



PLANNING & ZONING BOARD

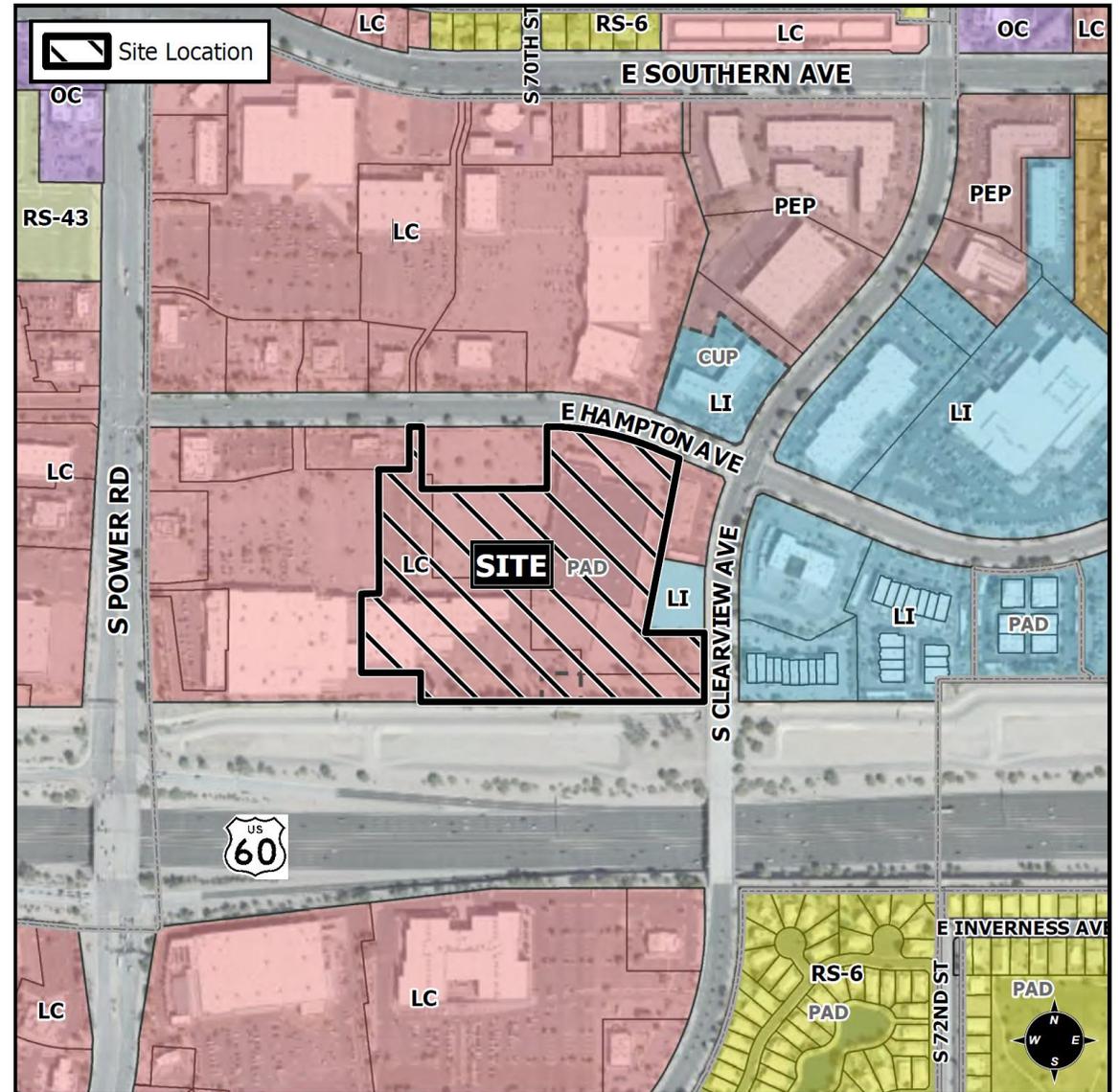
September 8, 2021



ZON21-00397

Location

- East of Power Road
- South of Southern Avenue
- South Side of Hampton
- North of US 60





