, SOOT, FUMES, ACIDS, ALKALIS, CHEMICALS AND WASTE AND SHALL INCLUDE ANY HAZARDOUS SUBSTANCE THE CAPACITY OF THE FACILITY AND THE DESIGN OF ANY OF ITS PARTS, SO AS TO PREVENT THE ESCAPE, RELEASE, DISCHARGE, DISPERSAL OR SATURATION OF POLLUTANTS SHALL BE THE SOLE RESPONSIBILITY OF THE CUSTOMER.

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Gregory K.
FLANAGAN
10,18,24
STATE OF ARIZONA, U.S.
EXPIRES 12/31/2026

CORP. SEAL

**A NEW MANUFACTURING FACILITY
EXPANSION FOR
MPCA - AZ4**

6560 S. Mountain Rd., Mesa, AZ 85212

PLANTING PLAN

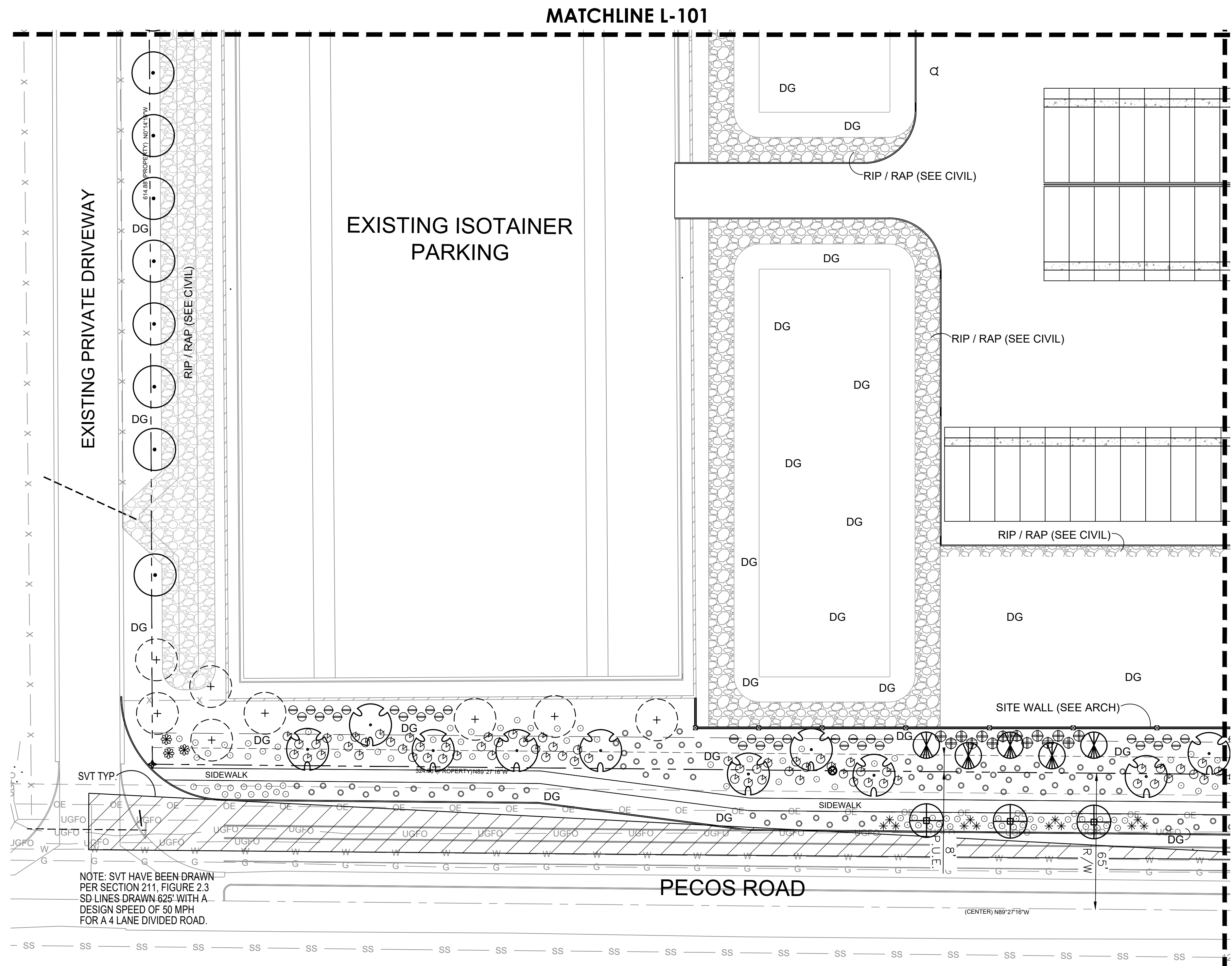
JOB NUMBER	SHEET NUMBER
2024045	L-103

FINAL: FOR DESIGN REVIEW
BOARD APPROVAL 11/12/2024

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

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	10/18/2024	PERMIT DOCUMENTS



PROPOSED PLANT PALETTE

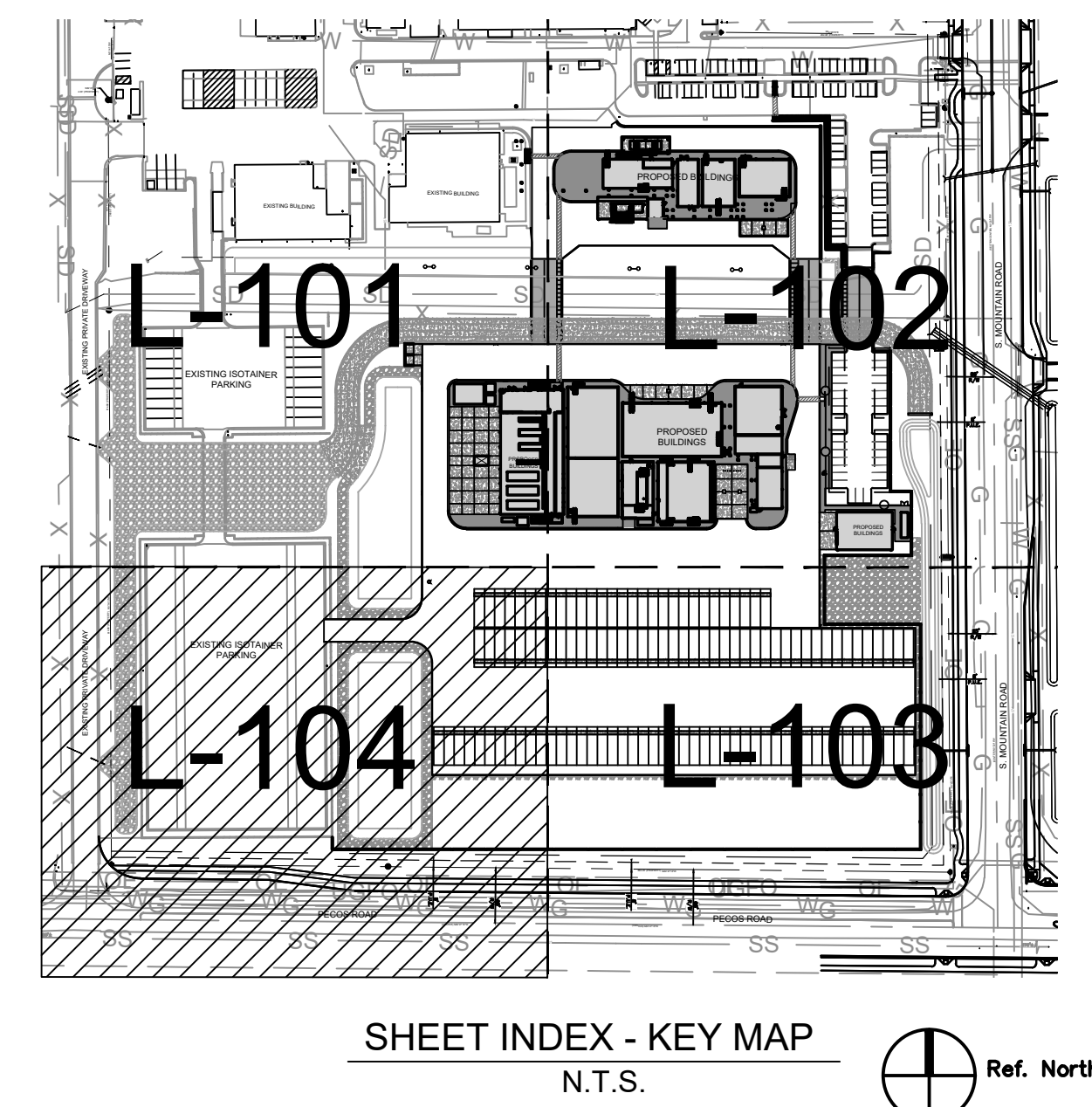
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DECOMPOSED GRANITE ROCK PROS - DATE CREEK GOLD	2" THICK TYP. 1/2" MINUS

CONCEPTUAL PLANTING PLAN

SCALE 1"=30'-0"

0 15' 30' 60'

Ref. North



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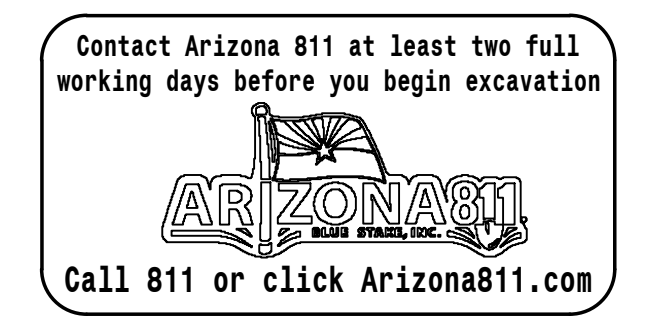
A NEW MANUFACTURING FACILITY EXPANSION FOR MPCA - AZ4

6560 S. Mountain Rd., Mesa, AZ 85212

PLANTING PLAN

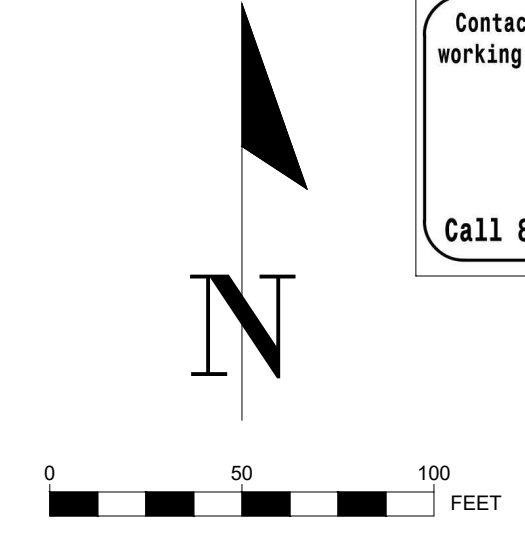
JOB NUMBER	SHEET NUMBER
2024045	L-104

FINAL: FOR DESIGN REVIEW
BOARD APPROVAL 11/12/2024

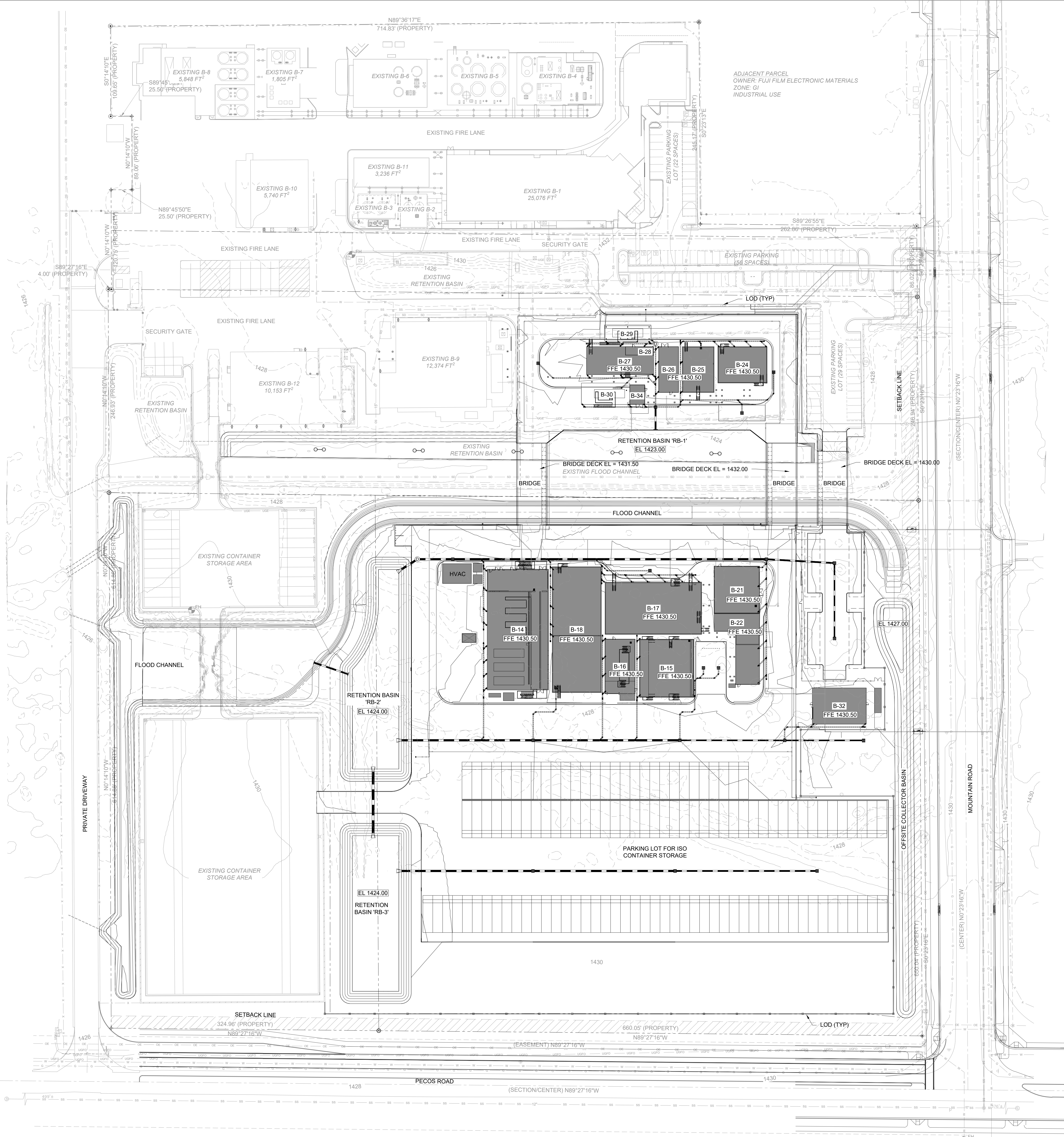


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CORP. SEAL

MPCA AZ4 Expansion
MESA, ARIZONA

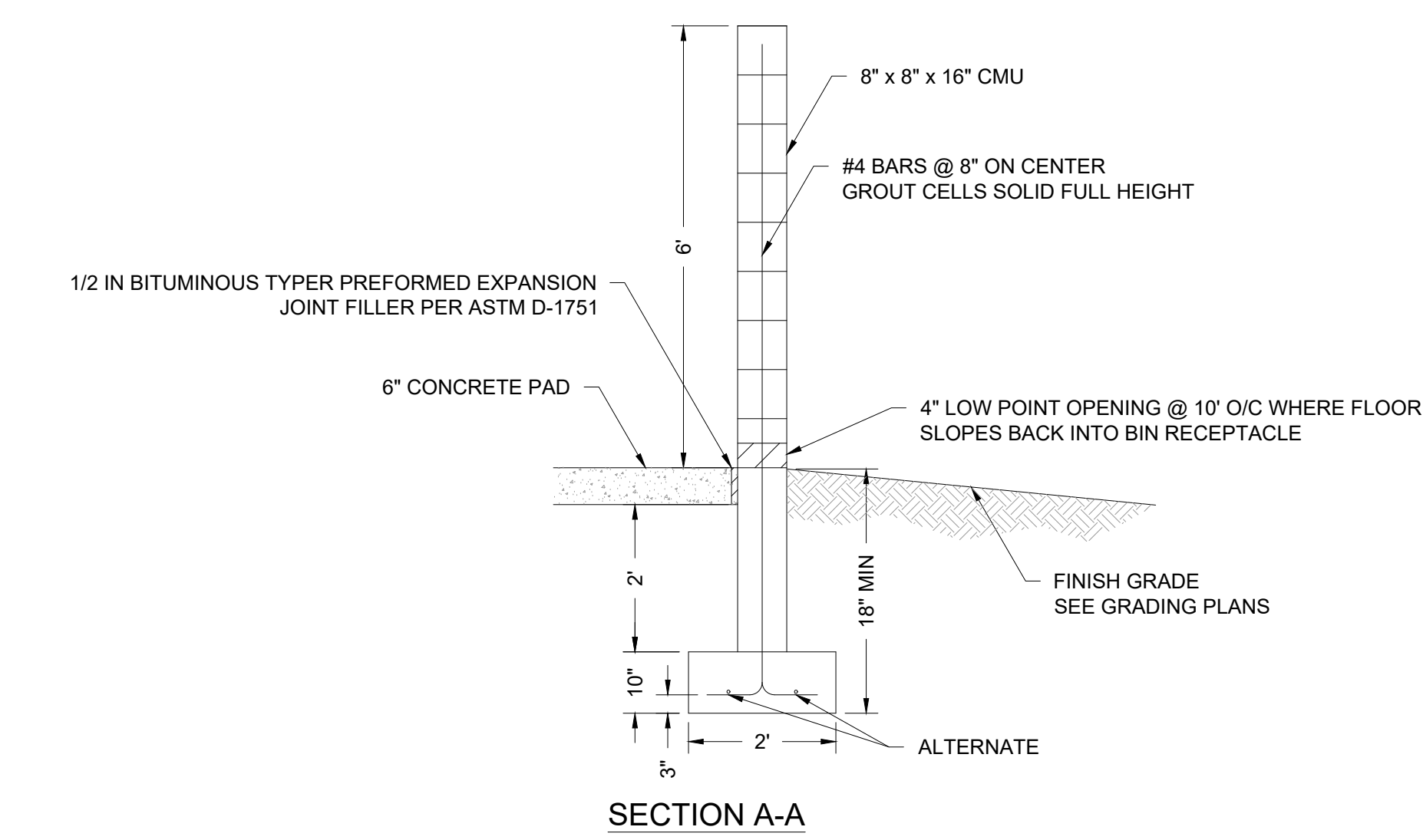
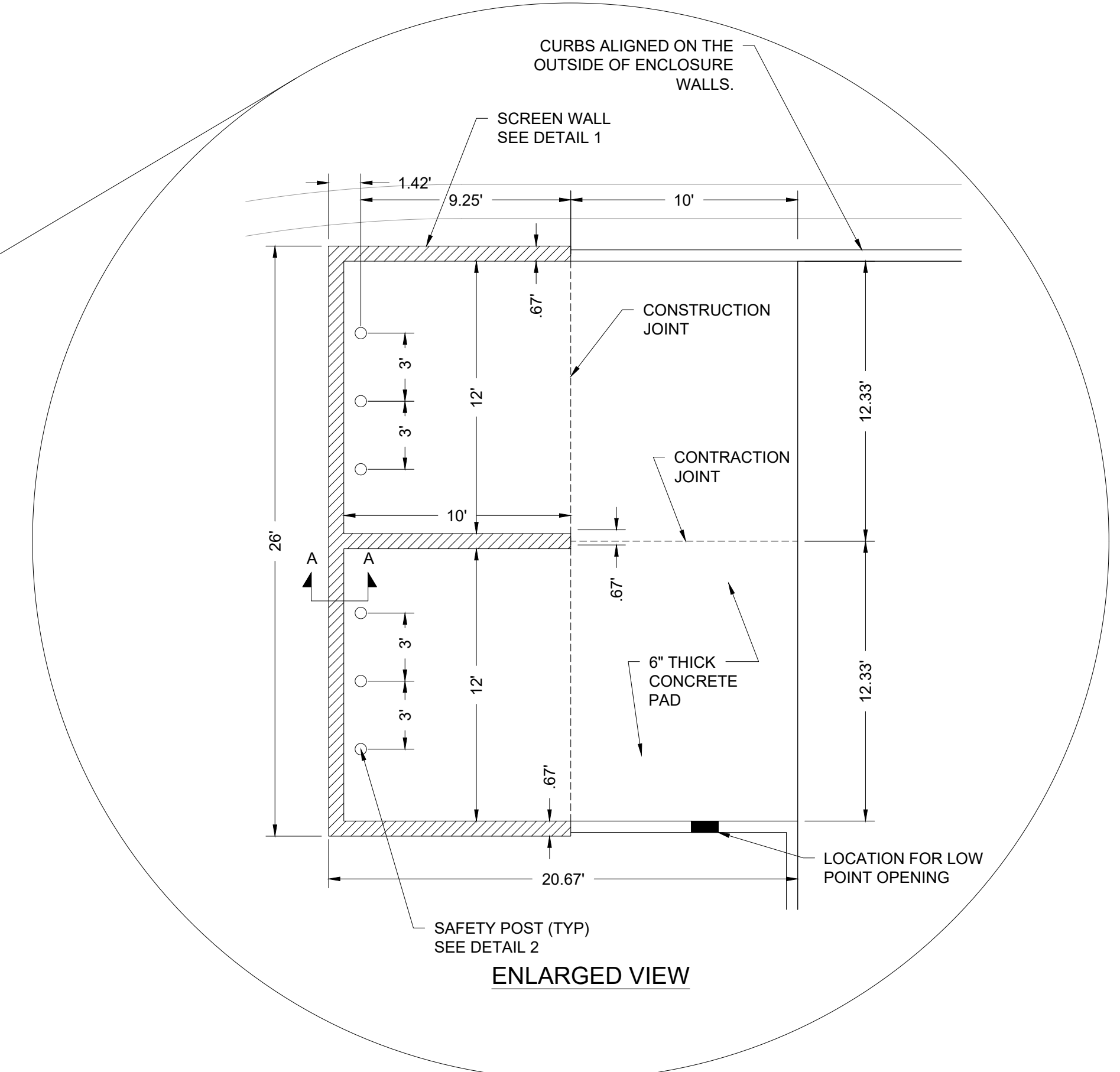
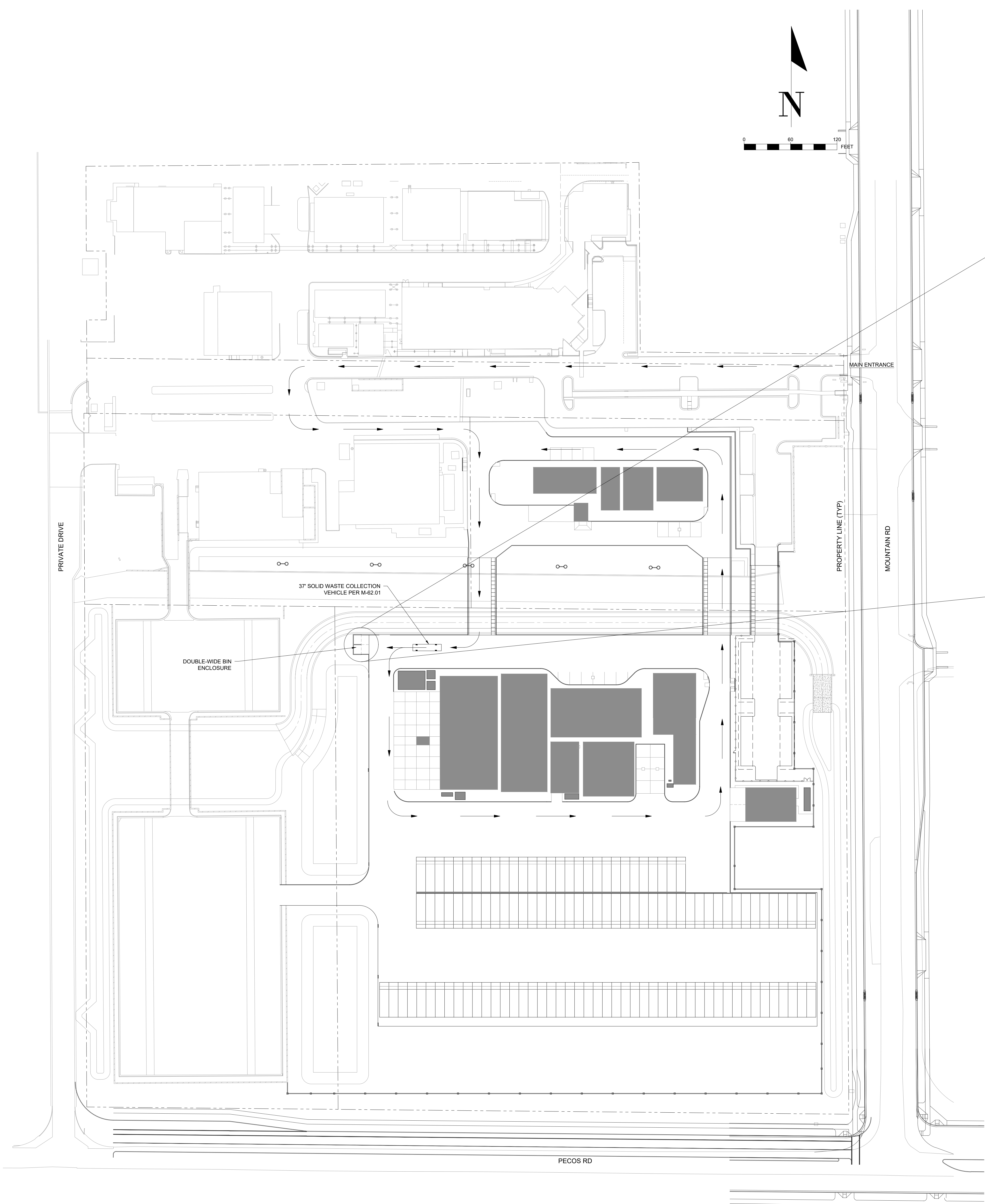
**OVERALL GRADING
 & UTILITY PLAN**

NOT FOR CONSTRUCTION

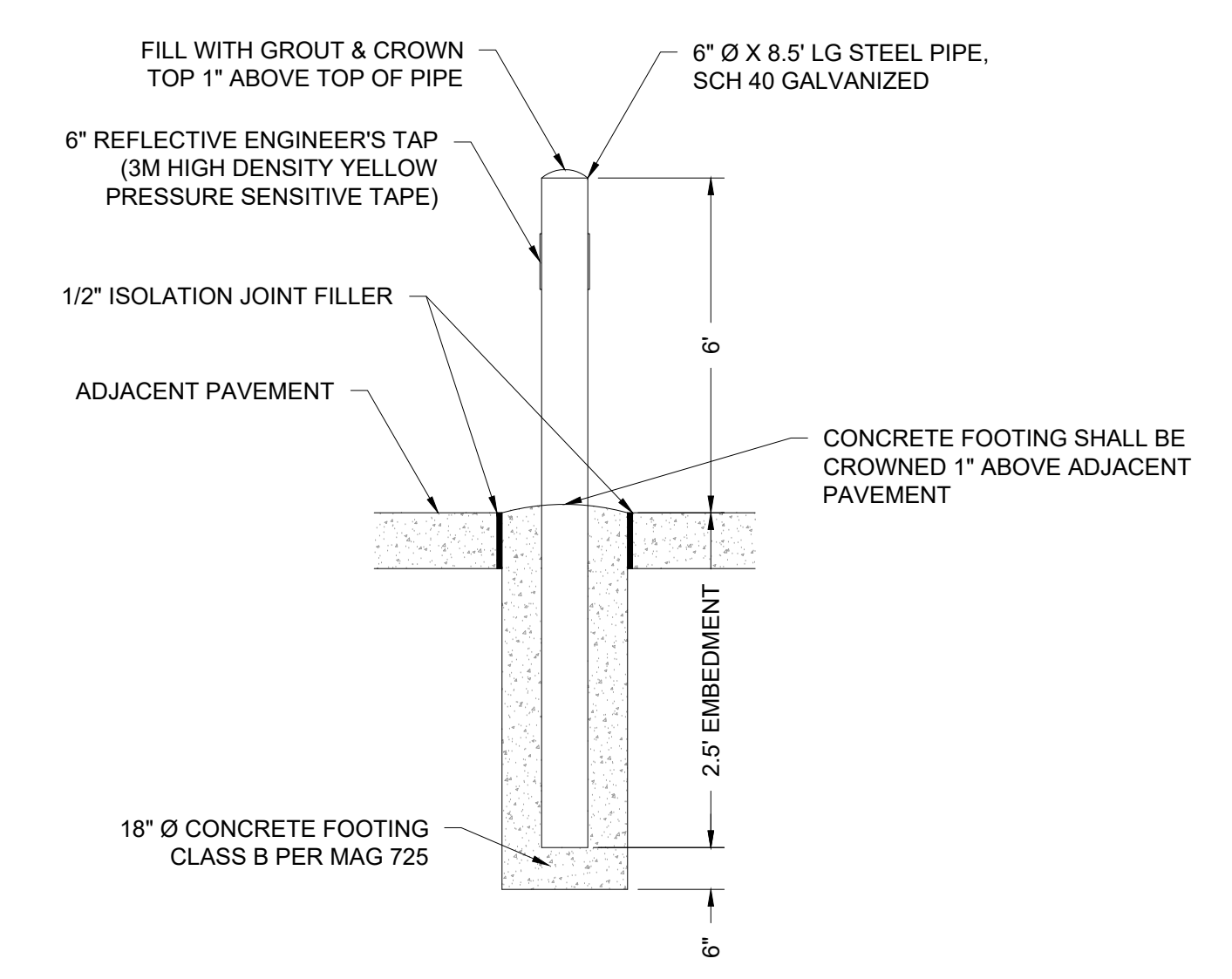
JOB NUMBER	SHEET NUMBER
2024045	C-500

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1 6-FOOT MASONRY SCREEN WALL NTS



2 SAFETY POST NTS

A SOLID WASTE COLLECTION ROUTE
 1" = 60'



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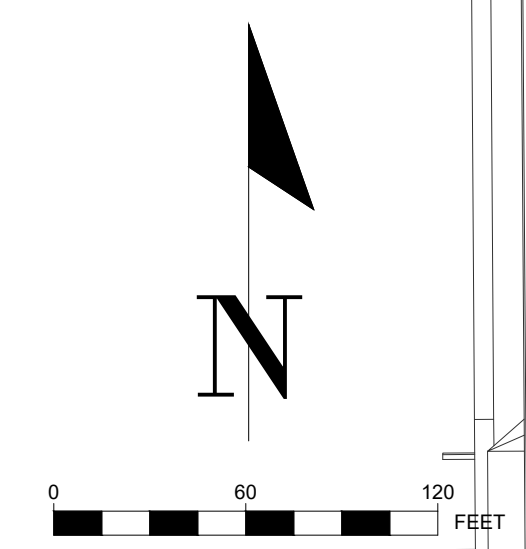
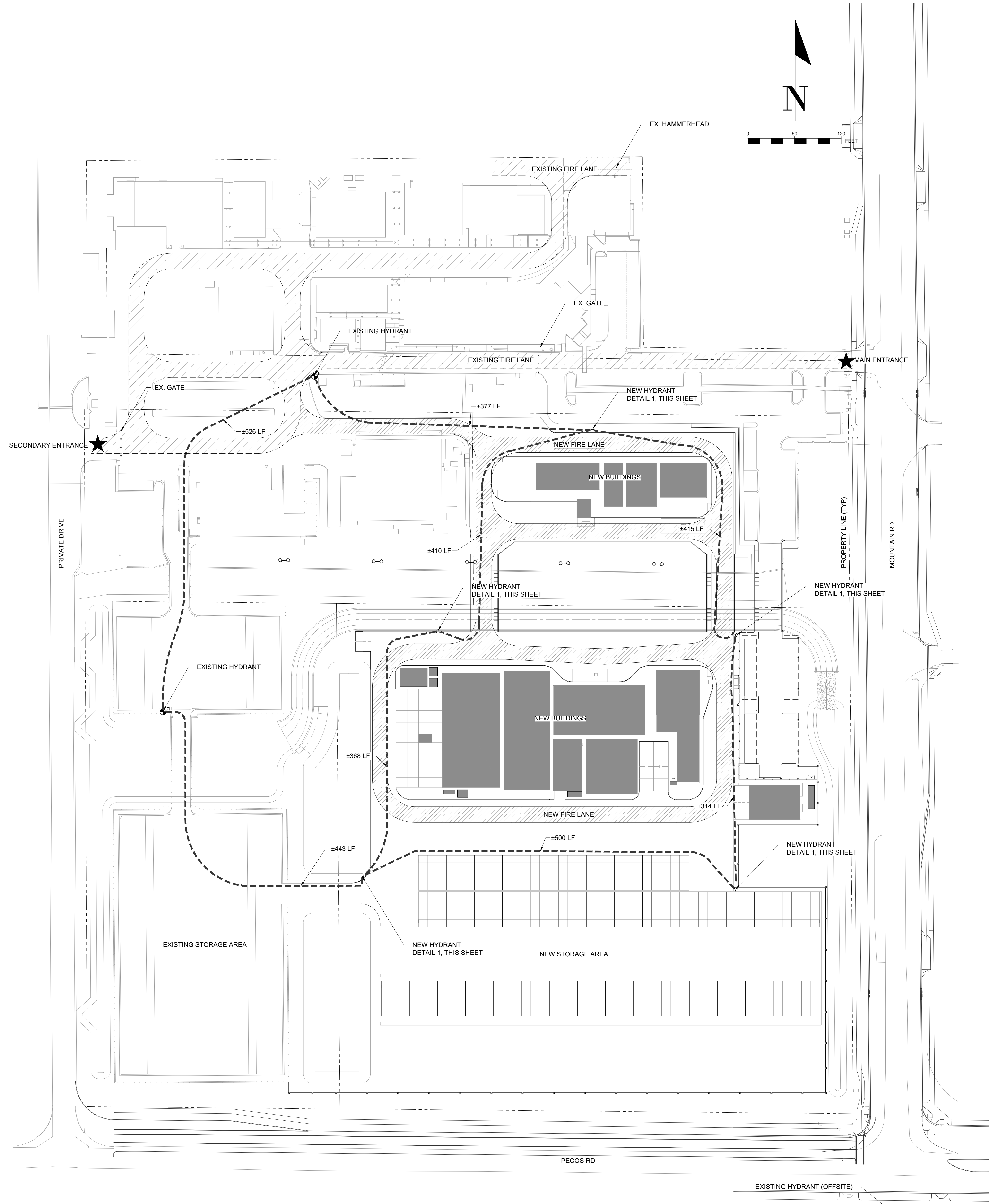
MPCA AZ4 Expansion
 MESA, ARIZONA

SOLID WASTE PLAN
 & DETAILS

JOB NUMBER 2024045	SHEET NUMBER C-801
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NOT FOR CONSTRUCTION

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1	02/29/2024	PRE-PROPOSAL DOCUMENTS
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LEGEND




- ★ FIRE DEPARTMENT ACCESS POINTS
- ▨ FIRE TRUCK VEHICLE TRACKING
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- FIRE DEPARTMENT ACCESS GATE

NOTE:

1. ALL PAVEMENT IS DESIGNED TO SUPPORT 78,000 LB VEHICLE (24,000 LB FRONT AXLE & 54,000 LB REAR AXLE)
2. ALL NEW FIRE LANE STRIPING AND SIGNAGE SHALL CONFORM TO FPD 503.3 SHOWN AS DETAIL 2 ON THIS SHEET.



