

Tangerine at 421 N. Hall, Mesa Arizona



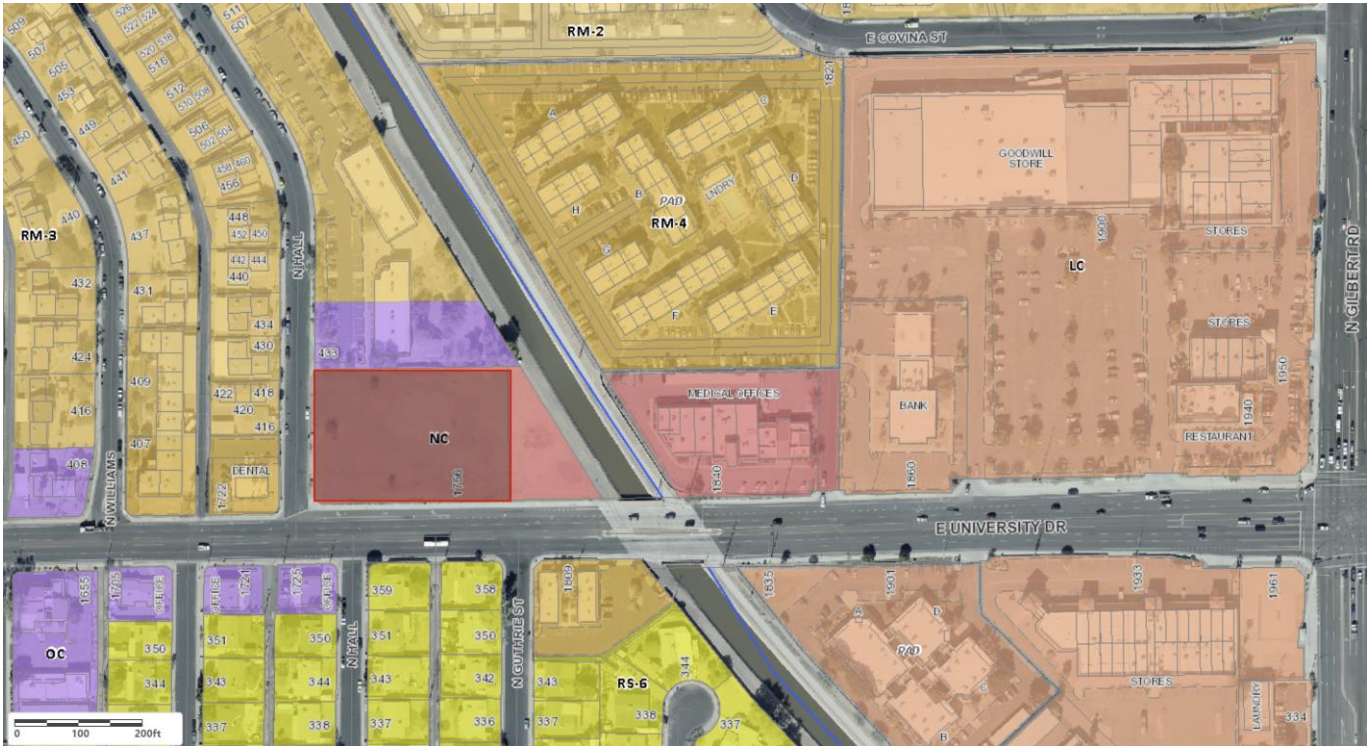
Atmosphere Architects is pleased to present Tangerine, a new high-quality residential infill development at 421 N Hall, in Mesa, Arizona. Inspired by Mesa's historic citrus growers, we have created a community that will have a unique sense of place and offer a fresh element as University continues to blossom.

Consisting of 1.45 acres on a bypassed parcel, 1300 feet west of N Gilbert Road, the lot has a canal to the east, The Academy with Community Partners (a charter school) to the north, RM-4 zoning across Hall, and variety across University to the south: RM-4, RS-6, and OC. There is a large RM multifamily development across the canal. SRP owns the land between the lot and the canal, so the only inhabited lot abutting Tangerine is the charter school. (See Surrounding Zoning figure below)

Tangerine will be made up of 3-story, attached townhomes with attached garages, a housing option not currently offered in this area. *The proposed multiple residence use conforms with the goals of the "Neighborhood Character Area" by providing variety in housing options.* Tangerine also brings in additional residents to support the areas various commercial offerings, which include various businesses, medical offices, a bank, and restaurants,



many within walking distance. *The project will take advantage of already in place infrastructure, providing additional system users without additional capital improvement outlays.*



Surrounding Zoning

We are seeking a re-zoning from NC- Neighborhood Commercial to RM-4 PAD to bring Tangerine’s high-quality community to life. This rezoning will help rebalance the economic dynamics in this area, where there are and several commercial buildings and shopping centers with vacant spaces. By bringing additional residents to the area, Tangerine will help increase the demand for goods and services at existing businesses and encourage new businesses to fill the vacant commercial spaces. RM-4 PAD is being requested over RM-3 PAD because the density provided in the project is 20.7 du/acre. This is .7 du/acre higher than RM-3 allows and having this density lowers the risk of undertaking this development.

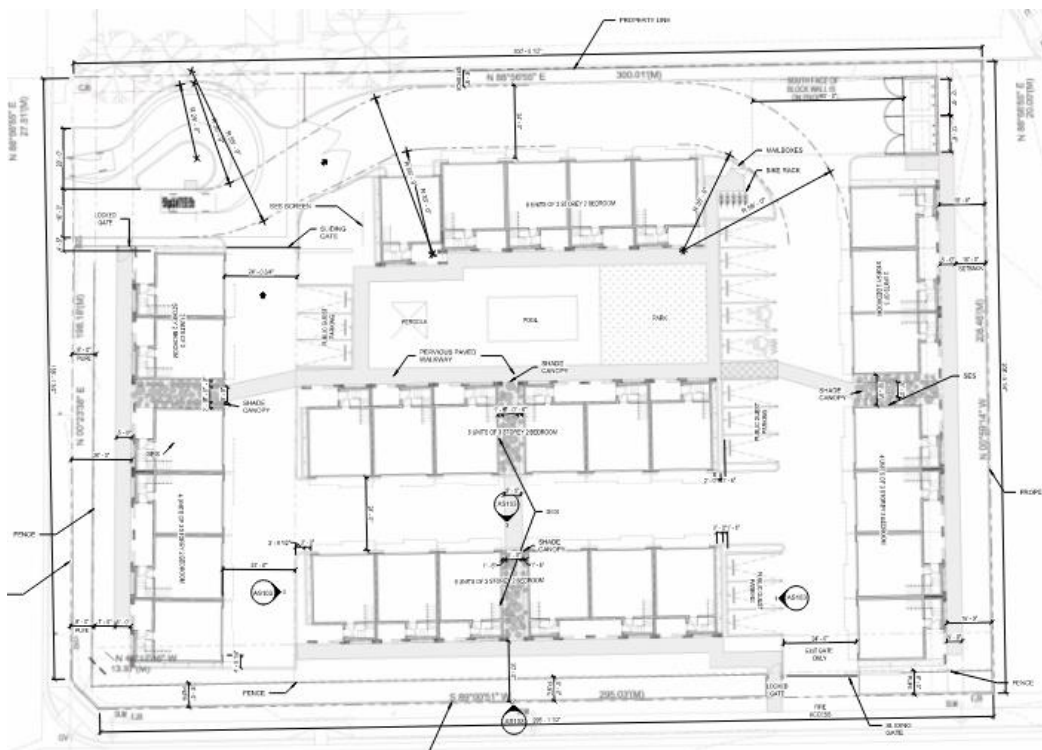
One landscape feature of this design is that planters will be integrated into the bottoms of the façade frames. Additional planting along these faces is minimized to emphasize the planters built into the architecture. The landscaping featured throughout the project will be maintained by the developer.

Additionally, Trees and shrubbery will be placed along University to provide a



buffer between the traffic on University and the units. This will be accommodated by burying conduit in the PUFU for future use. In the meantime, this will allow for the area to be planted and to help create the neighborhood character per the general plan.

Tangerine has 30 3-story 2-bedroom units. All units will have attached 2-car garages at the Mesa required dimensions of 22 ft. L x 20 ft. We anticipate bicycle storage mainly taking place in the attached garages, but additional bicycle storage will be provided near the mail kiosk. There will be 14 visitor parking spaces dispersed through the site (3 are required per code). Walkways connect the units to the center, where a central open space with planned amenities such as a swimming pool, park, and BBQ area. The canal is less than 200 ft from the southern access gate, providing easy access to a place to walk dogs or exercise. All units have integral exterior private spaces.



Meeting the intent of the PAD Overlay District:

- A. Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use.

Tangerine provides a well-designed, 3,549 sq ft centrally located common open space. A variety of amenities are planned to include a swimming pool, park, and shaded BBQ area. The nearby canal, less than 200' from the southern gate, is an additional amenity space.

- B. Options for the design and use of private or public streets.

Tangerine will have private drive aisles of 24 feet and will utilize existing utility and transportation infrastructure.

- C. Preservation of significant aspects of the natural character of the land.

The lot is a flat, never developed property, unremarkable in natural character, however, it will become an attractive and unique development that will enhance the neighborhood set a precedent for this part University.

- D. Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development.

The unique, citrus inspired design and a centrally located common area will result in Tangerine being a high-quality development that we hope will be a highly desirable location to live.

- E. Sustainable property owners' associations.

Tangerine is planned as a for rent townhome community and will have active ownership.

- F. Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions.

Property maintenance will be provided by the property owner.

- G. CPTED – *The interior units have extensive lighting below the tree canopy, and there are security gates to pass through to have access to the front doors of all internal units. Walkways are well lit and shall be kept free of obstacles. All isolated areas are within the security fences. Trees to be trimmed 7' above the ground and shrubs shall be not taller than 3' high. The perimeter fencing is a wrought iron view fence to increase visibility.*

Consistent with the General plan, Tangerine provides an additional housing option for current and future Mesa residents.

Tangerine will provide housing into University's commercial corridor and will bring new customers for local neighborhood businesses.



Zoning and General Plan Requirements Table and PAD deviations

As noted, we are seeking a rezoning to RM-4 PAD to bring a very high quality, “missing middle” housing option to an area of Mesa with multiple challenges.

