

# NEW AERONAUTICAL FIXED BASE OPERATION FOR: CUNNINGHAM AVIATION 4906 EAST FALCON DRIVE MESA, AZ 85215

**OWNER:** CUNNINGHAM AVIATION, llc  
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## GENERAL NOTES:

- GOVERNING BUILDING CODES  
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:  
2018 INTERNATIONAL BUILDING CODE (IBC)  
2018 INTERNATIONAL MECHANICAL CODE (IMC)  
2018 INTERNATIONAL PLUMBING CODE (IPC)  
2017 NATIONAL ELECTRICAL CODE (NEC)  
2018 INTERNATIONAL FUEL GAS CODE (IFGC)  
2018 INTERNATIONAL ENERGY CODE (IECC)  
2018 INTERNATIONAL FIRE CODE (IFC)  
2004 ICC/ANSI A117.1 ACCESSIBILITY STANDARDS  
CITY OF MESA BUILDING & CONSTRUCTION CODE
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE DRAWINGS FOR ANY ERRORS OR OMISSIONS, SPEC'S, OR OTHER DOCUMENTS. THE SUBCONTRACTOR SHALL NOTIFY BUILDER AND BUILDING SHALL NOTIFY ARCHITECT IN WRITING OF SUCH OMISSIONS OR ERRORS PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE SUBCONTRACTORS FAILURE TO GIVE SUCH NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME. THE SUBCONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED W/ THE BUILDER PRIOR TO SUBMITTING A BID; OTHERWISE THE BUILDER INTERPRETATION SHALL BE FINAL.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH COPIES OF ALL SUCH ITEMS TO THE OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CONDITIONS OR REVISIONS TO THE WORK OR IF PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IN WRITING.
- CONTRACTOR SHALL MAINTAIN A RECORD COPY OF APPROVED DRAWINGS ON SITE AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PROPERTY LINES, BUILDING LINES, FINISH FLOOR ELEVATIONS, AND ALL UTILITY TAPS AND COORDINATION PRIOR TO CONSTRUCTION.
- THE STARTING OF WORK BY ANY CONTRACTOR OR SUBCONTRACTOR SHALL BE CONSIDERED PRIMA FACIE EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.
- CONTRACTOR SHALL NOT SCALE DRAWINGS, ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED. CONTACT ARCHITECT IF CLARIFICATIONS OR ADDITIONAL INFORMATION IS NEEDED.
- ALL PRODUCTS LISTED BY ICC NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION(S) FOR PRODUCT(S) LISTED SHALL ALSO HAVE ICC APPROVED EVALUATION REPORT(S) OR BE APPROVED.
- THESE DRAWINGS ARE SCHEMATIC IN NATURE. MODIFICATIONS IN DUCTS, PIPING, CONDUIT AND WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS.
- DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:  
A) TO FACE OF STUD WALL.  
B) TO CENTERLINE OF DOORS AND WINDOWS.  
C) TO TOP OF STRUCTURAL FLOOR.  
D) TO FACE OF STEM WALL.