CITY OF MESA APPROVED PRODUCTS LIST - WATER

DESIGN/MATERIALS	APPROVED MODELS
<ul style="list-style-type: none"> • Fire Hydrants shall be of the dry-barrel type. • Hydrants shall comply with the latest edition of AWWA C502, M&S Sec. 755 and the City of Mesa Amendment to the MAG Uniform Standard Specifications and Details unless indicated otherwise herein. • Hose Nozzles: <ul style="list-style-type: none"> • Two (2) 2-1/2-inches in diameter with National Standard Threads • One (1) steamer connection, 4 1/2-inches in diameter with National Standard Threads. • Main Valve Seat Opening Dia: 5-1/4 in. min. • Min. Pressure Rating: 250 psig working; 500 psig hydrostatic (factory tested). • Hydrants shall be of the break-flange traffic model type with a replaceable breakable unit immediately above the ground line. • Hydrant nozzle section shall be capable of rotation through 360 degrees to at least 8 points of rotation with respect to the standpipe. • Interior Coating: All interior ferrous surfaces of the hose exposed to water shall be coated with a 100% powder epoxy or liquid epoxy (0.001 Min. DFT) that conforms to AWWA C 550-81 and NSF-61. • Exterior Coating: Coating shall be one of the following: <ol style="list-style-type: none"> 1) Poly(ester) isocyanurate (TIGC) polyester coating meeting the following: <ul style="list-style-type: none"> Hardness: ASTM D 3363 Impact Resistance: ASTM D 2794 Chip Resistance: ASTM D 3170 2) Prime coated with an epoxy and finish coated with a two-part polyurethane top coat meeting the following: <ul style="list-style-type: none"> Composion Resistance: ASTM B 117-02 • Damaged Coating Details: Chipped or damaged coatings shall be repaired using a minimum of a two-part system comprised of an epoxy primer base coat and polyurethane topcoat meeting the requirements of MAG Specification Section 756. The coating shall be fade and UV resistant, and the color shall match the factory color. Surface preparation shall be per manufacturer recommendations. If paint touch up kits are available from the hydrant manufacturer, those shall be utilized for coating repairs. 	 <p>Waterous Pacer WB-67-250</p>  <p>Clow Medallion</p>  <p>Mueller Super Centurion</p>
<p>Created: 12/17/12 Revised: 04/01/19</p>	<p>Approved Models:</p> <ol style="list-style-type: none"> 1. WATEROUS PACER MODEL WB-67-250 2. CLOW MEDALLION 3. MUELLER SUPER CENTURION A423
FIRE HYDRANTS	W-2

Page 1 of 2



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1 FIRE HYDRANT NTS

SIGNS (EXISTING SIGN REPLACEMENT ONLY)

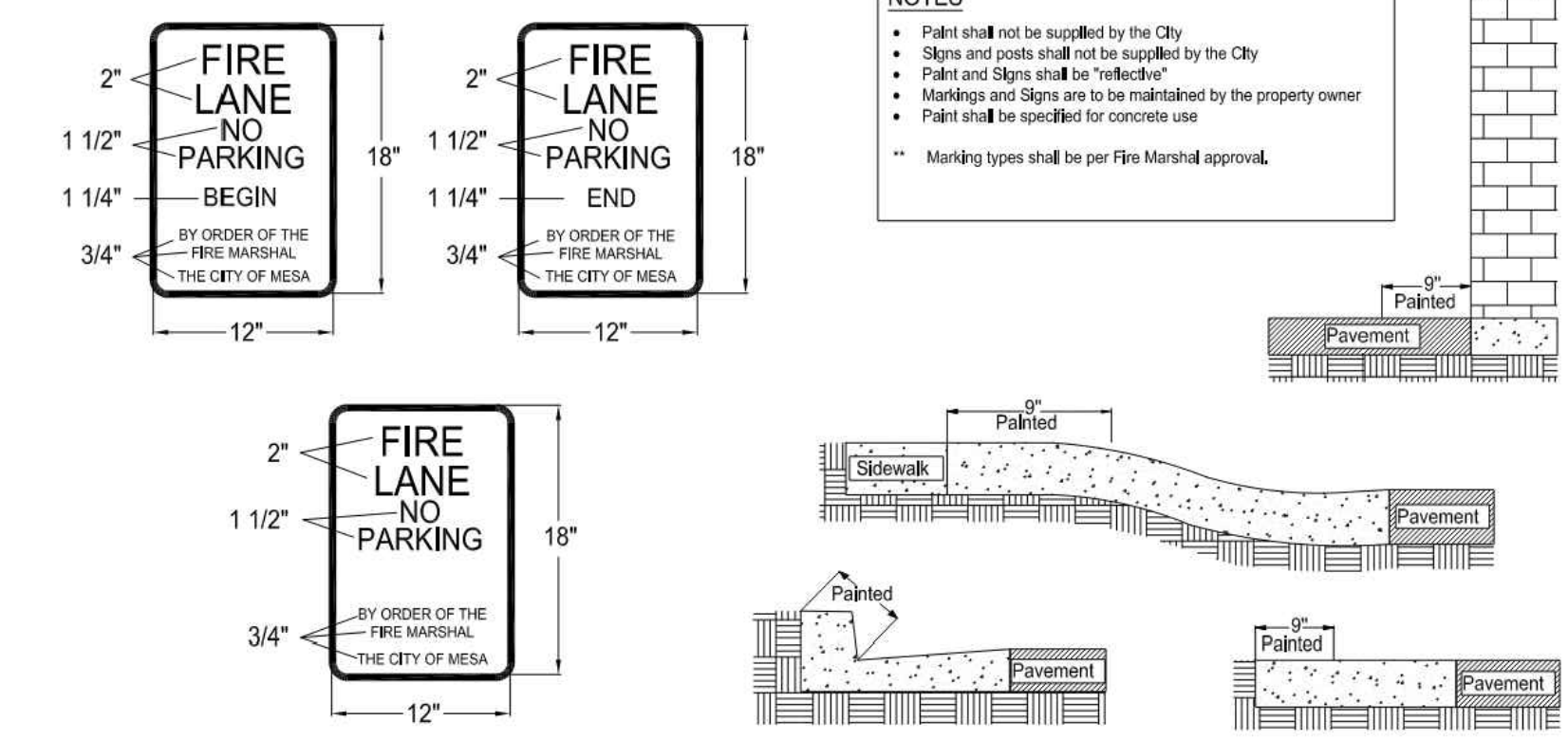
- 2" Letters are 5/8" wide
- 1/2" Letters are 1/2" wide
- 1/4" Letters are 3/8" wide
- All letters are red with white background
- The sign shall be mounted on a post per MAG, Detail #131
- The bottom of the sign shall be 7" above grade
- Signs shall be posted facing normal direction of traffic
- Intermediate signs to be posted at change of direction

CURBS (ALL NEW FIRE LANES OR IF OLD SIGNAGE IS REMOVED)

- Curb shall be painted red (Pono Brand Paint #704 or equivalent) with white letters "FIRE LANE - NO PARKING" every 50 ft
- Letters are red with white background
- Lettering must be on top of the surface of the curb
- When there are no curbs, a 7" wide red curb shall be placed at the edge of the slaking surface. The white lettering shall be placed on the red curb as stated above.
- Additional markings may be required by the Fire Marshal

NOTES

- Paint shall not be supplied by the City
- Signs and posts shall not be supplied by the City
- Paint and Signs shall be "reflective"
- Markings and Signs are to be maintained by the property owner
- Paint shall be specified to concrete use
- Marking types shall be per Fire Marshal approval



2 FIRE LANE SIGNAGE & STRIPING NTS

A FIRE LANE AND HYDRANT PLAN
 1" = 60'

NOT FOR CONSTRUCTION

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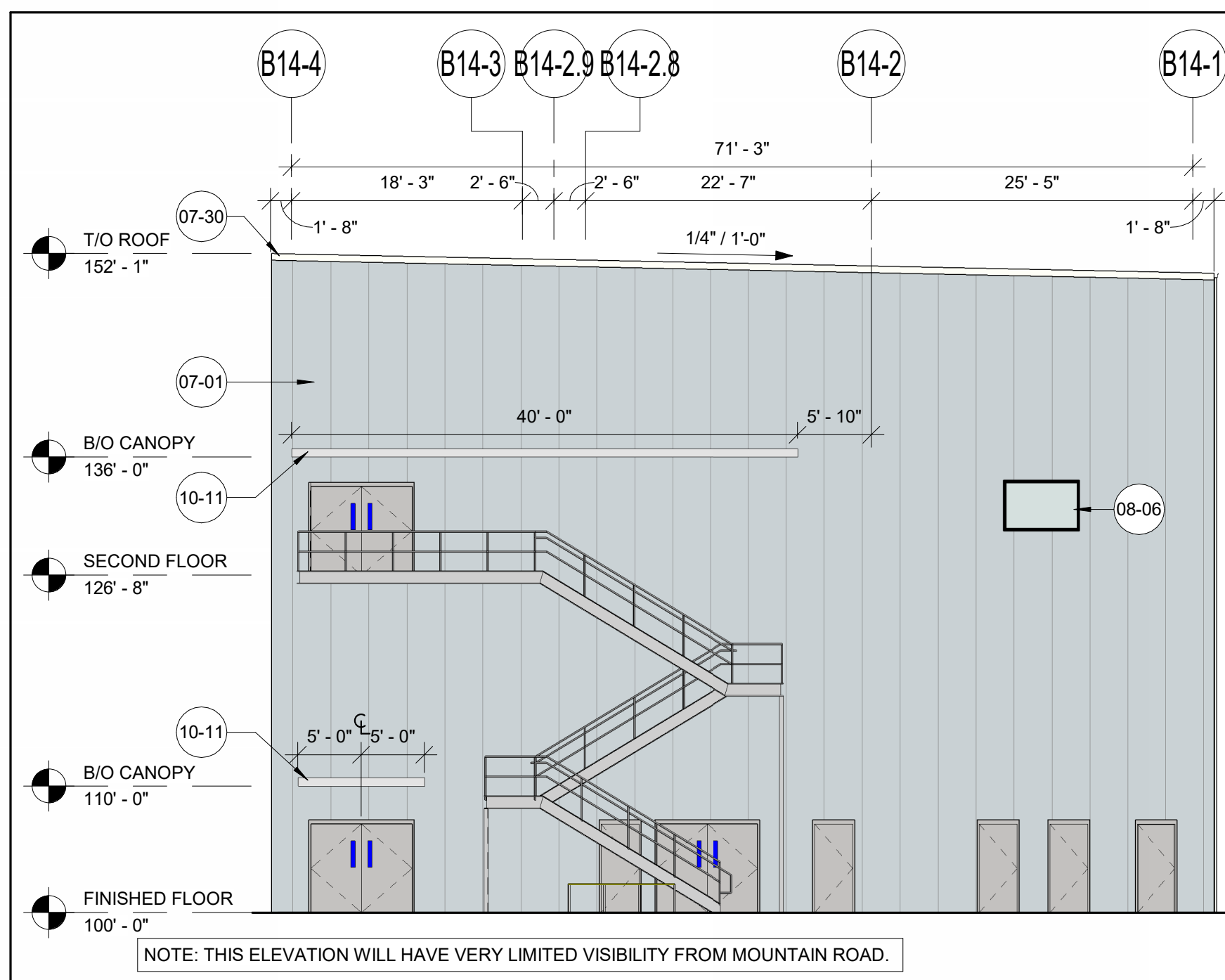
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CORP. SEAL

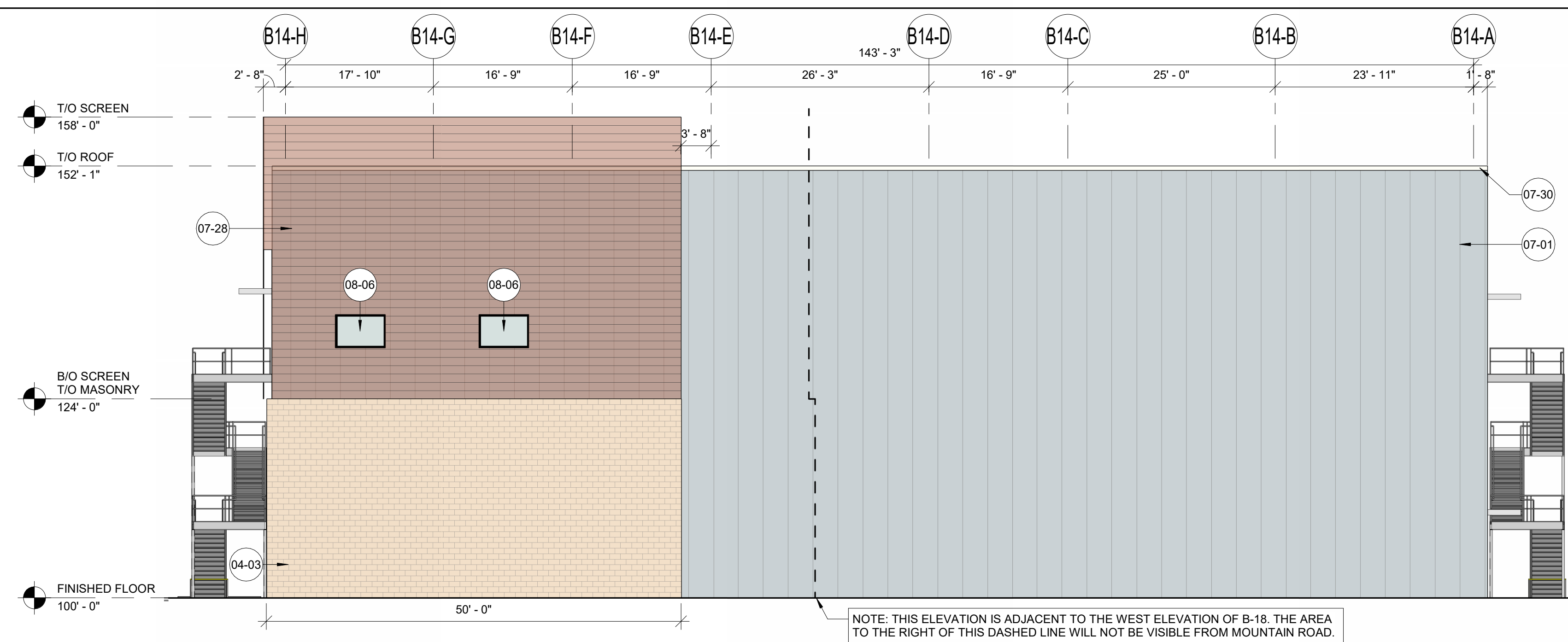
MPCA AZ4 Expansion
 MESA, ARIZONA

FIRE LANE & HYDRANT PLAN

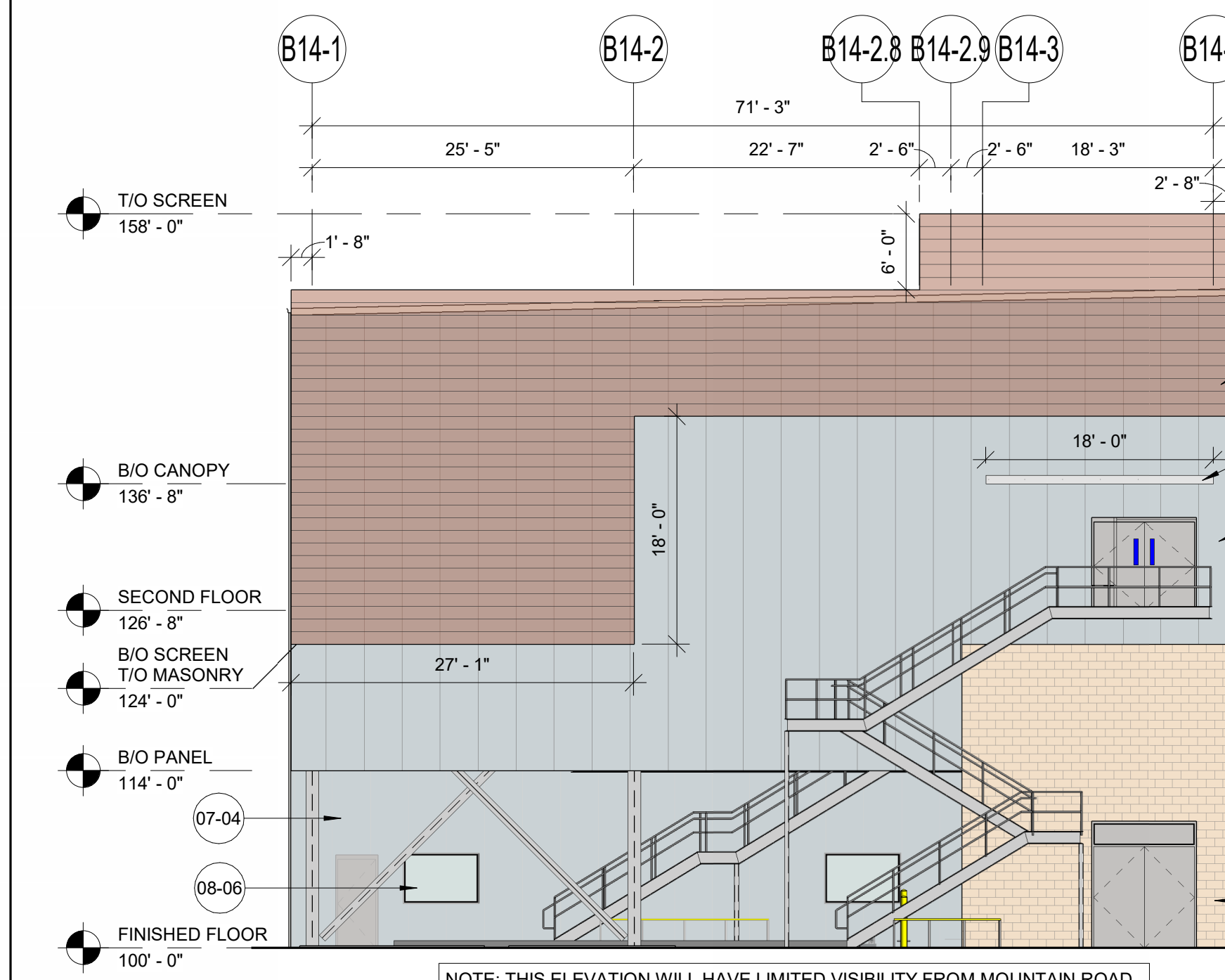
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 SHEET NUMBER: C-802



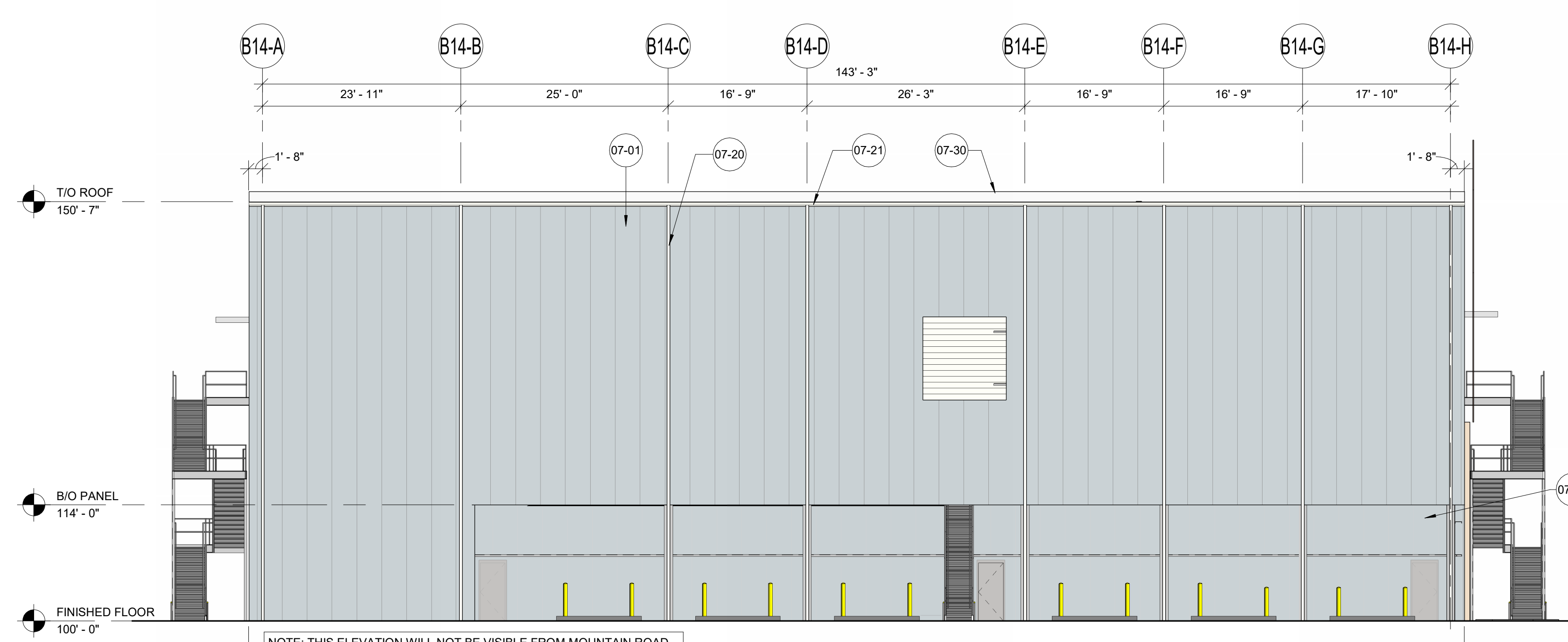
1 B-14 NORTH ELEVATION
3/32" = 1'-0"



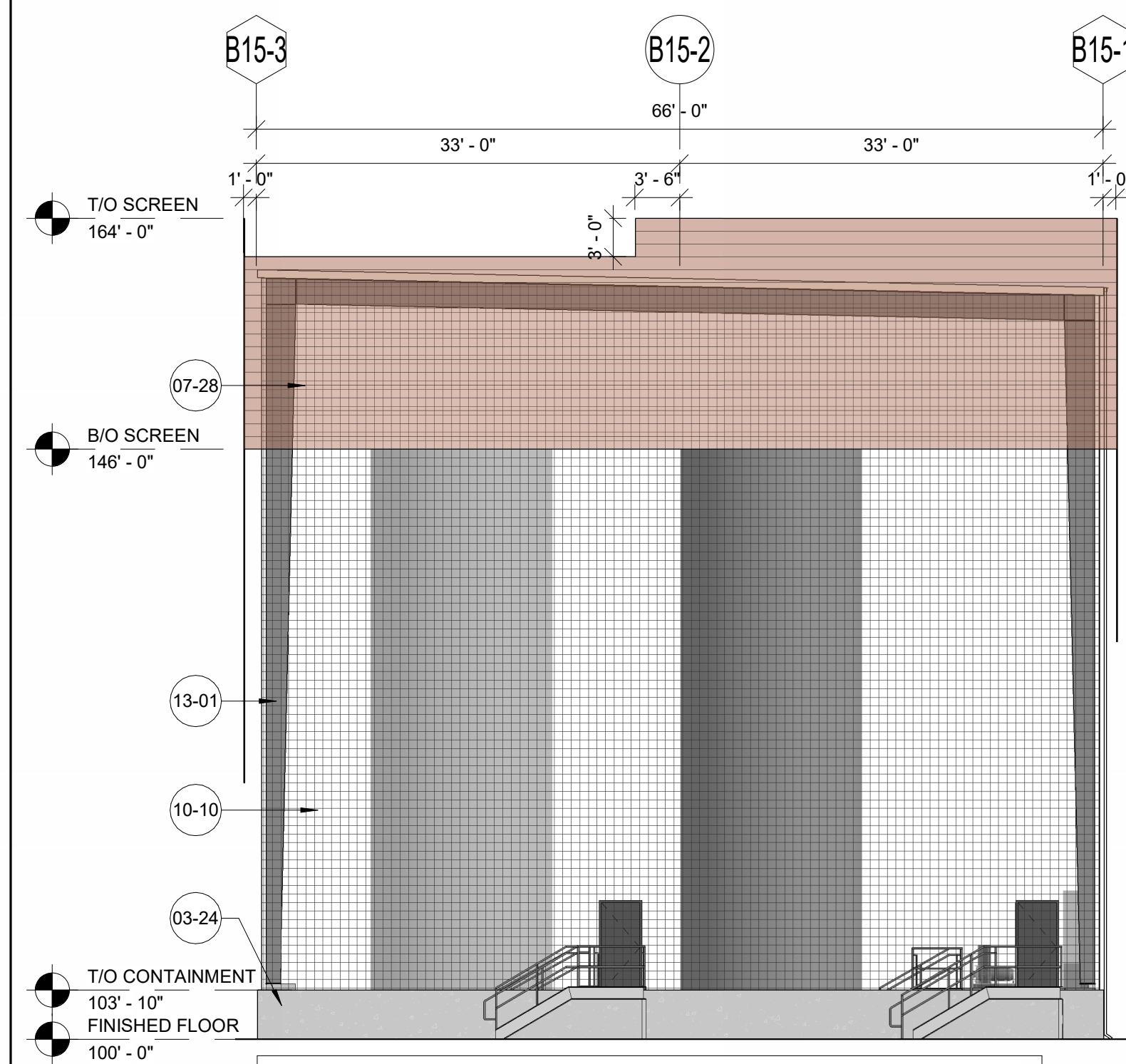
2 B-14 EAST ELEVATION
3/32" = 1'-0"



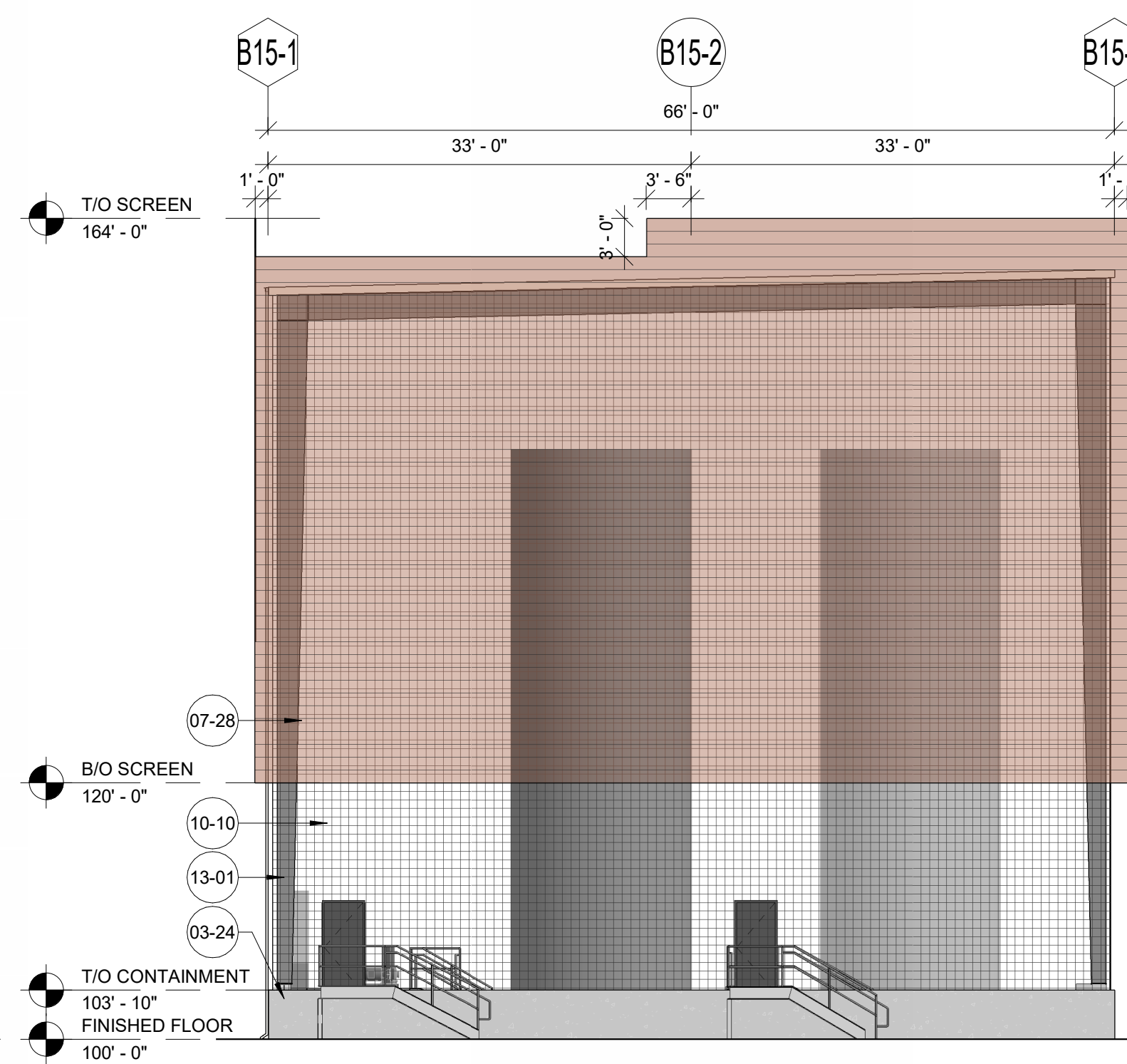
3 B-14 SOUTH ELEVATION
3/32" = 1'-0"



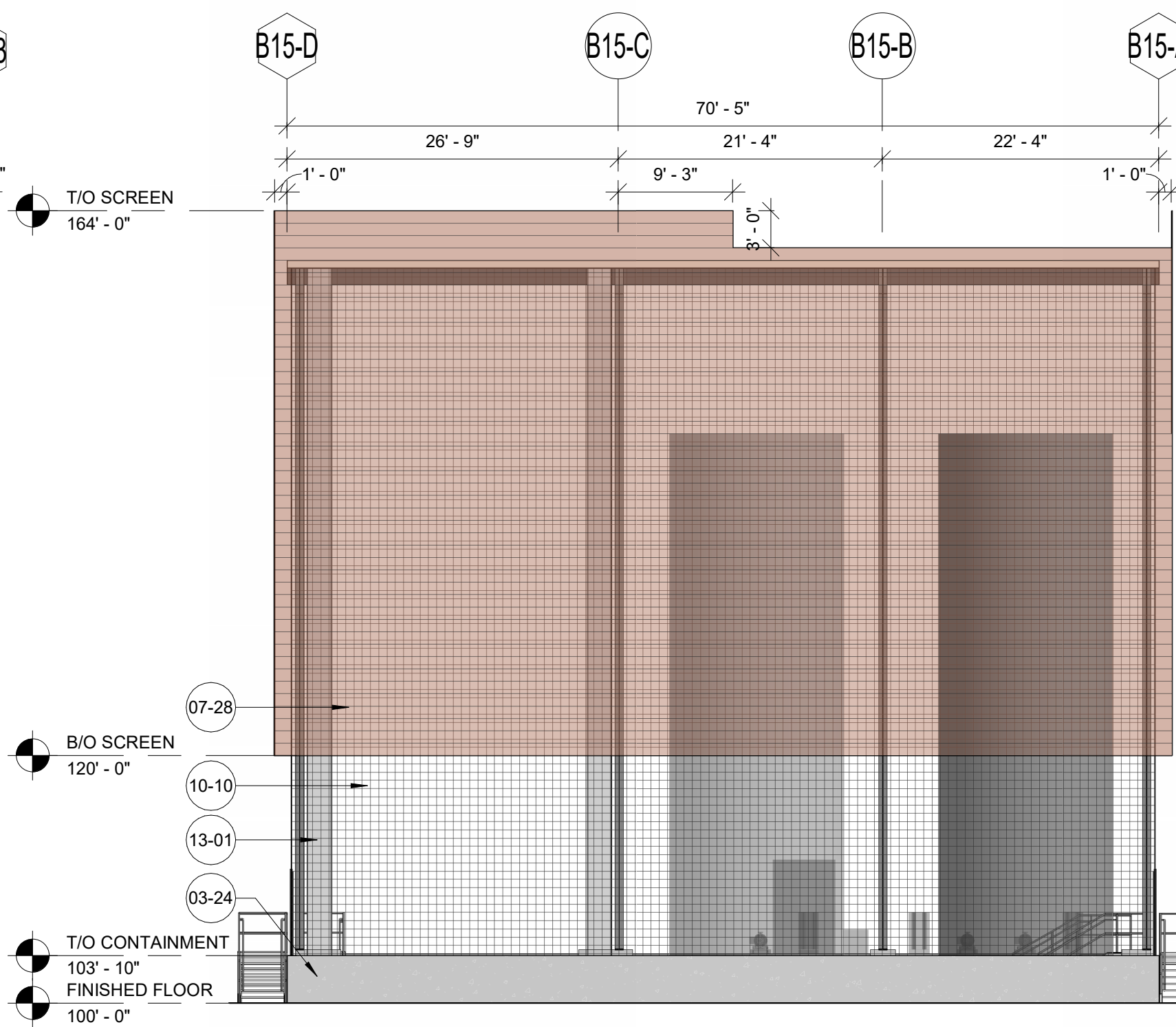
4 B-14 WEST ELEVATION
3/32" = 1'-0"



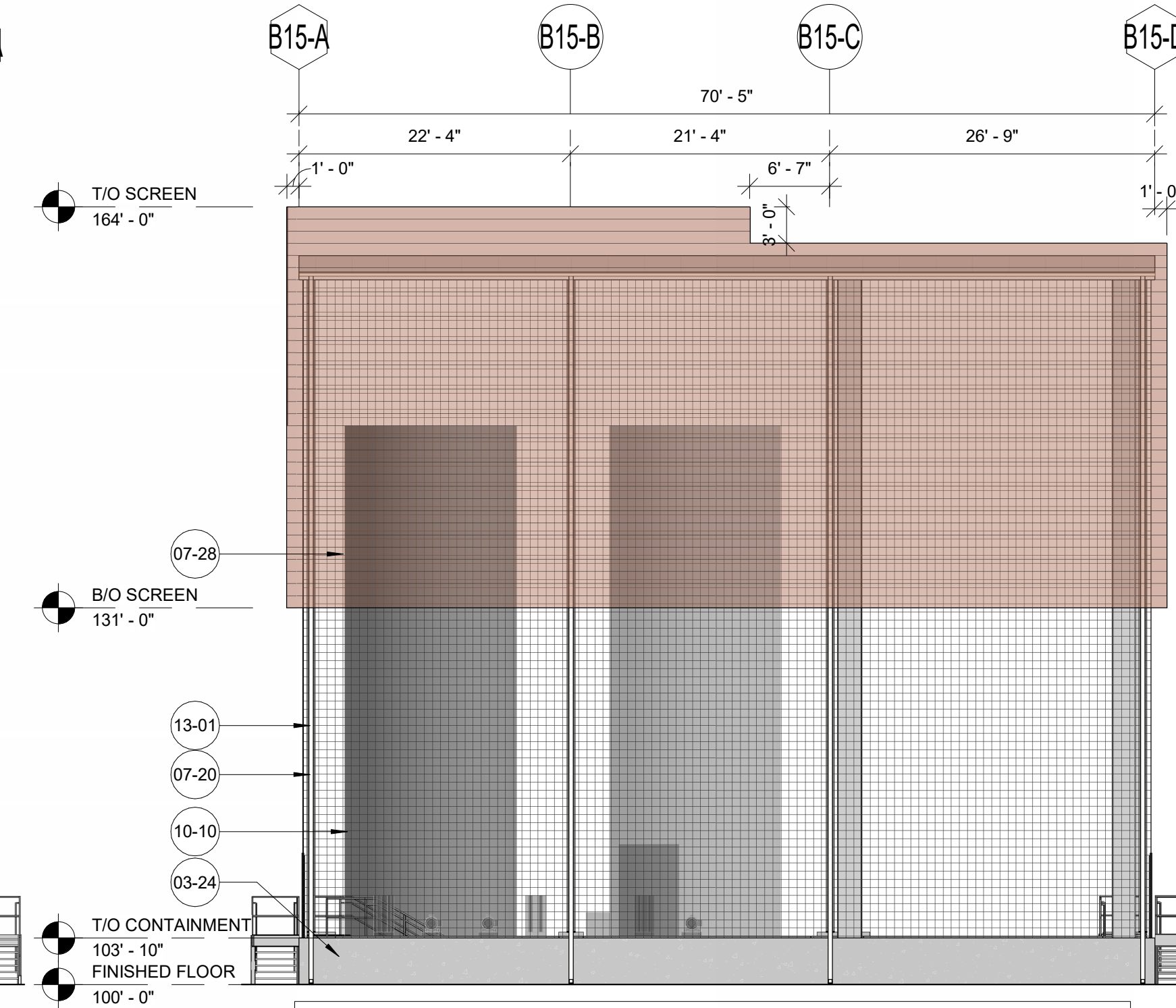
5 B-15 NORTH ELEVATION
3/32" = 1'-0"