Tangerine RM-4 PAD Request Table				
Table 11-5-5: Development Standards- RM Residential Multiple Dwelling Districts				
Standard	RM-4 Requirement	RM-4 PAD Provided	Deviation requested	Deviation Rationale Key
Min. Front/Street Facing	20' (University)	9' 6"	Deviation Requested	1 & 2
Min. Interior Side/Rear				
3 rd Story	15'/story	29' N side 15' E side 9'-6" S side	Deviation Requested	2 &
Landscape Setback	15'	2' - 2 ½" N 9'- 6" S	Deviation Requested	2
Bicycle Parking	1/10 vehicle =7.4	5	Deviation Requested	5
Fire Riser Room	Int.	Ext access panel	Deviation Requested	6
11-33-4 Landscape Islands	8' x 15'	2' x 15'	Deviation Requested	7
11-33-4.D Landscape Island Plant Materials	1 tree + 3 shrubs/Island	4 shrubs 5 shrubs	Yes	11
11-33-5 A.2.b Foundation Base	5'	4'-1"	Deviation Requested	10
Min. Separation Between Buildings on the same lot 3-story	35'	8'	Deviation Requested	2 & 3
Multiple Garage Doors in a row	3	4	Deviation requested	4
Second primary material	25% of elevation	14%-25%	Deviation requested	8
Sidewalk on sides of entry drive aisle	Both	none	Deviation	2

11-32-4.A Parking setback from property line along main drive aisle	50'	14'	Yes	9
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We offer the following rationales/supports for our specific PAD requests (see Table for applicability)

1. The University setback is reduced to better engage the street, providing a more urban aesthetic as the area transitions to a higher use transit corridor. The encroaching units have their side elevations facing university. Privacy isn't sacrificed due to the orientation and architectural design.
2. Despite placing some buildings into setback areas and their close proximity to each other, more open space is provided per unit than is required. Doing so frees up space to include in the common amenity area. Placing buildings close together provides shade, which is important, and the narrow areas of the site have added shade structures that will be integral to the design.
3. The development is for non-stacked, attached single-family dwelling units under the 2018 IRC. All units will have 13R fire suppressions systems and required unit to unit separation. End unit setbacks provided are the same as those found in current single-family home developments. Where required by code, fire-rated exterior walls will be provided.
4. In designing the site, we attempted to ensure that only 3 garages in a row were provided, but doing so created precipitously angled pedestrian walkways, to the point that it seemed a clear safety hazard.
5. We anticipate bicycle storage occurring in the private attached garages. 5 visitor cycle spaces are provided.
6. Due to the typology of attached townhomes in use, creating a fire riser room for each building block would feel out of place for the design and further complicate meeting other building regulations and requirements. We propose, similarly to how it has been done in previous COM projects, that an exterior recessed access panel be provided for each building block.
7. In previous projects using attached townhomes where most of the parking is located in private garages, city staff and neighbors have voiced concern regarding the amount of available guest parking. Here, many guest spaces are provided to address this concern. In doing so, the size of the landscape islands has been reduced.
8. The architectural design for the project is using a number of design principles to create something new to Mesa.
 - a. Contrast – the contrasting orange and white colors create an interesting relationship to each other and their placement across the façade. However, the danger of contrast, or of too many dissimilar materials, is that the contrasting relationship is lost, and the appearance is cluttered. For this reason, we recommend an exception so that the dynamic between the orange and white on the stucco 'canvas' is maintained. Some siding has been included as a compromise, but increased use of it would make the project design less striking and generally worse.
 - b. Light and shadow – the popouts create depth and a dynamic façade that changes with the day.
 - c. Balance – the framing quadrants create a unifying pattern or 'rule' for the building.
 - d. Asymmetry – the varying depth of the framing, while not breaking the pattern, roughs it up just enough to provide the desired interest.
9. Due to the minimal use of the Southeast emergency-and-service-vehicle-exit-only gate, it shouldn't be classified as a Main Drive as referred to in Section 11-32-4.A. As such, we believe that it would be appropriate to have parking within the 50' setback.

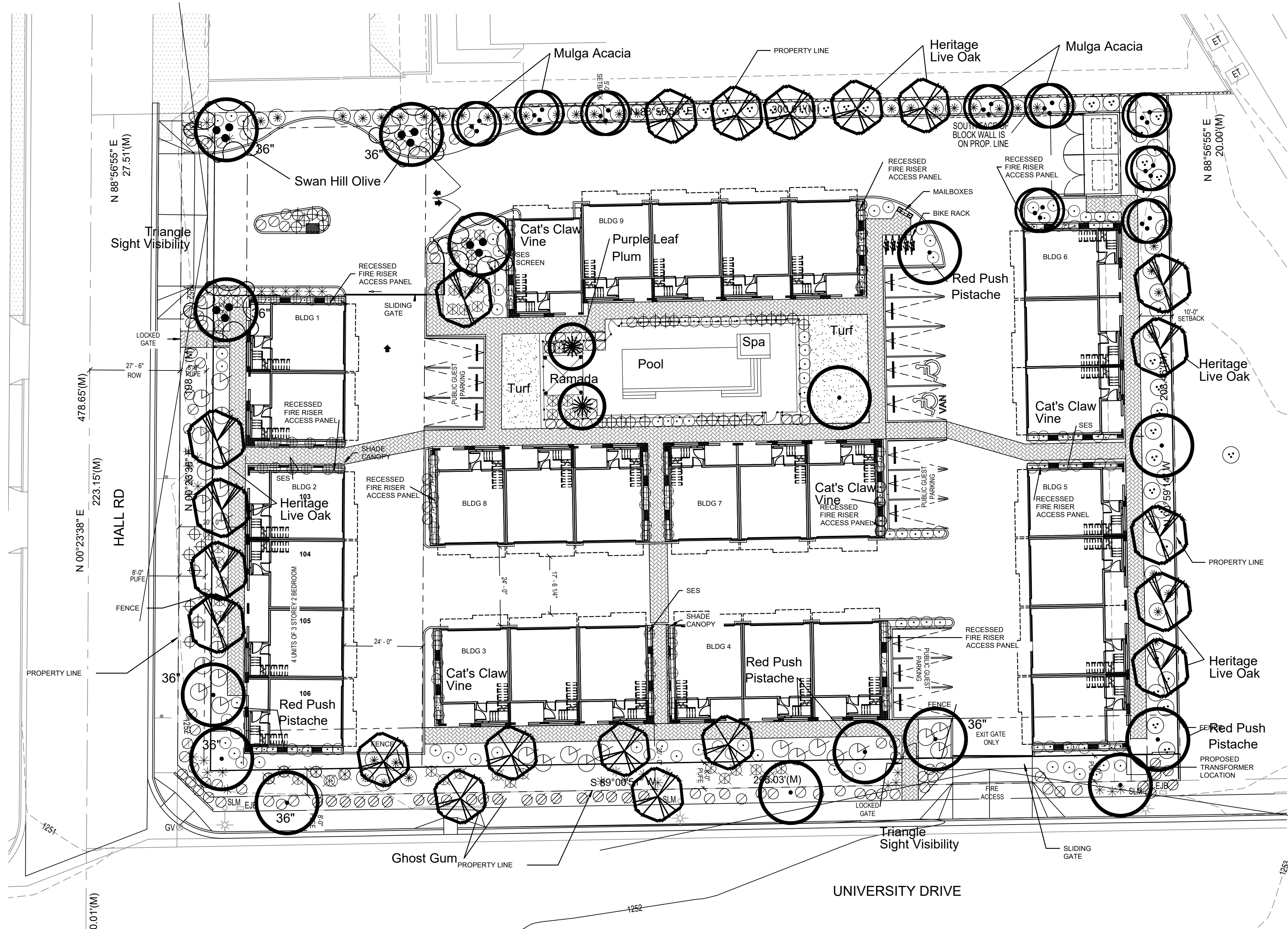
10. Some of the required foundation bases have been reduced below minimum to accommodate the standards for drive aisles. To minimize the impact of this, the end units feature integrated planters and an amenity space exceeding MZO open space standards has been provided.
11. Despite being over-parked, parking is consistently an issue for neighbors, DRB and P&Z boards. We are working to preempt these concerns with the amount of parking that we are providing. We have reduced the sized of the parking landscape islands and the plant material within them to accommodate additional parking and drive aisles per COM standards.

Alternate Compliance:

Garage Doors: To create a site that is efficient in its use of space, four units (and their garages) have been placed adjacent to each other. To break up the repetitive nature of garage doors in this project, garage doors are an orange metal similar to the orange feature on the facades. They are an element of the playful design of Tangerine. The garage doors have windows on one side to create additional depth and break up the metal façade. As mentioned in the PAD justifications, separating the current blocks of 4 units created a safety hazard for pedestrians by creating acutely angled walkways.

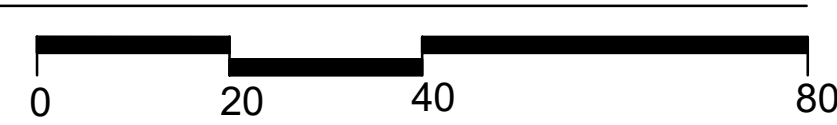
Façade Material Percentages: The elevations show facades that, while variable and interesting, do not comply with 11-5-5.B.5(b) as there is not a secondary material meeting the 25% threshold. In this case, we seek alternative compliance per 11.5.5.B.6(iv). The predominant use of stucco in contrasting colors provides a more interesting façade than would be achieved by complying with 11-5-5.B.5(b) as is explained above in the PAD rationalizations.

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LANDSCAPE PLAN

SCALE 1"=20'-0"



PLANT MATERIAL LEGEND

SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height, Canopy, & Caliper)	QUAN
TREES			
	Acacia aneura Mulga	24" Box 7' 4' 1.5" Double-Staked Typ.	9
	Eucalyptus papuana Ghost Gum	24" Box 8' 3' 1.5" Double-Staked Typ.	11
	Prunus cerasifera 'atropurpurea' Purple Leaf Plum	36" Box 10' 6' 2.5" Double-Staked Typ.	2
	Quercus virginiana Heritage Live Oak	24" Box 9' 4' 1.25" Double-Staked Typ.	10
	Olea europaea 'Swan Hill' Swan Hill Olive	36" Box 12' 10' 3" Double-Staked Typ.	4
	Pistache a. 'Red Push' Red Push Pistache	24" Box 8' 3' 1.25" 36" Box 14' 8' 2.5" Double-Staked Typ.	8 3
LARGE SHRUBS			
	Dodonaea viscosa 'purpurea' Hopseed Bush	5 Gallon	38
	Eremophila 'Valentine' Valentine Bush	5 Gallon	27
	Leucophyllum langmaniae Rio Bravo Texas Ranger	5 Gallon	40
MEDIUM AND SMALL SHRUBS			
	Callistemon c. 'Little John' Little John Bottle Brush	5 Gallon	133
	Muhlenbergia rigida "Nashville" Nashville Purple Muhly	5 Gallon	33
	Muhlenbergia capillaris "Regal Mist" Regal Mist Deer Grass	5 Gallon	53
	Coriaria grandiflora Green Carpet Natal Plum	5 Gallon	74
GROUNDCOVERS			
	Eremophila globra Outback Sunrise Emu	1 Gallon	26
	Lantana m. 'New Gold' New Gold Lantana	1 Gallon	101
ACCENTS			
	Hesperaloe parviflora Red Yucca	5 Gallon	33
	Nacfadyena unguis-cati Cat's Claw	5 Gallon tie to Wire mess trellis	22
LANDSCAPE MATERIALS			
	Decomposed Granite Desert Gold	1/2" size screened 2" Deep	
	Concrete Header	4" x 6", Curbstyle 2" Deep	
	Midiron Bermuda	Sod 729 s.f.	