## ABBREVIATIONS:

A.B. -	ANCHOR BOLT	HM -	HOLLOW METAL
A/C -	AIR CONDITIONER	HC -	HANDICAP
A.F.F. -	ABOVE FINISH FLOOR	HB -	HOSE BIBB
BM -	BEAM	HORIZ -	HORIZONTAL
B.O.M. -	BOTTOM OF BEAM	HT -	HEIGHT
CL -	CENTERLINE	INSUL -	INSULATION
CLS -	CEILING	LAV -	LAVATORY
CMU -	CONCRETE MASONRY UNIT	MAS -	MASONRY
CONC. -	CONCRETE	MAT -	MATERIAL
CONT. -	CONTINUOUS	MIN -	MINIMUM, MINUTE
DF -	DRINKING FOUNTAIN	MET -	METAL
DET -	DETAIL	NO -	NUMBER
DIA -	DIAMETER	OC -	ON CENTER
DIM -	DIMENSION	OPP -	OPPOSITE
EA -	EACH	OW -	OPERABLE WALL
ELEV -	ELEVATION	RH -	ROOM
ELEC -	ELECTRIC	SC -	SOLID CORE
EG -	EQUAL	SCH -	SCHEDULE
EXIST -	EXISTING	SEC -	SECTION
EXT -	EXTERIOR	SF -	SQUARE FOOT, FEET
FBO -	FURNISHED BY OTHERS	SIM -	SIMILAR
FD -	FLOOR DRAIN	SPEC -	SPECIFICATION
FE -	FIRE EXTINGUISHER	STL -	STEEL
FEC -	FIRE EXTINGUISHER CABINET	SUSP -	SUSPENDED
FFL -	FIRST FLOOR LEVEL	TOP -	TOP OF PARAPET
FIN -	FINISH	TOM -	TOP OF WALL
FIN -	FINISH	TS -	TUBE STEEL
FLR -	FLOOR	TYP -	TYPICAL
FT -	FEET - FOOT	VERT -	VERTICAL
FTB -	FOOTING	WD -	WOOD
GA -	GAUGE	WH -	WATER HEATER
GALV -	GALVANIZED	W -	WITH
GL -	GLASS	W/O -	WITHOUT
GYP -	GYPSON BOARD	WT -	WEIGHT

## CONSULTANTS:

**CIVIL ENGINEER**  
STANDAGE & ASSOCIATES LTD.  
404 SOUTH EL DORADO  
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**MECHANICAL & PLUMBING ENGINEER**  
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justin@mechdesigns.com

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martin@enco.us

**FIRE SPRINKLERS**  
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## FIRE CODE NOTES:

REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE AND SHALL BE AN ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (18,000 LBS/24,000 LBS PER AXLE) WHEN ROADS ARE MET. FOR EXAMPLE, A MINIMUM OF SIX (6) INCHES OF ABC COMPACTED TO 90% OVER AN APPROVED BASE WOULD MEET THE REQUIREMENT.

THE ACCESS ROAD SHALL EXTEND TO WITHIN 200 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE JOBSITE WHERE ANY PERSON(S) SHALL BE WORKING FOR A MINIMUM OF FOUR (4) CONTINUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS", IN RED LETTERS SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD.

ALL OPEN TRENCHES SHALL HAVE PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY, IFC CHAPTER 14.

WATER SUPPLY FOR FIRE PROTECTION. AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.

IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF THE WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS AVAILABLE AT ALL TIMES. WHEN THE WORK IS COMPLETE, THE DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE AND THE VALVES ARE OPEN. IFC CHAPTER 33.

COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, SAFEGUARDS DURING CONSTRUCTION, AND, IFC CHAPTER 33 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.

## SYMBOLS LEGEND:

	DATUM POINT
	SECTION CUT
	DETAIL FLAG
	COLUMN LINE
	DOOR TYPE
	WINDOW TYPE
	WALL TYPE
	KEY NOTE
	STEP SYMBOL
	REVISION DELTA
	BATT INSULATION
	FOAM INSULATION
	STUD WALL
	MASONRY
	STEEL
	CONCRETE
	ABC FILL
	EARTH

## VICINITY DIRECTIONS:

FROM McKELLIPS ROAD & HIGLEY ROAD  
PROCEED NORTH TO EAST FALCON DRIVE  
WEST ON EAST FALCON DRIVE TO DESTINATION ON THE RIGHT

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## DEFERRED SUBMITTALS:

PREFABRICATED STEEL BUILDING DRAWINGS FOR THE 3 HANGARS

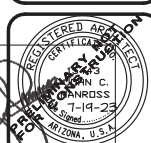
TO BE SUBMITTED ON A DEFERRED SUBMITTAL PER 2018 IBC SECTION 107.3.4.1. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR THE ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