6 B-15 SOUTH ELEVATION
3/32" = 1'-0"



7 B-15 EAST ELEVATION
3/32" = 1'-0"



8 B-15 WEST ELEVATION
3/32" = 1'-0"

KEYNOTES

- 03-24 CONCRETE CONTAINMENT BARRIER - REF STRUCTURAL DRAWINGS
- 04-03 8" SPLIT-FACE MASONRY - DURANGO FINISH BY ECHOLON
- 07-01 INSULATED METAL PANEL - 4" VERTICAL (Ø71 CHROMIUM GRAY) BY CENTRIA
- 07-04 INSULATED METAL PANEL - 4" VERTICAL, 1 HOUR FIRE RATED
- 07-20 PREFINISHED METAL DOWNSPOUT (DS) - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
- 07-21 PREFINISHED METAL GUTTER - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
- 07-28 CENTRIA ECOSCREEN PERFORATED SCREENWALL (CS-200 - 783 SIENNA FINISH)
- 07-30 TPO MEMBRANE ROOFING WITH MECHANICALLY FASTENED 2 LAYER OF 1" RIGID INSULATION (MINIMUM R-30) ON METAL DECK
- 08-06 ALUMINUM STOREFRONT WINDOW - TRANSPARENT GLAZING
- 10-10 WIRE MESH
- 10-11 MAPES SUPERSHADE CANOPY (FINISH - CLEAR ANODIZED)
- 13-01 STRUCTURE - REFERENCE PRE-ENGINEERED METAL BUILDING DRAWINGS AND SPECIFICATIONS

BUILDING WALL MATERIAL ARTICULATION:

B-14: ISO FILLING, LAB, DCS, AND ELECTRICAL:	
NORTH ELEVATION:	
TOTAL SURFACE AREA:	3789 SQ FT
INSULATED METAL PANEL:	3789 SQ FT
% OF TOTAL:	100%
SOUTH ELEVATION:	
TOTAL SURFACE AREA:	4059 SQ FT
MASONRY:	533 SQ FT
% OF TOTAL:	13%
METAL SCREEN:	1400 SQ FT
% OF TOTAL:	35%
INSULATED METAL PANEL:	2126 SQ FT
% OF TOTAL:	52%
EAST ELEVATION:	
TOTAL SURFACE AREA:	7906 SQ FT
MASONRY:	1208 SQ FT
% OF TOTAL:	15%
METAL SCREEN:	1646 SQ FT
% OF TOTAL:	21%
INSULATED METAL PANEL:	5052 SQ FT
% OF TOTAL:	64%
WEST ELEVATION:	
TOTAL SURFACE AREA:	7402 SQ FT
INSULATED METAL PANEL:	7402 SQ FT
% OF TOTAL:	100%
B-15 RAW MATERIAL TANK SHELTER:	
NORTH ELEVATION:	
TOTAL SURFACE AREA:	4143 SQ FT
METAL WIRE MESH:	2756 SQ FT
% OF TOTAL:	67%
CONCRETE WALL:	253 SQ FT
% OF TOTAL:	6%
METAL SCREEN:	1134 SQ FT
% OF TOTAL:	27%
SOUTH ELEVATION:	
TOTAL SURFACE AREA:	4217 SQ FT
METAL SCREEN:	2906 SQ FT
% OF TOTAL:	69%
WIRE MESH:	1058 SQ FT
% OF TOTAL:	25%
CONCRETE WALL:	253 SQ FT
% OF TOTAL:	6%
EAST ELEVATION:	
TOTAL SURFACE AREA:	4486 SQ FT
METAL SCREEN:	3086 SQ FT
% OF TOTAL:	69%
WIRE MESH:	1130 SQ FT
% OF TOTAL:	25%
CONCRETE WALL:	270 SQ FT
% OF TOTAL:	6%
WEST ELEVATION:	
TOTAL SURFACE AREA:	4457 SQ FT
METAL SCREEN:	2286 SQ FT
% OF TOTAL:	52%
WIRE MESH:	1901 SQ FT
% OF TOTAL:	43%
CONCRETE WALL:	270 SQ FT
% OF TOTAL:	6%

DOC. REL.#	DATE	DESCRIPTION
1	02/29/2024	PRE-PROPOSAL DOCUMENTS
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3	04/01/2024	PROPOSAL DOCUMENTS
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8	08/21/2024	PERMIT DOCUMENTS
10	09/23/2024	PERMIT DOCUMENTS
	10/18/2024	PERMIT DOCUMENTS



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MPCA AZ4 EXPANSION
MESA, ARIZONA

EXTERIOR ELEVATIONS - B-14 & B-15

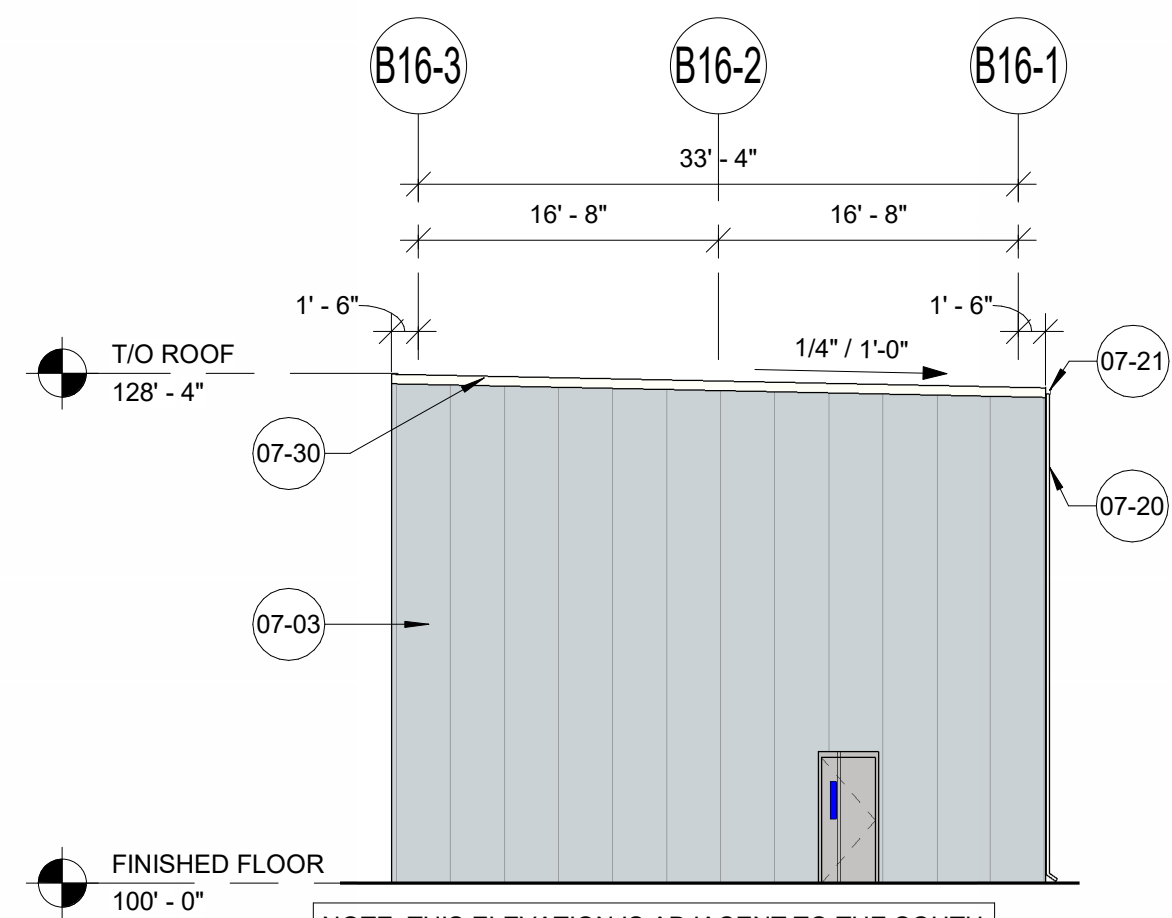
FINAL: FOR DESIGN REVIEW
BOARD APPROVAL 11/12/2024

JOB NUMBER	SHEET NUMBER
2024045	A-201

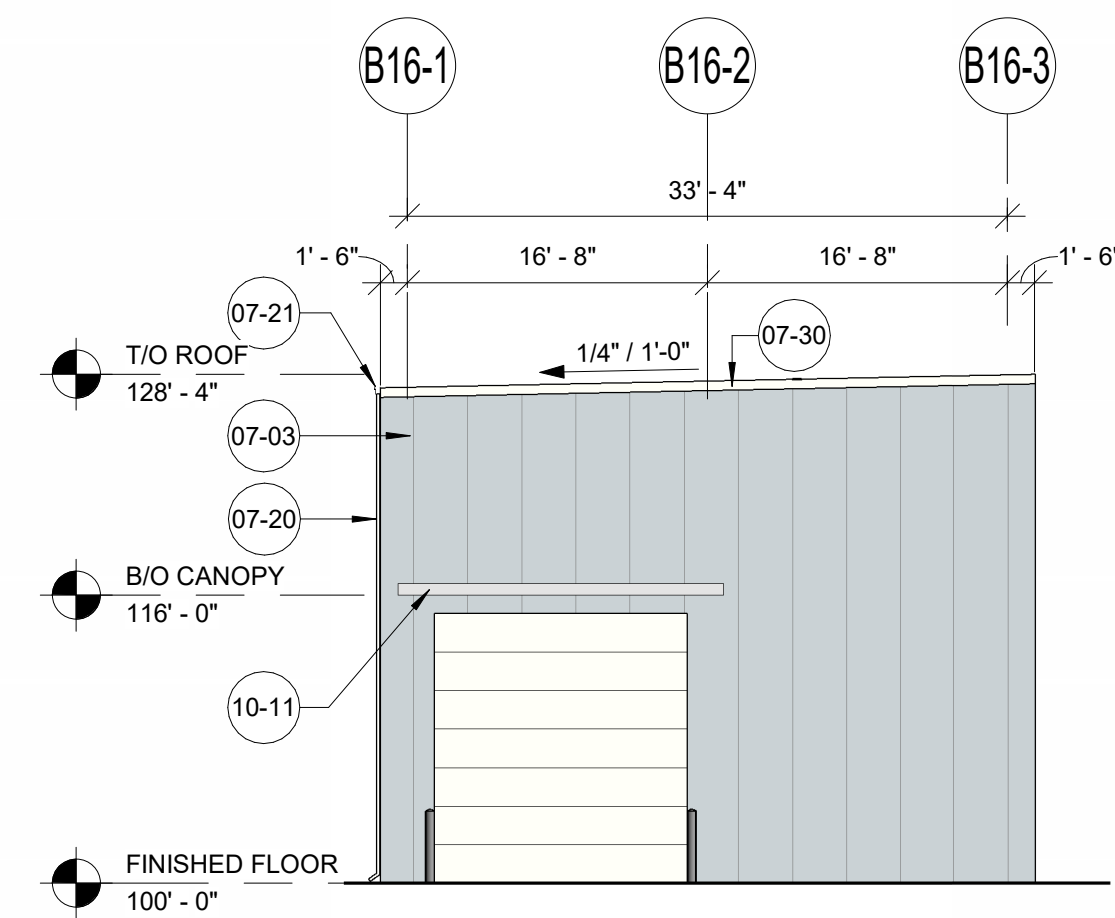
KEYNOTES

03-24	CONCRETE CONTAINMENT BARRIER - REF STRUCTURAL DRAWINGS
07-03	INSULATED METAL PANEL - 2" VERTICAL (971 CHROMIUM GRAY) BY CENTRIA
07-20	PREFINISHED METAL DOWNSPOUT (DS) - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
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10-10	WIRE MESH
10-11	MAPES SUPERSHADE CANOPY (FINISH - CLEAR ANODIZED)
13-01	STRUCTURE - REFERENCE PRE-ENGINEERED METAL BUILDING DRAWINGS AND SPECIFICATIONS

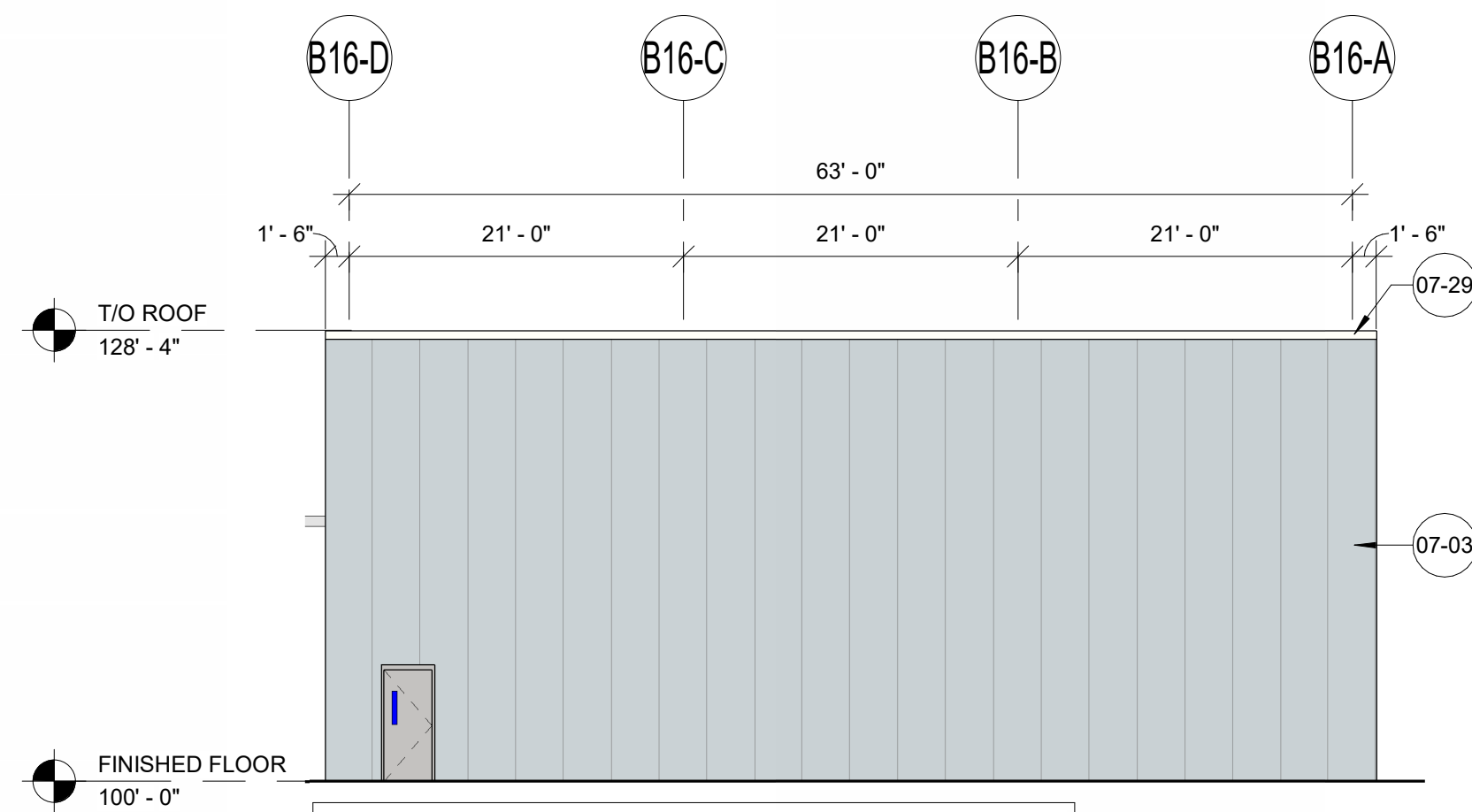
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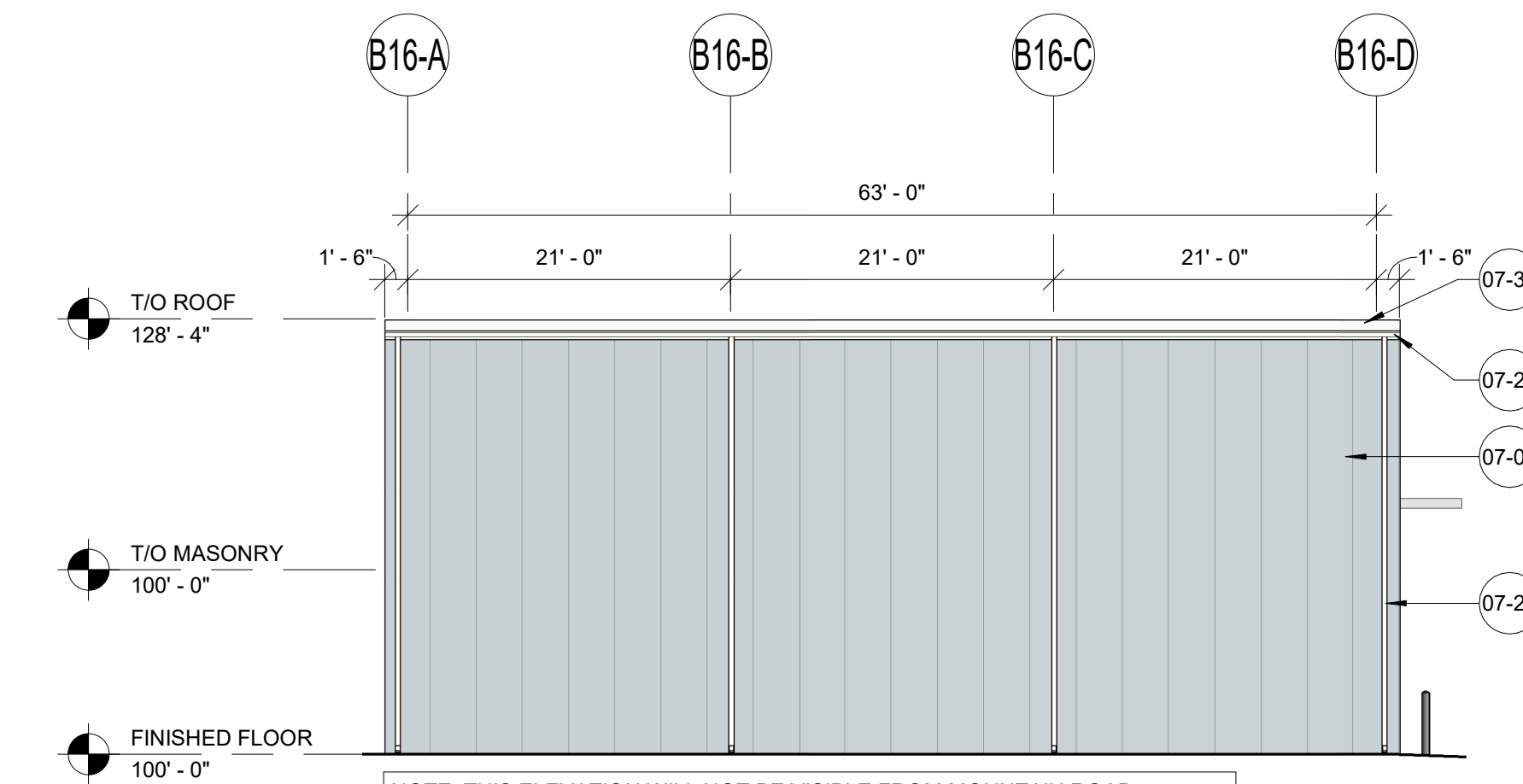
1 B-16 NORTH ELEVATION
3/32" = 1'-0"



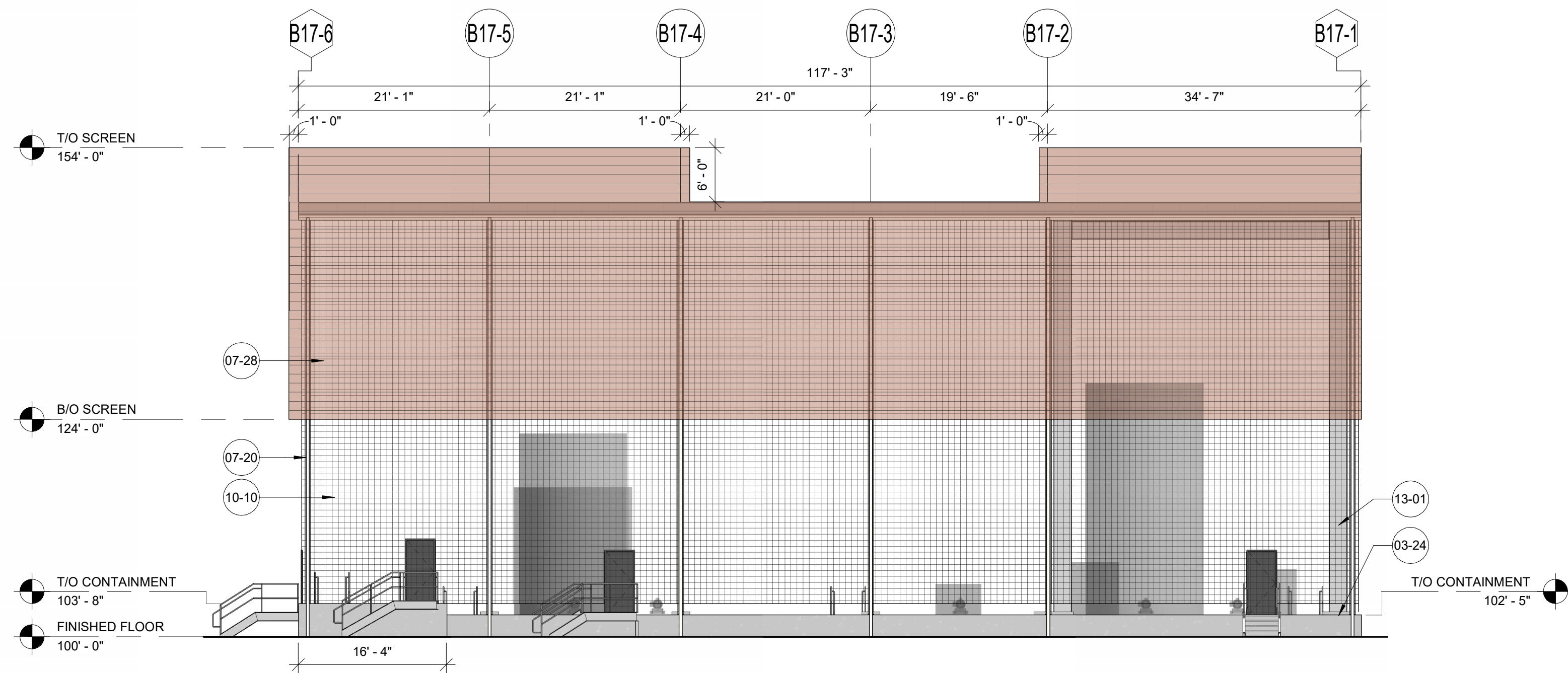
2 B-16 SOUTH ELEVATION
3/32" = 1'-0"



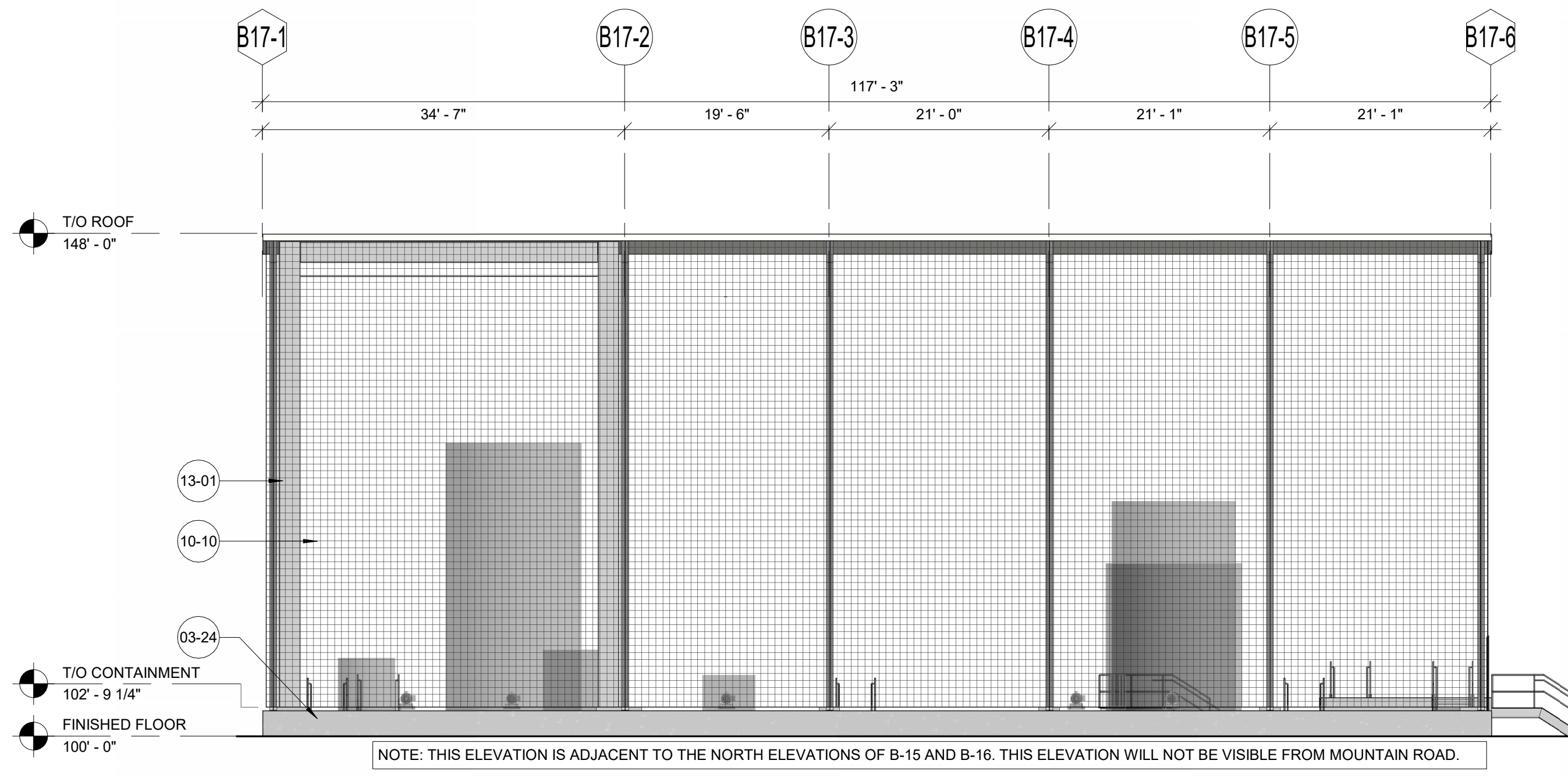
3 B-16 EAST ELEVATION
3/32" = 1'-0"



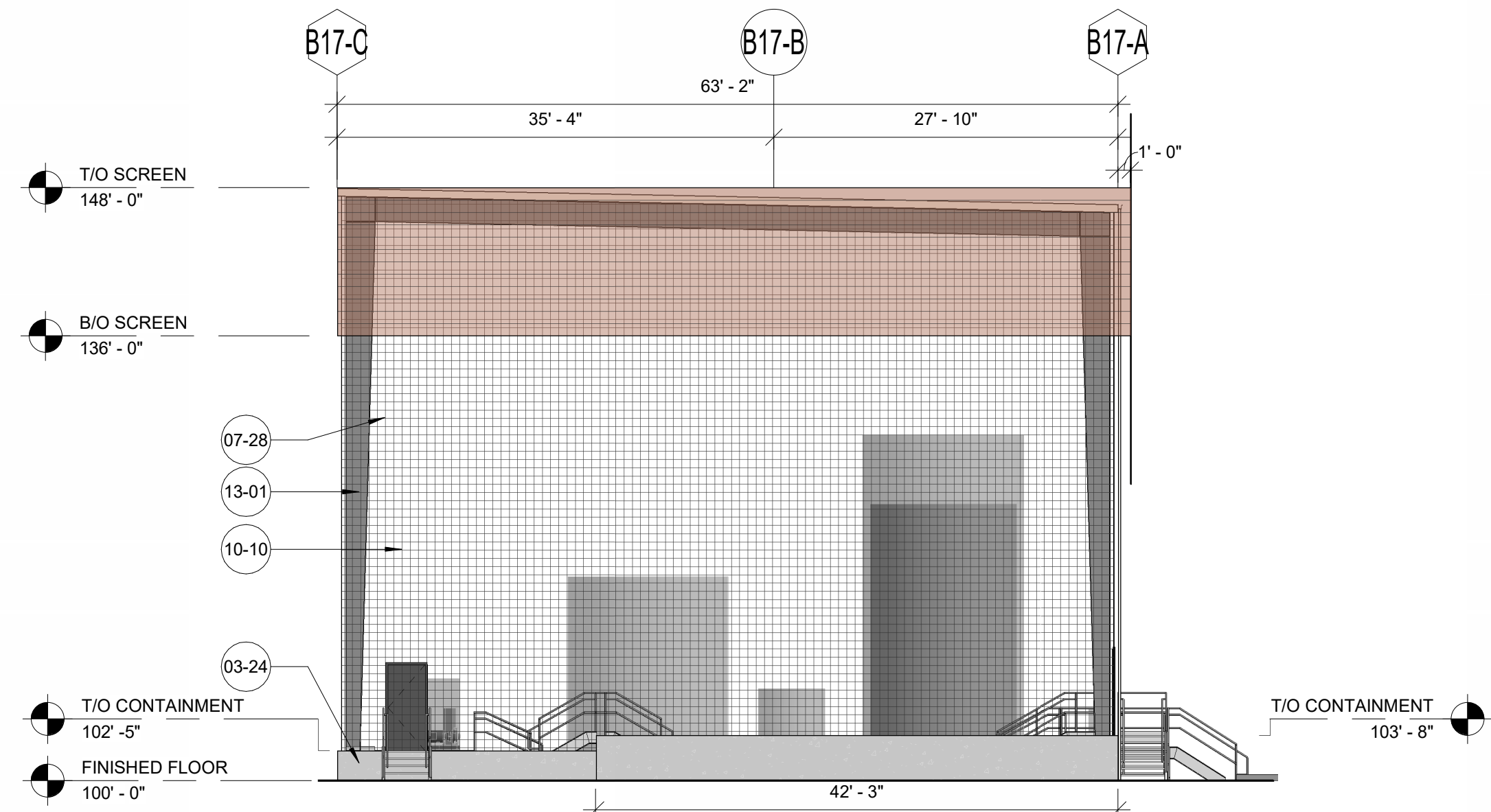
4 B-16 WEST ELEVATION
3/32" = 1'-0"



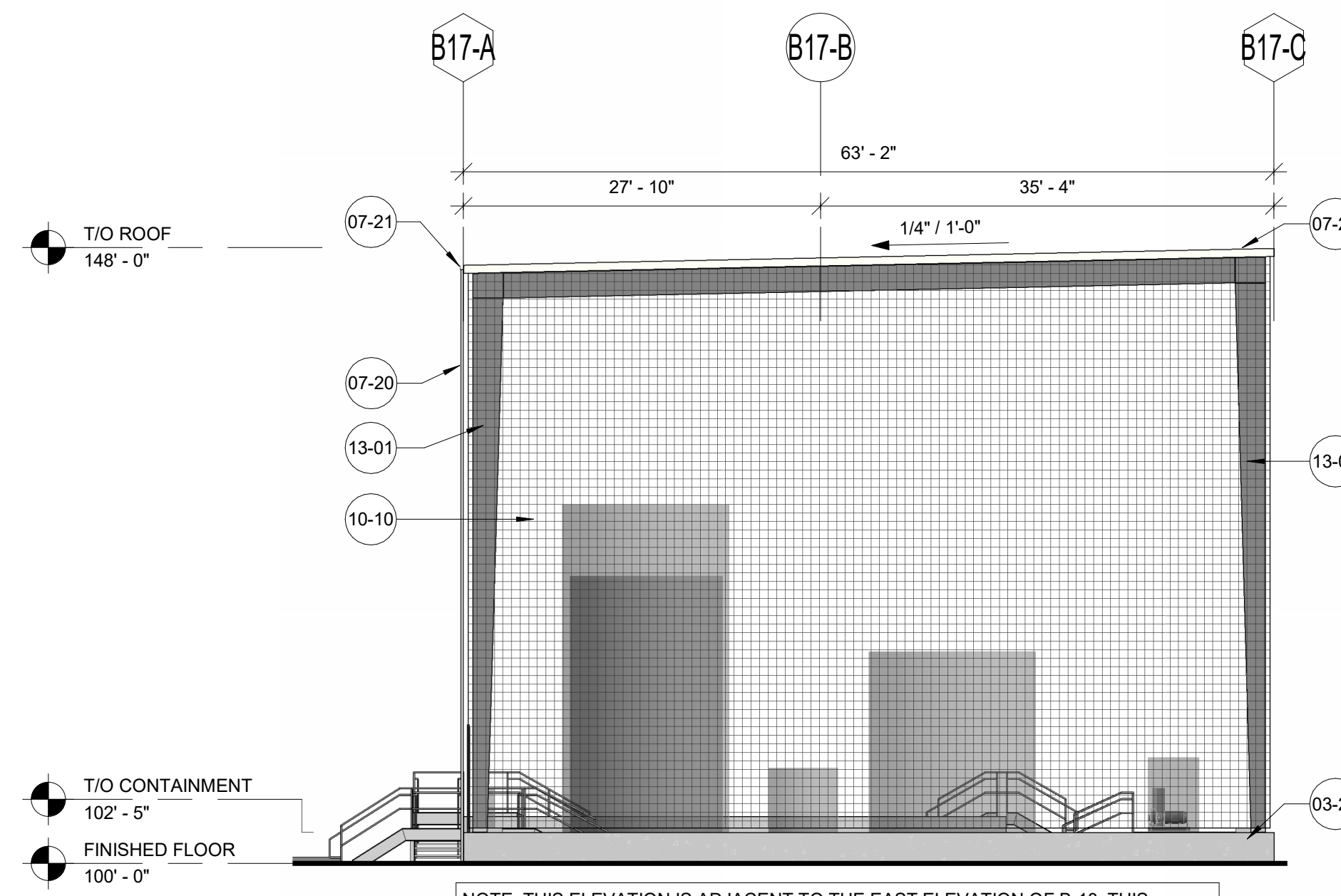
5 B-17 NORTH ELEVATION
3/32" = 1'-0"



6 B-17 SOUTH ELEVATION
3/32" = 1'-0"



7 B-17 EAST ELEVATION
3/32" = 1'-0"



8 B-17 WEST ELEVATION
3/32" = 1'-0"

BUILDING WALL MATERIAL ARTICULATION:

B16: PURIFICATION BUILDING:

NORTH ELEVATION:

TOTAL SURFACE AREA:	995 SQ FT
INSULATED METAL PANEL:	995 SQ FT
% OF TOTAL:	100%

SOUTH ELEVATION:

TOTAL SURFACE AREA:	995 SQ FT
INSULATED METAL PANEL:	995 SQ FT
% OF TOTAL:	100%

EAST ELEVATION:

TOTAL SURFACE AREA:	1841 SQ FT
INSULATED METAL PANEL:	1841 SQ FT
% OF TOTAL:	100%

WEST ELEVATION:

TOTAL SURFACE AREA:	1820 SQ FT
INSULATED METAL PANEL:	1820 SQ FT
% OF TOTAL:	100%

B17 REWORK & PH SHELTER:

NORTH ELEVATION:

TOTAL SURFACE AREA:	6119 SQ FT
METAL SCREEN:	3319 SQ FT
% OF TOTAL:	55%
WIRE MESH:	2496 SQ FT
% OF TOTAL:	41%
CONCRETE WALL:	304 SQ FT
% OF TOTAL:	4%

SOUTH ELEVATION:

TOTAL SURFACE AREA:	5518 SQ FT
WIRE MESH:	5234 SQ FT
% OF TOTAL:	95%
CONCRETE WALL:	284 SQ FT
% OF TOTAL:	5%

EAST ELEVATION:

TOTAL SURFACE AREA:	3023 SQ FT
METAL SCREEN:	770 SQ FT
% OF TOTAL:	25%
WIRE MESH:	2047 SQ FT
% OF TOTAL:	68%
CONCRETE WALL:	206 SQ FT
% OF TOTAL:	7%

WEST ELEVATION:

TOTAL SURFACE AREA:	2918 SQ FT
WIRE MESH:	2765 SQ FT
% OF TOTAL:	95%
CONCRETE WALL:	153 SQ FT
% OF TOTAL:	5%



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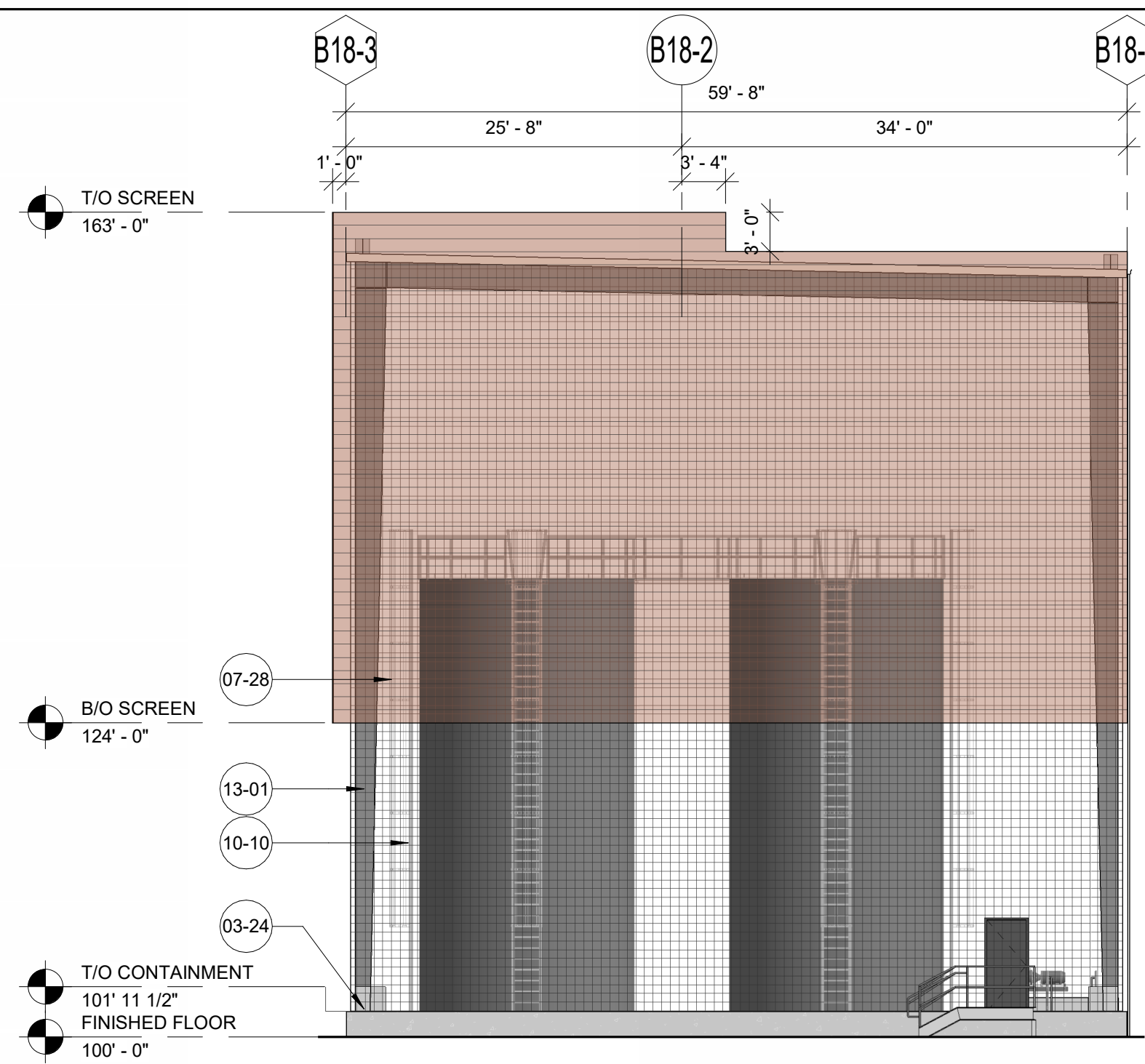
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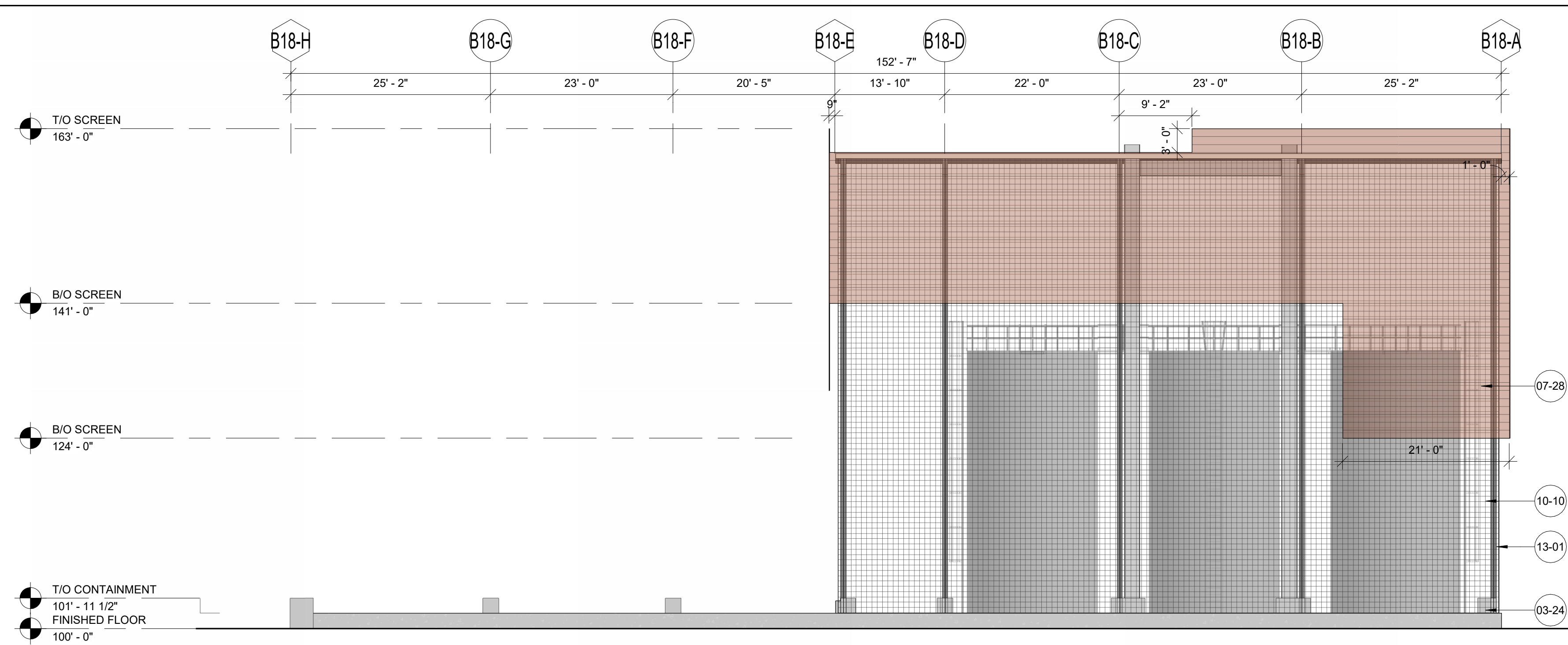
EXTERIOR ELEVATIONS - B-16 & B-17

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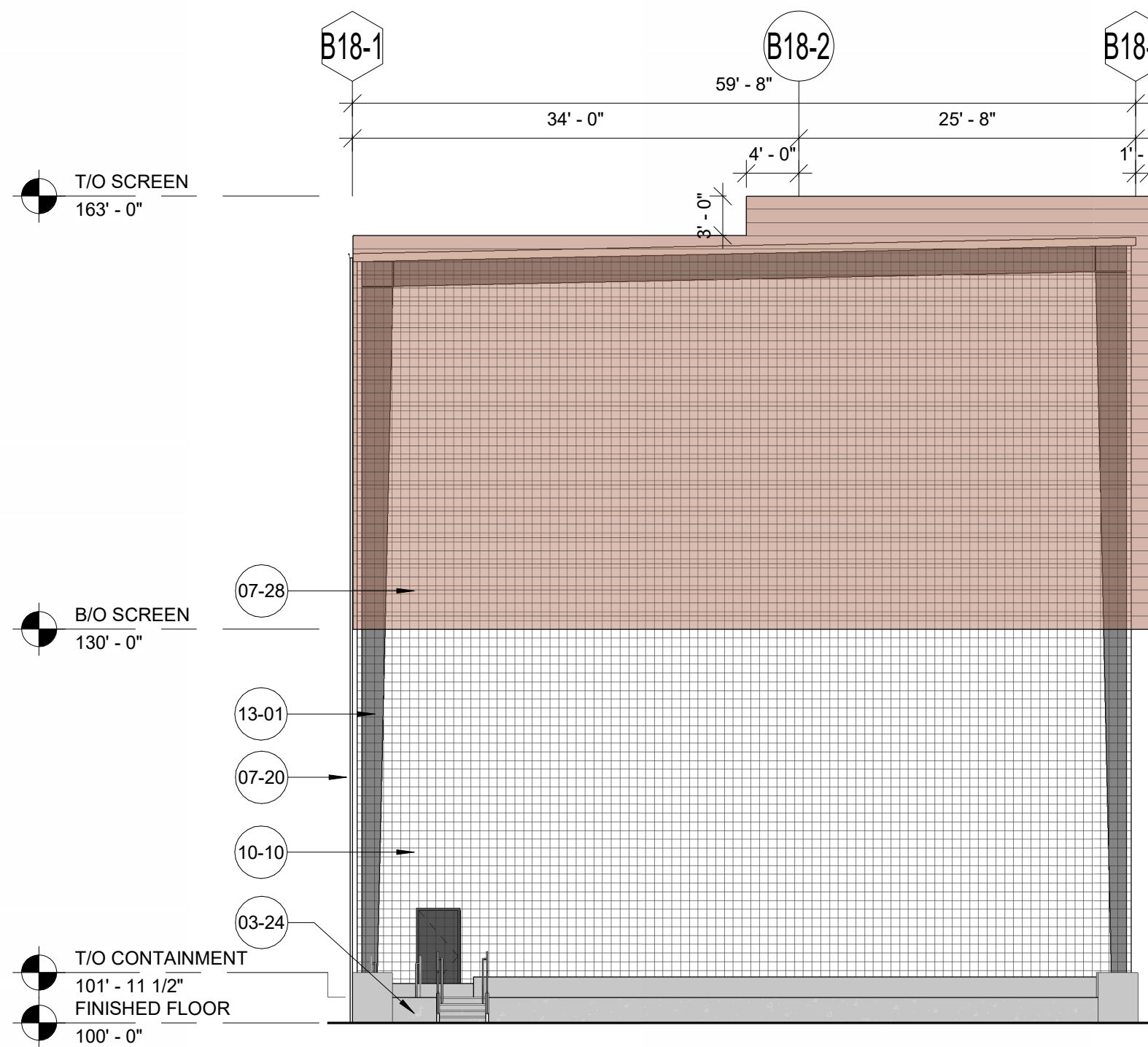
JOB NUMBER	SHEET NUMBER
2024045	A-202



1 B-18 NORTH ELEVATION
3/32" = 1'-0"



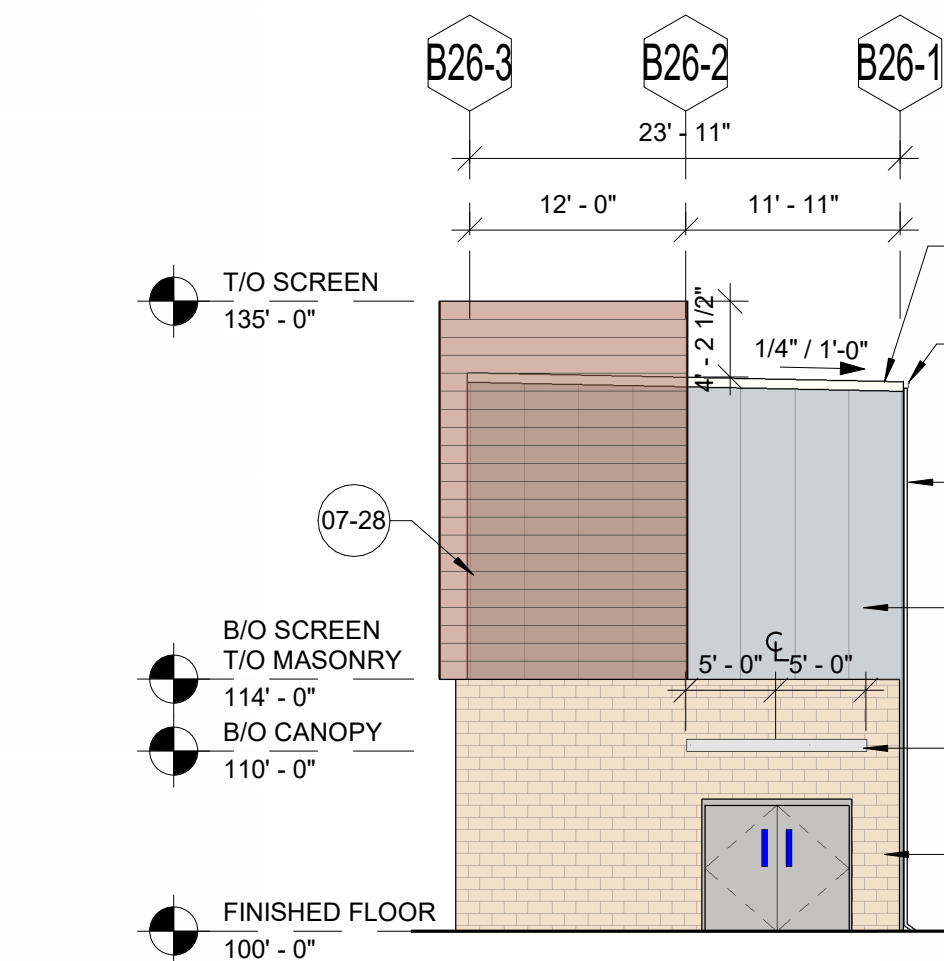
2 B-18 EAST ELEVATION
3/32" = 1'-0"



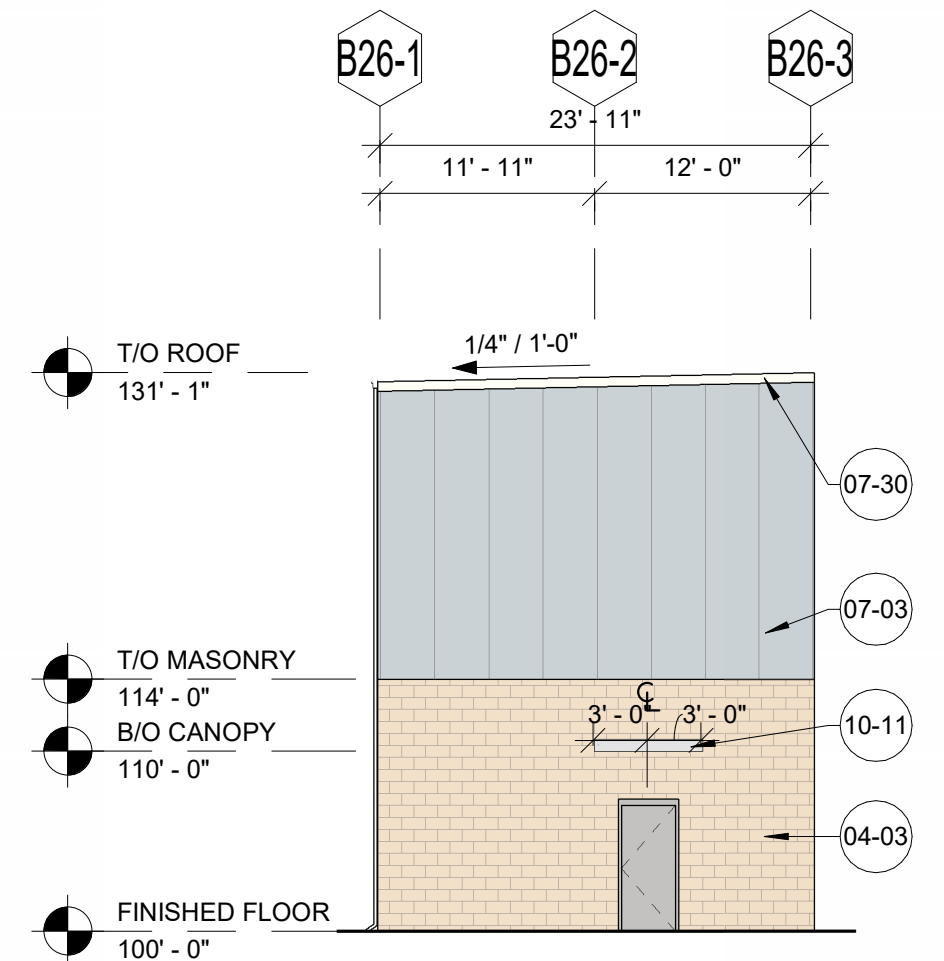
3 B-18 SOUTH ELEVATION
3/32" = 1'-0"



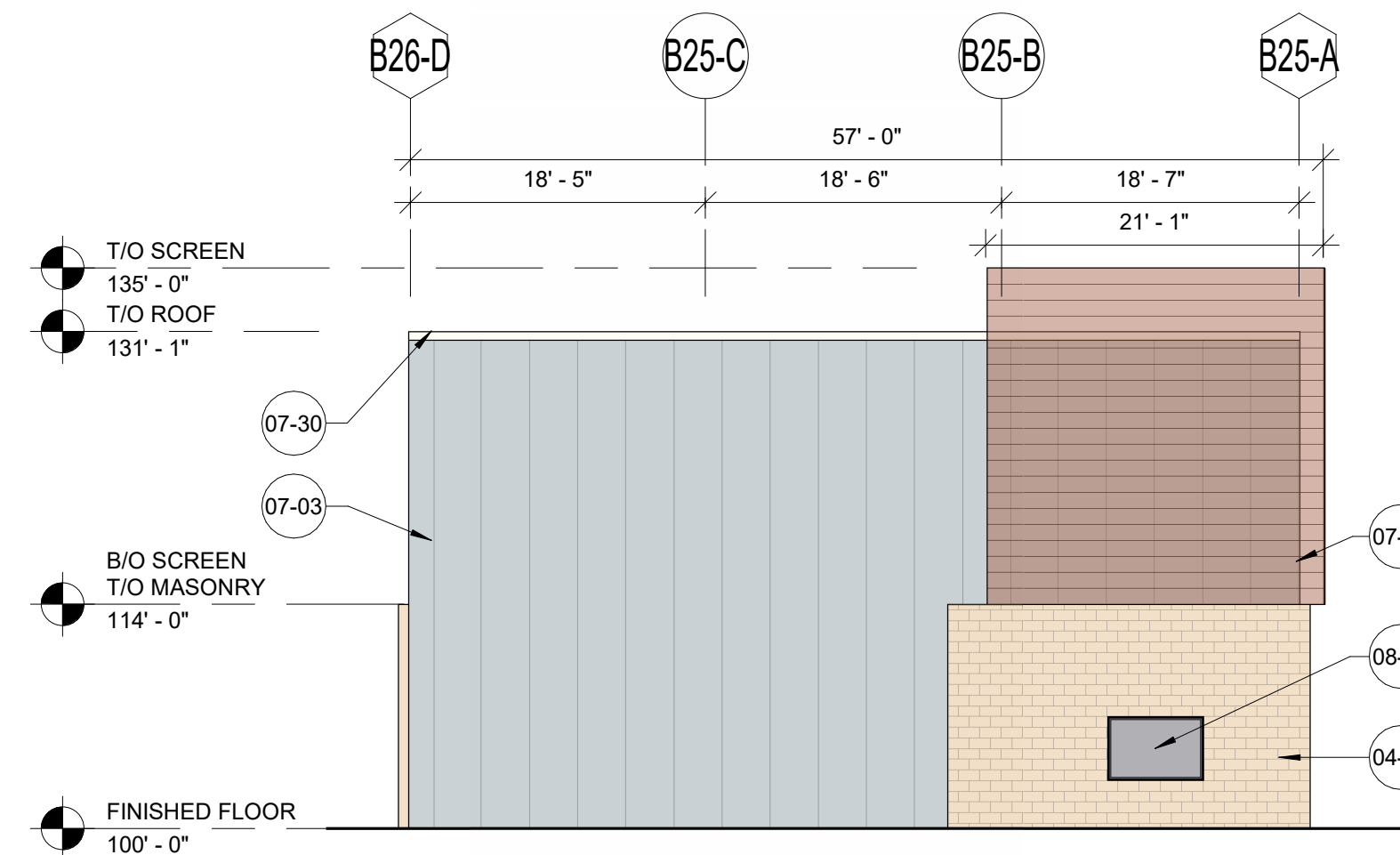
4 B-18 WEST ELEVATION
3/32" = 1'-0"



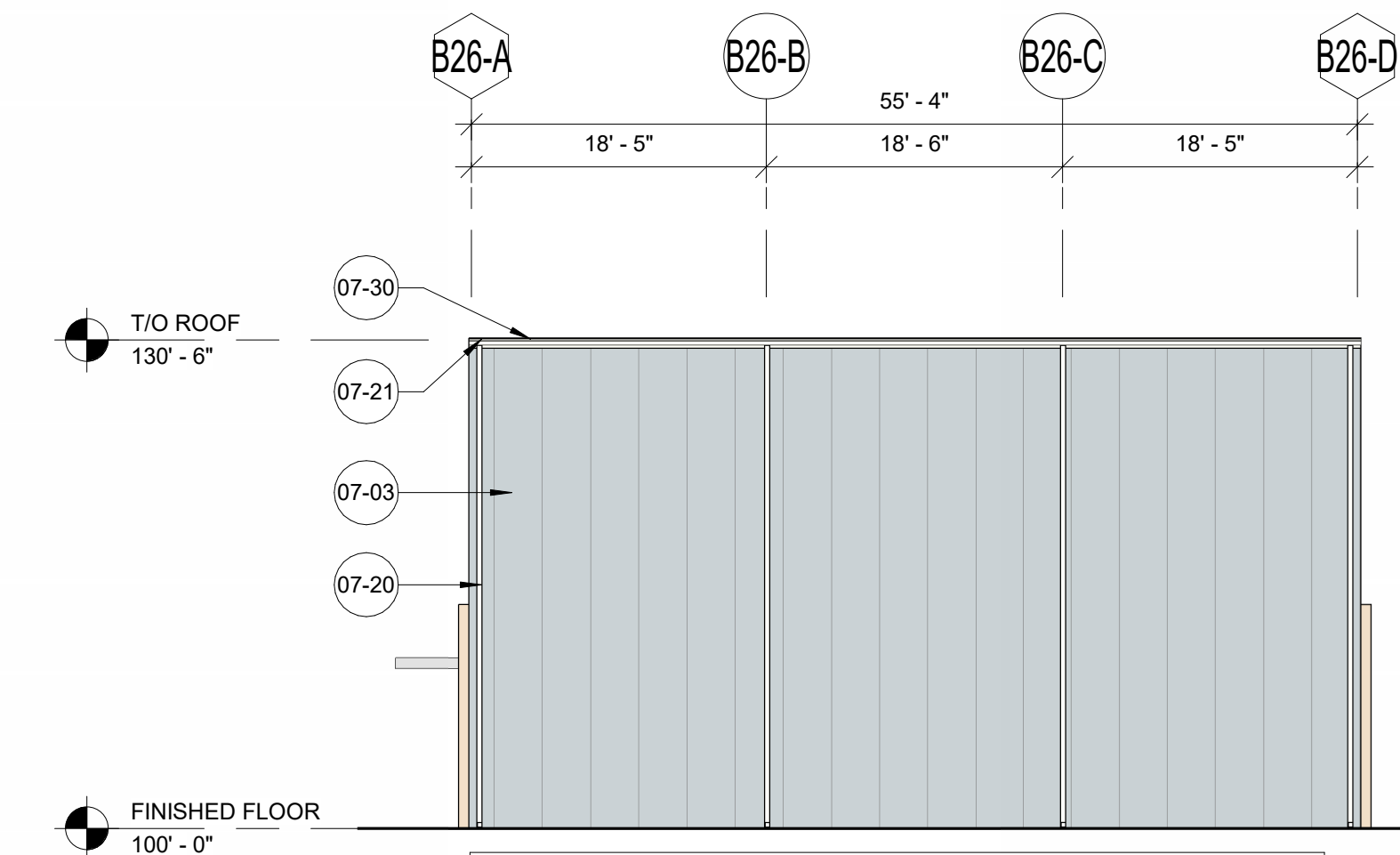
5 B-26 NORTH ELEVATION
3/32" = 1'-0"



6 B-26 SOUTH ELEVATION
3/32" = 1'-0"



7 B-26 EAST ELEVATION
3/32" = 1'-0"



8 B-26 WEST ELEVATION
3/32" = 1'-0"

KEYNOTES

03-24	CONCRETE CONTAINMENT BARRIER - REF STRUCTURAL DRAWINGS
04-03	8" SPLIT-FACE MASONRY - DURANGO FINISH BY ECHELON
07-03	INSULATED METAL PANEL - 2" VERTICAL (971 CHROMIUM GRAY) BY CENTRIA
07-20	PREFINISHED METAL DOWNSPOUT (DS) - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
07-21	PREFINISHED METAL GUTTER - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
07-28	CENTRIA ECOSCREEN PERFORATED SCREENWALL (CS-260 - 783 SIENNA FINISH)
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07-30	TPO MEMBRANE ROOFING WITH MECHANICALLY FASTENED 2 LAYER OF 1" RIGID INSULATION (MINIMUM R-30) ON METAL DECK
08-05	ALUMINUM STOREFRONT WINDOW - SPANDREL GLAZING
10-10	WIRE MESH
10-11	MAPES SUPERSHADE CANOPY (FINISH - CLEAR ANODIZED)
13-01	STRUCTURE - REFERENCE PRE-ENGINEERED METAL BUILDING DRAWINGS AND SPECIFICATIONS

BUILDING WALL MATERIAL ARTICULATION :

B18 PRODUCT TANK SHELTER HYDROGEN PEROXIDE:

NORTH ELEVATION:

TOTAL SURFACE AREA:	3697 SQ FT
METAL SCREEN:	2275 SQ FT
% OF TOTAL:	62%
WIRE MESH:	1305 SQ FT
% OF TOTAL:	35%
CONCRETE:	117 SQ FT
% OF TOTAL:	3%

SOUTH ELEVATION:

TOTAL SURFACE AREA:	3689 SQ FT
METAL SCREEN:	1913 SQ FT
% OF TOTAL:	52%
WIRE MESH:	1659 SQ FT
% OF TOTAL:	45%
CONCRETE:	117 SQ FT
% OF TOTAL:	3%

EAST ELEVATION:

TOTAL SURFACE AREA:	5345 SQ FT
METAL SCREEN:	2101 SQ FT
% OF TOTAL:	39%
WIRE MESH:	2945 SQ FT
% OF TOTAL:	55%
CONCRETE:	299 SQ FT
% OF TOTAL:	6%

WEST ELEVATION:

TOTAL SURFACE AREA:	4998 SQ FT
METAL SCREEN:	4799 SQ FT
% OF TOTAL:	96%
CONCRETE:	299 SQ FT
% OF TOTAL:	4%

B26 UTILITY BUILDING (AMMONIUM HYDROXIDE):

NORTH ELEVATION:

TOTAL SURFACE AREA:	839 SQ FT
MASONRY:	346 SQ FT
% OF TOTAL:	41%
INSULATED METAL PANEL:	202 SQ FT
% OF TOTAL:	24%
METAL SCREEN:	291 SQ FT
% OF TOTAL:	35%

SOUTH ELEVATION:

TOTAL SURFACE AREA:	747 SQ FT
MASONRY:	340 SQ FT
% OF TOTAL:	46%
INSULATED METAL PANEL:	407 SQ FT
% OF TOTAL:	54%

EAST ELEVATION:

TOTAL SURFACE AREA:	1856 SQ FT
MASONRY:	317 SQ FT
% OF TOTAL:	17%
INSULATED METAL PANEL:	1053 SQ FT
% OF TOTAL:	59%
METAL SCREEN:	446 SQ FT
% OF TOTAL:	24%

WEST ELEVATION:

TOTAL SURFACE AREA:	1720 SQ FT
INSULATED METAL PANEL:	1720 SQ FT
% OF TOTAL:	100%

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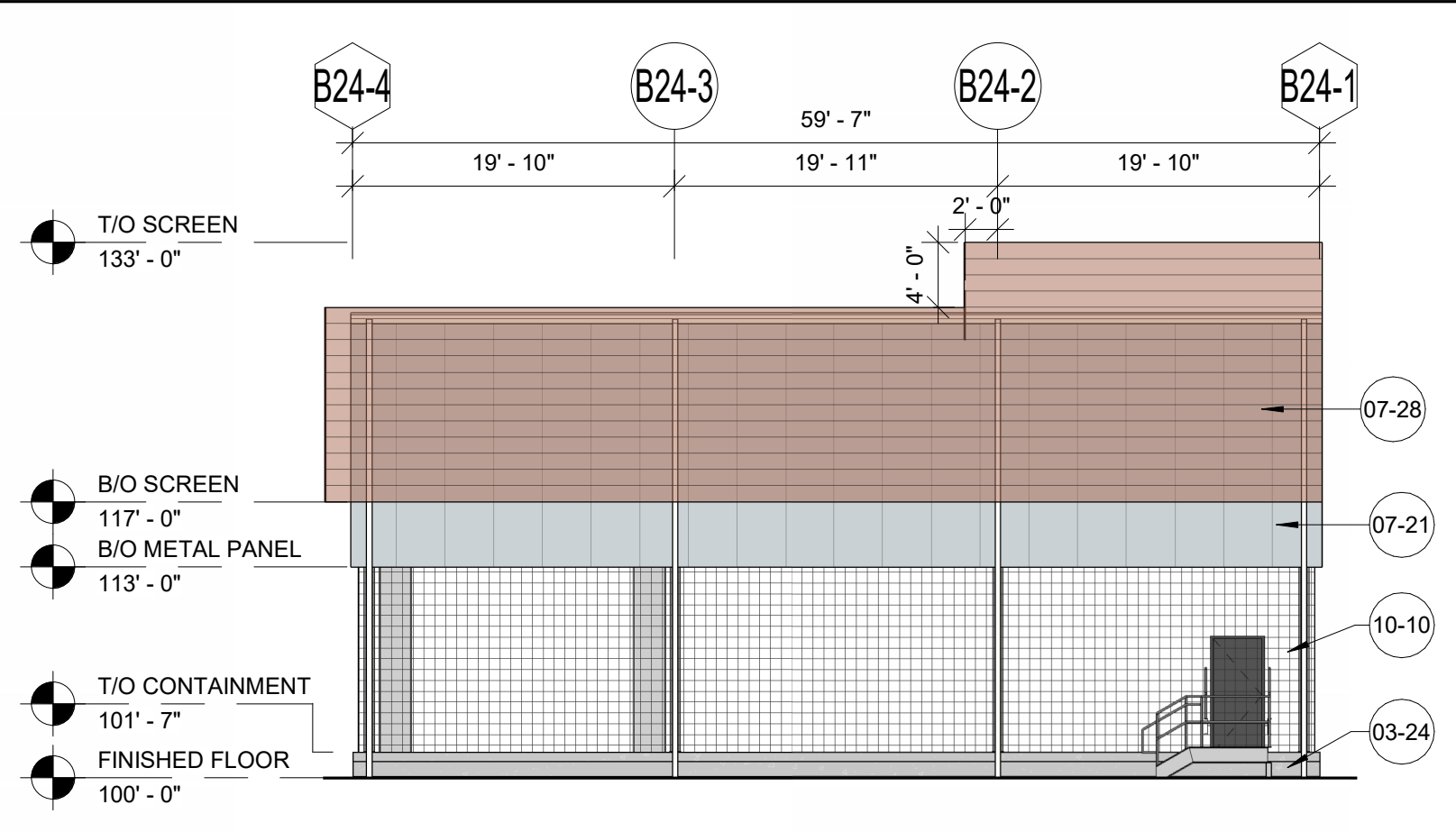
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EXTERIOR ELEVATIONS - B-18 & B-26