PLANT CALCULATIONS

STREET RIGHT-OF-WAY LANDSCAPING:			
Linear Feet of Frontage- 493			
Trees required- 20	Trees provided- 20		
(1 Trees per 25 Linear ft.)			
Shrubs required- 120	Shrubs provided- 135		
(6 Shrubs per 25 Linear ft.)			
ADJACENT PROPERTY LINE LANDSCAPING:			
Linear Feet of Adjacent Property Line- 493			
Trees required- 20	Trees provided- 20		
(1 Trees per 25 Linear ft.)			
Shrubs required- 80	Shrubs provided- 91		
(4 Shrubs per 25 Linear ft.)			
PARKING LOT LANDSCAPING:			
Total Parking Islands-5			
Trees required- 5	Trees provided- 3		
(1 Tree per 15' Parking Island)			
Shrubs required- 15	Shrubs provided- 20		
(3 Shrubs per 15' Parking Island)			
PLANT SIZE:			
STREET RIGHT-OF-WAY			
24" Box Trees	Required - 5	Provided - 15	
(Min. 25% of required trees)			
36" Box Trees	Required - 5	Provided - 5	
(Min. 25% of required trees)			
ADJACENT PROPERTY LINE			
24" Box Trees	Required - 10	Provided - 20	
(Min. 50% of required trees)			
PARKING LOT			
36" Box	Required - 1	Provided - 1	
(Min. 10% of required parking lot trees)			
24" Box	Required - 4	Provided - 2	
(All trees other than required 36" box trees)			

The working days before you call for the blue staves (602) 263-1100
Use Stak Center 1-800-STAKE-IT

23043

111 E. Dunlap Ave., Suite 1-278
Phoenix, Arizona 85020
Donald Campbell R.L.A.
don@campbellcollaborative.com
P: (602) 263-1104 F: (602) 266-1007

**PRELIMINARY
NOT FOR
CONSTRUCTION**

no.	date	description

**1756 E UNIVERSITY
XFAM**

**1756 E UNIVERSITY
MESA, AZ 85208**

PROJECT NO: 22039
DATE: 05/02/2023

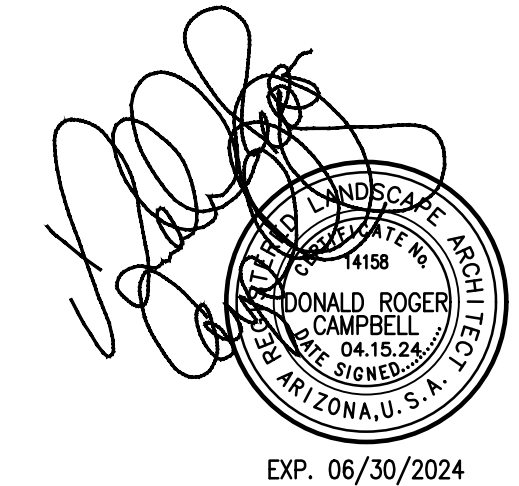


atmosphere architects
p.o. box 5267
mesa, az 85211

contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

**LANDSCAPE
PLAN 100**

L101



EXP. 06/30/2024

1756 E UNIVERSITY APARTMENT COMPLEX PRELIMINARY GRADING AND DRAINAGE PLAN

1756 E UNIVERSITY DR, MESA, AZ 85203

REQUIRED RETENTION VOLUME

VOLUME REQUIRED (100-YR, 2-HR STORM)
 $V_{req} = (P/12) * A * C$
 $C_{tot} = 0.86$
 $P = 2.16$ (NOAA ATLAS 14)
 $V_{req} = (2.16/12) * 63,019 * 0.86 = 9,755$ CF
 THE CALCULATED VOLUME DOES NOT INCLUDE RUNOFF FROM N HALL AND E UNIVERSITY DR.

VOLUME PROVIDED
 UGR TANKS: 125 LF, 10 FT DIAMETER => VOL=9,817 CF > 9,755 CF

RETENTION DISPOSAL

AT THE TIME OF DESIGN AND DEVELOPMENT THERE IS NO EXISTING STREET STORM DRAIN SYSTEM. FUTURE IMPROVEMENTS IN THE GENERAL AREA MIGHT INCLUDE STORM DRAIN SYSTEM IN PROXIMITY TO THE PROJECT AREA. AFTER CITY REVIEWS OF THE PRELIMINARY GRADING AND DRAINAGE PLAN IT WAS PROPOSED BY THE CITY THAT THE CURRENT PROJECT INCLUDES A ON-SITE DRYWELL FOR RETENTION DISPOSAL BUT IN THE FUTURE THE RETENTION SHOULD BE CONNECTED TO A STREET STORM DRAIN SYSTEM, ONCE AVAILABLE.

OFF-SITE DRAINAGE

THIS SITE IS LOCATED IN A DEVELOPED AREA WITH E UNIVERSITY DR ALONG THE SOUTH, A DEVELOPED LOT WITH A CMU PERIMETER WALLS ALONG THE NORTH, AND N HALL ROAD ALONG THE WEST. THE EXISTING TERRAIN SLOPES FROM NORTHEAST TO SOUTHWEST DIRECTION AND THE EAST NEIGHBORING UNDEVELOPED LOT PRODUCES RUNOFF TOWARDS THIS SITE. IF REQUIRED, THIS ADDITIONAL RUNOFF CAN BE INCLUDED IN THE ON-SITE RETENTION.

ARCHITECT, MEP ENGINEERING AND STRUCTURAL ENGINEERING

ATMOSPHERE ARCHITECTS
 P.O. BOX 5267
 MESA, AZ 85211
 CONTACT: TIM BOYLE
 EMAIL: TIM@ATMOSPHEREARCH.COM
 (917) 526-0323

CIVIL ENGINEER
 NPS MARICOPA INC.
 859 N LAFAYETTE ST,
 MESA, AZ 85201
 NPSMARICOPA@GMAIL.COM
 (480) 201-5476

FEMA FLOOD INSURANCE RATE MAP

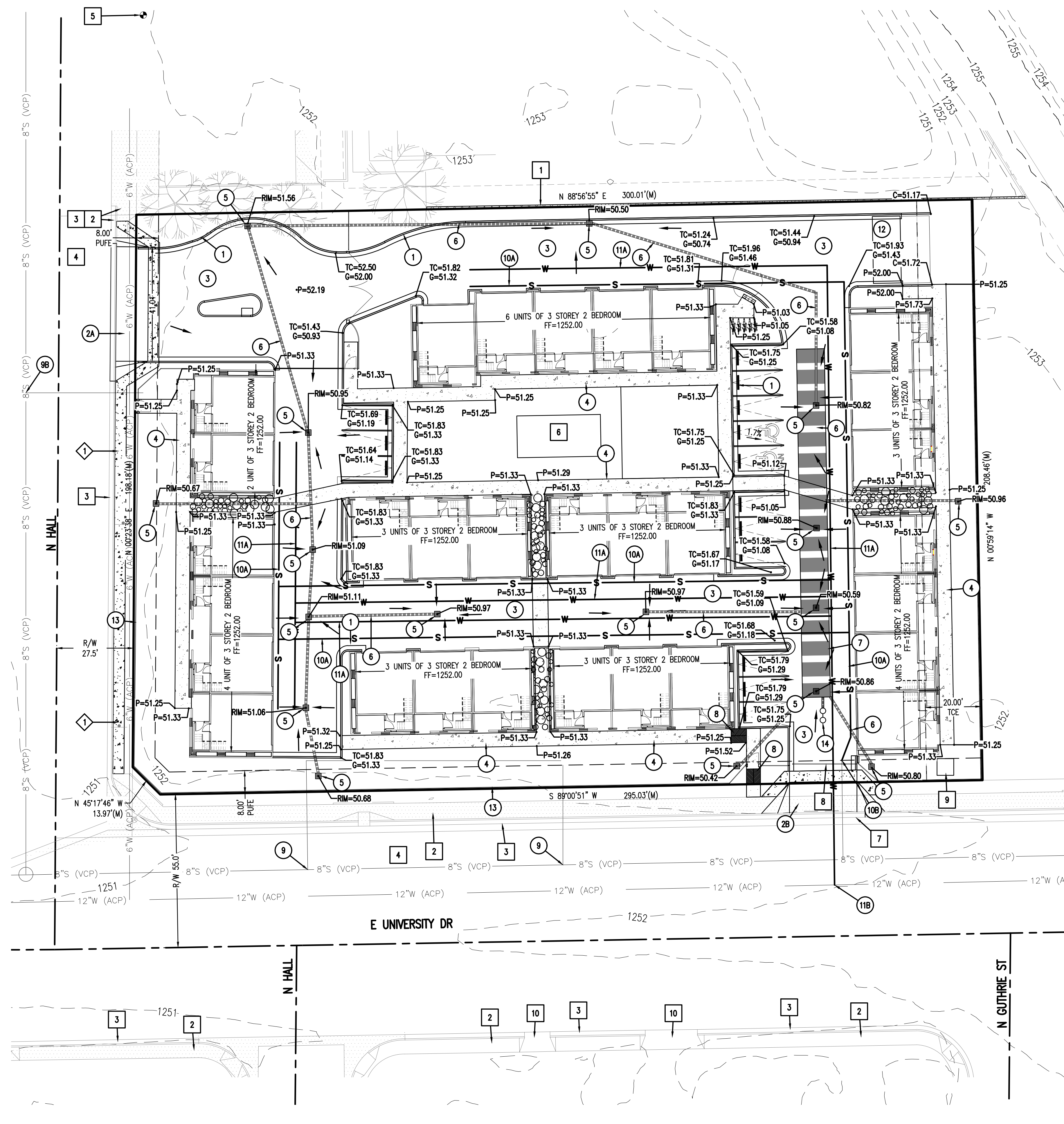
ZONE X (DOT-HATCHED)
 MAP PANEL# 04013C2270M
 REVISION DATE: NOVEMBER 4, 2015

SEWER CONNECTION

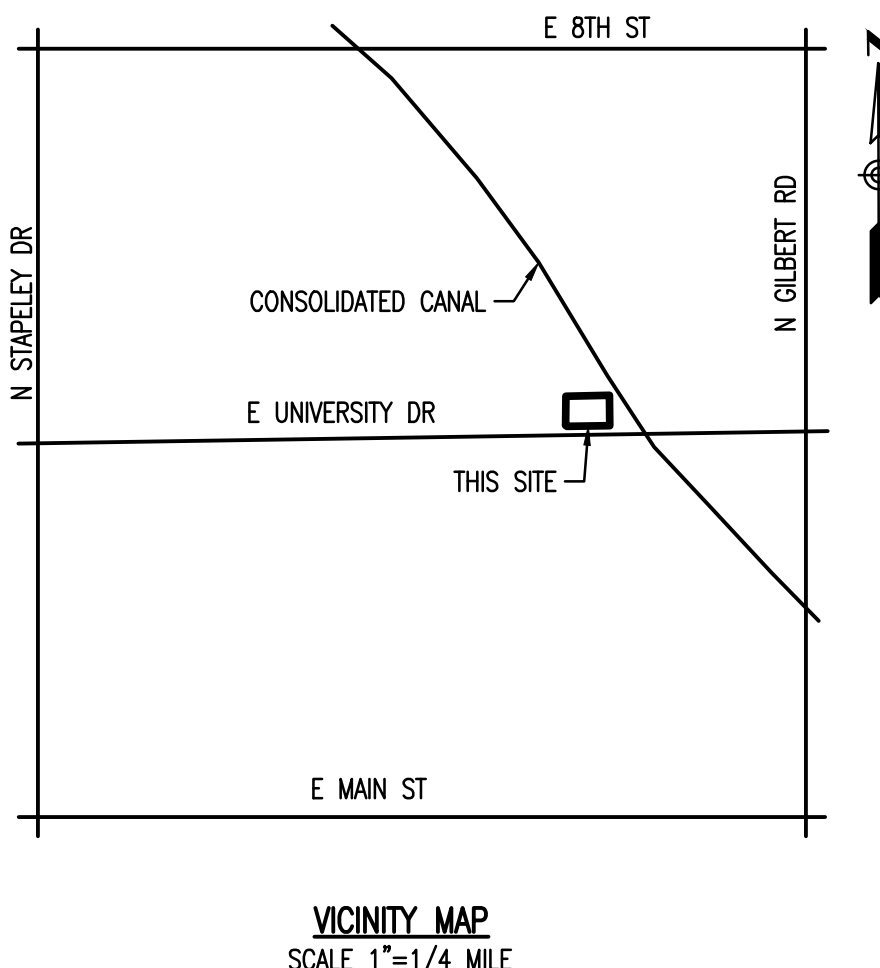
CONNECTION TO PUBLIC SEWER TO BE DETERMINED DURING FINAL CONSTRUCTION PHASE. THERE IS ONE EXISTING SEWER STUB ALONG N HALL AND THREE ALONG E UNIVERSITY DR.