## PROJECT INFO:

PROJECT DESCRIPTION:	NEW AERONAUTICAL F.B.O. AT FALCON FIELD AIRPORT FOR CUNNINGHAM AVIATION
ZONING:	L1 - PAD
PARCEL NUMBER:	141-36-001E
SITE ADDRESS:	4906 EAST FALCON DRIVE MESA, AZ 85215
LEGAL DESCRIPTION: (LEASE PARCEL)	PARCEL 35B OF FALCON FIELD CONTAINS 3,346 AC. (145,131 S.F.) MORE OR LESS
ALLOWABLE HEIGHT: 2018 IBC-TABLE 504.3	T5'-0" SPRINKLERED > 41'-8" PROPOSED
ALLOWABLE STORIES: 2018 IBC-TABLE 504.4	4 STORIES SPRINKLERED > 2 STORIES PROPOSED
ALLOWABLE AREA: 2018 IBC-TABLE 506.2	69,000 B OCC. SPRINKLERED > 1346 S.F. PROPOSED 52500 S-1 OCC. SPRINKLERED > 34,844 S.F. PROPOSED
OCCUPANCY:	MIXED OCCUPANCY - B SEPARATED FROM S-1.
HANGAR:	NFPA GROUP II, TYPE II 000 CONSTRUCTION - 34,844 S.F. < 40,000 S.F. ALLOWED
CONSTRUCTION TYPE:	II B - FIRE SPRINKLERED
BUILDING S.F.:	1346 S.F. 1ST FLOOR & 34,844 S.F. HANGAR = TOTAL 42,258 S.F.
BUILDING AREAS:	S1 OCC. - 35,082 S.F. - HANGAR B OCC. - 1346 S.F. - OFFICES, FUTURE KITCHEN & RESTROOMS
OCCUPANT LOAD:	6,785 S.F. - OFFICES / 150 = 45.23 OCC. 1,040 S.F. - COMMERCIAL KITCHEN & RESTROOMS / 200 = 5.20 35,082 S.F. - HANGAR / 500 = 70.16 - SEPARATED TOTAL OCCUPANCY LOAD = 120.59 OR 121 OCC.
EXITS REQUIRED:	2 EXITS REQUIRED PER 2018 IBC TABLE 1006.3.2
EXITS PROVIDED:	B OCC. 4 EXITS PROVIDED S-1 OCC. 2 EXITS PROVIDED
EXIT TRAVEL DISTANCE:	MAXIMUM RESTRICTIVE EXIT TRAVEL DISTANCE 100' PER 2018 IBC TABLE 1006.2.1
PROPOSED BUILDING HEIGHT:	41'-8"
BUILDING SETBACKS:	EAST SIDE - 25'-0" WEST SIDE - 0'-0" NORTH SIDE - 46'-4" SOUTH SIDE - 161'-8"
PARKING:	1 SPACE PER 315 S.F. OF OFFICE. = 1346 / 315 = 4.27 SPACES 2 SPACES PER AIRCRAFT HANGAR. = 6 SPACES 1 SPACE PER 200 OUTSIDE / ROOF TOP DINING = 5142 / 200 = 25.71 PARKING REQUIRED - 52 SPACES INCLUDING 2 ADA TOTAL PARKING PROVIDED - 52 SPACES, INCLUDING 4 ADA
GROSS SITE AREA:	2,424 AC. (121,475 S.F.) MORE OR LESS
LOT COVERAGE:	42,236 S.F. / 121,475 S.F. = 33.13 %
LANDSCAPE AREA:	12,225 S.F.
LANDSCAPE LOT COVERAGE:	12,225 S.F. / 121,475 S.F. = 9.54 %
SIGNAGE:	SIGNAGE IS UNDER SEPARATE PERMIT/SUBMITTAL
PLUMBING FIXTURE CALCULATION:	121 OCCUPANTS / 2 = 61 MEN & 61 WOMEN WATER CLOSETS REQUIRED: 1 PER 25 FOR 150 OCC. & 1 PER 50 FOR THE REMAINDER EXCEEDING 50 = 3 MEN & 3 WOMEN LAVS REQUIRED: 1 PER 40 FOR 150 OCC. & 1 PER 80 FOR THE REMAINDER EXCEEDING 80 = 2 MEN & 2 WOMEN SERVICE SINK REQUIRED: 1 DRINKING FOUNTAIN: 1 HULO
PLUMBING FIXTURES PROVIDED:	WATER CLOSETS PROVIDED: MEN - 2 WC & 2 URINALS, WOMEN - 3 WC, UNISEX - 1 WC LAVS PROVIDED: MEN - 2 LAVS, WOMEN - 2 LAVS, UNISEX - 1 LAV SERVICE SINK PROVIDED: 1 DRINKING FOUNTAIN: 1 HULO
NOTE:	STRUCTURE CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH ALL REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 241.