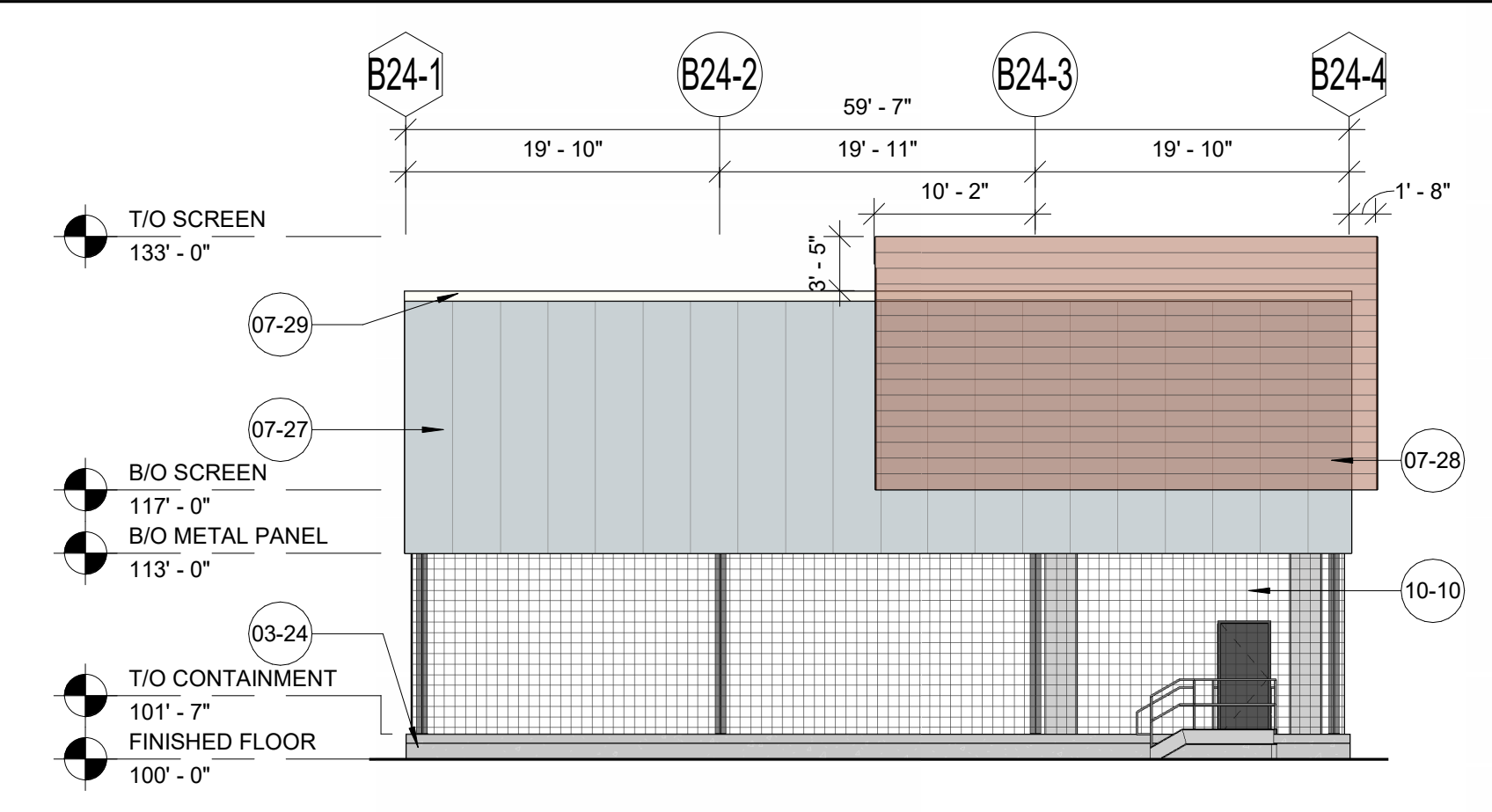
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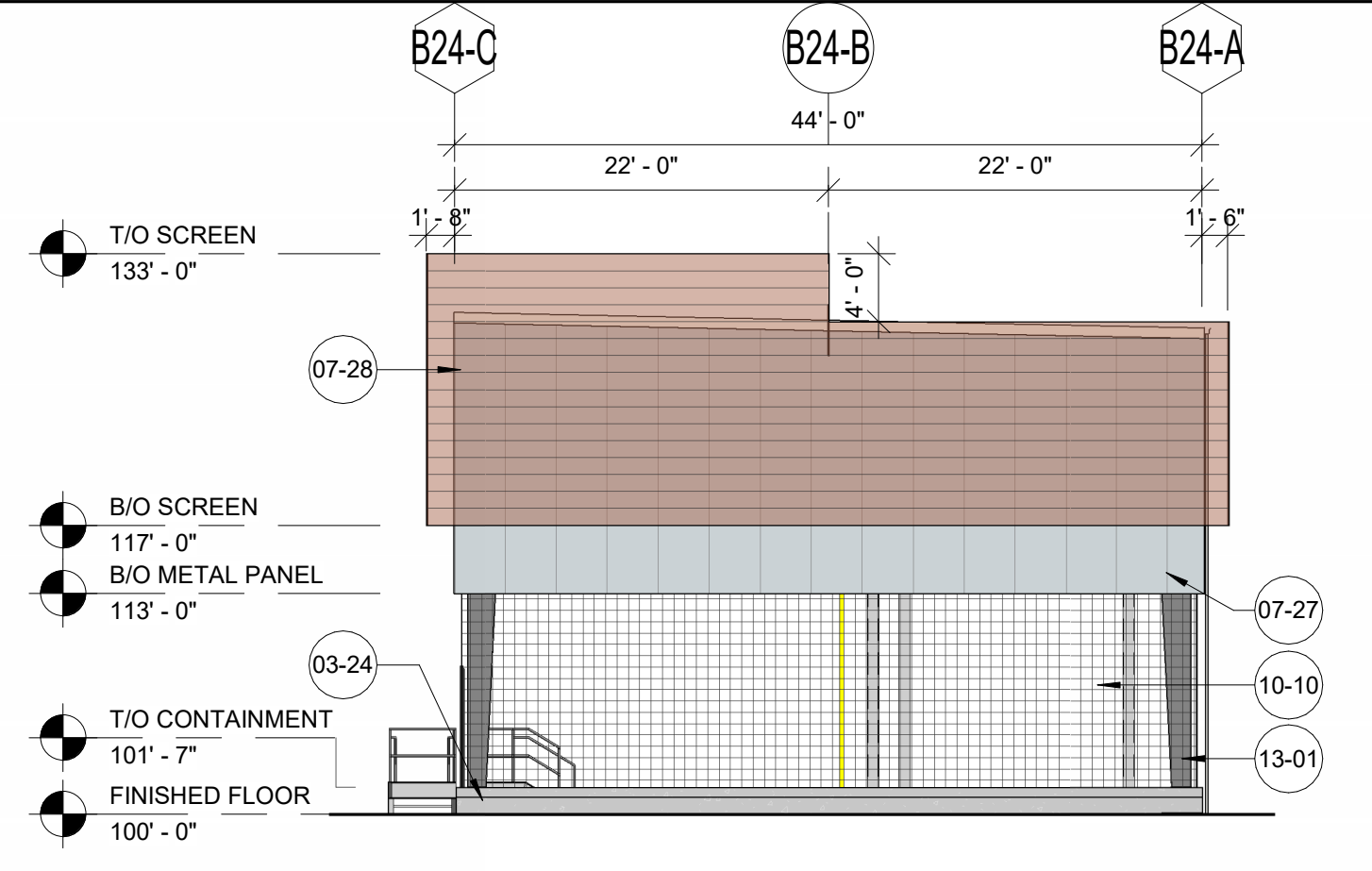
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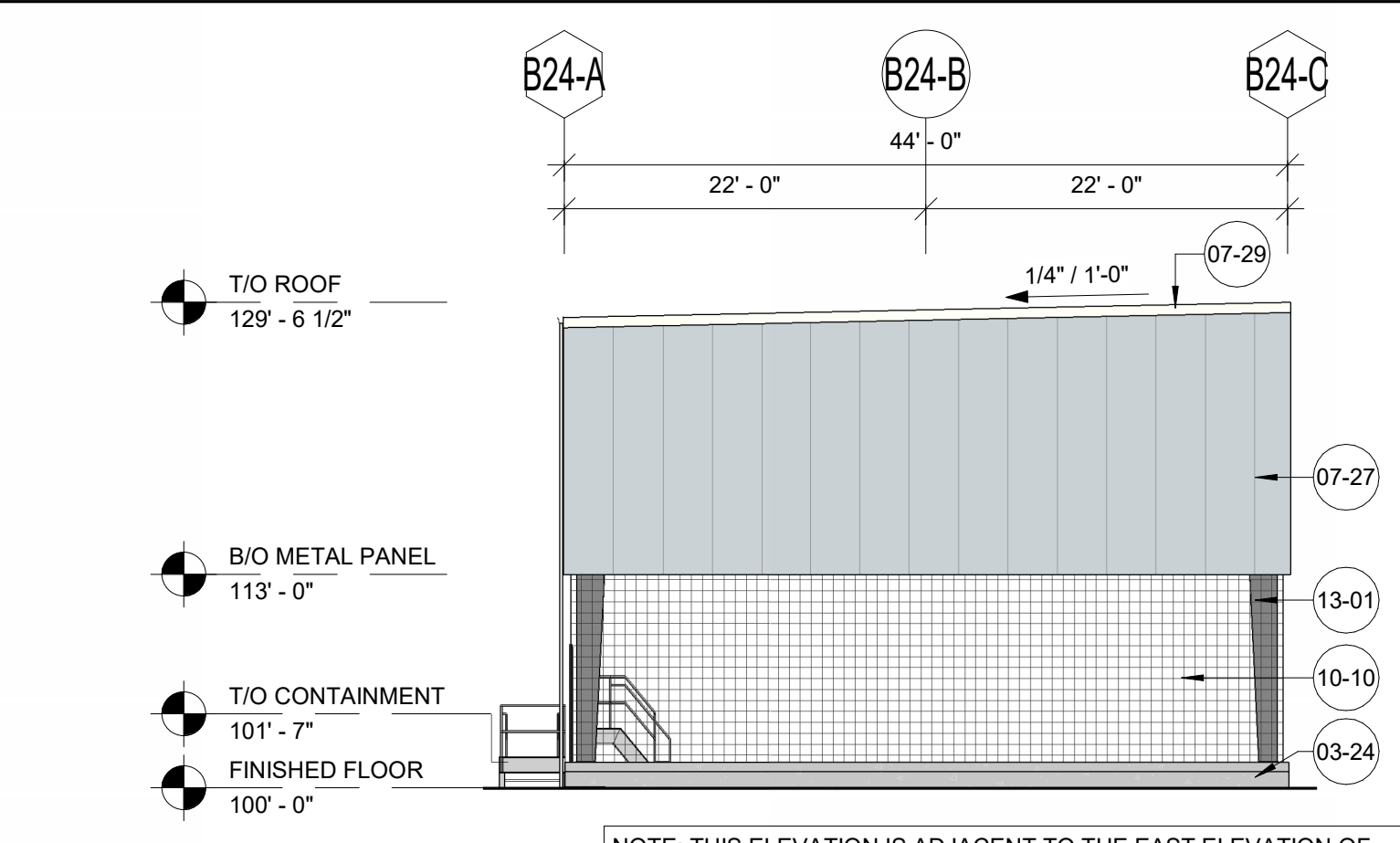
1 B-24 NORTH ELEVATION
3/32" = 1'-0"



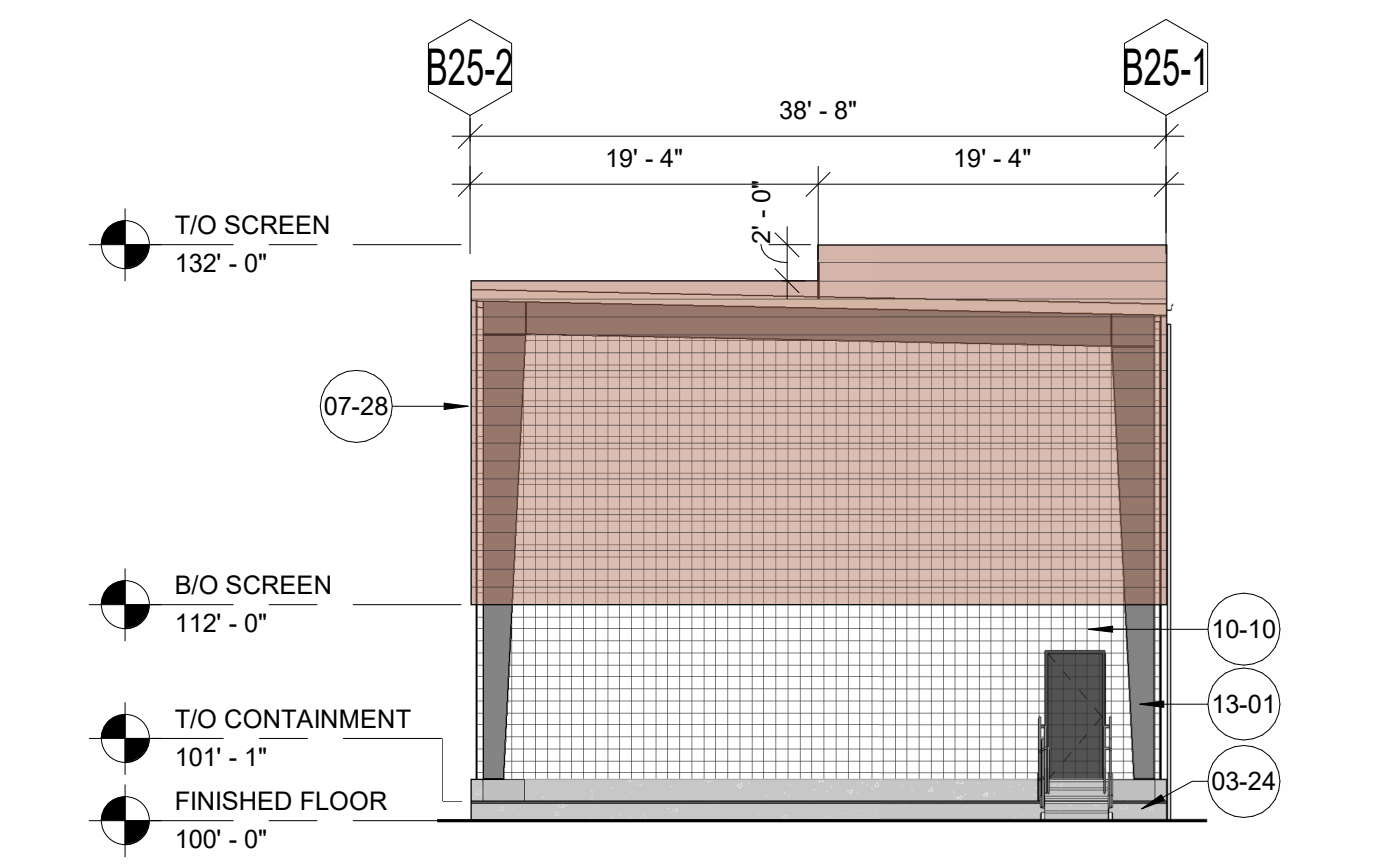
2 B-24 SOUTH ELEVATION
3/32" = 1'-0"



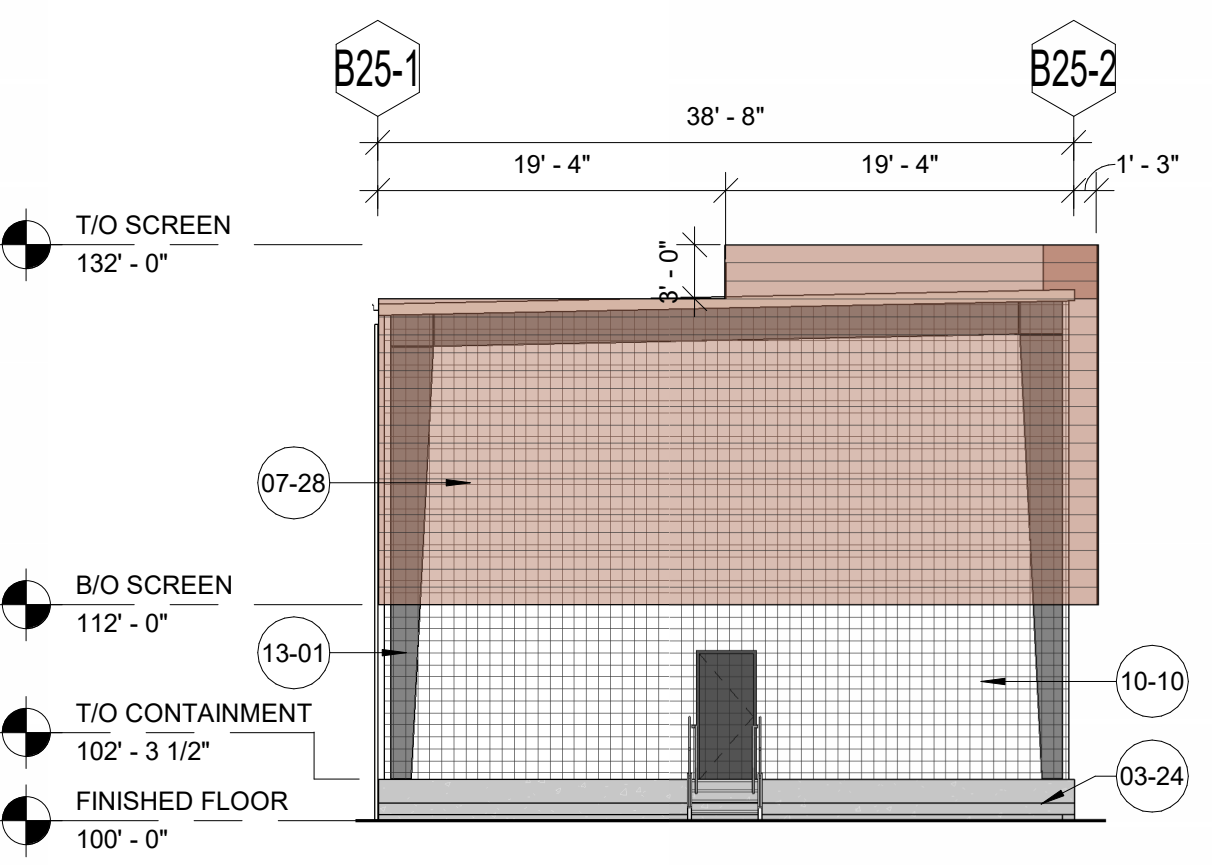
3 B-24 EAST ELEVATION
3/32" = 1'-0"



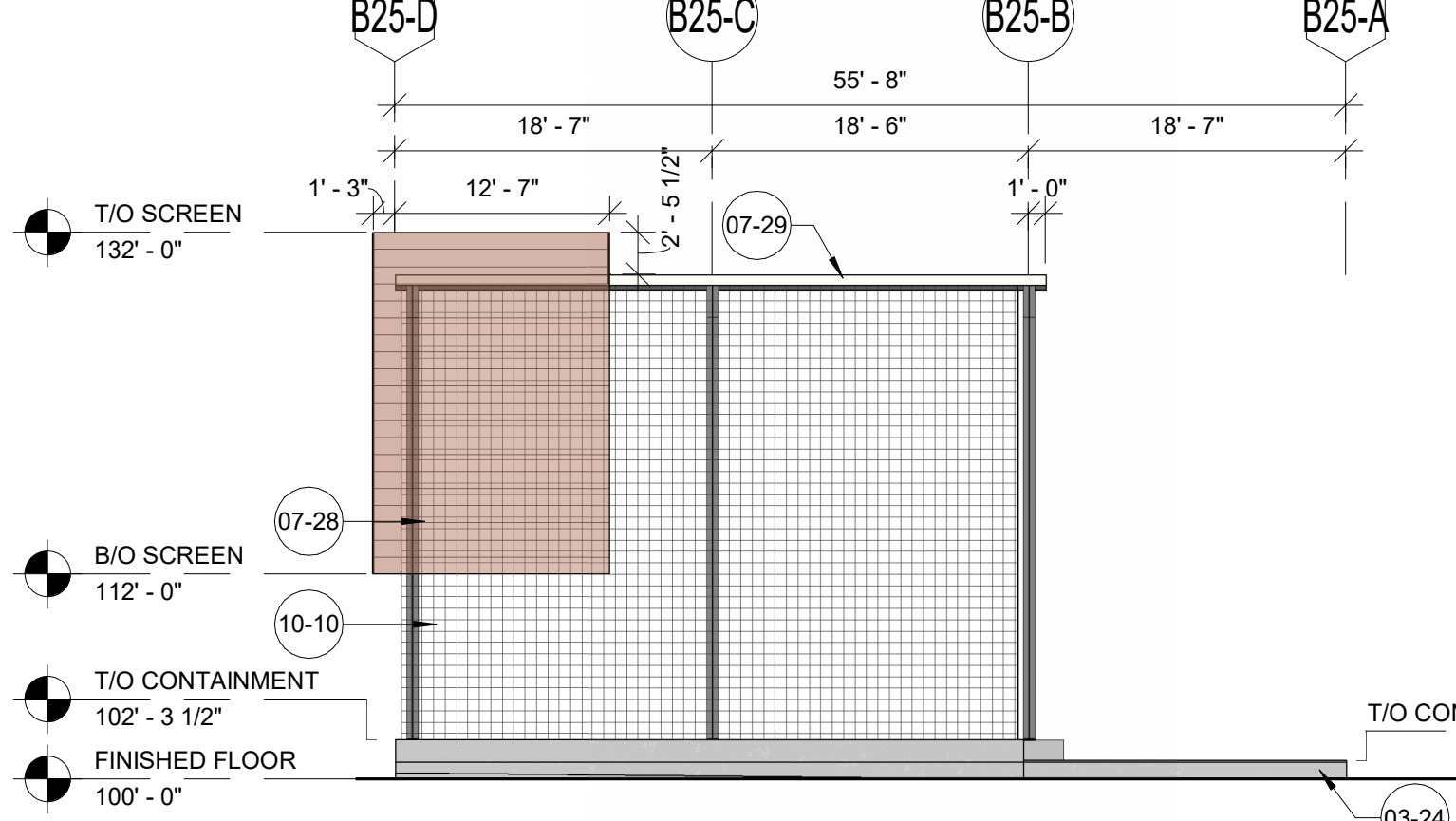
4 B-24 WEST ELEVATION
3/32" = 1'-0"



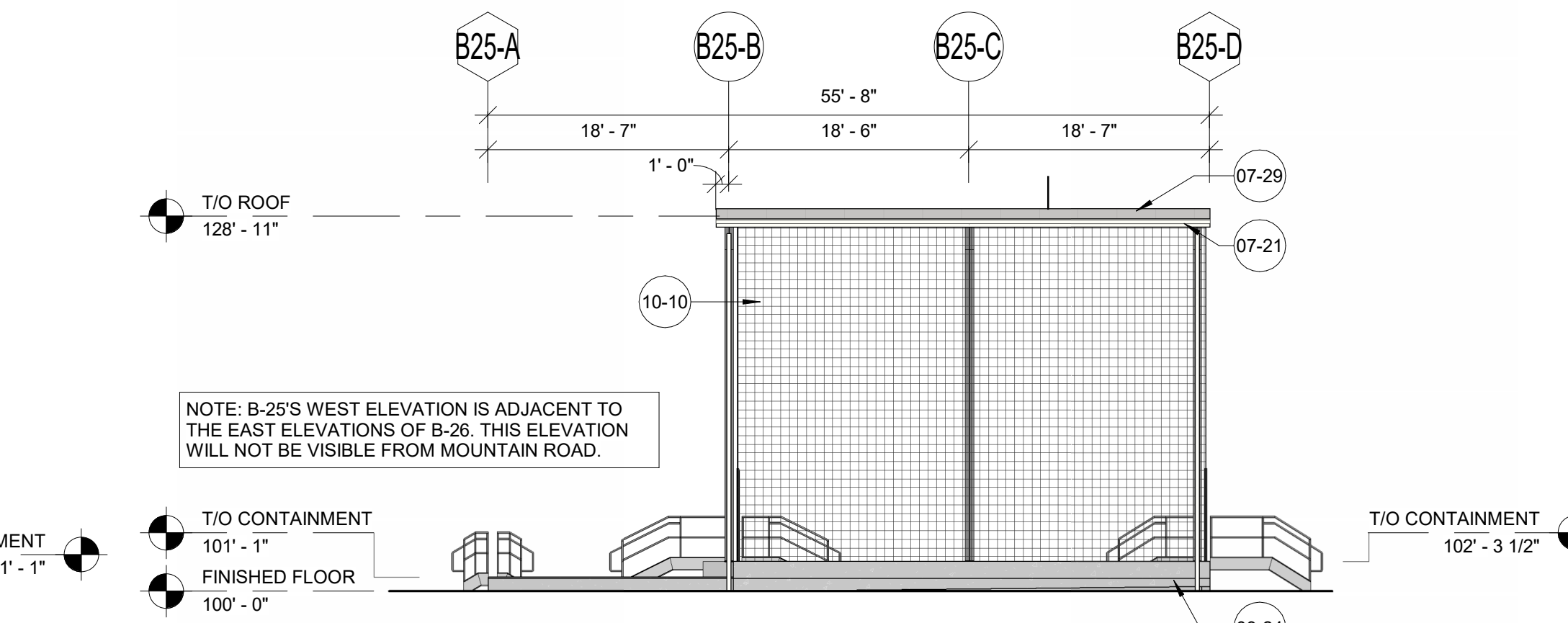
5 B-25 NORTH ELEVATION
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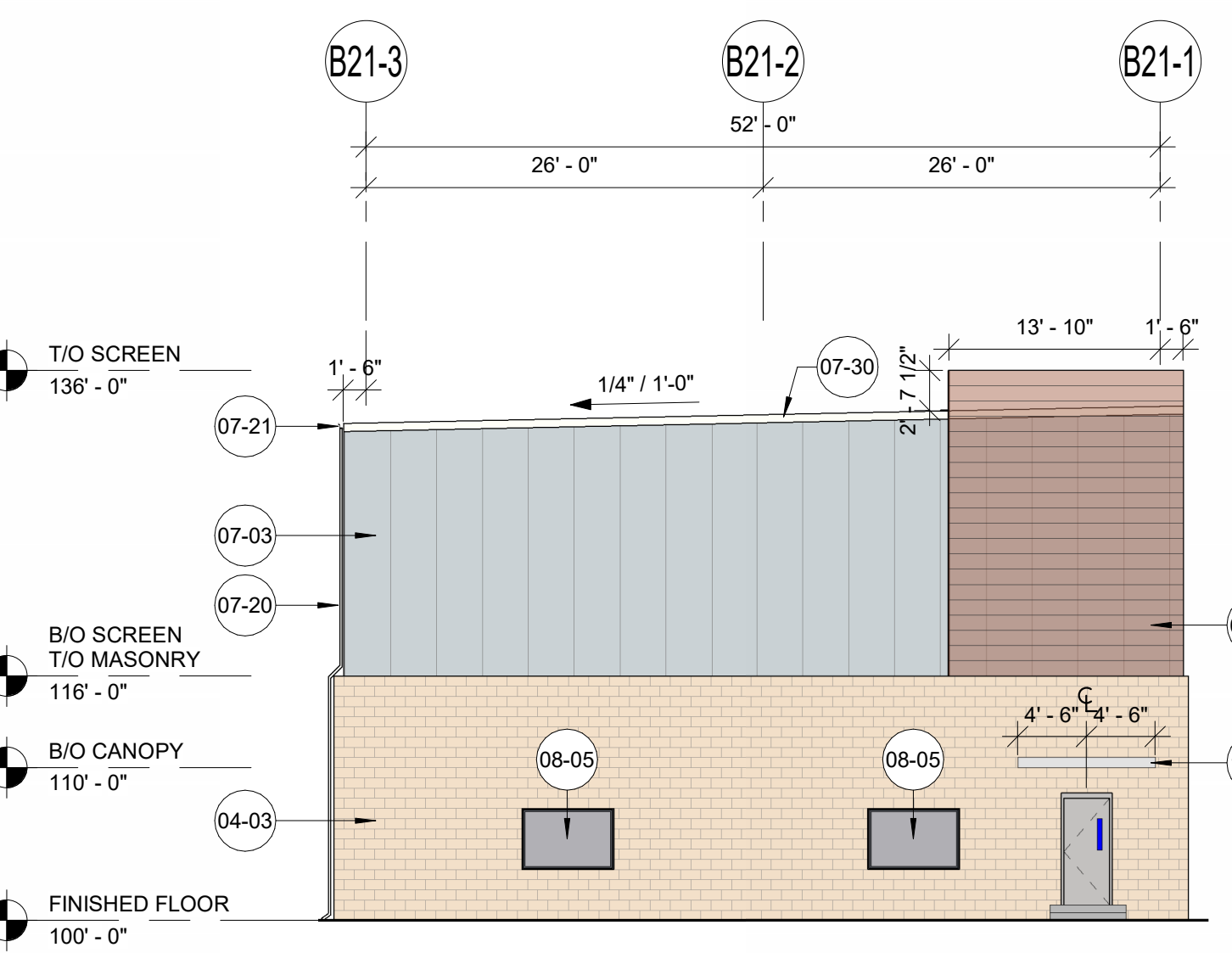
6 B-25 SOUTH ELEVATION
3/32" = 1'-0"



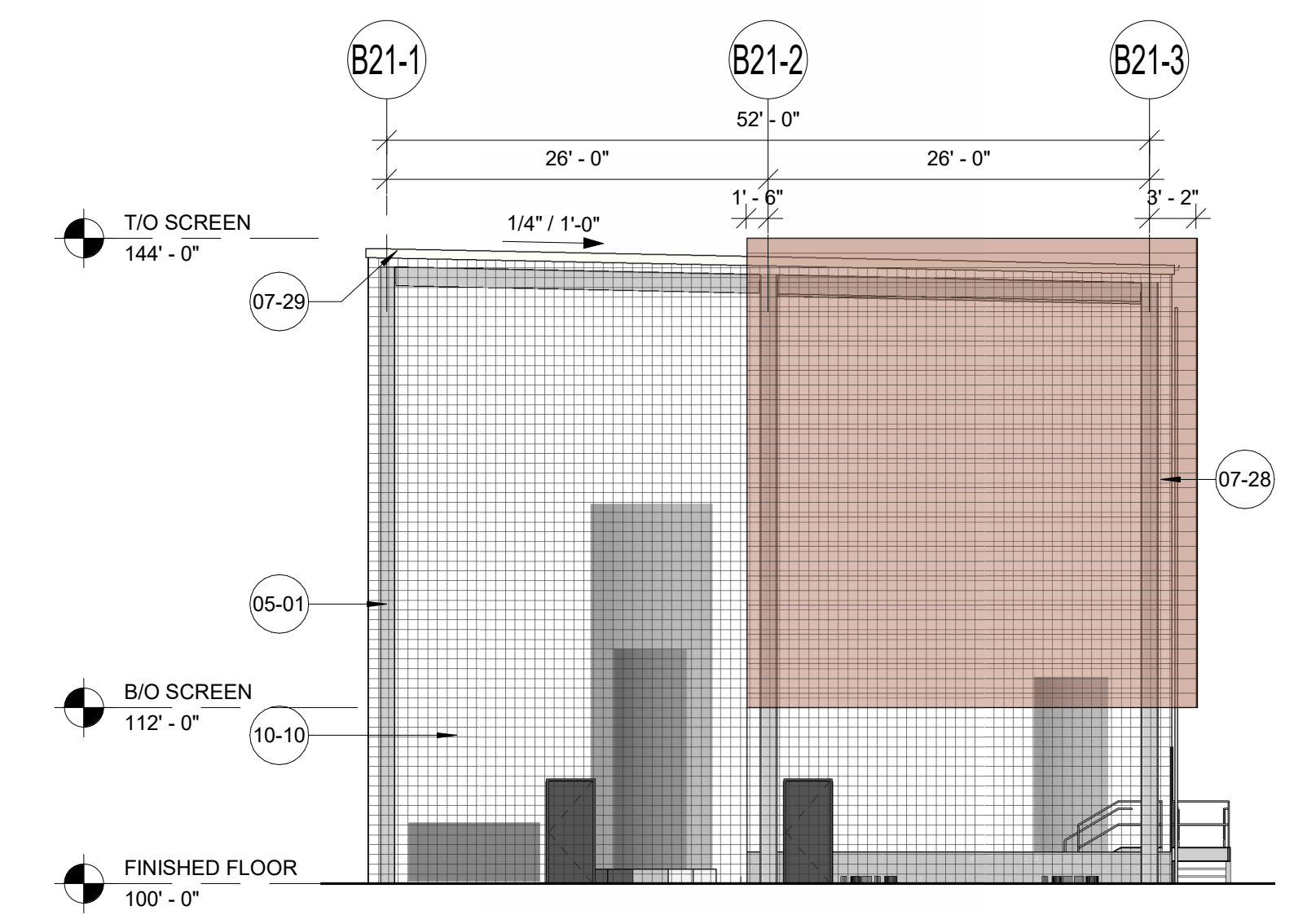
7 B-25 EAST ELEVATION
3/32" = 1'-0"



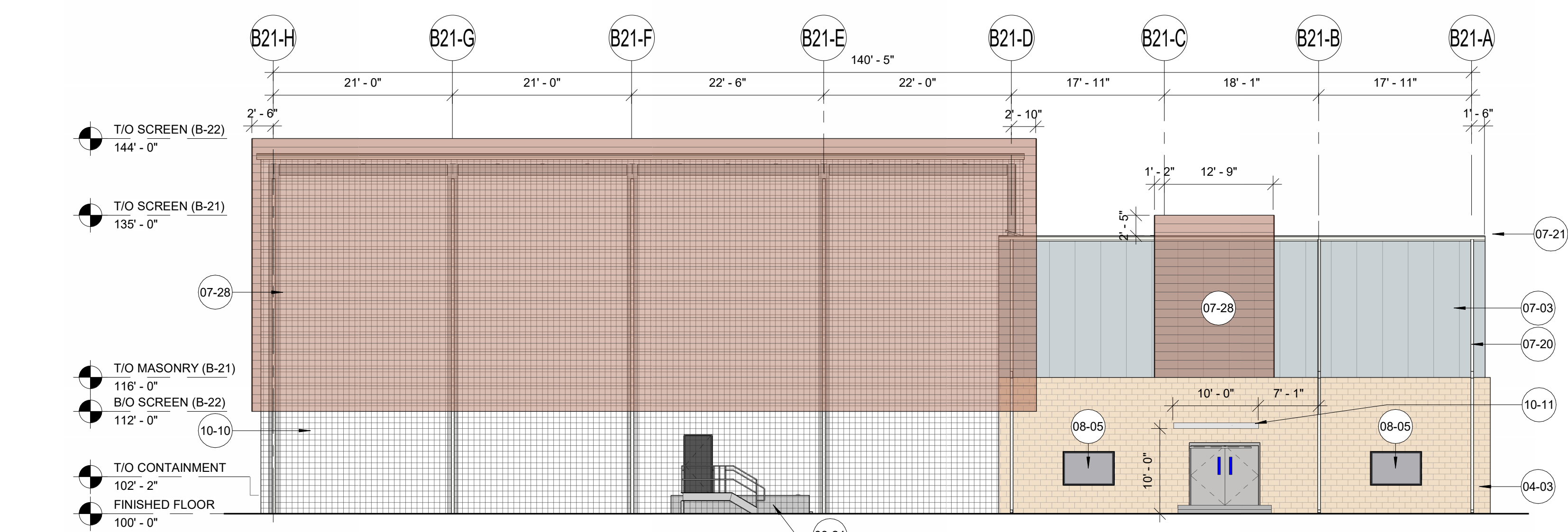
8 B-25 WEST ELEVATION
3/32" = 1'-0"



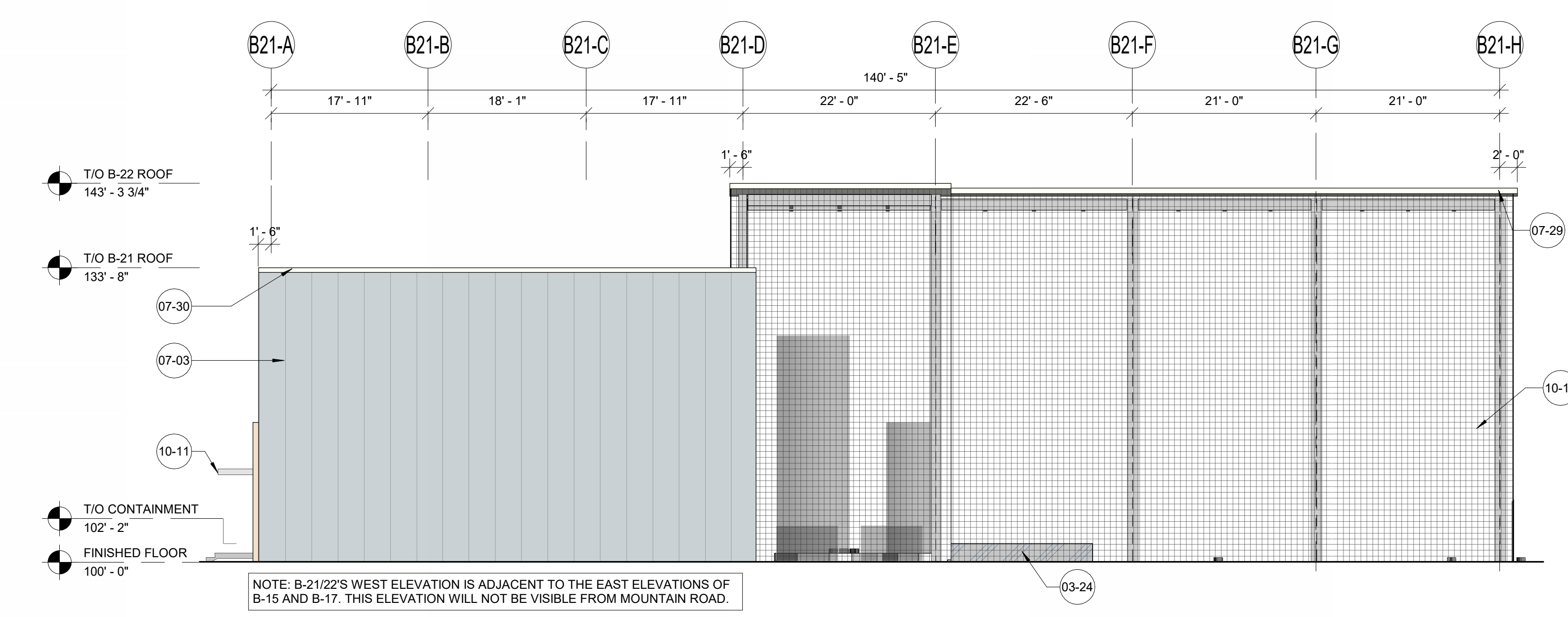
9 B-21 & B-22 NORTH ELEVATION
3/32" = 1'-0"