General Plan

Mixed Use Activity District
Regional Scale sub-type

- Large-scale activity areas
- Attract people from larger region



Request

- Rezone from LC-PAD to LC-PAD-PAD, CUP, and Site Plan Review

Purpose

- Allow for a multiple residence development

Site Photos



Looking south towards the site from Hampton Ave

Site Photos

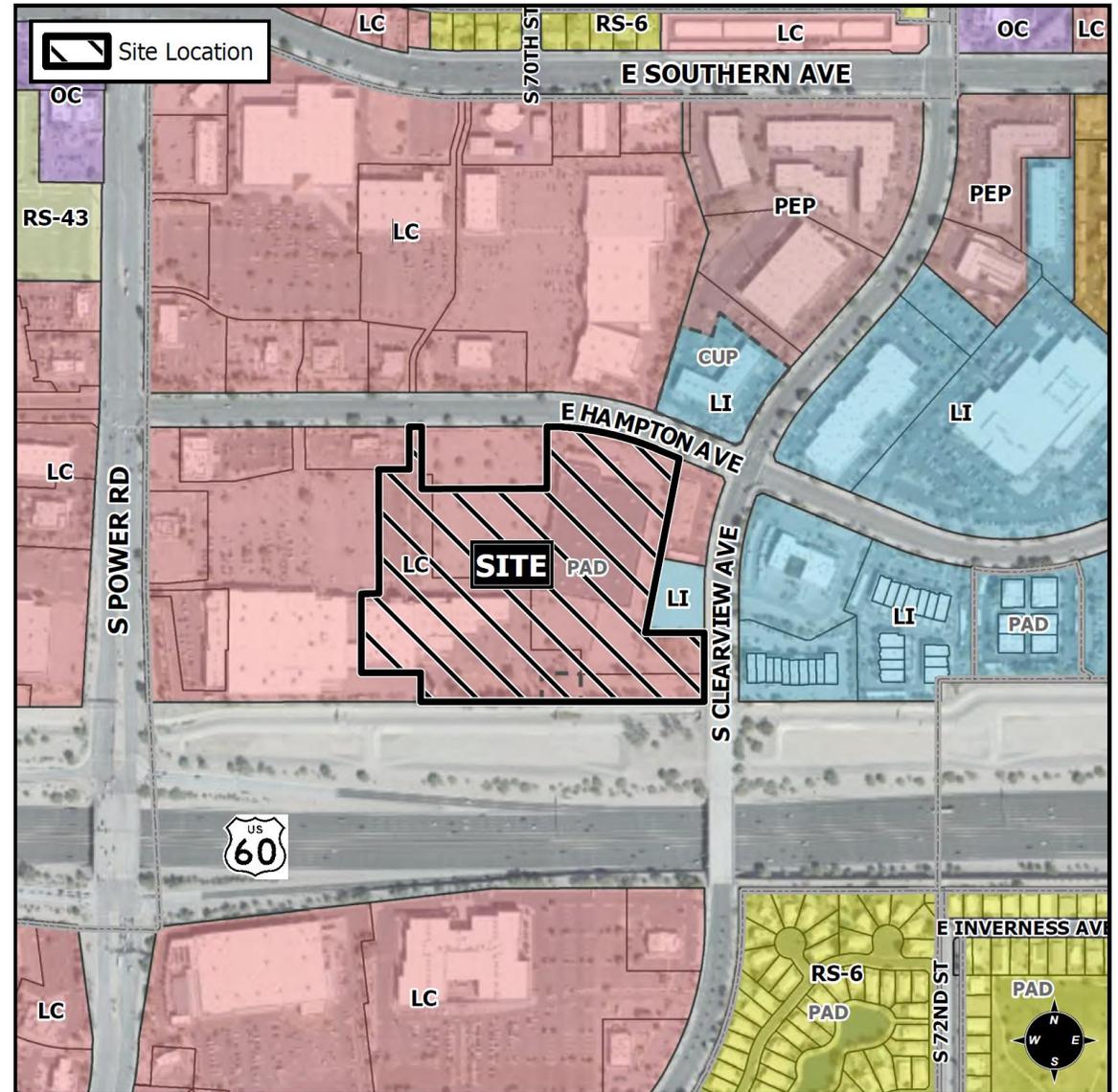


Looking south towards the site from the interior parking lot

Zoning (Proposed)

Limited Commercial (LC)

- Areas that serve surrounding residential trade area
- Multiple Residence permitted with CUP