## SHEET INDEX:

1	SU	COVER SHEET
2	C1	TOPOGRAPHY SURVEY
3	C2	SITE IMPROVEMENT PLAN
4	C3	CITY OF MESA GENERAL NOTES
5	C4	CIVIL GRADING & DRAINAGE PLAN
6	L1	CIVIL UTILITY PLAN
7	L2	LANDSCAPE PLAN
8	L3	IRRIGATION PLAN
9	A1	LANDSCAPE DETAILS
10	A1	SITE PLAN
11	A1.2	SITE DETAILS
12	A2	COURTYARD PLAN
13	A2.1	1ST FLOOR PLAN (SMALL SCALE)
14	A2.2	HANGAR #1 FLOOR PLAN
15	A2.3	LOBBY & HANGAR #2 FLOOR PLAN
16	A3	HANGAR #3 FLOOR PLAN
17	A4	2ND FLOOR PLAN
18	A5	ROOF FLOOR PLAN
19	A6	EXTERIOR ELEVATIONS
20	A7	EXTERIOR ELEVATIONS
21	A8	BUILDING SECTIONS & ELEVATIONS
22	A9	BUILDING SECTIONS
23	A10	BUILDING SECTIONS
24	A11	1ST FLOOR REFLECTED CEILING PLAN
25	A12	ROOF PLAN
26	A13	SCHEDULES & DETAILS
27	A14	DETAILS
28	A15	GENERAL STRUCTURAL NOTES
29	A16	FOUNDATION PLAN
30	A17	LOW ROOF / FLOOR FRAMING PLAN
31	A18	HIGH ROOF FRAMING PLAN
32	A19	TYPICAL DETAILS
33	A20	TYPICAL DETAILS
34	A21	FOUNDATION DETAILS
35	A22	FRAMING DETAILS
36	A23	FRAMING DETAILS
37	A24	MECHANICAL PLAN 1ST FLOOR
38	A25	MECHANICAL ROOF PLAN
39	A26	MECHANICAL NOTES
40	A27	MECHANICAL DETAILS
41	A28	OVERALL PLUMBING PLAN
42	A29	PLUMBING FLOOR PLAN
43	A30	PLUMBING NOTES & SCHEDULES
44	A31	WASTE & VENT DIAGRAM
45	A32	PLUMBING DIAGRAM
46	A33	ELECTRICAL SITE PLAN
47	A34	SITE PHOTOMETRIC PLAN
48	A35	SITE TRESPASS PHOTOMETRIC
49	A36	ELECTRICAL SCHEDULES
50	A37	MAIN LEVEL POWER PLAN
51	A38	MAINLEVEL LIGHTING PLAN
52	A39	ROOF POWER PLAN
53	A40	ONE LINE DIAGRAM
54	A41	LIGHTING SCHEDULES
55	A42	ELECTRICAL SPECIFICATIONS
56	A43	FIRE PROTECTION PLAN
	A44	HANGAR 2 & 3 PIPING PLAN
	A45	HANGAR 1 & LOBBY PIPING PLAN
	A46	HEAD REFLECTED CEILING PLAN
	A47	SPRINKLER BUILDING SECTIONS
	A48	FIRE ALARM PLAN & SCHEDULES
	A49	FIRE ALARM SPECIFICATIONS
	A50	ELEVATOR SPECS
	A51	ELEVATOR SPECS
	A52	ELEVATOR PLAN VIEW
	A53	ELEVATOR ELEVATION / SECTION