10 B-21 & B-22 SOUTH ELEVATION
3/32" = 1'-0"



11 B-21 & B-22 EAST ELEVATION
3/32" = 1'-0"



12 B-21 & B-22 WEST ELEVATION
3/32" = 1'-0"

BUILDING WALL MATERIAL ARTICULATION :	BUILDING WALL MATERIAL ARTICULATION :	BUILDING WALL MATERIAL ARTICULATION :
B21 UTILITY BUILDING & B22 UTILITY SHELTER:	B24 AMMONIA AND MIXING TANK SHELTER:	B25 EXHAUST GAS TREATMENT AND UTILITY SHELTER (AMMONIUM HYDROXIDE):
NORTH ELEVATION:	NORTH ELEVATION:	NORTH ELEVATION:
TOTAL SURFACE AREA: 1853 SQ FT	TOTAL SURFACE AREA: 1832 SQ FT	TOTAL SURFACE AREA: 1193 SQ FT
METAL SCREEN: 308 SQ FT	METAL SCREEN: 826 SQ FT	METAL SCREEN: 735 SQ FT
% OF TOTAL: 17%	% OF TOTAL: 45%	% OF TOTAL: 62%
INSULATED METAL PANEL: 650 SQ FT	WIRE MESH: 672 SQ FT	WIRE MESH: 416 SQ FT
% OF TOTAL: 35%	% OF TOTAL: 37%	% OF TOTAL: 35%
MASONRY: 895 SQ FT	CONCRETE: 94 SQ FT	CONCRETE: 42 SQ FT
% OF TOTAL: 48%	% OF TOTAL: 5%	% OF TOTAL: 3%
SOUTH ELEVATION:	SOUTH ELEVATION:	SOUTH ELEVATION:
TOTAL SURFACE AREA: 2438 SQ FT	TOTAL SURFACE AREA: 1888 SQ FT	TOTAL SURFACE AREA: 1200 SQ FT
METAL SCREEN: 983 SQ FT	METAL SCREEN: 507 SQ FT	METAL SCREEN: 742 SQ FT
% OF TOTAL: 40%	% OF TOTAL: 27%	% OF TOTAL: 62%
WIRE MESH: 1455 SQ FT	WIRE MESH: 94 SQ FT	WIRE MESH: 369 SQ FT
% OF TOTAL: 60%	% OF TOTAL: 5%	% OF TOTAL: 31%
EAST ELEVATION:	EAST ELEVATION:	EAST ELEVATION:
TOTAL SURFACE AREA: 5767 SQ FT	TOTAL SURFACE AREA: 1404 SQ FT	TOTAL SURFACE AREA: 1176 SQ FT
METAL SCREEN: 3209 SQ FT	CONCRETE: 70 SQ FT	METAL SCREEN: 277 SQ FT
% OF TOTAL: 56%	% OF TOTAL: 5%	% OF TOTAL: 24%
MASONRY: 903 SQ FT	INSULATED METAL PANEL: 177 SQ FT	WIRE MESH: 106 SQ FT
% OF TOTAL: 16%	% OF TOTAL: 13%	% OF TOTAL: 9%
INSULATED METAL PANEL: 617 SQ FT	METAL SCREEN: 663 SQ FT	WIRE MESH: 68%
% OF TOTAL: 11%	% OF TOTAL: 47%	% OF TOTAL: 6%
WIRE MESH: 1003 SQ FT	WIRE MESH: 494 SQ FT	CONCRETE: 106 SQ FT
% OF TOTAL: 17%	% OF TOTAL: 35%	% OF TOTAL: 9%
CONCRETE: 35 SQ FT	WEST ELEVATION:	WEST ELEVATION:
% OF TOTAL: 1%	TOTAL SURFACE AREA: 1276 SQ FT	TOTAL SURFACE AREA: 1125 SQ FT
WEST ELEVATION:	CONCRETE: 70 SQ FT	WIRE MESH: 1019 SQ FT
TOTAL SURFACE AREA: 5588 SQ FT	% OF TOTAL: 5%	% OF TOTAL: 91%
INSULATED METAL PANEL: 1867 SQ FT	INSULATED METAL PANEL: 682 SQ FT	CONCRETE: 106 SQ FT
% OF TOTAL: 34%	% OF TOTAL: 53%	% OF TOTAL: 9%
WIRE MESH: 3646 SQ FT	WIRE MESH: 524 SQ FT	
% OF TOTAL: 65%	% OF TOTAL: 42%	
CONCRETE: 35 SQ FT		
% OF TOTAL: 1%		

KEYNOTES
03-24 CONCRETE CONTAINMENT BARRIER - REF STRUCTURAL DRAWINGS
04-03 8" SPLIT-FACE MASONRY - DURANGO FINISH BY ECHELON
05-01 STEEL STRUCTURE - REFERENCE STRUCTURAL DRAWINGS
07-03 INSULATED METAL PANEL - 2" VERTICAL (971 CHROMIUM GRAY) BY CENTRIA
07-20 PREFINISHED METAL DOWNSPOUT (DS) - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
07-21 PREFINISHED METAL GUTTER - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
07-27 METAL PANEL - SINGLE SKIN WITH EXPOSED FASTENERS (971 CHROMIUM GRAY) BY CENTRIA
07-28 CENTRIA ECOSCREEN PERFORATED SCREENWALL (CS-260 - 783 SIENNA FINISH)
07-29 CORRUGATED SCREW DOWN METAL ROOFING BY PEMB MANUFACTURER
07-30 TPO MEMBRANE ROOFING WITH MECHANICALLY FASTENED 2 LAYER OF 1" RIGID INSULATION (MINIMUM R-30) ON METAL DECK
08-05 ALUMINUM STOREFRONT WINDOW - SPANDREL GLAZING
10-10 WIRE MESH
10-11 MAPES SUPERSHADE CANOPY (FINISH - CLEAR ANODIZED)
13-01 STRUCTURE - REFERENCE PRE-ENGINEERED METAL BUILDING DRAWINGS AND SPECIFICATIONS

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POLLUTANTS FROM OWNER'S OPERATIONS... CUSTOMER'S KNOWLEDGE OF ITS ACTIVITIES THAT WILL BE CONDUCTED WITHIN THE FACILITY TO BE DESIGNED BY GRAY AND CONSTRUCTED BY GRAY, AND THE MATERIALS INVOLVED IN THESE ACTIVITIES, IS SUPERIOR TO GRAY'S KNOWLEDGE. ACCORDINGLY, ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS TO THE CONTRARY NOTWITHSTANDING, ANY DUTY OR WARRANTY BY GRAY HEREIN SHALL NOT APPLY TO THE DISCHARGE, DISPERSAL, ESCAPE, RELEASE OR SATURATION OF ANY POLLUTANT INTO THE ATMOSPHERE OR ANY BODY OF WATER OR ON OR INTO, UPON, IN OR INTO THE SURFACE OR SUBSURFACE OF LAND. FOR PURPOSE OF THIS SECTION, THE WORD "POLLUTANT" SHALL MEAN ANY SOLID, LIQUID, GASEOUS, OR THERMAL, IRRITANT OR CONTAMINANT, INCLUDING BUT NOT LIMITED TO SMOKE, VAPOR, SOOT, FUMES, PARTICLES, AEROSOLS, CHEMICALS AND WASTE, AND SHALL INCLUDE ANY RADIOACTIVE SUBSTANCE. THE DUTY OF THE FACILITY AS OWNER, DESIGNER OR ANY OF ITS PARTS, SO AS TO PREVENT THE ESCAPE, RELEASE, DISCHARGE, DISPERSAL OR SATURATION OF POLLUTANTS SHALL BE THE SOLE RESPONSIBILITY OF THE CUSTOMER.

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CORP. SEAL

A NEW MANUFACTURING FACILITY FOR: MPCA AZ4 EXPANSION
MESA, ARIZONA

EXTERIOR ELEVATIONS - B-21, B-22, B-24 & B-25

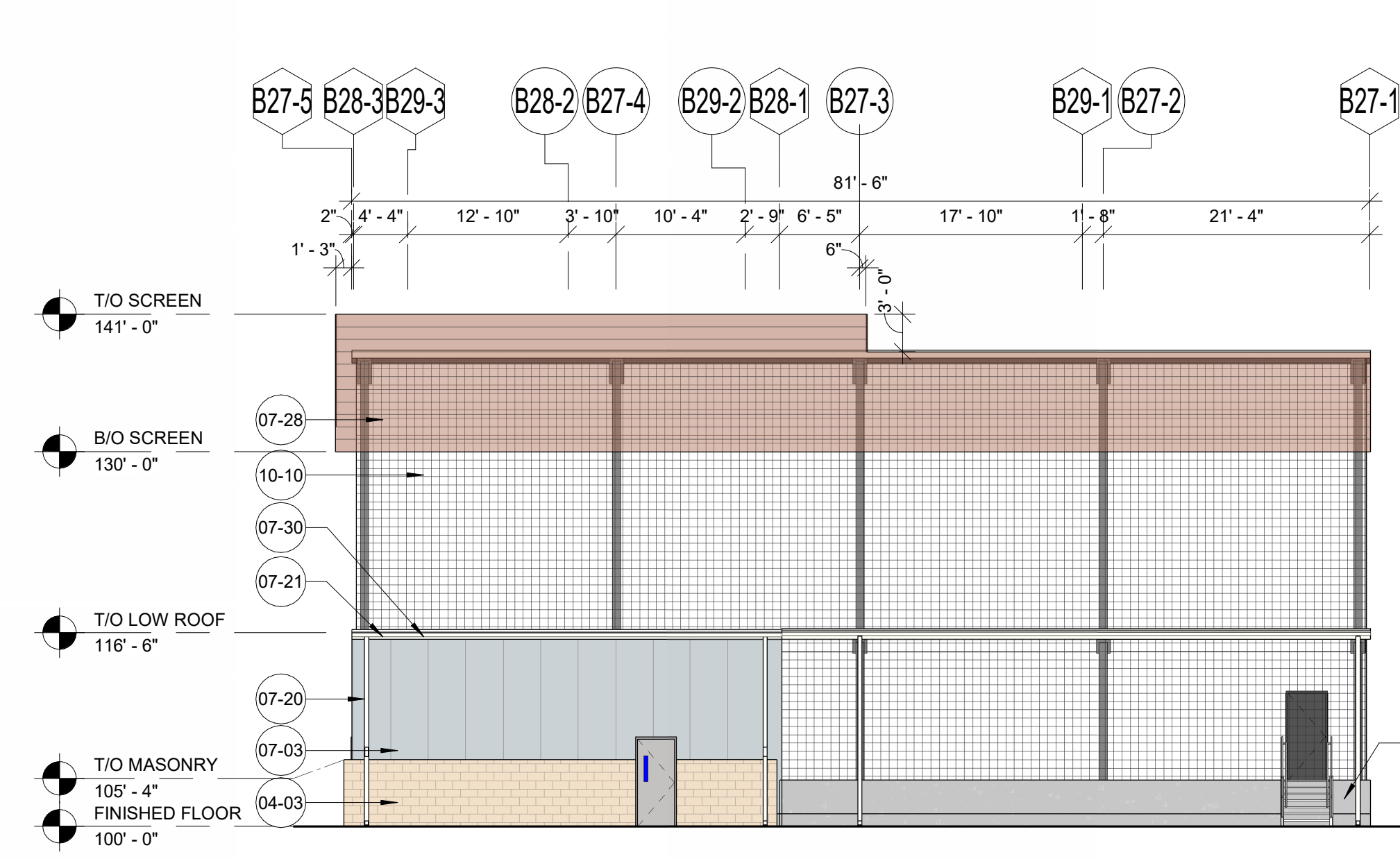
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SHEET NUMBER: A-204

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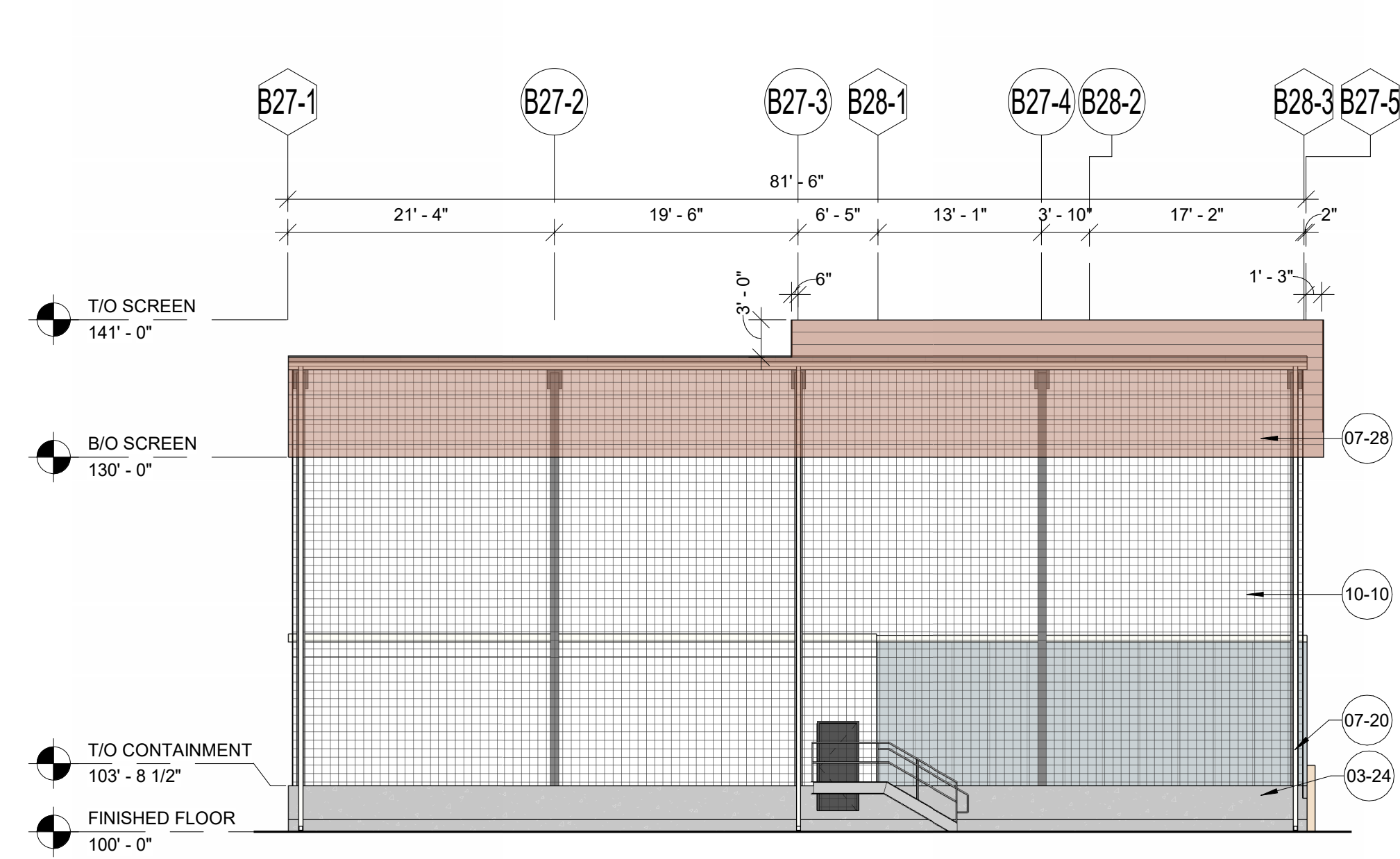
BUILDING WALL MATERIAL ARTICULATION :	BUILDING WALL MATERIAL ARTICULATION :	BUILDING WALL MATERIAL ARTICULATION :
B27 PRODUCT TANK SHELTER & B28 ISO FILLING BUILDING (AMMONIUM HYDROXIDE):	B29 ISO FILLING SHELTER (AMMONIUM HYDROXIDE):	B30 ISO MAINTENANCE SHELTER (AMMONIA) & B34 ISO MAINTENANCE JB & SB BUILDING:
NORTH ELEVATION:	NORTH ELEVATION:	NORTH ELEVATION:
TOTAL SURFACE AREA: 3229 SQ FT	TOTAL SURFACE AREA: 1555 SQ FT	TOTAL SURFACE AREA: 1898 SQ FT
INSULATED METAL PANEL: 351 SQ FT	METAL SCREEN: 636 SQ FT	INSULATED METAL PANEL: 312 SQ FT
% OF TOTAL: 11%	% OF TOTAL: 41%	% OF TOTAL: 17%
CONCRETE: 175 SQ FT	OPEN: 919 SQ FT	OPEN: 1586 SQ FT
% OF TOTAL: 5%	% OF TOTAL: 59%	% OF TOTAL: 83%
MASONRY: 185 SQ FT	SOUTH ELEVATION:	SOUTH ELEVATION:
% OF TOTAL: 6%	TOTAL SURFACE AREA: 1430 SQ FT	TOTAL SURFACE AREA: 1856 SQ FT
WIRE MESH: 1729 SQ FT	OPEN: 1430 SQ FT	MASONRY: 144 SQ FT
% OF TOTAL: 53%	% OF TOTAL: 100%	% OF TOTAL: 8%
METAL SCREEN: 795 SQ FT	EAST ELEVATION:	INSULATED METAL PANEL: 168 SQ FT
% OF TOTAL: 25%	TOTAL SURFACE AREA: 532 SQ FT	% OF TOTAL: 9%
SOUTH ELEVATION:	METAL SCREEN: 242 SQ FT	OPEN: 1544 SQ FT
TOTAL SURFACE AREA: 3222 SQ FT	% OF TOTAL: 45%	% OF TOTAL: 83%
METAL SCREEN: 795 SQ FT	WEST ELEVATION:	TOTAL SURFACE AREA: 684 SQ FT
% OF TOTAL: 25%	TOTAL SURFACE AREA: 446 SQ FT	MASONRY: 182 SQ FT
WIRE MESH: 2125 SQ FT	OPEN: 280 SQ FT	% OF TOTAL: 27%
% OF TOTAL: 66%	% OF TOTAL: 55%	INSULATED METAL PANEL: 227 SQ FT
CONCRETE: 302 SQ FT	% OF TOTAL: 9%	% OF TOTAL: 33%
% OF TOTAL: 9%	TOTAL SURFACE AREA: 446 SQ FT	OPEN: 275 SQ FT
EAST ELEVATION:	OPEN: 446 SQ FT	% OF TOTAL: 40%
TOTAL SURFACE AREA: 1148 SQ FT	% OF TOTAL: 100%	WEST ELEVATION:
MASONRY: 59 SQ FT		TOTAL SURFACE AREA: 707 SQ FT
% OF TOTAL: 5%		OPEN: 707 SQ FT
INSULATED METAL PANEL: 109 SQ FT		% OF TOTAL: 100%
% OF TOTAL: 9%		
METAL SCREEN: 232 SQ FT		
% OF TOTAL: 20%		
CONCRETE: 87 SQ FT		
% OF TOTAL: 8%		
WIRE MESH: 659 SQ FT		
% OF TOTAL: 58%		
WEST ELEVATION:		
TOTAL SURFACE AREA: 1044 SQ FT		
CONCRETE: 126 SQ FT		
% OF TOTAL: 12%		
WIRE MESH: 918 SQ FT		
% OF TOTAL: 88%		

KEYNOTES
03-24 CONCRETE CONTAINMENT BARRIER - REF STRUCTURAL DRAWINGS
04-03 8" SPLIT-FACE MASONRY - DURANGO FINISH BY ECHELON
07-03 INSULATED METAL PANEL - 2" VERTICAL (971 CHROMIUM GRAY) BY CENTRIA
07-20 PREFINISHED METAL DOWNSPOUT (DS) - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
07-21 PREFINISHED METAL GUTTER - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
07-28 CENTRIA ECOSCREEN PERFORATED SCREENWALL (CS-260 - 783 SIENNA FINISH)
07-29 CORRUGATED SCREW DOWN METAL ROOFING BY PEMB MANUFACTURER
07-30 TPO MEMBRANE ROOFING WITH MECHANICALLY FASTENED 2 LAYER OF 1" RIGID INSULATION (MINIMUM R-30) ON METAL DECK
10-10 WIRE MESH
10-11 MAPES SUPERSHADE CANOPY (FINISH - CLEAR ANODIZED)
13-03 PEMB PROVIDER TO PROVIDE SUPPLEMENTAL FRAMING, TRIM AND FLASHING AS REQUIRED TO MATCH ADJACENT METAL PANELS AT WALL PENETRATIONS (I.E. LOUVERS, EXHAUST FANS, FLUES, ETC.) - REFERENCE MECHANICAL DRAWINGS

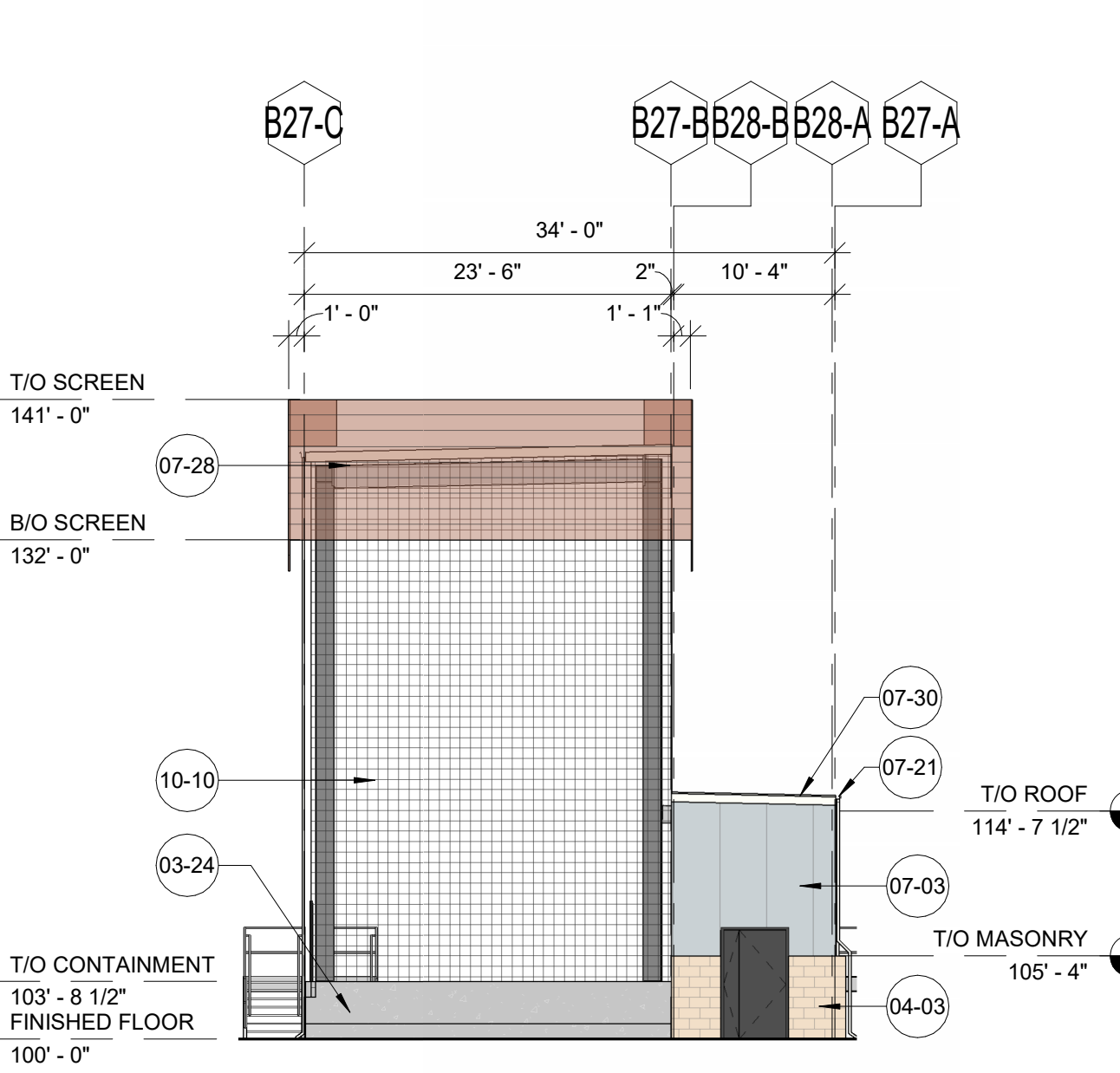
DOC. REL. #	DATE	DESCRIPTION
1	02/29/2024	PRE-PROPOSAL DOCUMENTS
2	03/13/2024	PROPOSAL DOCUMENTS
3	04/01/2024	PROPOSAL DOCUMENTS
5	04/18/2024	PROPOSAL DOCUMENTS
6	05/29/2024	PROPOSAL DOCUMENT
7	07/19/2024	CUSTOMER REVIEW
8	08/21/2024	PERMIT DOCUMENTS
10	09/23/2024	PERMIT DOCUMENTS
	10/18/2024	PERMIT DOCUMENTS



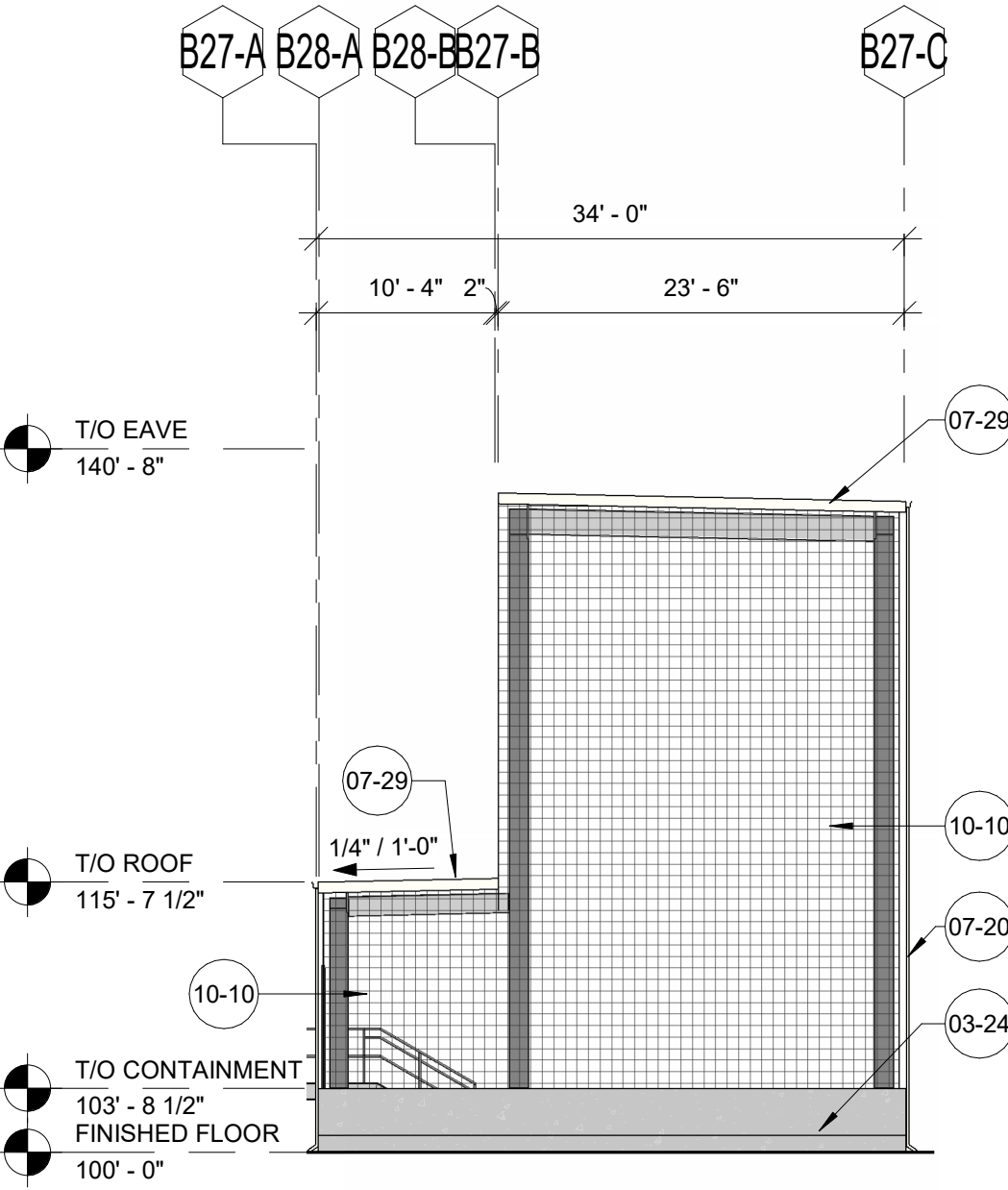
1 B-27 & B-28 NORTH ELEVATION
3/32" = 1'-0"



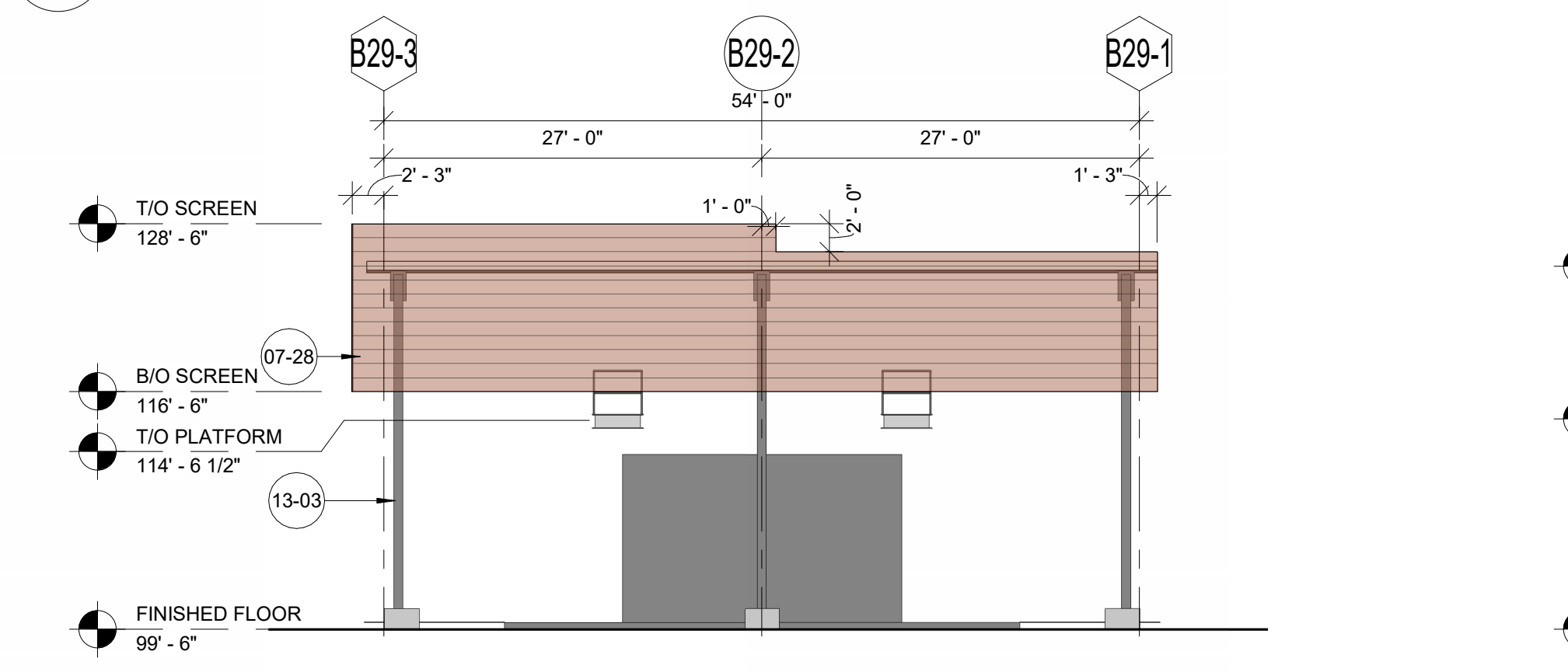
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3/32" = 1'-0"



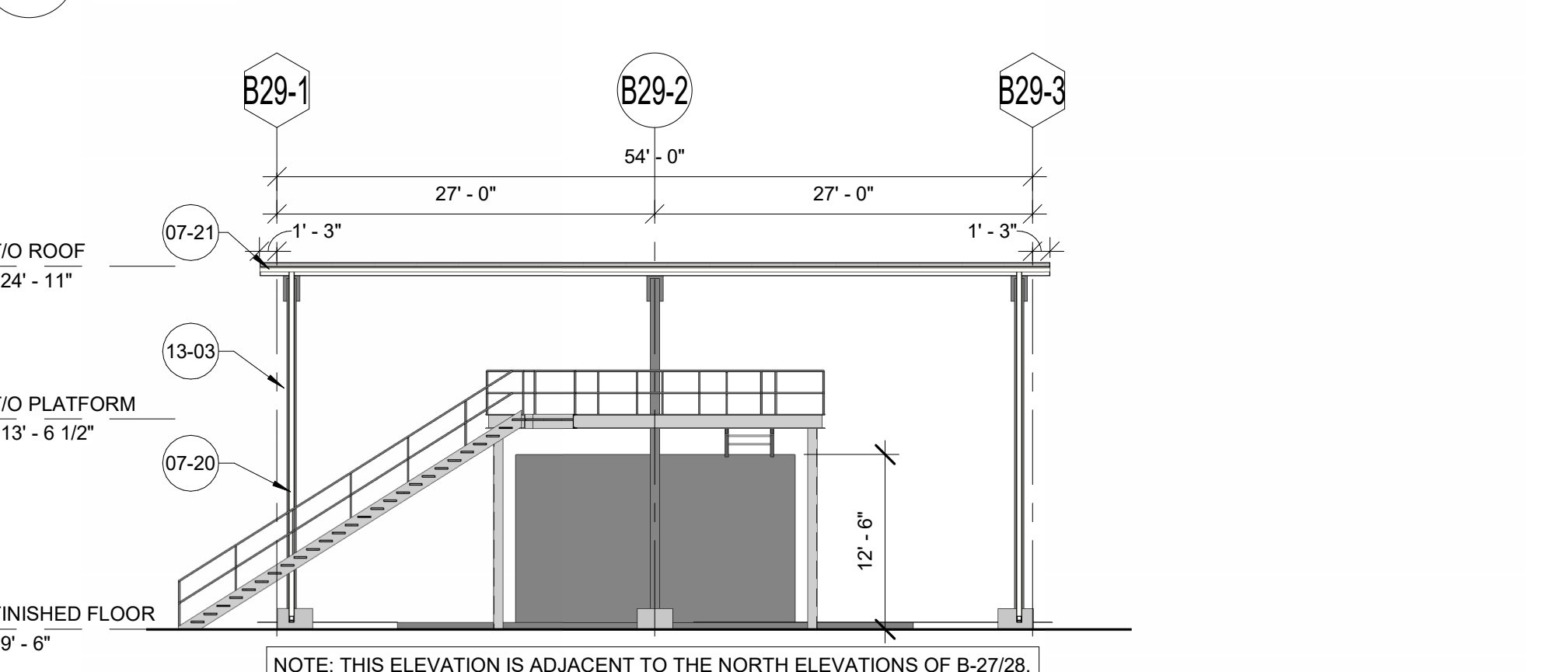
3 B-27 & B-28 EAST ELEVATION
3/32" = 1'-0"