SYMBOLS LEGEND

- PROPOSED ITEM/STRUCTURE
- - - EXISTING ITEM/STRUCTURE
- ⊕ EXISTING FIRE HYDRANT
- PROPERTY LINE
- ROAD CENTERLINE
- PROP WATER LINE
- PROP SEWER LINE
- DRAINAGE DIRECTION
- ▨ CONCRETE WALK



- CONSTRUCTION NOTES
- 1 CURB AND GUTTER MAG 220A 5" CURB, TYPICAL ALL CURBS
 - 2A DRIVEWAY PER CITY OF MESA DETAIL M-42
 - 2B DRIVEWAY PER CITY OF MESA DETAIL M-42, MODIFIED TO 24 FEET WIDTH FOR EXIT ONLY.
 - 3 PROPOSED PAVEMENT
 - 4 PROPOSED PRIVATE SIDEWALK
 - 5 STORM DRAIN INLET MAG 534 OR 535
 - 6 STORM DRAIN PIPE
 - 7 10 FT DIAMETER UNDERGROUND CONCRETE CAST-IN-PLACE RETENTION TANK, TOTAL LENGTH=125 FEET, VOLUME PROVIDED=9,817 CF
 - 8 ADA RAMP
 - 9 EXISTING SEWER STUB TO BE REMOVED TO THE MAIN AND CAPPED. FINAL PROPOSED SEWER STUB TO BE DETERMINED DURING FINAL CONSTRUCTION PHASE.
 - 10A PROPOSED SEWER LINE
 - 10B CONNECT PROPOSED SEWER LINE TO EXISTING SEWER STUB
 - 11A PROPOSED WATER LINE
 - 11B CONNECT PROPOSED WATER LINE TO STREET WATER, SIZE UNKNOWN
 - 12 TRASH ENCLOSURE PER ARCHITECTURAL SPECIFICATIONS
 - 13 WROUGHT IRON FENCE
 - 14 PROPOSED DRYWELL
 - OFF-SITE CONSTRUCTION NOTES
 - CONSTRUCT NEW 4' WIDE PUBLIC SIDE WALK
- INFORMATION NOTES
- 1 EXISTING 6' CMU FENCE
 - 2 EXISTING PUBLIC SIDEWALK
 - 3 EXISTING CURB AND GUTTER
 - 4 EXISTING PAVEMENT
 - 5 EXISTING FIRE HYDRANT
 - 6 POOL AREA
 - 7 FIRE ACCESS
 - 8 EXIT ONLY GATE
 - 9 PROPOSED TRANSFORMER LOCATION
 - 10 EXISTING DRIVEWAY



RETENTION NOTE
 AT THE TIME OF DESIGN AND DEVELOPMENT THERE IS NO EXISTING STREET STORM DRAIN SYSTEM. FUTURE IMPROVEMENTS IN THE GENERAL AREA MIGHT INCLUDE STORM DRAIN SYSTEM IN PROXIMITY TO THE PROJECT AREA. AFTER CITY REVIEWS OF THE PRELIMINARY GRADING AND DRAINAGE PLAN IT WAS PROPOSED BY THE CITY THAT THE CURRENT PROJECT INCLUDES A ON-SITE DRYWELL FOR RETENTION DISPOSAL BUT IN THE FUTURE THE RETENTION SHOULD BE CONNECTED TO A STREET STORM DRAIN SYSTEM, ONCE AVAILABLE.

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no.	date	description

TANGERINE

421 N HALL
 MESA, AZ 85208

PROJECT NO: 22039
 DATE: 01/07/2024

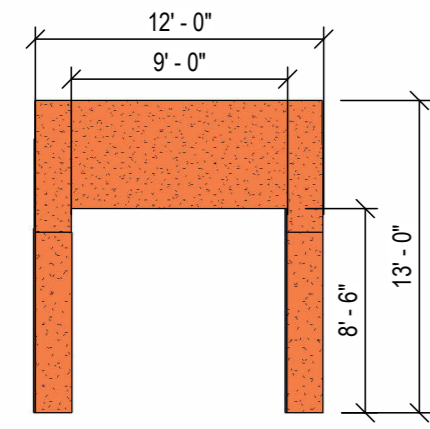


atmosphere architects
 p.o. box 5267
 mesa, az 85211

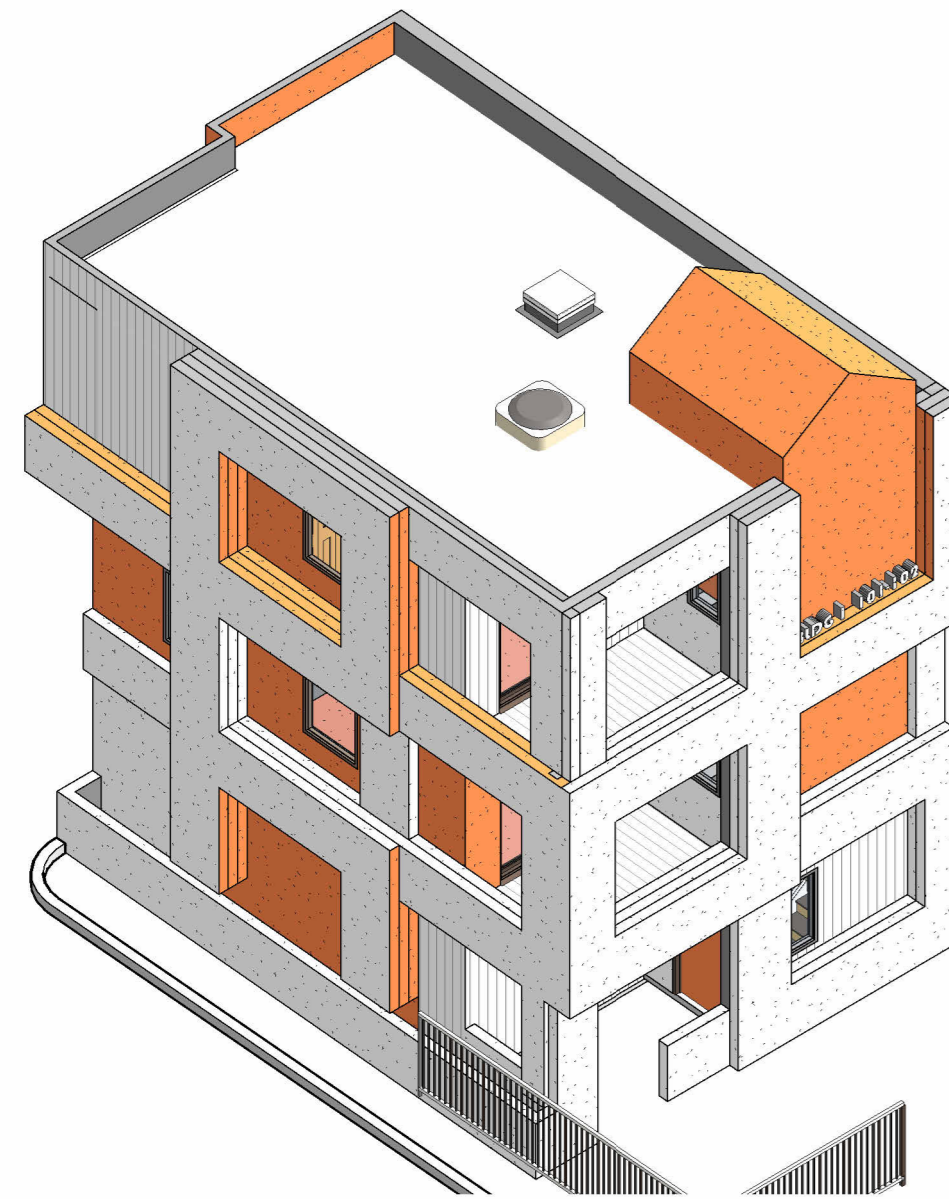
contact: Tim Boyle
 email: tim@atmosarch.com
 tel: 917-526-0323