Council Use Permit

Section 11-31-31

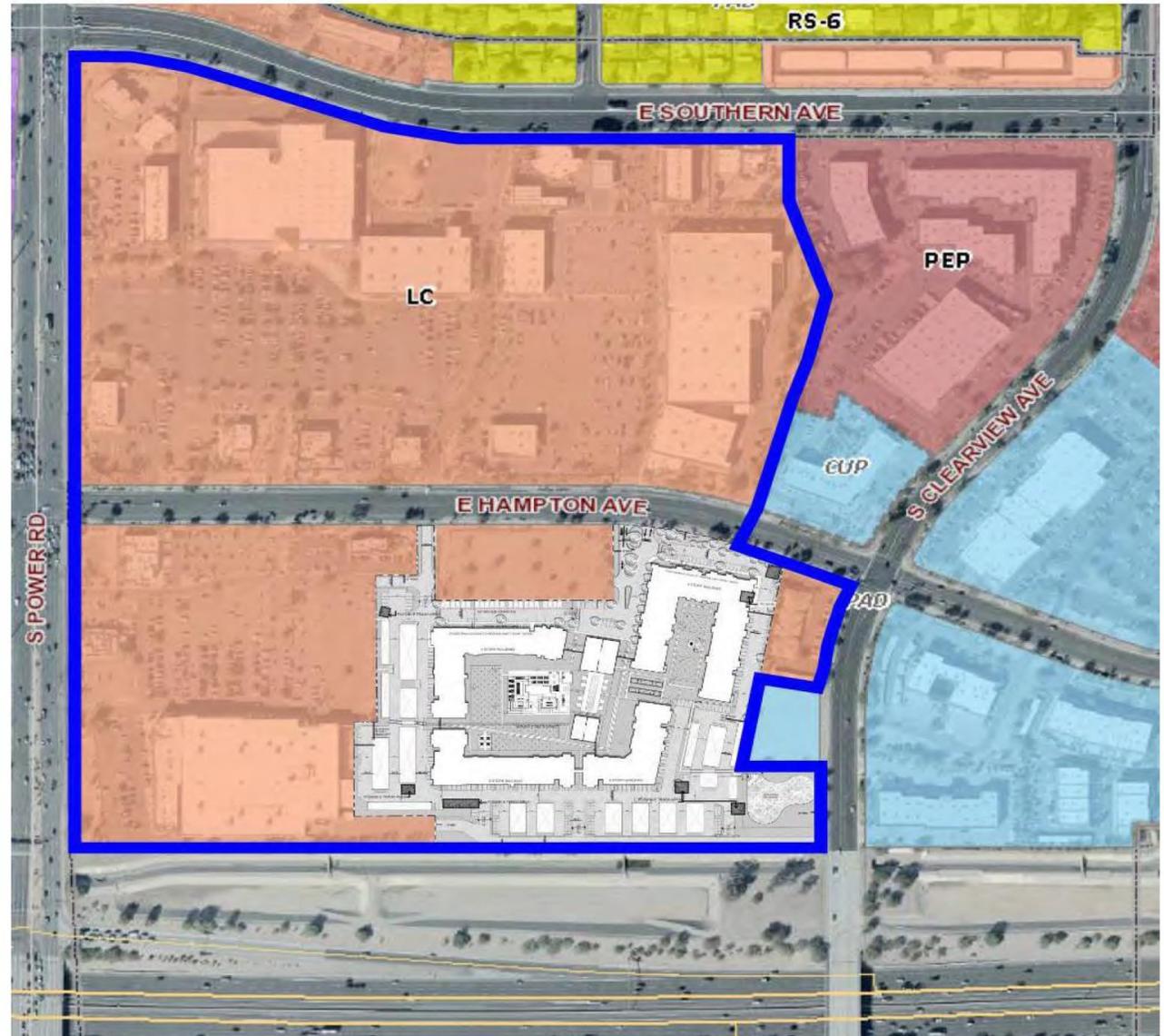
- Min. 60% of GFA of all buildings is commercial
- Min. 65% of ground floor of each building is commercial
- Any modifications require CUP

- **Proposed: 0% commercial on site**

Council Use Permit

Limited Commercial (LC)

- Proposal meets CUP intent with larger commercial context
- 17-acre site is 27.6% of larger 60.27-acre area



PAD Request

Development Standard	Required LC	Proposed LC-PAD	Staff Recommendation
Maximum Building Height	40'	58'	As proposed
<i>Accommodates increased density to support commercial, supports unique building design</i>			
Building Setbacks (east and west side)	15'	10'	As proposed
<i>Improve engagement & connections between proposal & surrounding commercial</i>			
Landscape Setbacks			As proposed
- North	15'	7.5'	
- West	15'	8'	
- South	15'	5'	
- East	15'	10'	
<i>Improve engagement & connections between proposal & surrounding commercial</i>			

PAD Request

Development Standard	Required LC	Proposed LC-PAD	Staff Recommendation
Parking Ratio	2.1 spaces/unit	1.57 spaces/unit	As proposed
<i>Consistent with similar developments, less demand due to location within commercial center</i>			
Maximum Fence Height	3.5'	6'	As proposed
<i>Maintain consistent fence design, view fence to maintain engagement with Hampton Ave</i>			