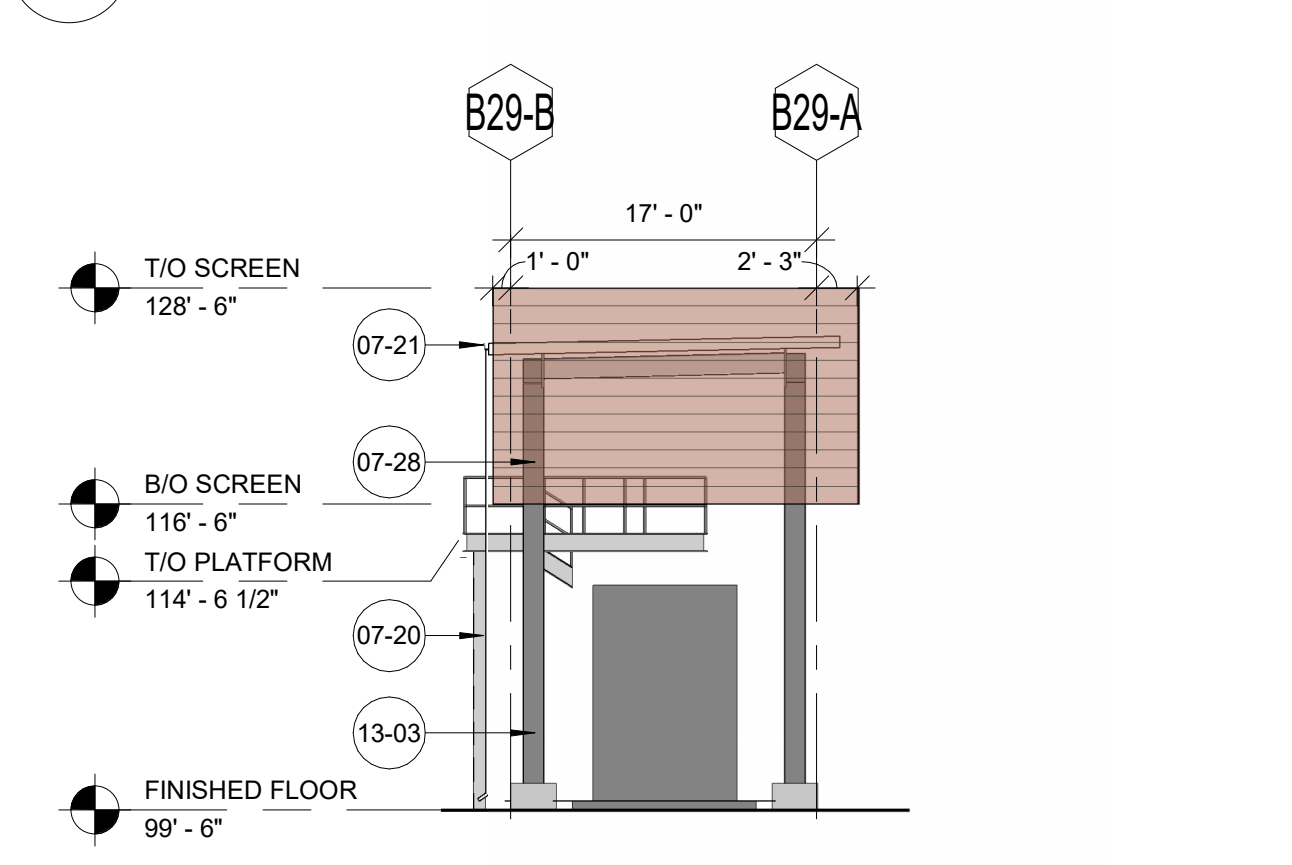
4 B-27 & B-28 WEST ELEVATION
3/32" = 1'-0"



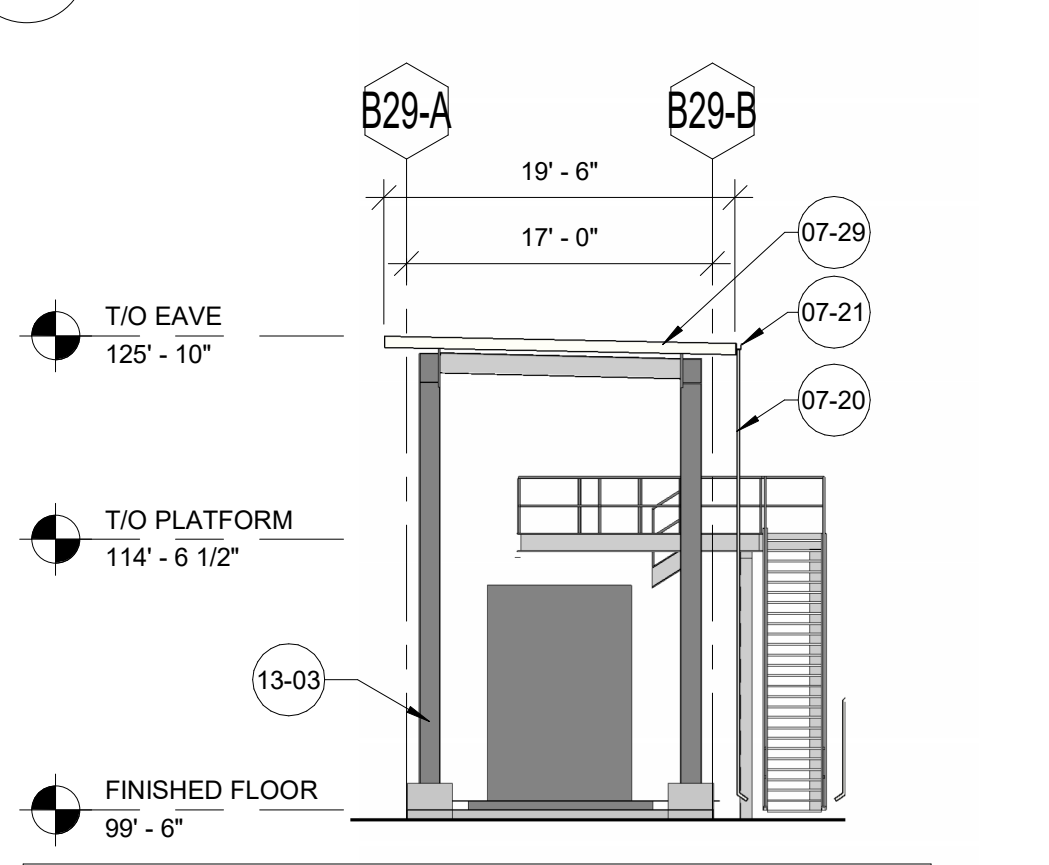
5 B-29 NORTH ELEVATION
3/32" = 1'-0"



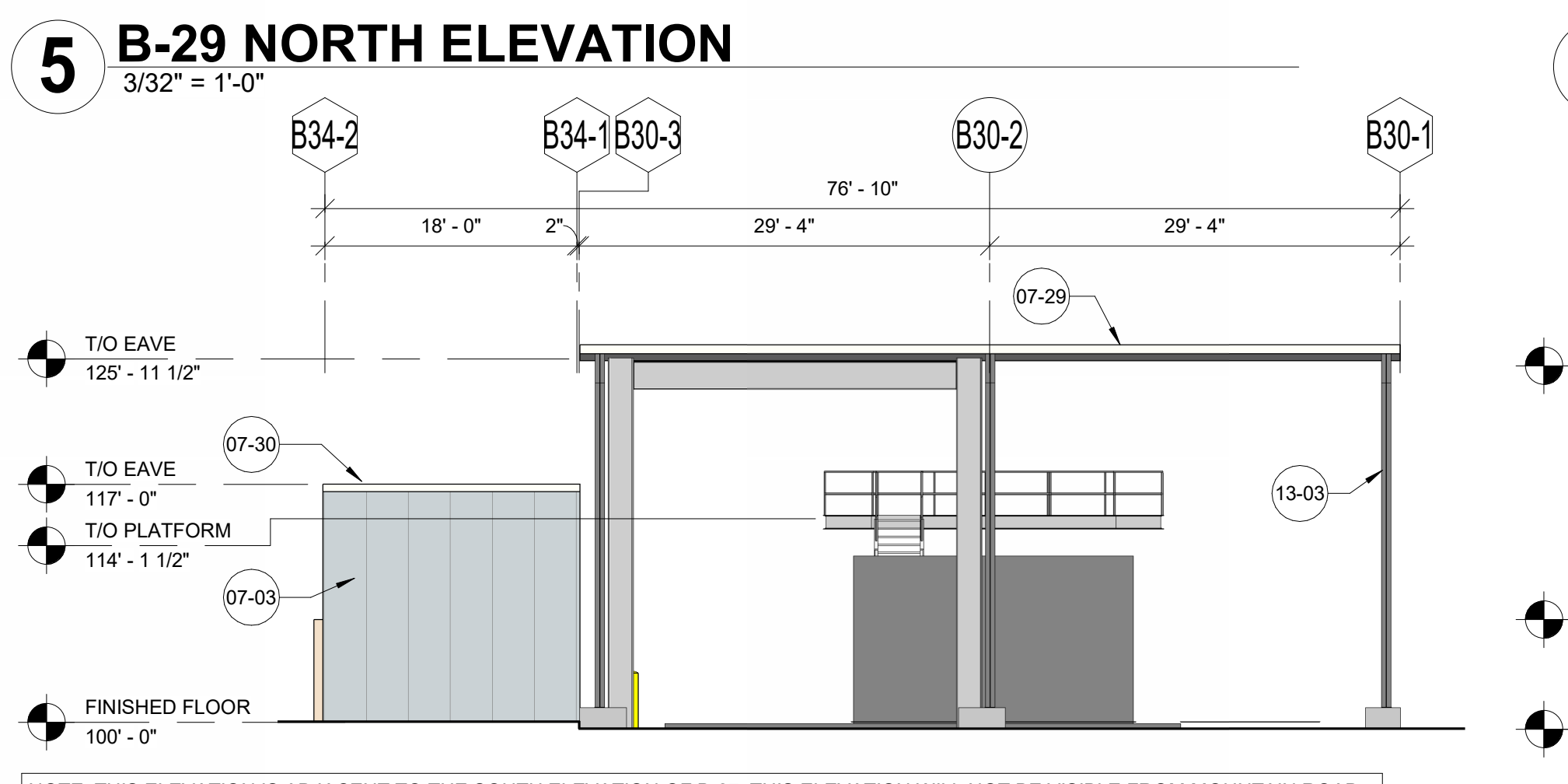
6 B-29 SOUTH ELEVATION
3/32" = 1'-0"



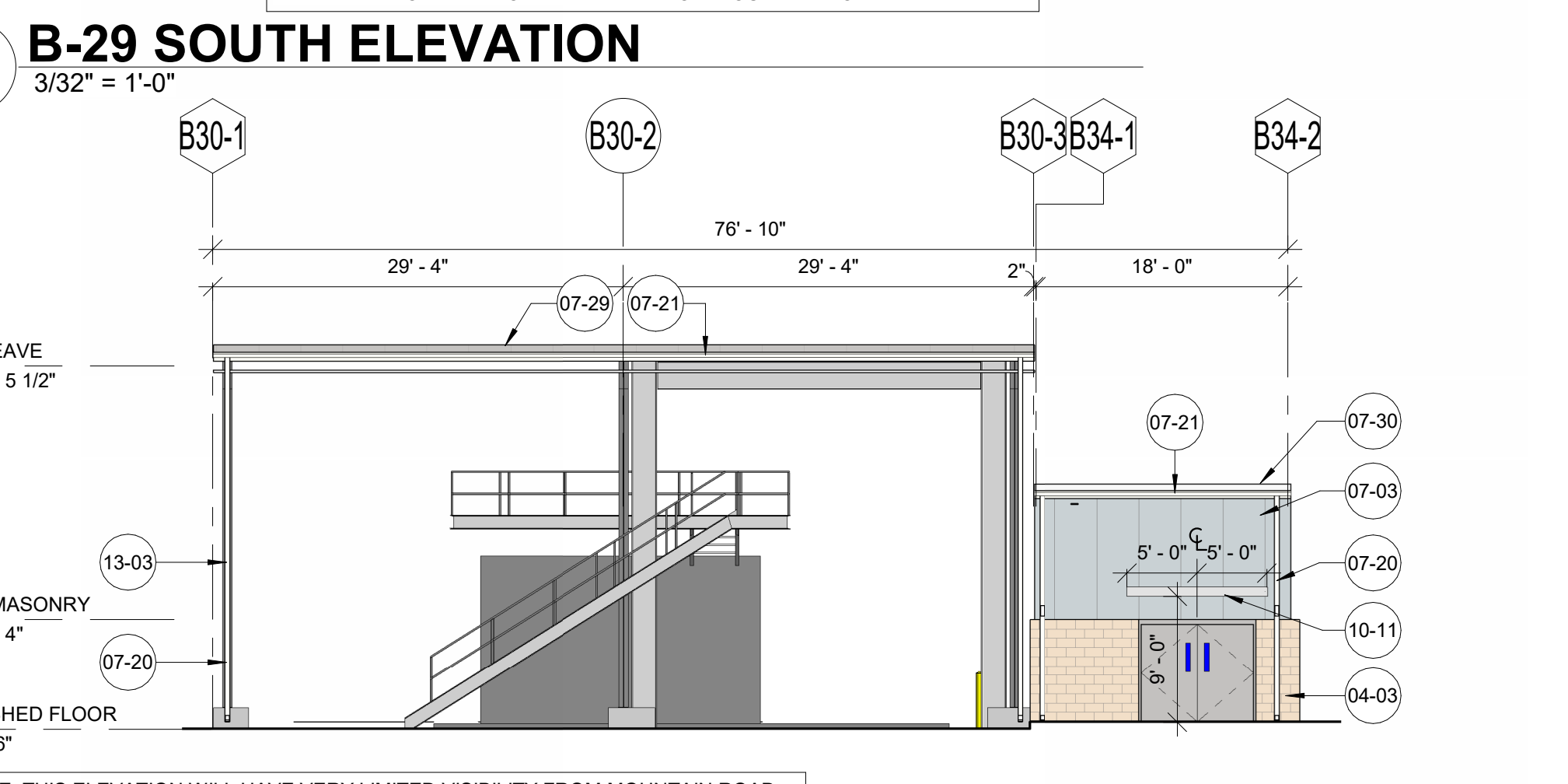
7 B-29 EAST ELEVATION
3/32" = 1'-0"



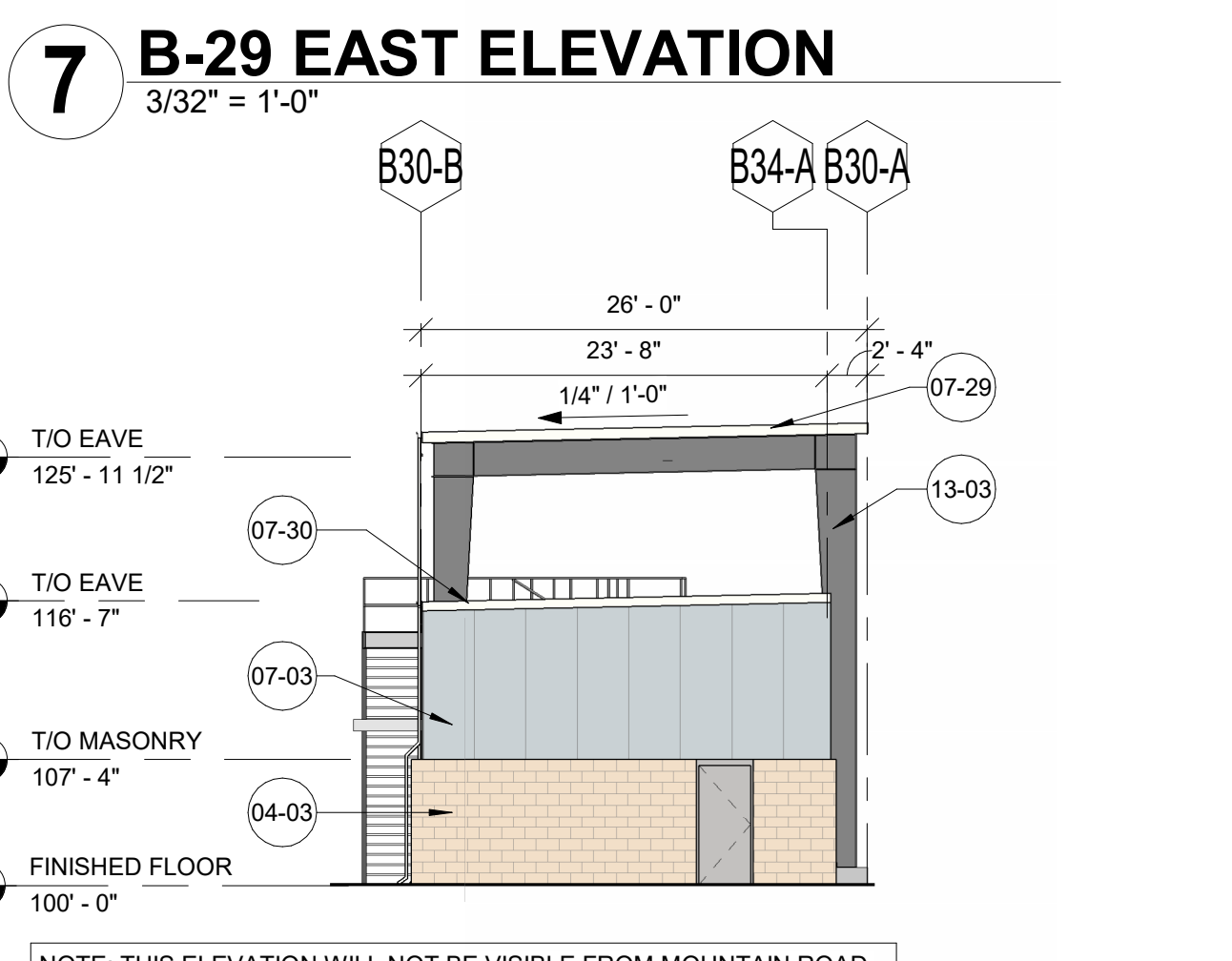
8 B-29 WEST ELEVATION
3/32" = 1'-0"



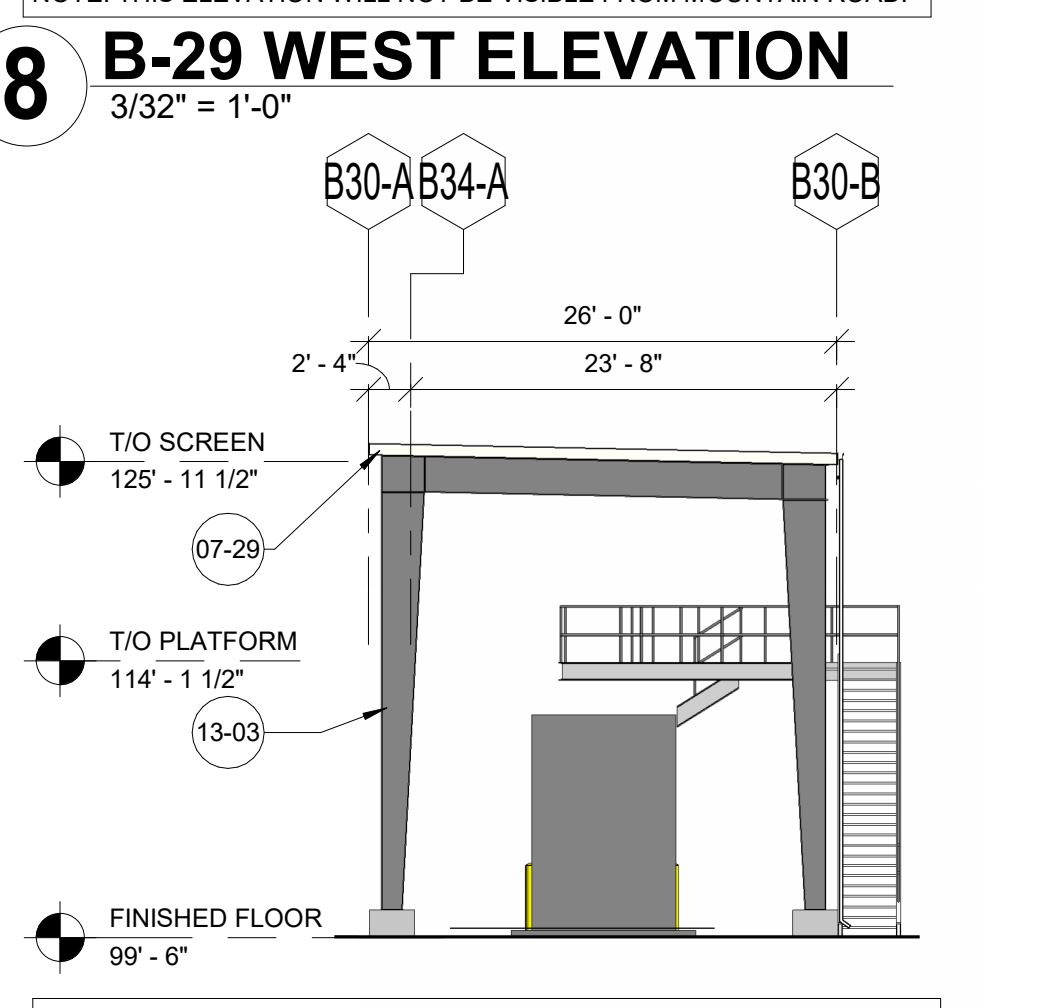
9 B-30 & B-34 NORTH ELEVATION
3/32" = 1'-0"



10 B-30 & B-34 SOUTH ELEVATION
3/32" = 1'-0"



11 B-30 & B-34 EAST ELEVATION
3/32" = 1'-0"



12 B-30 & B-34 WEST ELEVATION
3/32" = 1'-0"

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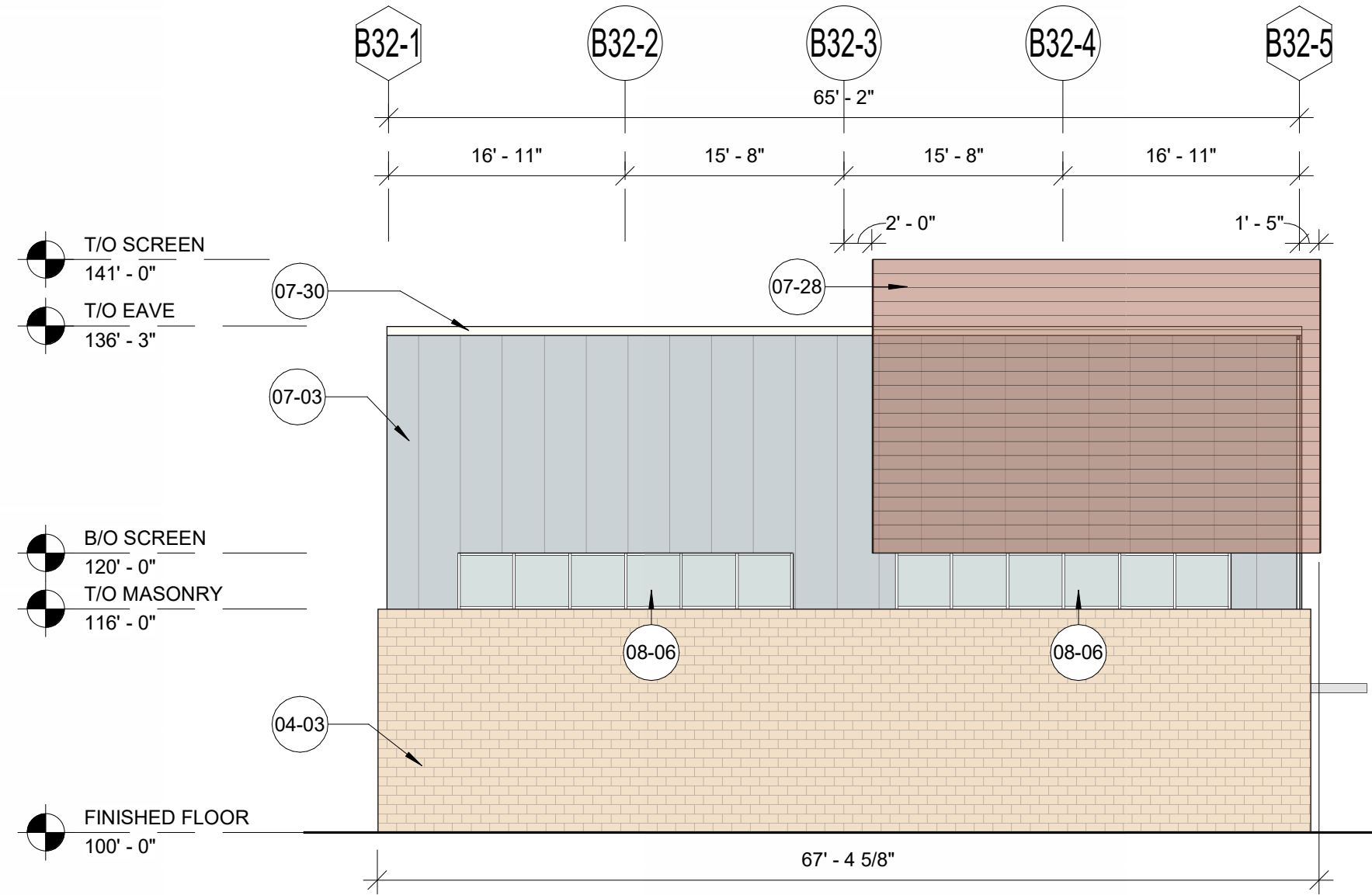
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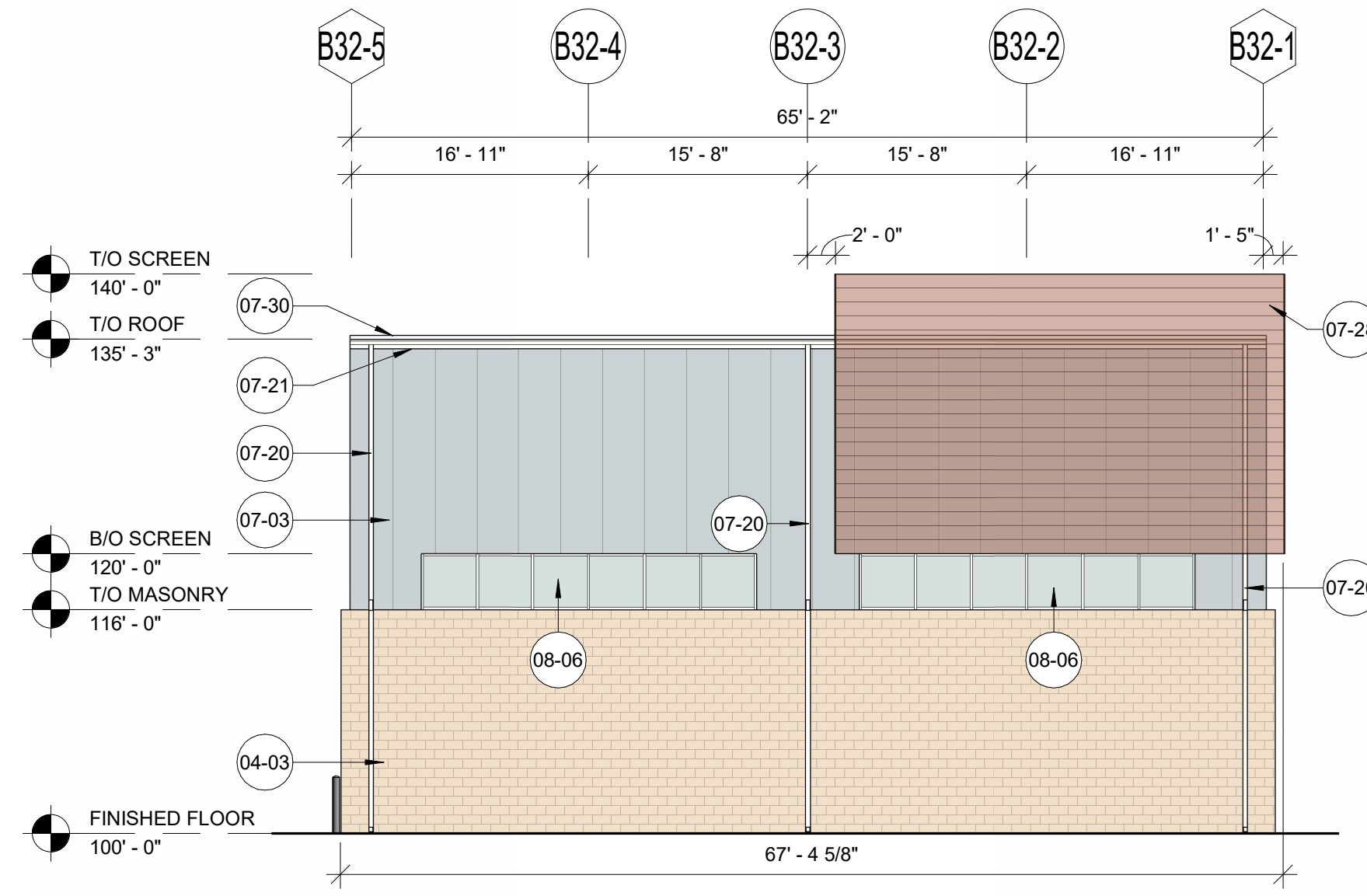
A NEW MANUFACTURING FACILITY FOR:
MPCA AZ4 EXPANSION
MESA, ARIZONA

EXTERIOR ELEVATIONS - B-27, B-28, B-29, B-30 & B34

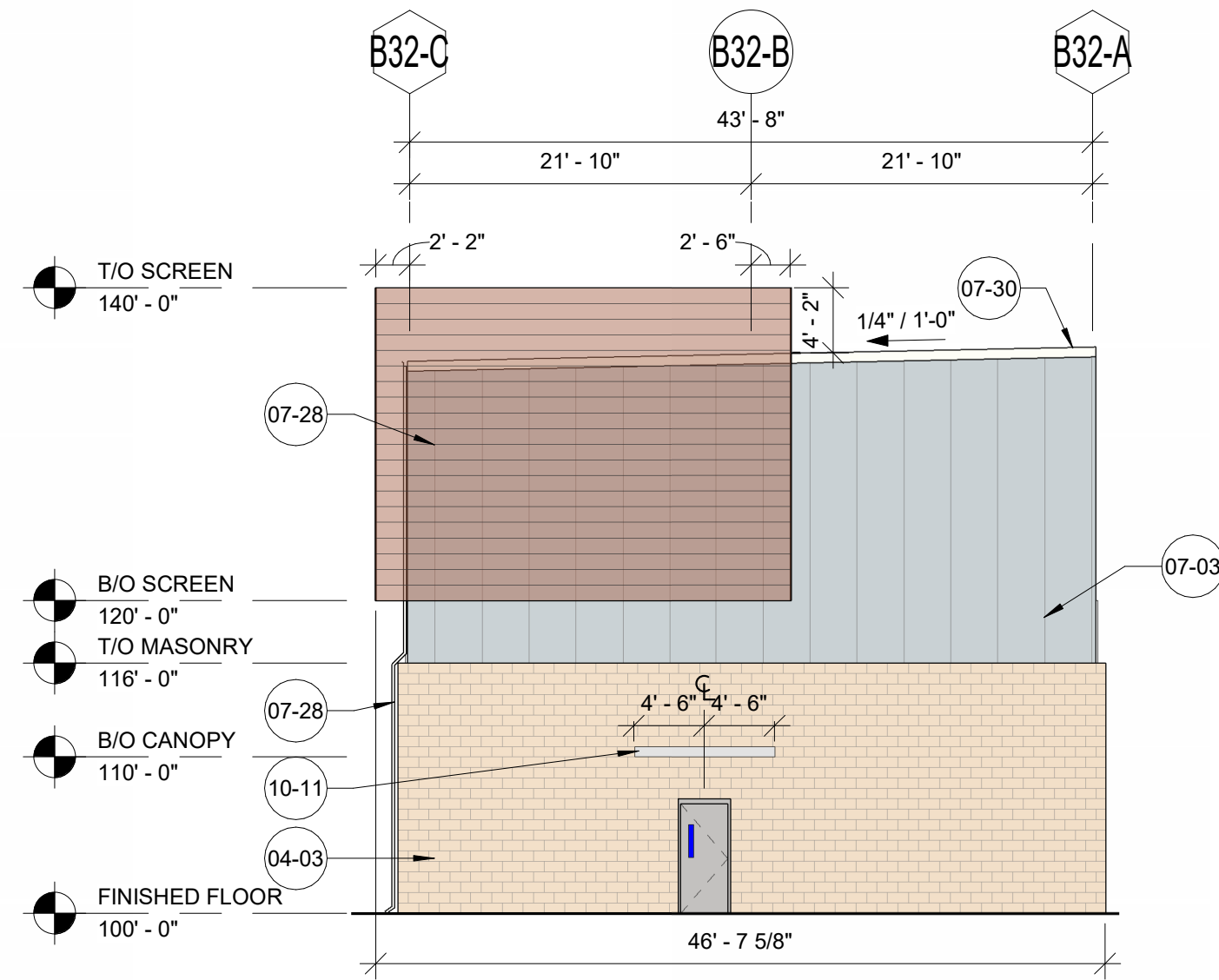
JOB NUMBER 2024045	SHEET NUMBER A-205
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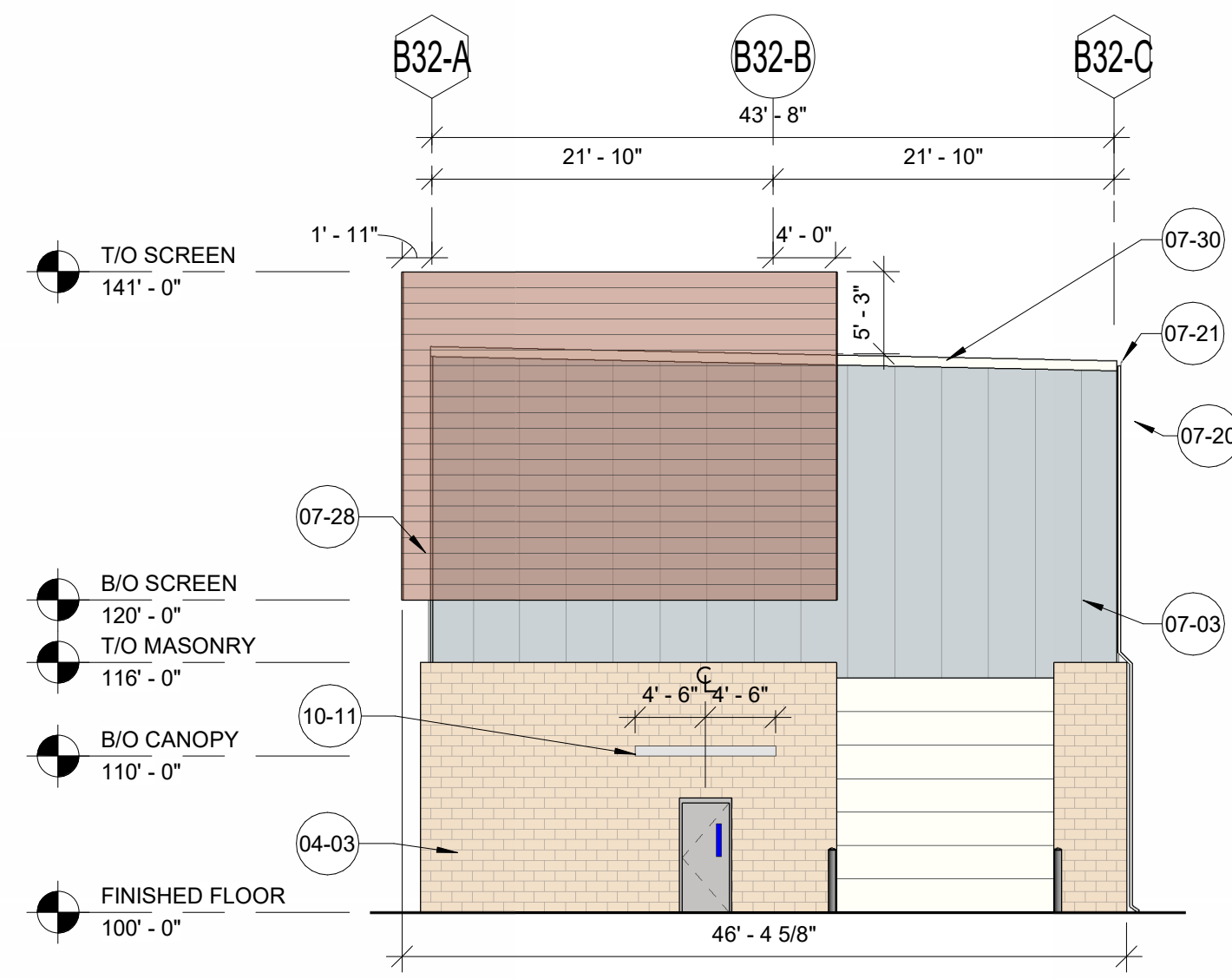
1 B-32 NORTH ELEVATION
3/32" = 1'-0"