**PRELIMINARY
GRADING AND
DRAINAGE PLAN
C1**

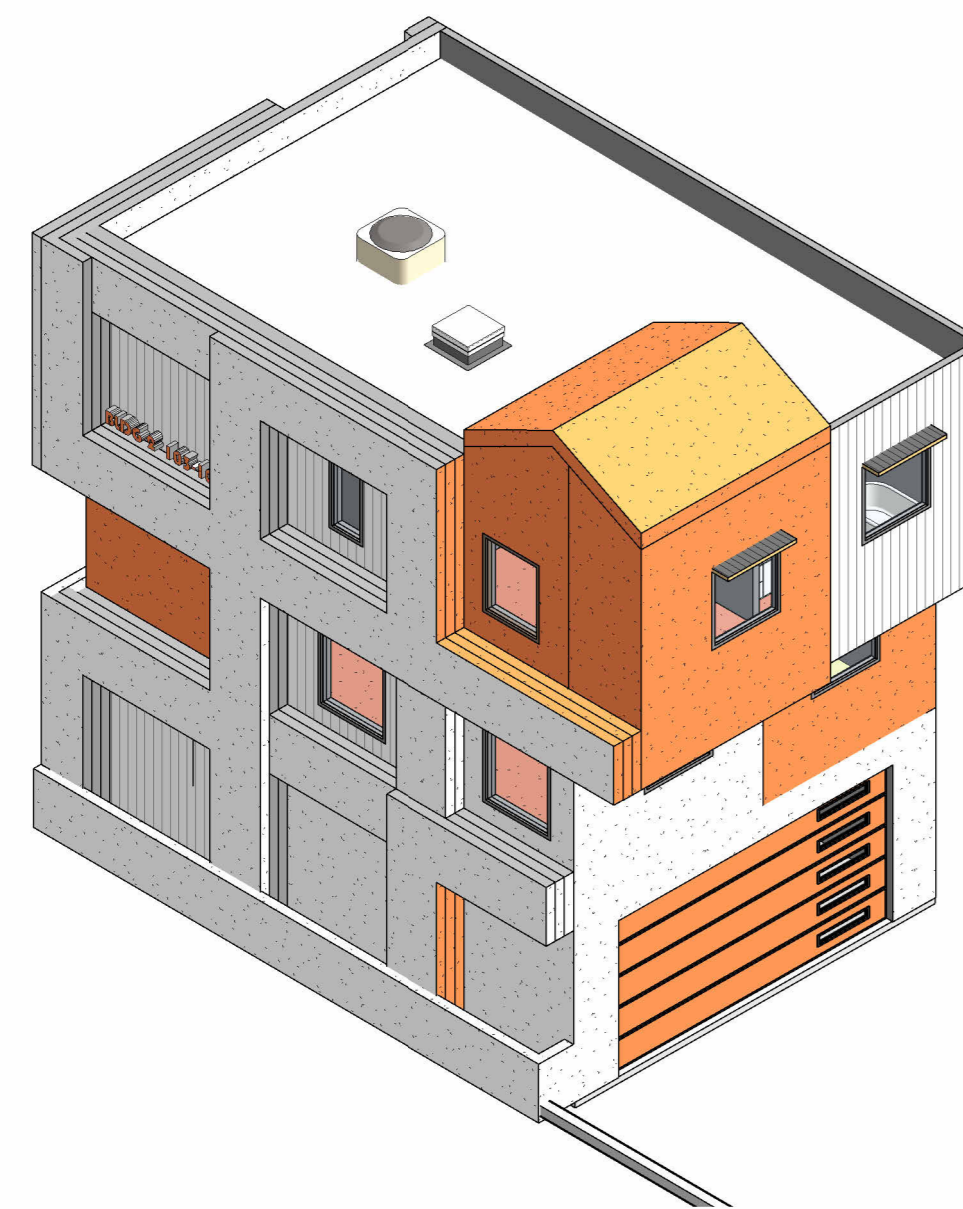
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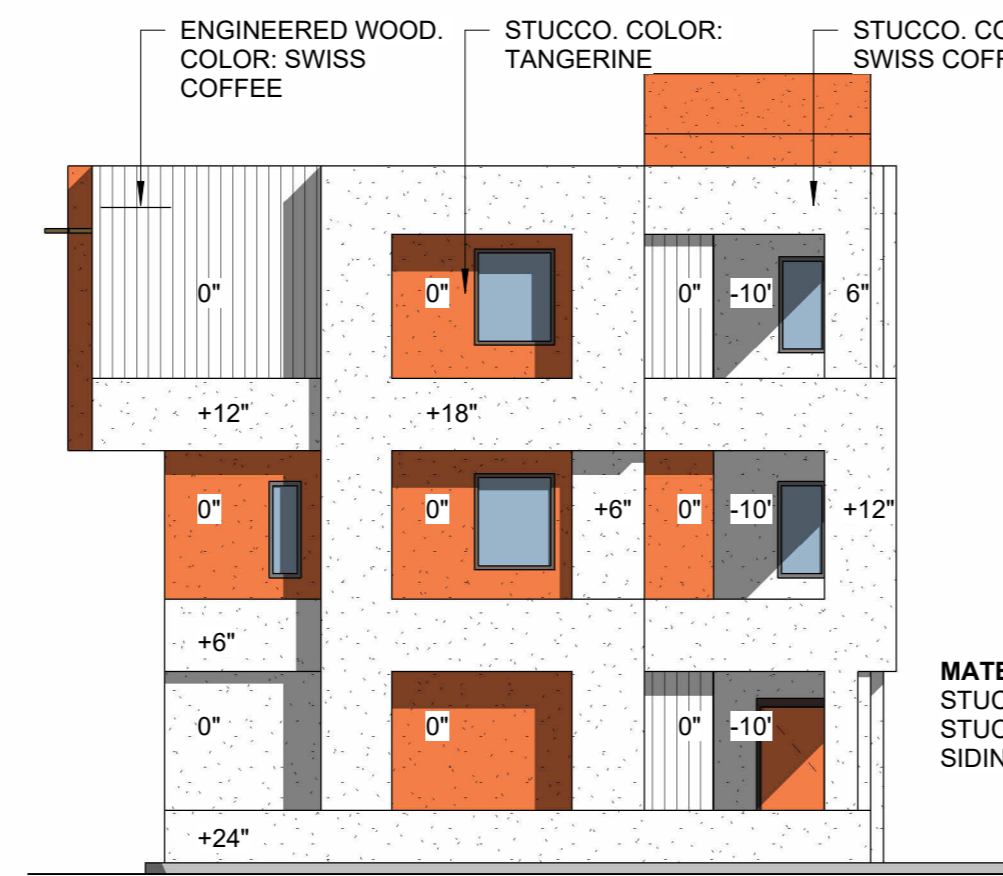
8 AMENITY SHADE ELEVATION
1/8" = 1'-0"



7 END UNIT 3D VIEW

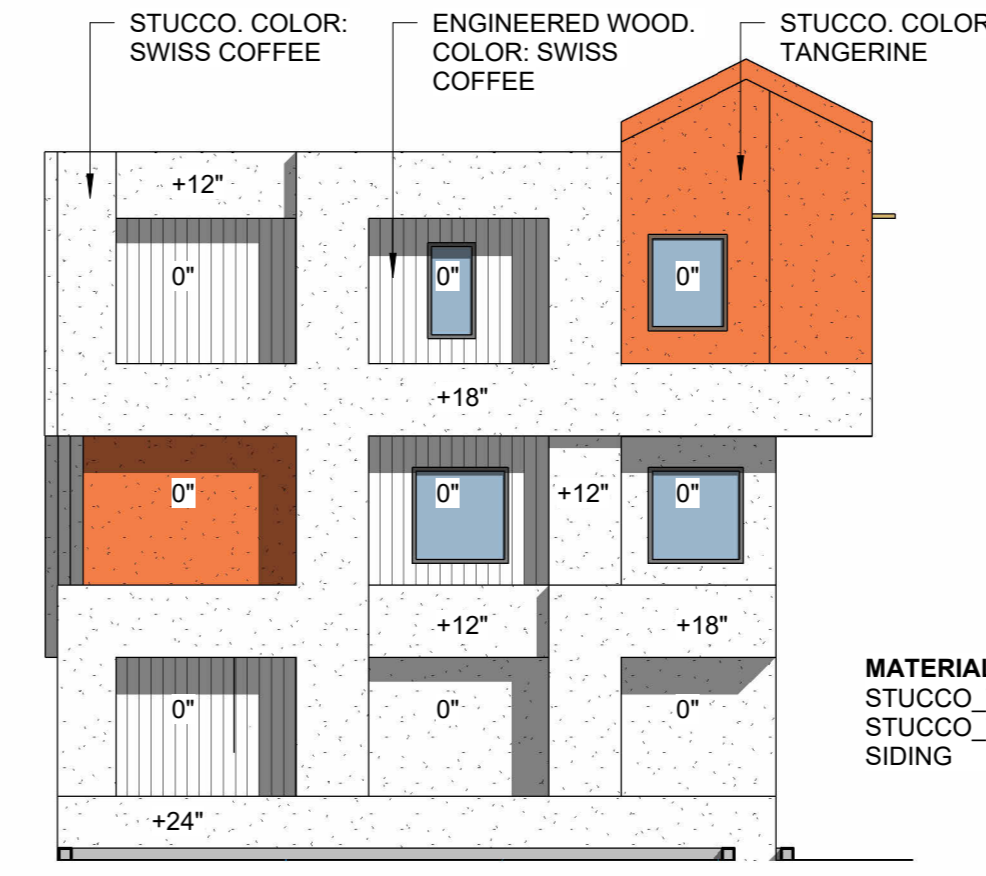


6 END UNIT 3D VIEW 2



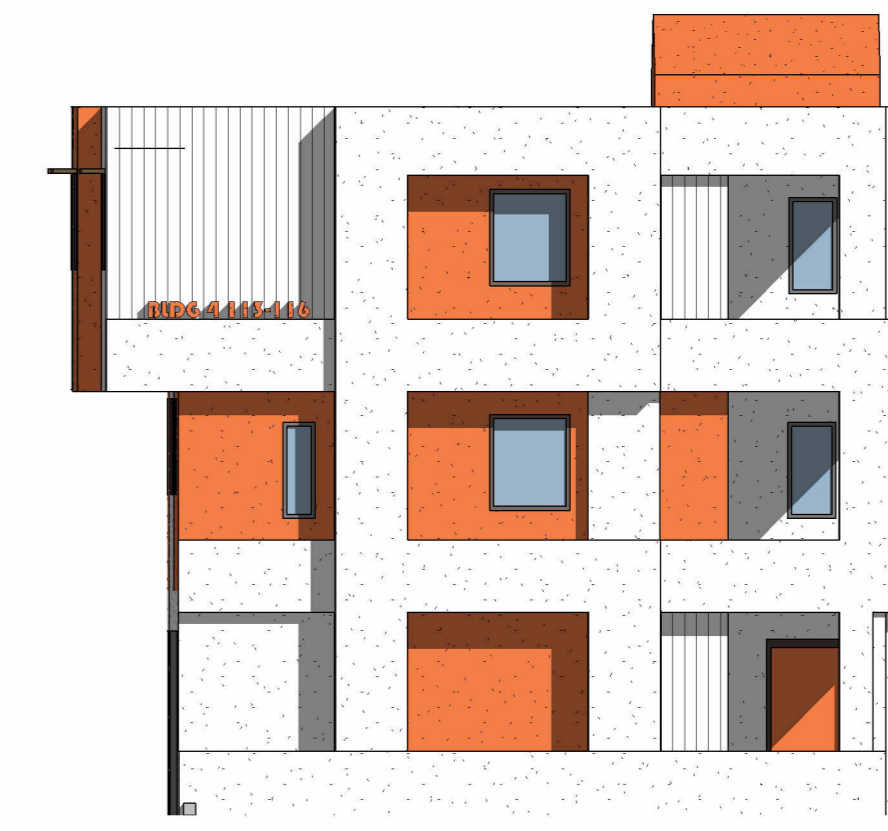
5 END UNIT SIDE ELEVATION
1/8" = 1'-0"

MATERIAL PERCENTAGES
STUCCO_WHITE 62%
STUCCO_TANGERINE 23%
SIDING 14%



4 END UNIT SIDE ELEVATION 2
1/8" = 1'-0"

MATERIAL PERCENTAGES
STUCCO_WHITE 62%
STUCCO_TANGERINE 19%
SIDING 19%



3 BLDG AND UNIT NUMBERS_TYP
1/8" = 1'-0"

NOTE:
BUILDING AND UNIT NUMBERS
TO BE LOCATED ON THE THIRD
FLOOR IN THE CONTRASTING
COLOR OF THE PANEL BEHIND.