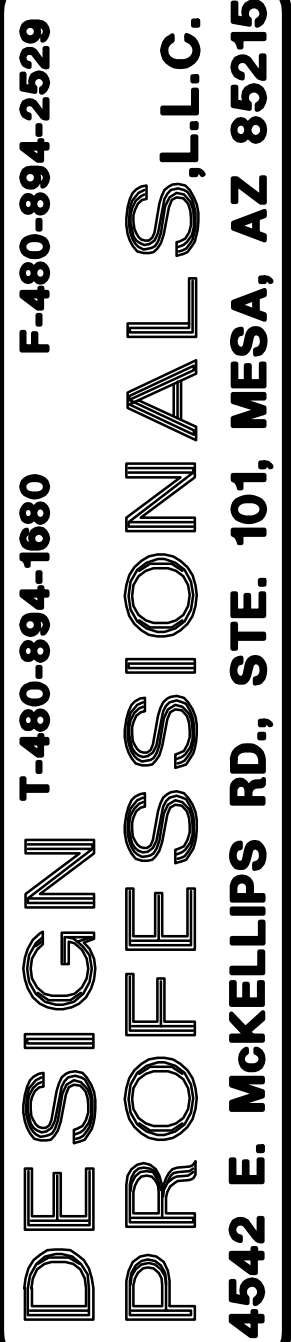


REVISIONS

PROJECT NO

2103





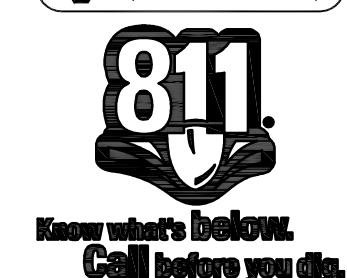
A NEW AERONAUTICAL F.B.O. FOR:  
CUNNINGHAM AVIATION  
4906 EAST FALCON DRIVE MESA, AZ 85215