PAD Request

Pedestrian connections to future commercial

Pedestrian connection to Target

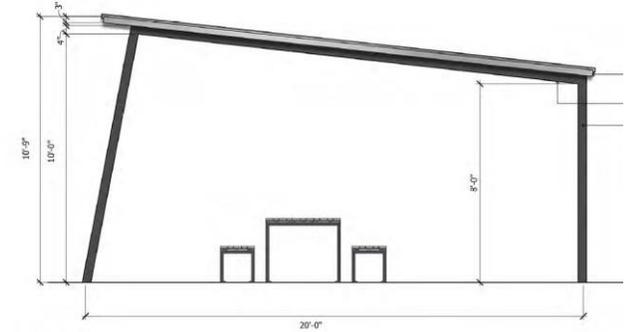


Superior elevations

High Quality Amenities

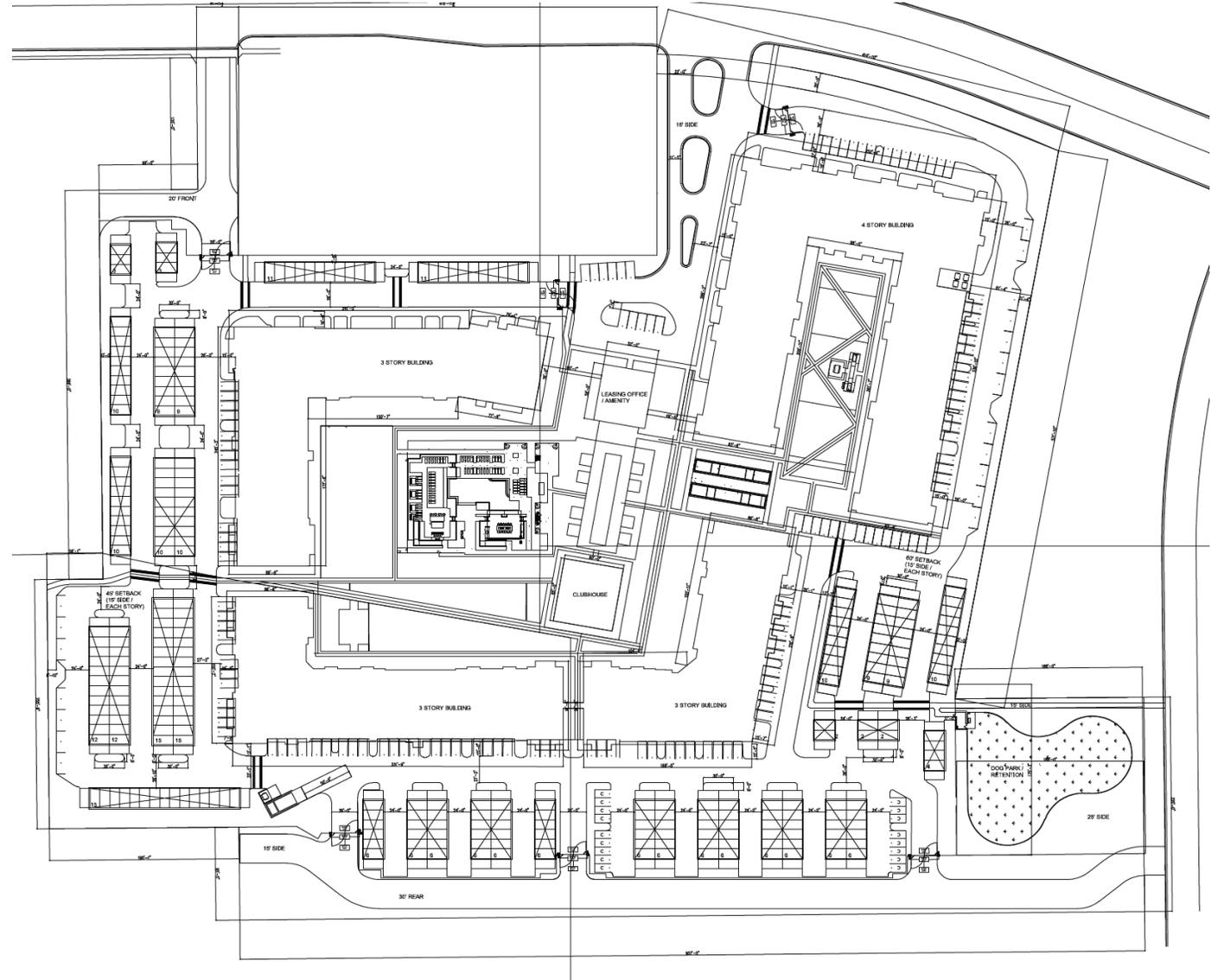


PAD Request



Site Plan

- 375 units, 3 buildings, 3-4 stories
- Pedestrian connections to commercial to west and future commercial to north
- Courtyard amenities, dog park