2 GARAGE ELEVATIONS
1/8" = 1'-0"

MATERIAL PERCENTAGES
STUCCO_WHITE 25%
STUCCO_TANGERINE 35%
SIDING 18%



1 ENTRY ELEVATION
1/8" = 1'-0"

**PRELIMINARY
NOT FOR
CONSTRUCTION**

no.	date	description

TANGERINE

421 N HALL
MESA, AZ 85208

PROJECT NO: 22039
DATE: 04/15/2024



atmosphere architects
114 w main st.
mesa, az 85201

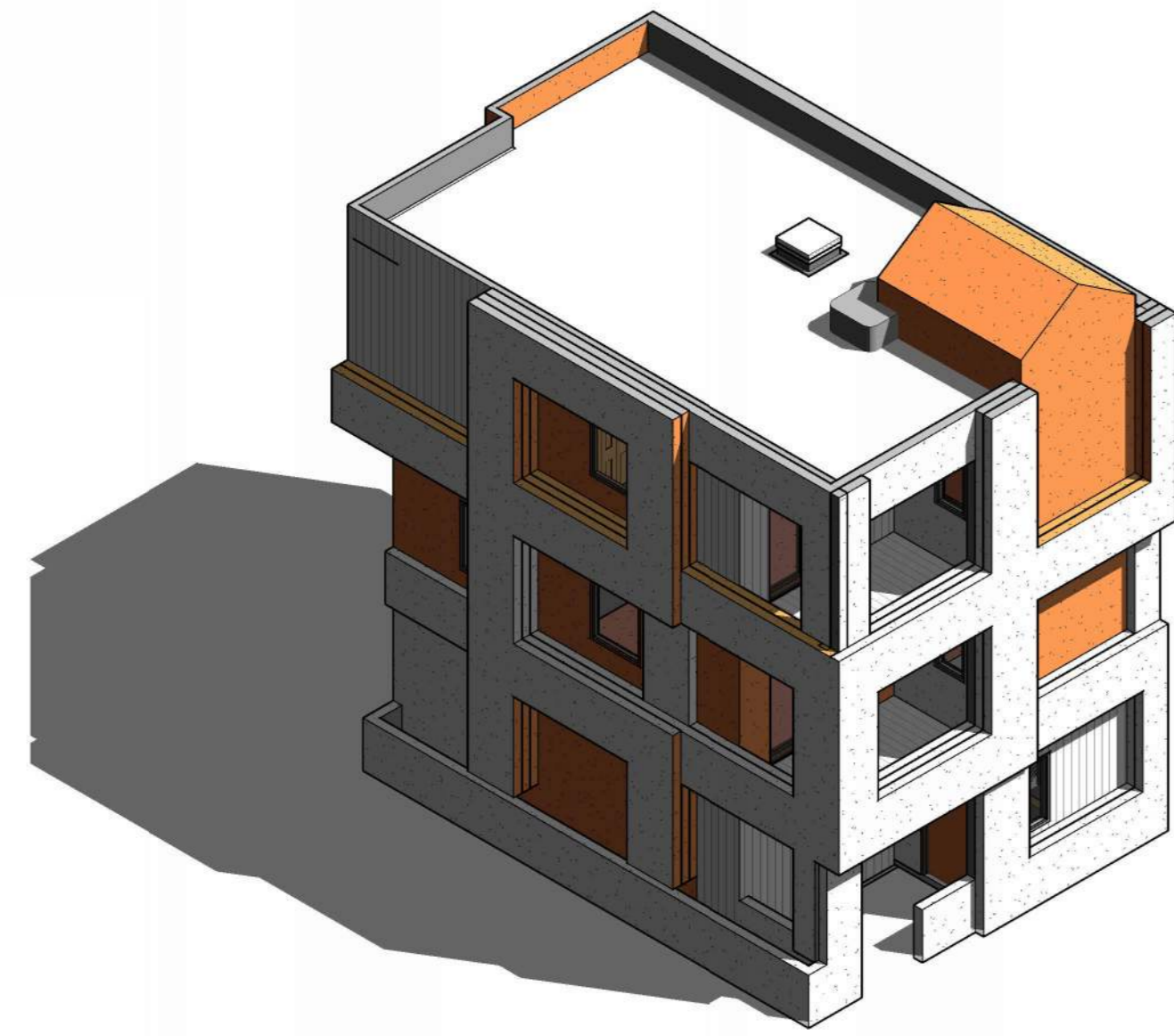
contact: Tim Boyle
email: tim@atmosarch.com
tel: 917-526-0323

**ELEVATIONS
A101**

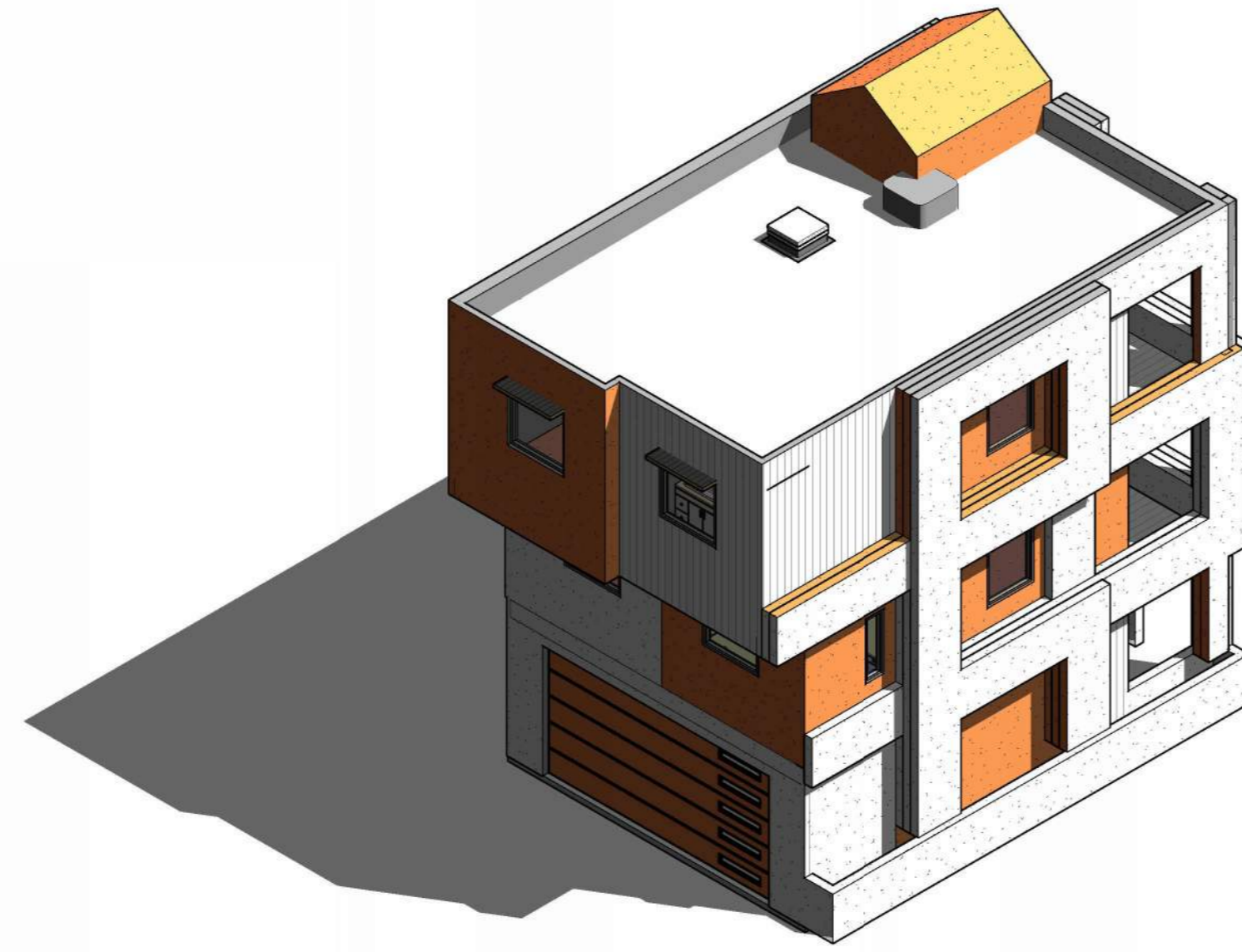
KEYNOTES

(NOT ALL KEYNOTES ON ALL SHEETS)

1. HANDRAIL @ 36" ABOVE NOSING
2. WALL TO 42" AFF
3. GUARDRAIL TO 42" AFF, SEE DETAILS
4. CLOSET ROD & SHELF
5. ROOF DRAIN SPOUT
6. TEMPERED GLASS SHOWER ENCLOSURE
7. WASHER/DRYER DRAIN PAN W/ FLOOR DRAIN
8. GAS METER
9. SCUPPER @ BALCONY WALL
10. DOWNSPOUT, SEE ROOF PLAN AND ELEVATIONS
11. 30" ELECTRIC SLIDE IN RANGE W/OVEN
12. TANKLESS WATER HEATER
13. AUTOMATIC GARAGE DOOR OPENER
14. ELECTRICAL PANEL
15. KITCHEN SINK W/ GARBAGE DISPOSAL
16. MICROWAVE OVER RANGE, VERIFY W/OWNER
17. REFRIGERATOR
18. LAVATORY IN VANITY
19. LED VANITY MIRROR
20. ADA GRAB BARS
21. BALCONY/ROOF LINE ABOVE
22. A/V CABINET
23. LINEN SHELVING
24. ELECTRIC FIREPLACE - 74" LINEAR PRISM SERIES
25. HOSE BIBB, SEE PLUMBING
26. PREFABRICATED STAIRS BY MFR - TREADS TO BE 6-3/4" AT THE WALKLINE, MAX 9-1/2" HIGH WITH A MINIMUM HEADROOM OF 6'-6". HANDRAIL TO BE MINIMUM 26" HIGH.