**SHEET** AI  
**SITE PLAN**  
**DATE** 8-1-23 **DWN. BY** jm

**PROJECT NO**  
2103



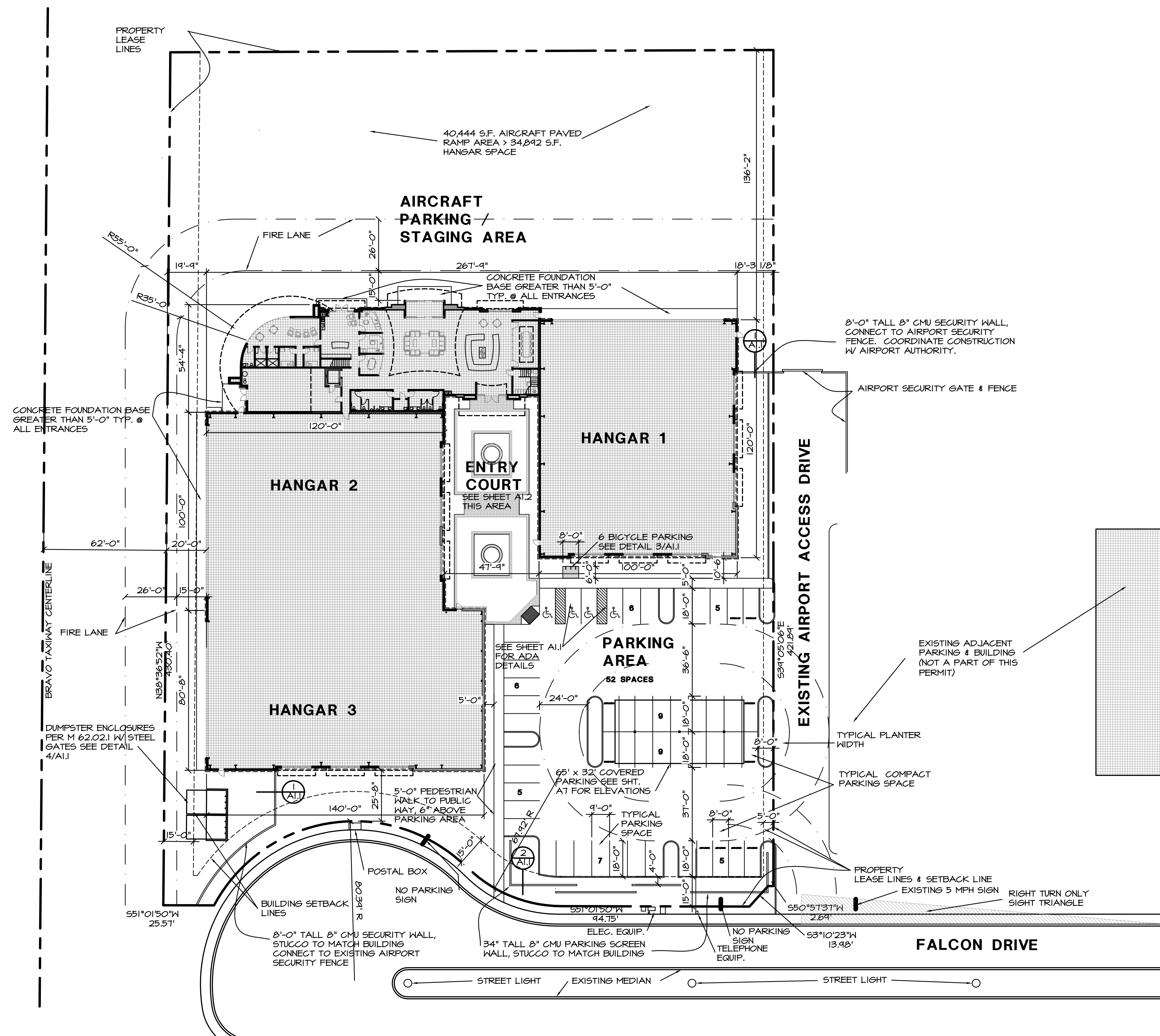
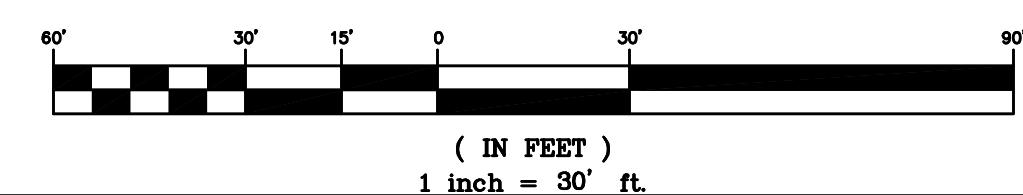
1. ALL TELECOMMUNICATION EQUIPMENT WILL BE WITHIN THE BUILDING SCREENED FROM PUBLIC VIEW.
2. ALL FIRE PROTECTION EQUIPMENT WILL BE WITHIN THE BUILDING SCREENED FROM PUBLIC VIEW.
3. ALL ROOF ACCESS DOORS WILL BE WITHIN THE BUILDING SCREENED FROM PUBLIC VIEW.
3. ALL MECHANICAL EQUIPMENT WILL BE ROOF MOUNTED AND SCREENED FROM PUBLIC VIEW BEHIND ROOF PARAPETS.
4. ALL SOLAR PANELS WILL BE ROOF MOUNTED AND SCREENED BEHIND ROOF PARAPETS NONE ARE ANTICIPATED AT THIS TIME.
5. HIGH EFFICIENCY HEATING & COOLING EQUIPMENT WILL BE IMPLEMENTED IN THE BUILDING AS WELL AS THE USE OF FOAM INSULATION THROUGHOUT THE BUILDING.
6. ALL SIGNAGE WILL BE UNDER SEPARATE PERMIT.
7. ALL EXPOSED LIGHT EQUIPMENT SHALL BE ENHANCED WITH A DECORATIVE WRAP REPRESENTING AN AERONAUTICAL THEME.
8. THE CITY OWNS AND MAINTAINS THE LANDSCAPE AND IRRIGATION WITHIN FALCON FIELD R.O.W. LANDSCAPE MATERIAL AND IRRIGATION SYSTEM MUST BE MAINTAINED AND REMAIN IN PLACE THROUGHOUT THE PROJECT TIMELINE, UNLESS THE DEVELOPER INSTALLS NEW LANDSCAPE MATERIAL AND NEW IRRIGATION SYSTEM. NO DEMOLITION OR CONSTRUCTION WORK ON THE LANDSCAPING SHALL TAKE PLACE BEFORE HAVING A MEETING WITH THE TRANSPORTATION LANDSCAPE DEPARTMENT.
9. CONFIRM ALL SIDEWALK AND DRIVEWAY ARE FREE FROM DEFICIENCIES, ADA AND CM COMPLIANT PER COM STD. DTL. M42 AND ENGINEERING DESIGN GUIDELINES.
10. WHERE THE LAND DEVELOPMENT PROJECT IS ADJACENT TO OR ADJOINING AN EXISTING PUBLIC STREET LIGHTING, THE CITY OF CHANDLER'S STANDARDS ASSOCIATED WITH THE PROPOSED PROJECT SHALL NOT RESULT IN DEGRADATION OF THE EXISTING LIGHT LEVELS BELOW THE REQUIRED MINIMUM LEVELS. THE DEVELOPER SHALL PERFORM A LIGHTING ANALYSIS FOR ANY PROJECT THAT RESULTS IN A CHANGE OF PEDESTRIAN OR VEHICLE LIGHT CLASSIFICATION OR REQUIRED THE ADDITION, CONVERSION, REMOVAL, REPLACEMENT, OR RELOCATION OF ANY STREETLIGHT(S). PROJECTS IN WHICH THE LIGHTING ANALYSIS SHOWS THAT LIGHTING LEVELS DO NOT MEET THE REQUIRED STANDARDS, OR WILL BE IMPACTED AT LEAST MINIMALLY, THE DEVELOPER SHALL IMPROVE THE EXISTING PUBLIC STREET LIGHTING SYSTEM TO MEET CURRENT DESIGN STANDARDS.