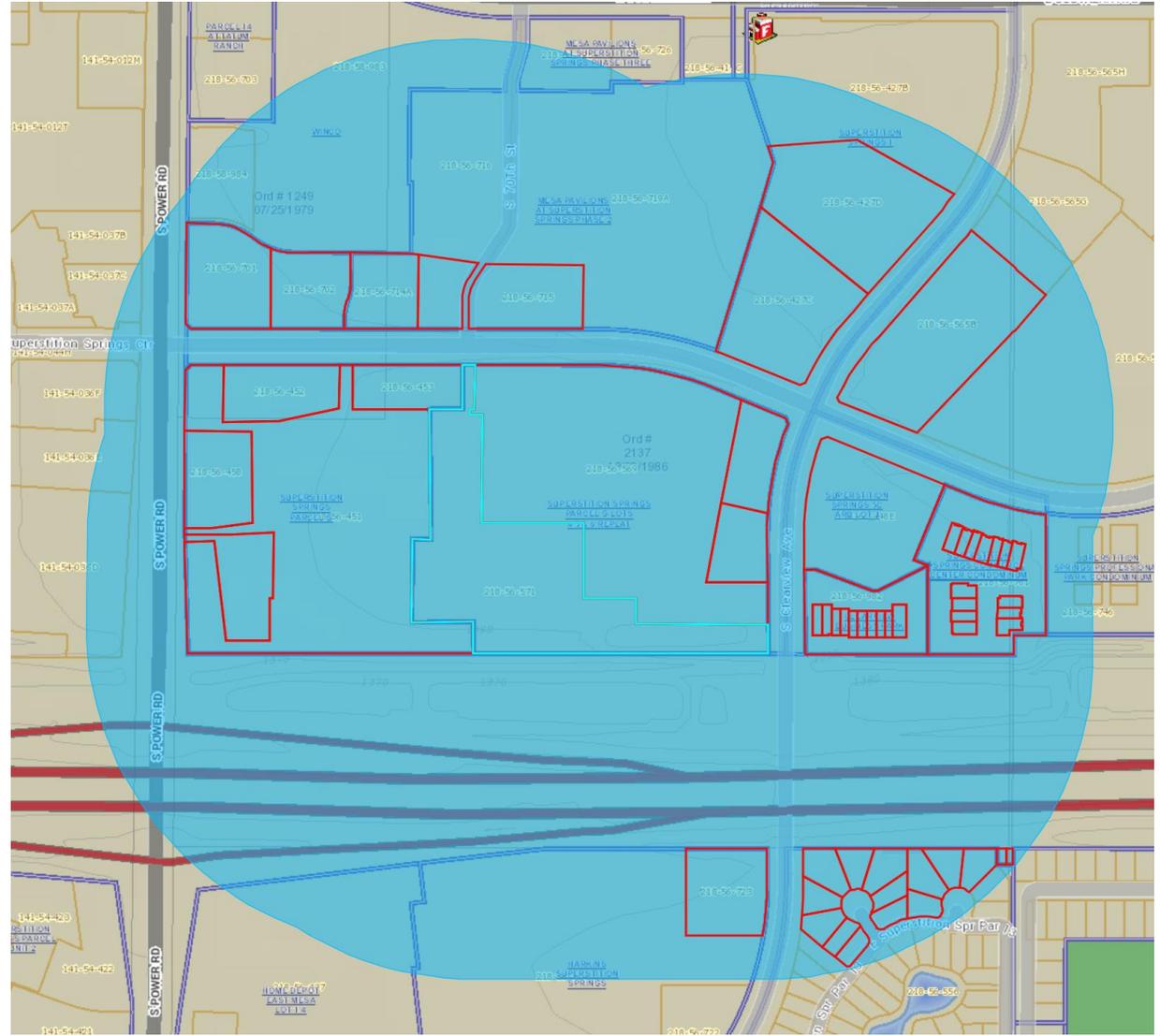
Design Review

- September 14, 2021



Citizen Participation

- Property owners within 1,000 feet, HOA's, & Registered Neighborhoods
- Neighborhood Meeting
 - 1 attendee
- Staff has received no response



Summary

Findings

Complies with:

- 2040 Mesa General Plan
- Criteria in Chapter 70 for CUP
- Criteria in Chapter 22 for PAD
- Criteria in Chapter 69 for Site Plan Review

Staff Recommendation

Approval with Conditions



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