3 ISOMETRIC BLDG 2



4 ISOMETRIC BLDG 1

**PRELIMINARY
NOT FOR
CONSTRUCTION**

no.	date	description

TOWNHOME

1902 N Gilbert
MESA, AZ

PROJECT NO: 22025
DATE: 15/08/22

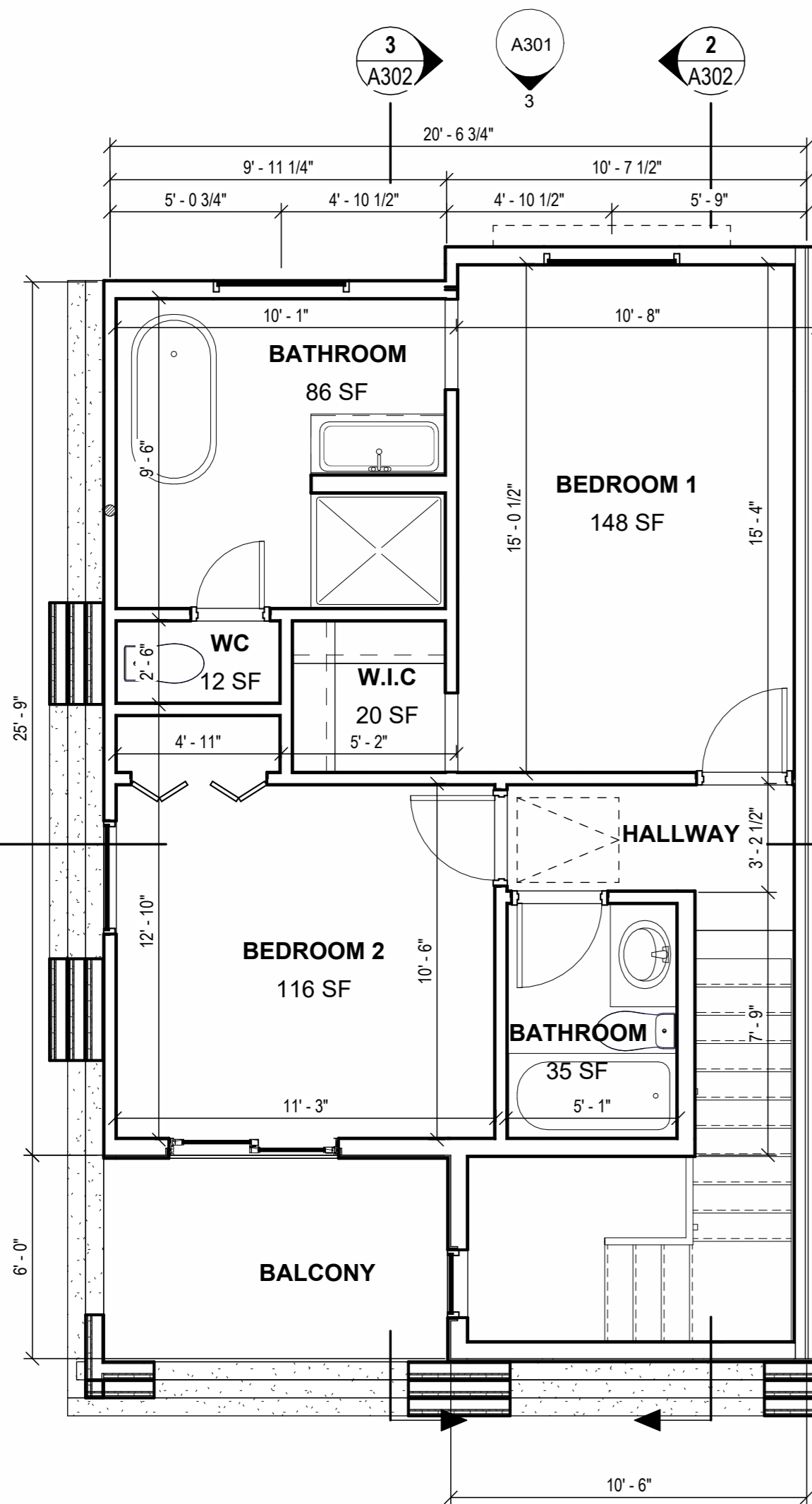


atmosphere architects
p.o. box 5267
mesa, az 85211

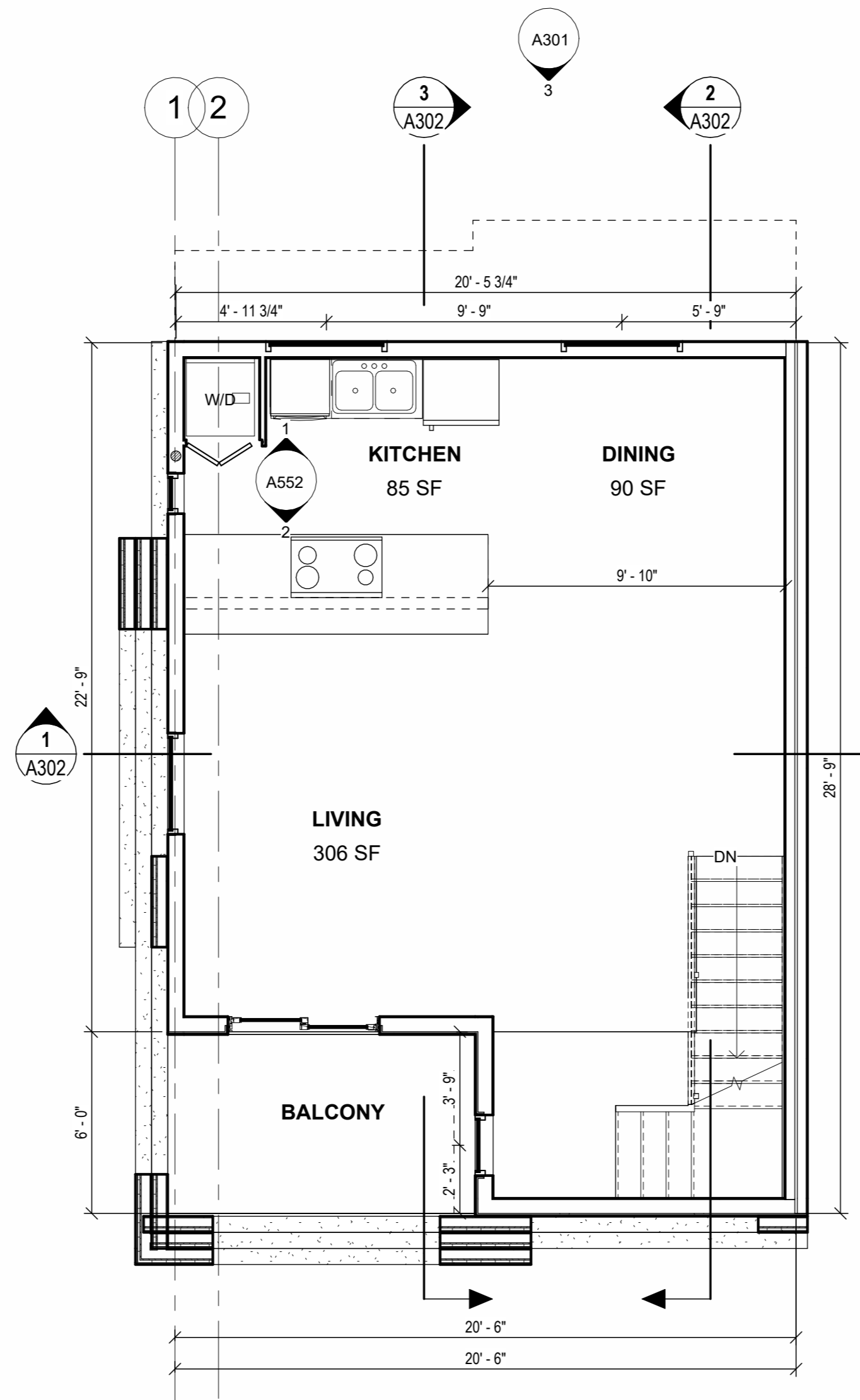
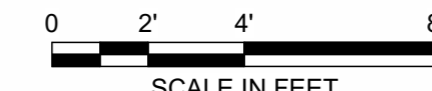
contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

**3 STOREY 2 BEDROOM UNIT
STANDARD GARAGE FLOOR
PLANS**

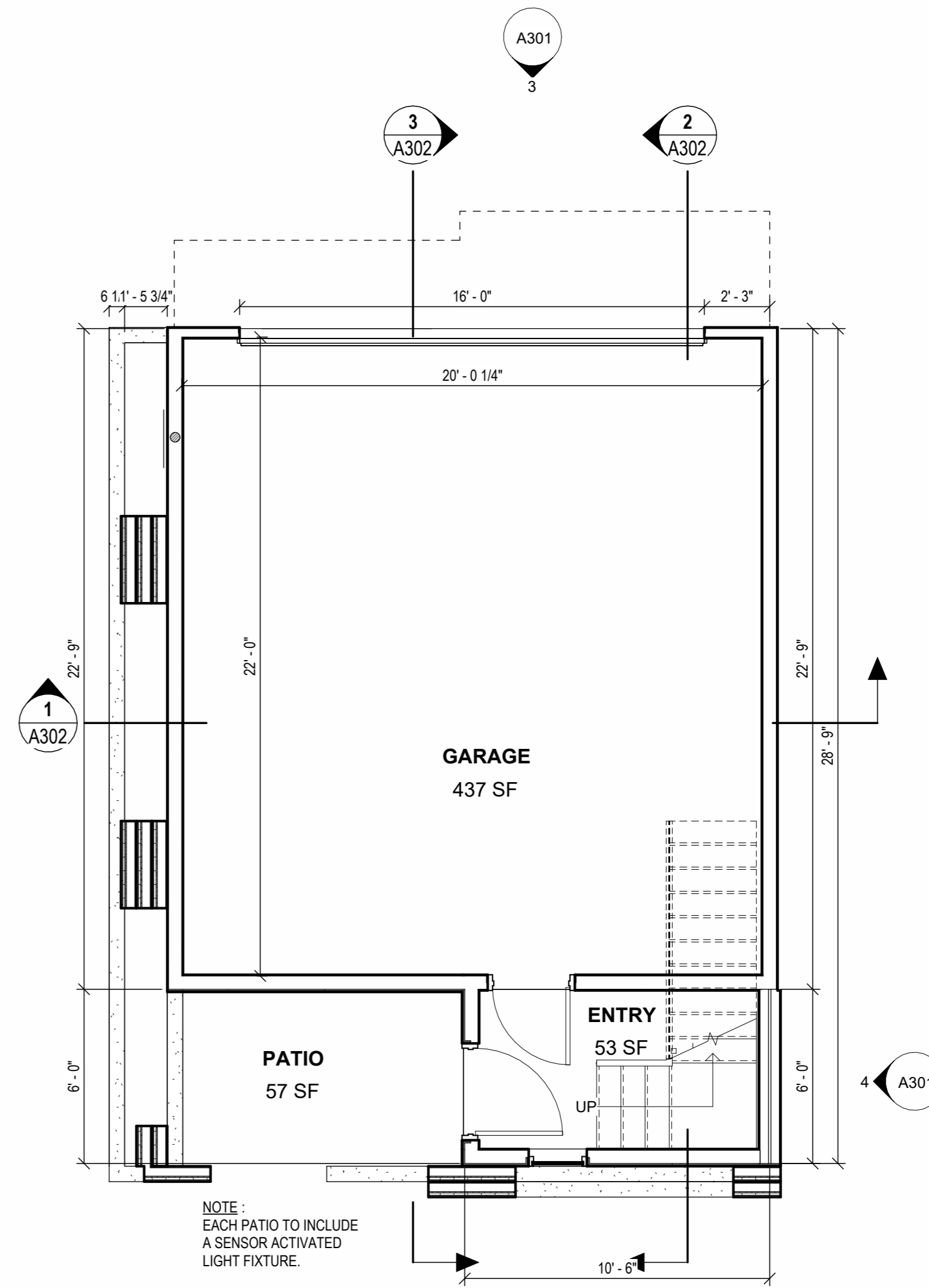
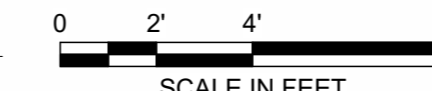
A201



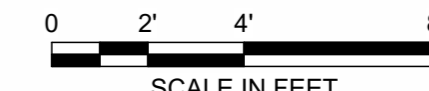
5 THIRD FLOOR
1/4" = 1'-0"