2 B-32 SOUTH ELEVATION
3/32" = 1'-0"



3 B-32 EAST ELEVATION
3/32" = 1'-0"



4 B-32 WEST ELEVATION
3/32" = 1'-0"

KEYNOTES

- 04-03 8" SPLIT-FACE MASONRY - DURANGO FINISH BY ECHELON
- 07-03 INSULATED METAL PANEL - 2" VERTICAL (971 CHROMIUM GRAY) BY CENTRIA
- 07-20 PREFINISHED METAL DOWNSPOUT (DS) - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
- 07-21 PREFINISHED METAL GUTTER - REFERENCE ROOF CALCULATIONS ON A-120 FOR SIZING
- 07-28 CENTRIA ECOSCREEN PERFORATED SCREENWALL (CS-200 - 783 SIENNA FINISH)
- 07-30 TPO MEMBRANE ROOFING WITH MECHANICALLY FASTENED 2 LAYER OF 1" RIGID INSULATION (MINIMUM R-30) ON METAL DECK
- 08-06 ALUMINUM STOREFRONT WINDOW - TRANSPARENT GLAZING
- 10-11 MAPES SUPERSHADE CANOPY (FINISH - CLEAR ANODIZED)

BUILDING WALL MATERIAL ARTICULATION :

B30 WAREHOUSE :

NORTH ELEVATION:

TOTAL SURFACE AREA:	2567 SQ FT
MASONRY:	1068 SQ FT
% OF TOTAL:	42%
INSULATED METAL PANEL:	827 SQ FT
% OF TOTAL:	32%
METAL SCREEN:	672 SQ FT
% OF TOTAL:	26%

SOUTH ELEVATION:

TOTAL SURFACE AREA:	2514 SQ FT
MASONRY:	1068 SQ FT
% OF TOTAL:	42%
METAL SCREEN:	641 SQ FT
% OF TOTAL:	25%
INSULATED METAL PANEL:	805 SQ FT
% OF TOTAL:	33%

EAST ELEVATION:

TOTAL SURFACE AREA:	1745 SQ FT
MASONRY:	724 SQ FT
% OF TOTAL:	41%
METAL SCREEN:	535 SQ FT
% OF TOTAL:	31%
INSULATED METAL PANEL:	486 SQ FT
% OF TOTAL:	28%

WEST ELEVATION:

TOTAL SURFACE AREA:	1763 SQ FT
MASONRY:	500 SQ FT
% OF TOTAL:	28%
METAL SCREEN:	582 SQ FT
% OF TOTAL:	33%
INSULATED METAL PANEL:	681 SQ FT
% OF TOTAL:	39%

DOC. REL. #	DATE	DESCRIPTION
1	02/29/2024	PRE-PROPOSAL DOCUMENTS
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3	04/01/2024	PROPOSAL DOCUMENTS
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	10/18/2024	PERMIT DOCUMENTS



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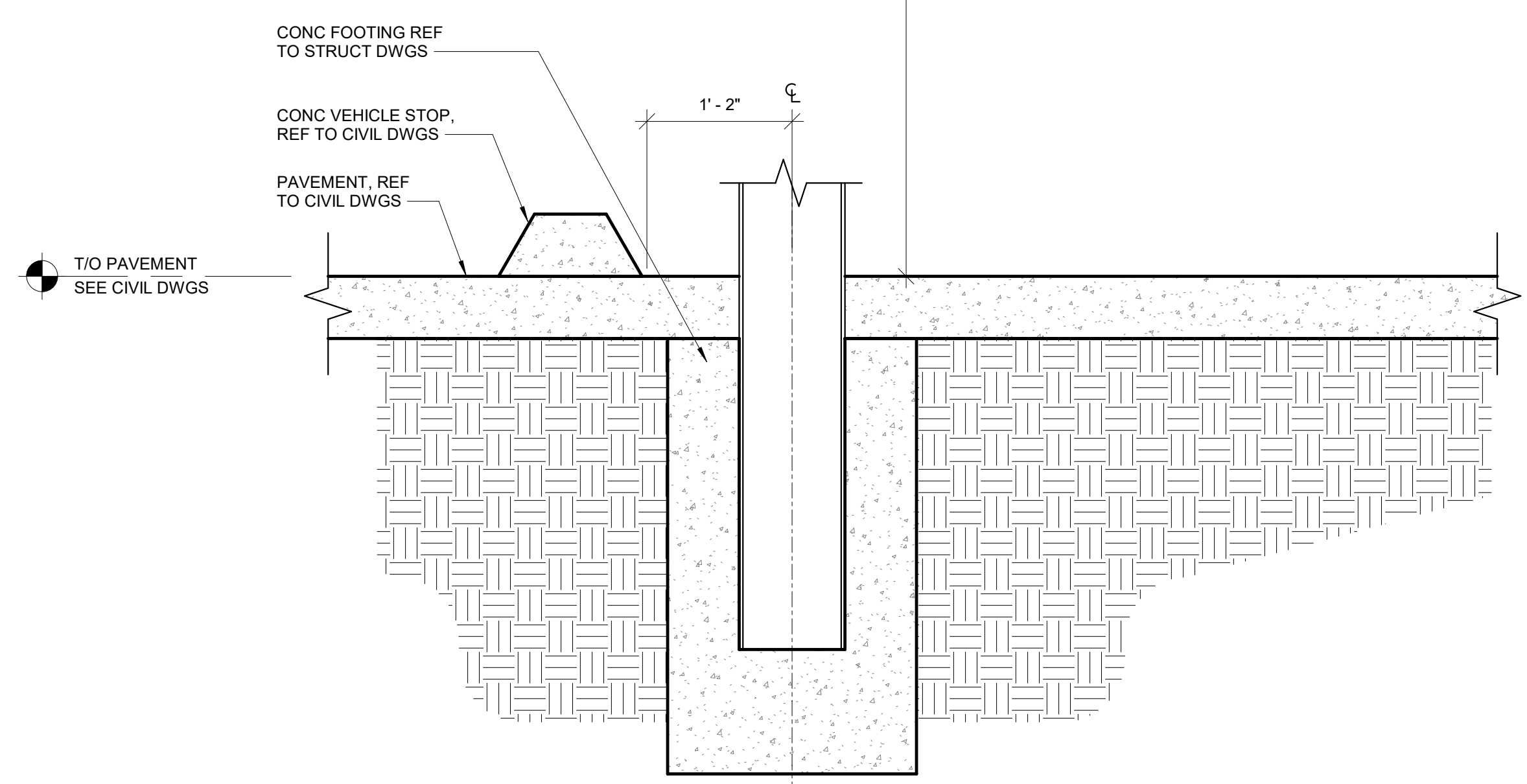
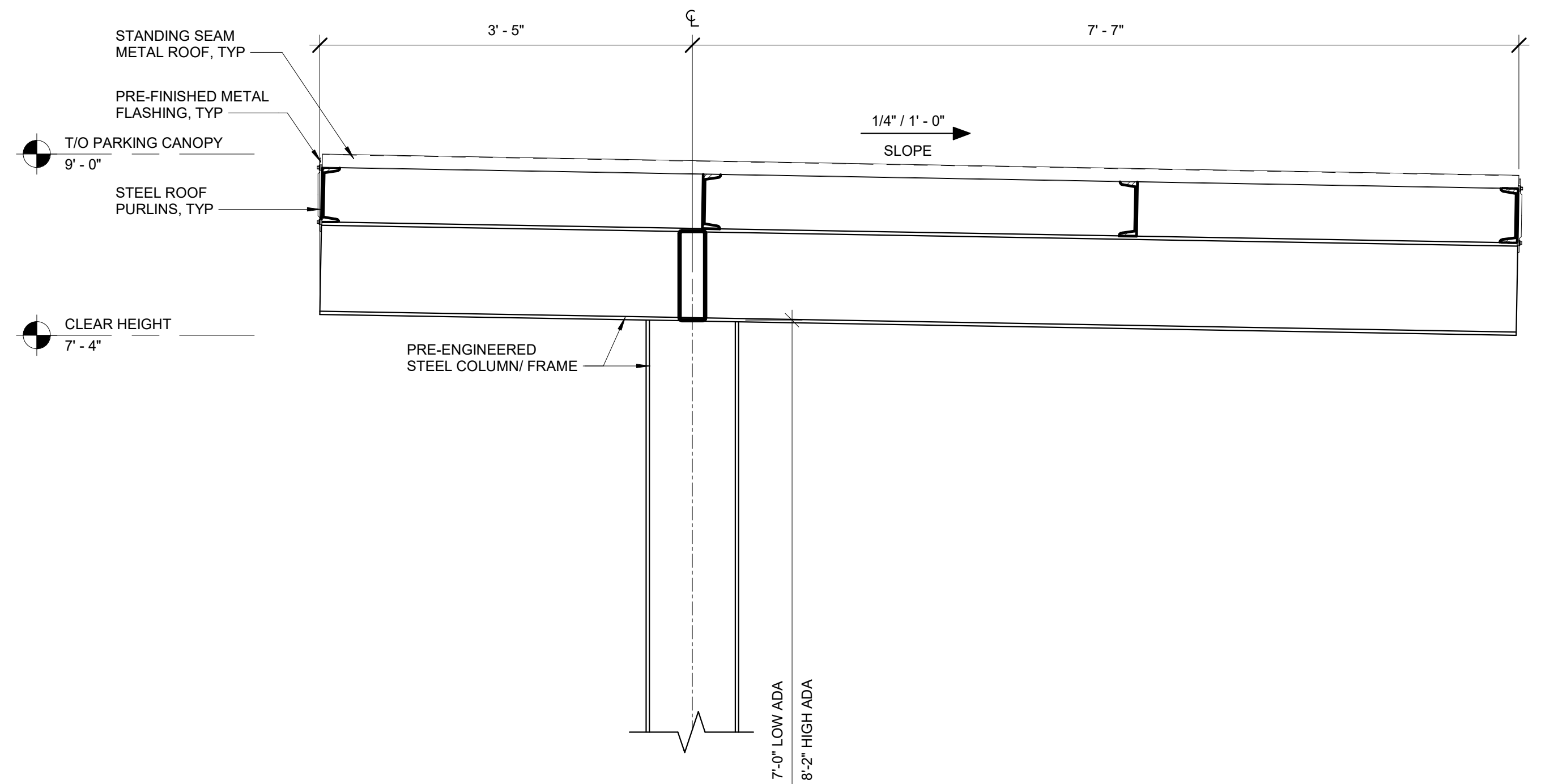
CORP. SEAL

**A NEW MANUFACTURING FACILITY FOR:
MPCA AZ4 EXPANSION**
MESA, ARIZONA

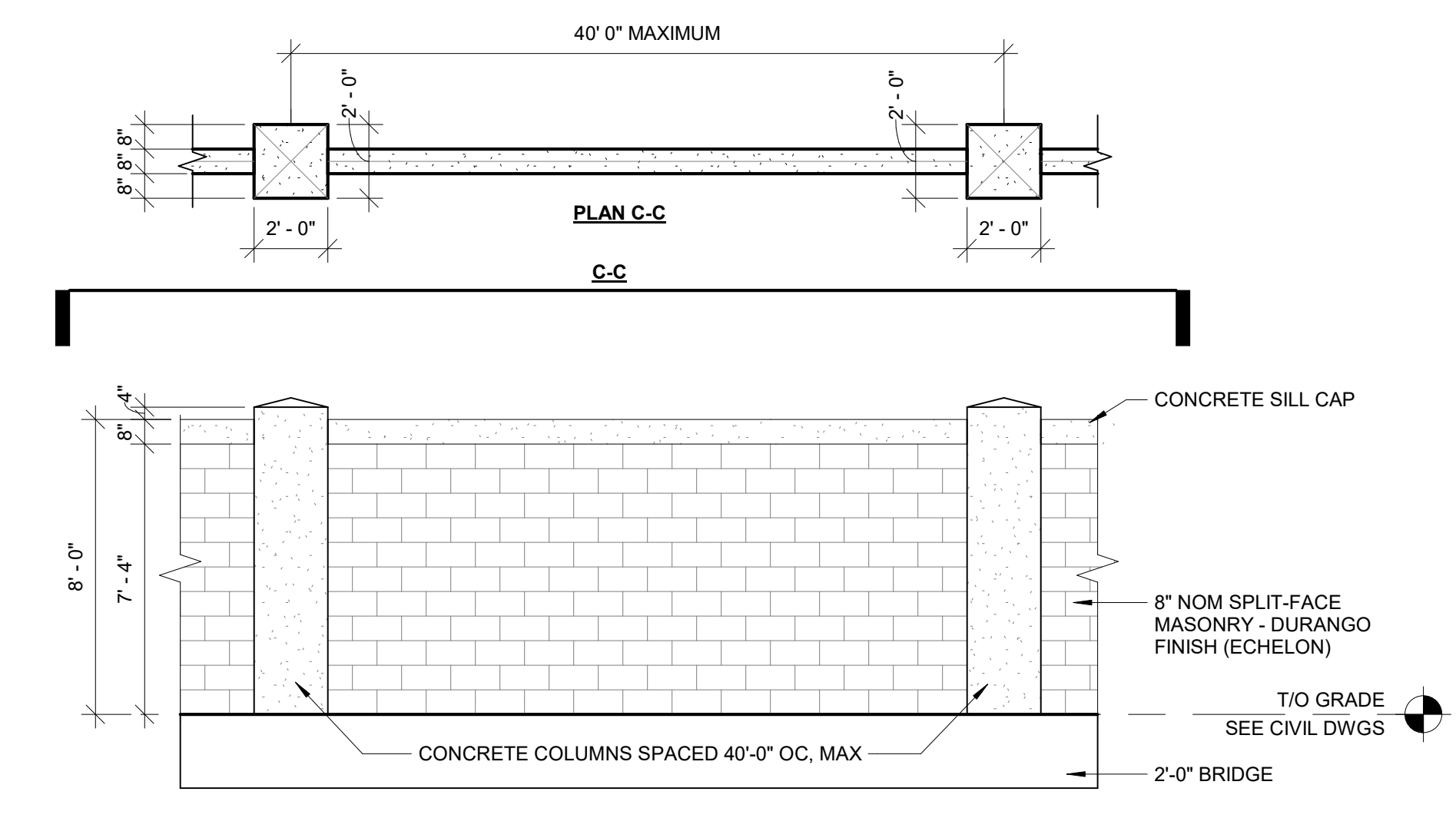
EXTERIOR ELEVATIONS - B-32

JOB NUMBER 2024045	SHEET NUMBER A-206
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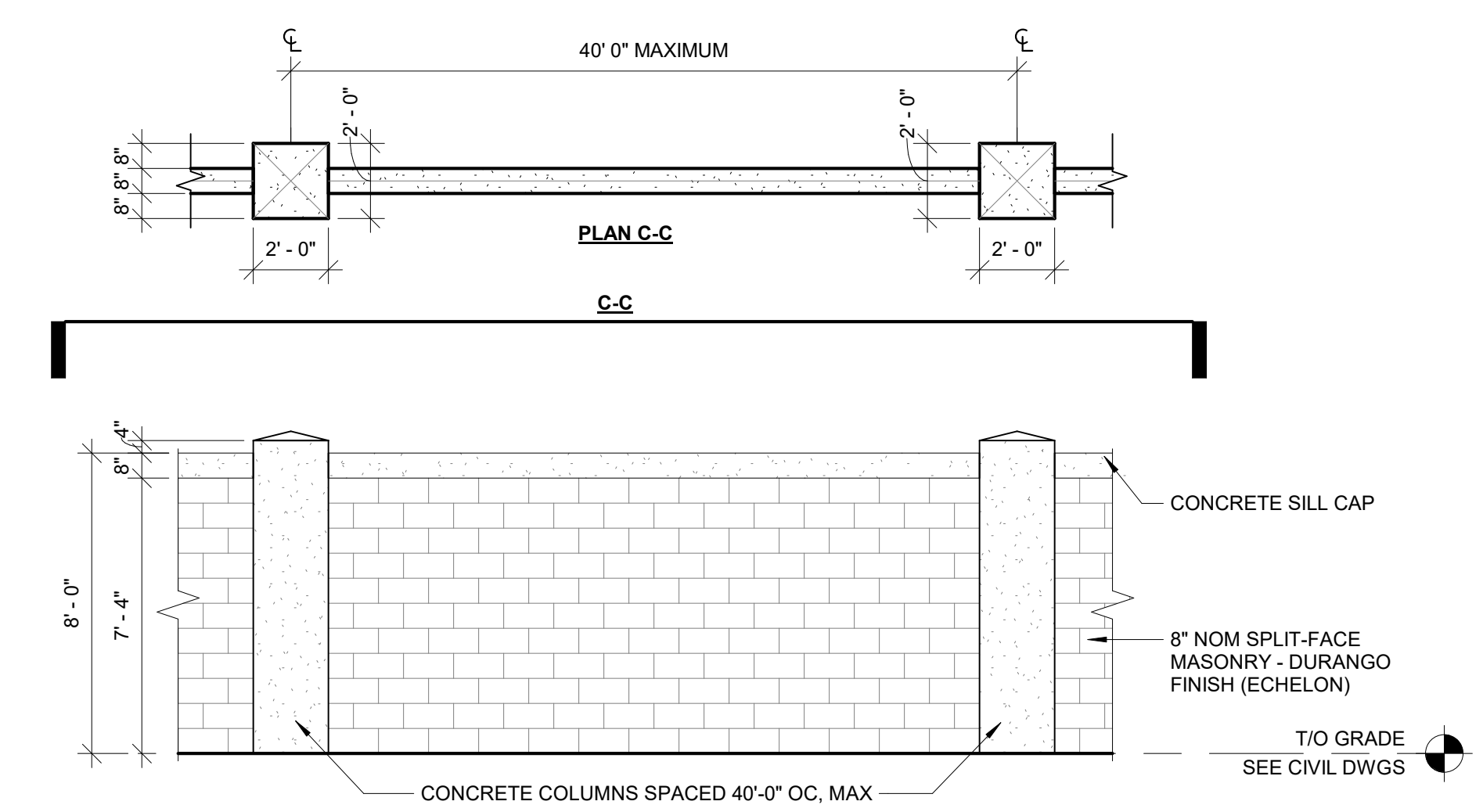
FINAL: FOR DESIGN REVIEW
BOARD APPROVAL 11/12/2024



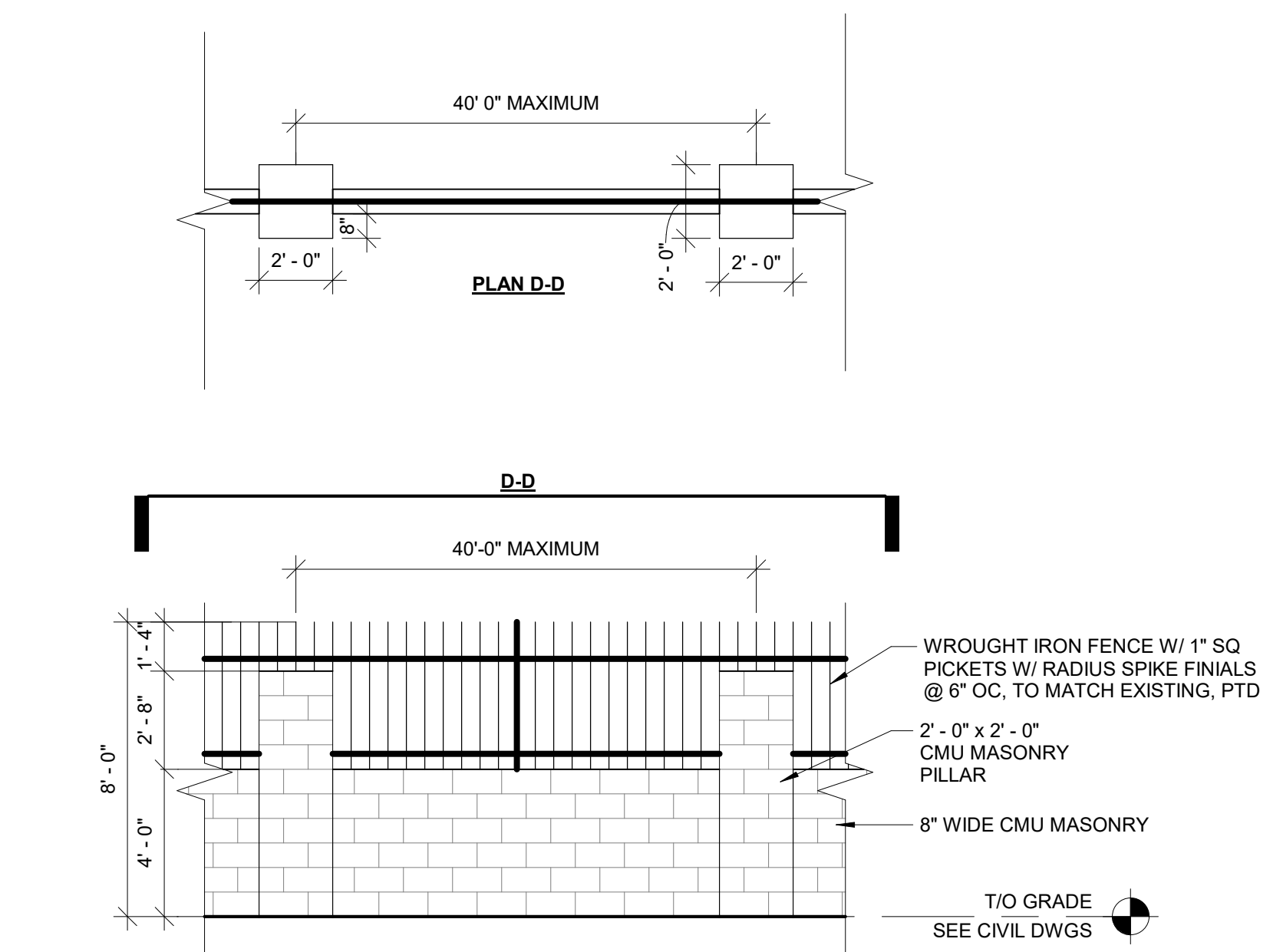
1 PARKING CANOPY
1" = 1'-0"



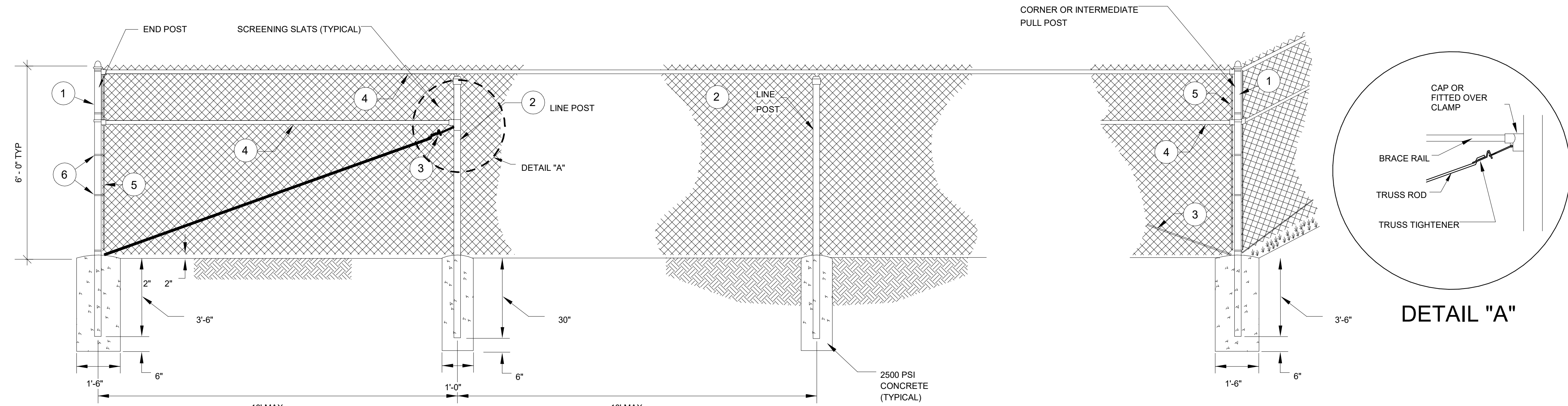
2 BRIDGE FENCE PLAN & ELEVATION
1/4" = 1'-0"



4 PERIMETER FENCE PLAN & ELEVATION
1/4" = 1'-0"



5 EXISTING FENCE PLAN & ELEVATION
1/4" = 1'-0"



LEGEND - (Alternates)

	STEEL PIPE	STRUCTURAL SHAPES	STEEL TUBING
1	3" OD @ 5.79 #/LF	3.5" X 3.5" @ 5.10 #/LF (ROLL FORMED)	3" O.D. @ 4.64 #/LF
2	2.12" OD @ 3.65 #/LF	2.14" H COL @ 3.26 #/LF (HOT ROLLED)	2.12" O.D. @ 3.09 #/LF
3	3/8" DIA TRUSS ROD & TIGHTENER	3/8" DIA TRUSS ROD @ TIGHTENER	3/8" DIA TRUSS ROD & TIGHTENER
4	1.58" OD @ 2.27 #/LF	1.14" X 1.58" @ 1.40 xLF (ROLL FORMED)	1.58" O.D. @ 1.82 #/LF
5	3/16" X 3/4" FLAT STRETCHER BAR	NOT REQUIRED	3/16" X 3/4" FLAT STRETCHER BAR
6	BRACE BAND & TENSION BAND	NOT REQUIRED	BRACE BAND & TENSION BAND

6 FENCE DETAILS
1/2" = 1'-0"

NOTES:
 1. ALL POST SHALL BE SET IN CONC TO THE DIMENSIONS AS INDICATED ON THIS DWG.
 2. BRACE BANDS SHALL BE 7/8" X 1/8" GALV STL W/ 5/16" X 1 1/4" CARRIAGE BOLT
 3. POST CAPS AND SOCKET TYPE BRACE END CONNECTIONS SHALL BE GALV MALLEABLE IRON OR OTHER TYPE AS APPROVED BY THE ENGINEER. THEY SHALL BE DESIGNED IN A MANNER TO EXCLUDE MOISTURE FROM THE INSIDE POST AND RAILS
 4. CHAIN LINK FABRIC SHALL BE 2" MESH, 9 GAGE WIRE.

DOC. REL.#	DATE	DESCRIPTION
10	09/23/2024	PERMIT DOCUMENTS
	10/18/2024	PERMIT DOCUMENTS



10 Quality Street
 Lexington, Kentucky 40507-1450
 Telephone: (859) 281-5000
 Facsimile: (859) 252-5300
 Food & Beverage | Manufacturing
 Automotive | Distribution
 Mission Critical | Commercial



GRAY AE, PSC
 10 Quality Street
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 Facsimile: (859) 252-5300

POLLUTANTS FROM OWNER'S OPERATIONS... CUSTOMER'S KNOWLEDGE OF ITS ACTIVITIES THAT WILL BE CONDUCTED WITHIN THE FACILITY TO BE DESIGNED BY GRAY AND CONSTRUCTED BY GRAY, AND THE MATERIALS INVOLVED IN THESE ACTIVITIES, IS SUPERIOR TO GRAY'S KNOWLEDGE. ACCORDINGLY, AND ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS TO THE CONTRARY notwithstanding, ANY GUARANTEE OR WARRANTY BY GRAY HEREIN SHALL NOT APPLY TO THE DISCHARGE, DISPERSAL, ESCAPE, RELEASE OR SATURATION OF ANY POLLUTANT INTO THE ATMOSPHERE OR ANY BODY OF WATER OR ON, INTO, UPON, IN OR INTO THE SURFACE OR SUBSURFACE OF LAND. FOR PURPOSE OF THIS SECTION, THE WORDS POLLUTANT SHALL MEAN ANY SOLID, LIQUID, GASEOUS, OR THERMAL, IRRITANT OR CONTAMINANT, INCLUDING BUT NOT LIMITED TO SMOKE, VAPOR, SOOT, FUMES, ACIDS, ALKALIS, CHEMICALS AND WASTE, INCLUDING ANY RADIOACTIVE SUBSTANCE. THE CAPACITY OF THE FACILITY AND THE DESIGN OF ANY OF ITS PARTS, SO AS TO PREVENT THE ESCAPE, RELEASE, DISCHARGE, DISPERSAL OR SATURATION OF POLLUTANTS SHALL BE THE SOLE RESPONSIBILITY OF THE CUSTOMER.

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CORP. SEAL

A NEW MANUFACTURING FACILITY FOR: MPCA AZ4 EXPANSION
 MESA, ARIZONA

MISCELLANEOUS DETAILS

JOB NUMBER: 2024045
 SHEET NUMBER: A-591

FINAL: FOR DESIGN REVIEW
 BOARD APPROVAL 11/12/2024

Citizen Participation Plan for AZ4 Expansion - MPCA

July 24, 2024

Purpose:

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of the site of an application for the AZ4 Expansion. This site is located at 6560 S Mountain Rd, northwest of corner of Pecos and Mountain Roads and is an application for the expansion of an existing chemical plant owned by MPCA. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Scott Dawson
6560 S Mountain Rd
Mesa, Arizona 85212
(480) 987-9100: (480) 987-0193 (FAX)
email: sdawson@mgcpure.com

Pre-Submittal Conference:

The Pre-submittal Conference with City of Mesa Development Services staff was held on June 26, 2024. Staff reviewed the application and recommended that adjacent residents be contacted.

Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
 - a. All registered neighborhood associations within one mile of the project.
 - b. Homeowners Associations within one half mile of the project.
 - c. Interested neighbors - focused on 1,000 feet from site but may include more.

2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan, and invitation to a series of two meetings.
 - a. The first meeting will be an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.
 - b. The second meeting will be held two weeks later and will include responses to questions and concerns of the first meeting. A sign-in list and comment cards will be copied to the City of Mesa Planner.

3. Presentations will be made to groups of citizens or neighborhood associations upon request.

All materials such as sign-in lists, comments, and petitions received shall be uploaded to the record for the case.

Schedule:

Pre-Submittal Conference:	June 26, 2024
Application Submittal:	July 24, 2024
First neighborhood meeting:	October 1, 2024
Second neighborhood meeting:	October 15, 2024
Submittal of Citizen Participation Report and Notification materials:	October 22, 2024
Planning and Zoning Board Hearing:	November 12, 2024

Citizen Participation Report for MGC Pure Chemicals America AZ4 Expansion

October 8, 2024

Overview: This report provides results of the implementation of the Citizen Participation Plan for MGC Pure Chemicals America. This site is located at 6560 South Mountain Rd, Mesa Arizona 85212. The expansion is planned to be built on the North West corner of E Mountain Rd and E Pecos Rd located in the South East Valley. The Maricopa County Assessor parcel is noted as 304-34-037A. The parcel is currently zoned as a High Industrial and will remain the same zoning. This report provides evidence that citizens, neighbors, public agencies, and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

Contact:

Scott Dawson
sdawson@mgcpure.com
6560 S Mountain Rd
Mesa AZ, 85212
(480) 987-9100

Neighborhood Meetings: The following are dates and locations of all meetings where citizens were invited to discuss the proposal (comments, sign in lists and other feedback are attached);

Meeting # 1

When: October 8, 2024

4:30 PM Y 5:30 PM

Where:

<https://gray.webex.com/gray/j.php?MTID=me9010098690f3fbbca9bd49dfe3d215>

Meeting access code: 2336 777 6995

Meeting password: ykHqMpUM465

Join by phone: +1 (415) 655-0001

Meeting # 2

When: October 22, 2024

4:30 PM Y 5:30 PM

Where:

<https://gray.webex.com/gray/j.php?MTID=ma8e0755636d10cbdae8d10bc2baee6bb>

Meeting access code: 2334 403 3969

Meeting password: WysZEXp227

Join by phone: +1 (415) 655-0001

All materials presented during the public meetings will be available by request immediately following the meeting. Included with this letter is a comment form that can be mailed back to MPCA or you may leave comments during the Zoom meeting.

Correspondence:

Letters were mailed out to City of Mesa contact list (1,000 feet of the subject site), including Businesses, LLC's, Land Owners, and City of Mesa Development services and other City of Mesa Leaders.

Results:

There were 21 Owners / persons on the contact list as of the date of this Citizen Participation Report

October 8, 2024: 12 attendees

Brady Maus – Trammell Crow company
Ryan Norris – Trammell Crow company
Shintaro Yoshida– Gray Construction
Dan Nguyen – Gray Construction
David Long-- MPCA
Adam Logsdon– Gray Construction
James Krol-- MPCA
Brandon Linville– Gray Construction
David Hird– Gray Construction
Koji Tokunaga- MPCA
Mark Taylor– Gray Construction
Scott Dawson- MPCA

October 22, 2024: 9 attendees

Josh Mike- Quarles Engineering (representing AZ Propane)
Peter Furlow- Quarles Engineering (representing AZ Propane)
Justin Dawson- Officer @ AZ Propane
Mike Hall- Michael Hall Architect (AZ Propane)
John Shinske- DDE Engineering (AZ Propane)
Scott Dawson- MPCA
David Hird- Gray Construction
Adam Logsdon– Gray Construction
Adam Logsdon– Gray Construction
Tony Pietrangelo- Bridgestone (phone call with Scott Dawson)

1. Summary of concerns, issues, and problems:
 - a. Will MPCA do the Pecos road improvements as part of this project?
 - b. Designs and Layouts look good we are excited about your expansion (Ryan Norris, Trammell Crow)

2. How concerns issues and problems were addressed:
 - a. MPCA currently working with the City of Mesa on the improvements for Pecos Rd and Mountain Rd. We will reach out to Trammell Crowe with our design information if Ryan Norris would like to work with the same company.
3. Concerns, issues, and problems not addressed and why:
 - a. None
4. Additional topics were discussed in open forum included: Pirate Rail, Other businesses expanding in the area.
5. Bridgestone Americas Tire Operations LLC @ 535 Marriott Dr in Nashville Tennessee mail was returned to MPCA as not deliverable. Scott Dawson from MPCA
 - a. Scott Dawson was contacted and reviewed the expansion information with Tony Pietrangelo- No concerns were raised.

[All materials such as sign-in lists, comments, and petitions received shall be uploaded to the record for the case.]