# SITE PLAN

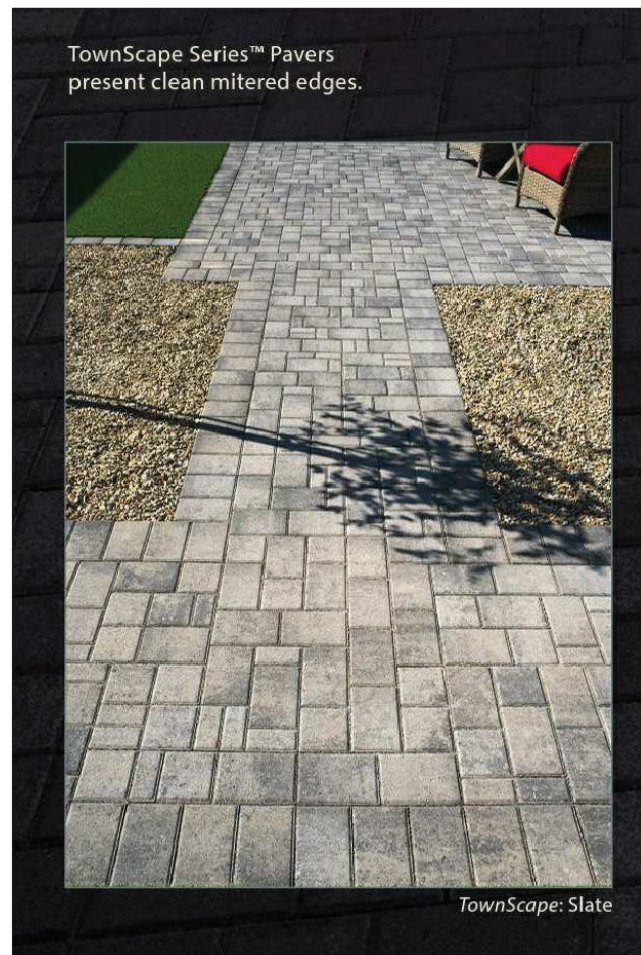
SCALE: 1" = 30'-0"

GRAPHIC SCALE









## TownScape: Slate

SCALE: NO SCALE

## COURTYARD PLAN

SCALE: 1/8" = 1'-0"

**DESIGN T-480-894-1680 F-480-894-2529**  
**PROFESSIONAL S.L.L.C.**  
4542 E. McKELLIPS RD., STE. 101, MESA, AZ 85215

A NEW AERONAUTICAL F.B.O. FOR:  
CUNNINGHAM AVIATION  
4406 EAST FALCON DRIVE MESA, AZ 85215

**SHEET** A | 2  
**COURTYARD PLAN**  
**DATE** 7-19-23 **DWN. BY** jm, la

PROJECT NO.

2103