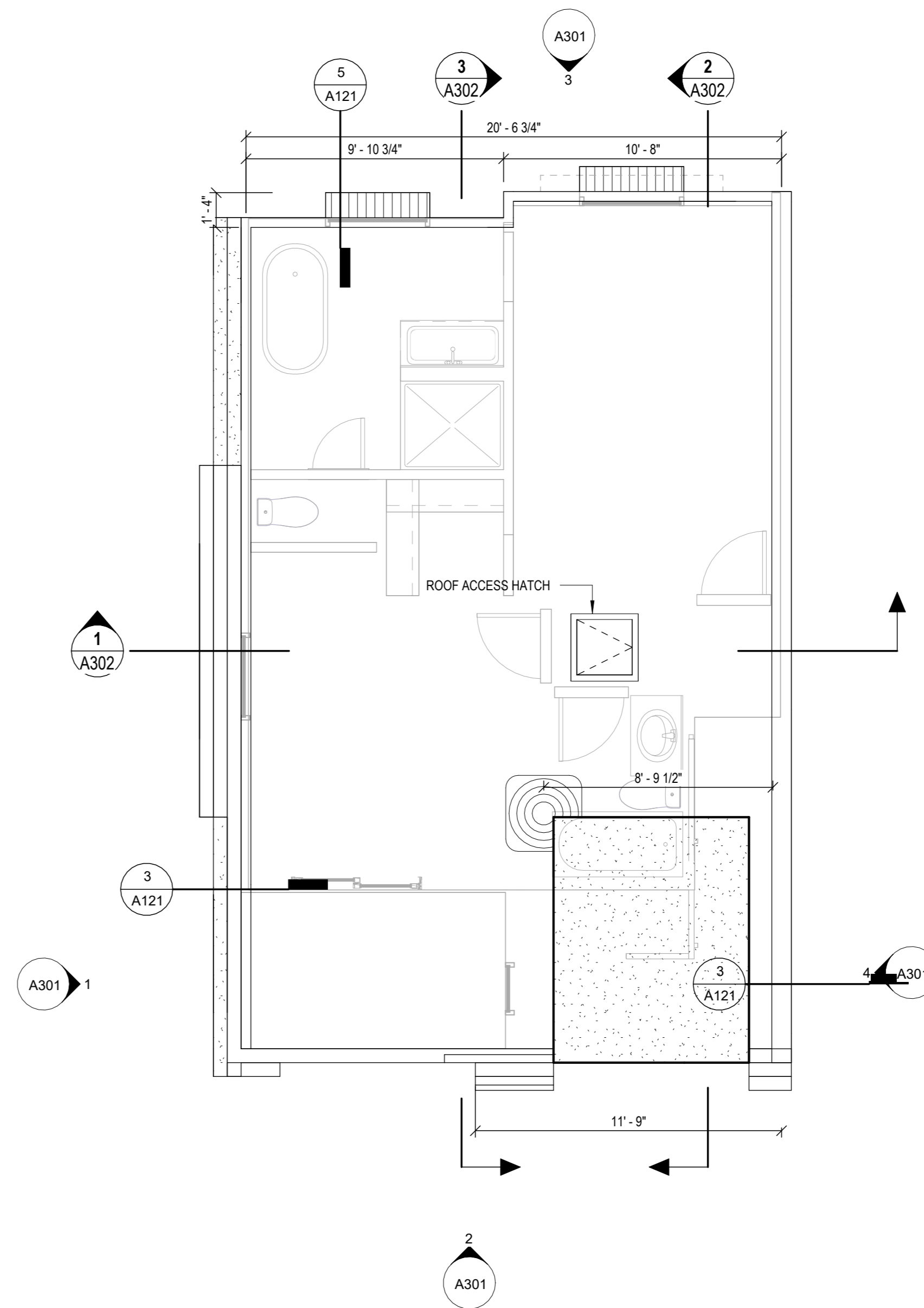


2 SECOND FLOOR
1/4" = 1'-0"



1 FIRST FLOOR
1/4" = 1'-0"





**PRELIMINARY
NOT FOR
CONSTRUCTION**

no.	date	description

TOWNHOME

1902 N Gilbert
MESA, AZ

PROJECT NO: 22025
DATE: 15/08/22



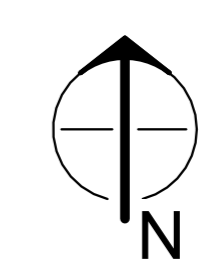
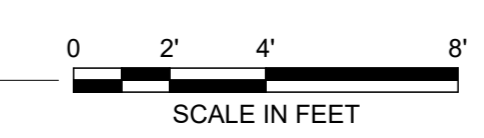
atmosphere architects
p.o. box 5267
mesa, az 85211

contact: Tim Boyle
email: Tim@atmosarch.com
tel: 917-526-0323

**3 STOREY 2 BEDROOM UNIT
STANDARD GARAGE ROOF
PLAN**

A202

1 ROOF PLAN
1/4" = 1'-0"



20 September, 2023

CITY OF MESA

RE: Tangerine Multifamily
Address: 421 N Hall, Mesa, AZ 85203

Citizen Participation Plan

Purpose: This Citizen Participation Plan provides a framework for us, the applicants, to inform citizens property owners, neighborhood associations, and other interested or otherwise effected parties in the vicinity of the site of the application for Tangerine Multifamily. The site is located at 321 N Hall, Mesa AZ 85203. This is an application for a Rezone from NC to RM-4 PAD for 30 townhomes. This plan is to ensure that community members will have an opportunity to learn about and comment on the proposal.

Contact:
Tim Boyle
tim@atmosarch.com
(917) 526-0323

Presubmittal conference:

The presubmittal conference took place on 2 May, 2023 where the application was reviewed by staff, and it was recommended that community members be contacted.

Action Plan:

In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
 - a. All registered neighborhood associations within one mile of the project.
 - b. Homeowners Associations within one half mile of the project.
 - c. Interested neighbors - focused on 1,000 feet from site but may include more.
2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan, and invitation to a series of two neighborhood meetings to be held at Pink Jr. High.
 - a. The first meeting will be an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.
3. Presentations will be made to groups of citizens or neighborhood associations upon request.

[All materials such as sign-in lists, comments, and petitions received shall be uploaded to the record for the case.]

Schedule:

Pre-Submittal Conference – 02 May, 2023

Application Submittal – 07 August, 2023

First neighborhood meeting – 17 August, 2023

P.O. Box 5267
Mesa, AZ 85211

Tel. 602.329.8384
mike@atmosarch.com



Submittal of Citizen Participation Report and Notification materials – 08 September, 2023
Design Review Board Hearing -
Planning and Zoning Board Hearing -

Please contact me at (917) 526-0323 should you have any questions.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Tim Boyle', with a stylized, cursive script.

Tim Boyle
Atmosphere Architects, PLC

25 April 2024

CITY OF MESA

RE: Tangerine Multifamily
Address: 421 N Hall, Mesa, AZ 85203

Citizen Participation Report

Purpose: This Citizen Participation Plan provides a framework for us, the applicants, to inform citizens property owners, neighborhood associations, and other interested or otherwise effected parties in the vicinity of the site of the application for Tangerine Multifamily. The site is located at 421 N Hall, Mesa AZ 85208. This is an application for a Rezone from NC to RM-4 PAD for 30 townhomes. This plan is to ensure that community members will have an opportunity to learn about and comment on the proposal.

Contact:
Tim Boyle
tim@atmosarch.com
(917) 526-0323

Presubmittal conference:

The presubmittal conference took place on 2 May, 2023 where the application was reviewed by staff, and it was recommended that community members be contacted.

Action Plan:

In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
 - a. All registered neighborhood associations within one mile of the project.
 - b. Homeowners Associations within one half mile of the project.
 - c. Interested neighbors - focused on 1,000 feet from site but may include more.
2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan, and invitation to a neighborhood meeting.
 - a. The first meeting will be an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.
3. Presentations will be made to groups of citizens or neighborhood associations upon request.

[All materials such as sign-in lists, comments, and petitions received shall be uploaded to the record for the case.]

Schedule:

Pre-Submittal Conference – 02 May, 2023

Application Submittal – 07 August, 2023

First neighborhood meeting – 17 August, 2023

P.O. Box 5267
Mesa, AZ 85211

Tel. 602.329.8384
mike@atmosarch.com



Submittal of Citizen Participation Plan and Notification materials – 08 September, 2023

Design Review Board Hearing – 14 May 2024

Neighborhood notifications sent – 29 April 2024

Planning and Zoning Board Hearing – 22 May 2024

Neighborhood notifications sent -

Meeting Summaries

First meeting_17 August 23 7 PM

In attendance_ Tim Boyle, Michael Miller

The first meeting was held 7 PM over Zoom on 17 Aug 23. The meeting went for 45 minutes during which time no one beyond the client and architect attended.

After letters were sent out in April 2024, informing citizens of the Design Review Board and Planning and Zoning Meetings, two questions from two separate neighbors were asked via text.

The first was what was the expected price of the units, as the neighbor was interested in buying one. An estimate of a for sale price was given: between \$400K and \$500k.

The second was what buffer would be provided between the project and adjoining properties. The landscape buffer was explained, along with the existing trees on the school lot to the north, which is the only adjacent parcel.

Please contact me at (917) 526-0323 should you have any questions.

Kind Regards,

A handwritten signature in black ink, appearing to read "Tim Boyle", written in a cursive style.

Tim Boyle
Atmosphere Architects, PLC



atmosphere

architects

Mesa AZ 85201

602.888.4671 www.atmosarch.com tim@atmosarch.com

1756 E University, Mesa Development Community Plan

The 29 townhomes of 1756 E University are a luxury 2020's modern style project with a vibrant exterior. The 3 story, 2 bedroom units with two car garages feature balconies and large windows to bring in light. This infill project continues an upscale standard for future infill throughout Mesa. Amenities include a pool and a park. Extensive shade trees and landscaping has been designed along University to create a lush connection to the University Drive.



This lot has been long overlooked for redevelopment. Its proximity to the canal and location required careful architectural consideration to create a vibrant multifamily community.

All home or property owner within 1000' of this project, and a Neighborhood Associations or HOAs within a mile, are invited to participate in an online ZOOM community meeting:

Aug 17, 2023 07:00 PM Arizona

<https://asu.zoom.us/j/82662691735>

Password: 1756

For assistance or a clickable copy of the link, please email tim@atmosarch.com prior to the meeting.

The City Planner on this project is Jennifer Merrill. She can be reached at 480-644-6439, or jennifer.merrill@mesaaz.gov. The record ID for this project is PRS23-00175.

**Community Meeting Plan
7.28.2023**

1756 e university

Feature Information (1 of 1) Clear ?

137-01-231

Owner Information

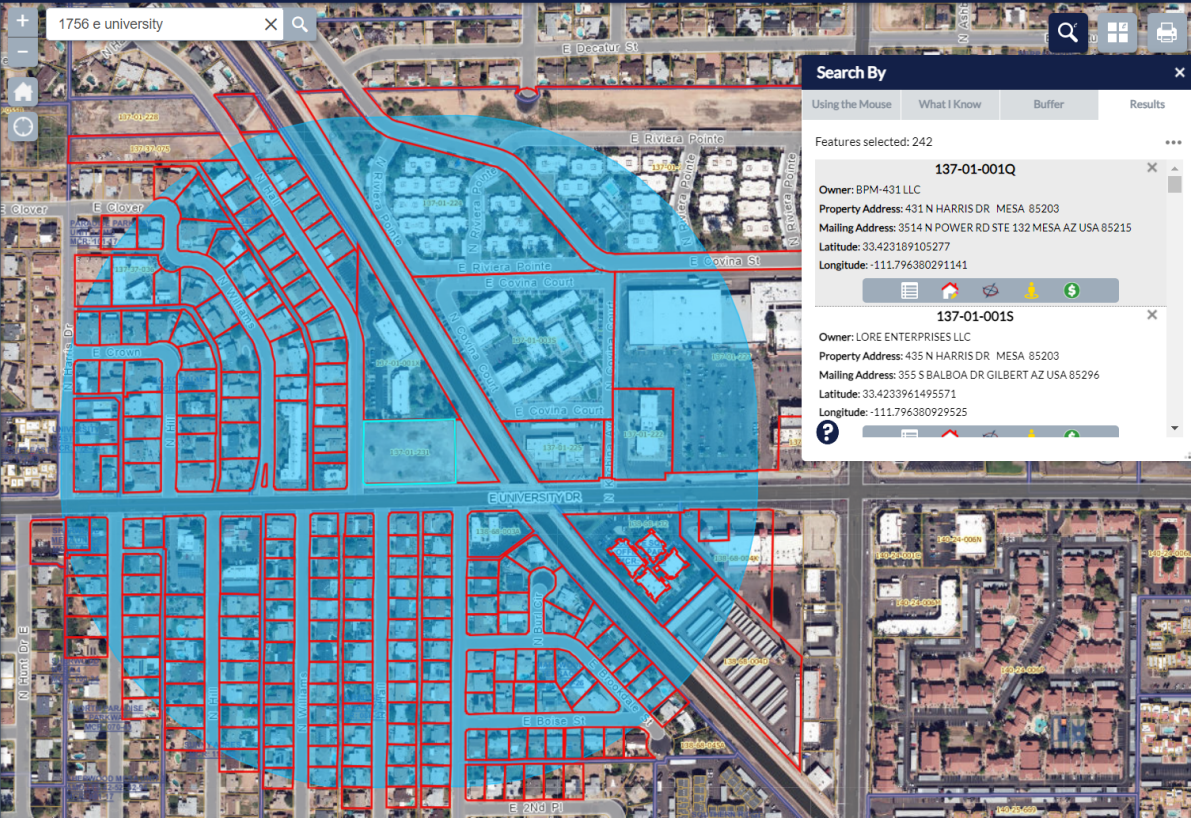
Owner Name: TREVALLY LLC
 Property Address: 1756 E UNIVERSITY DR MESA 85203
 Mailing Address: 306 N FRASER DR W MESA AZ USA 85203
 Deed Number: 20020141373
 Sale Date: 03/01/2022
 Sale Price: \$545000

Property Information

Lat/Long: 33.423012, -111.792987
 S/T/R: 13 1N 5E
 Jurisdiction: MESA
 Zoning: NC
 PUC: 9374
 Lot Size (sq ft): 63,019.00
 MCR #:
 Subdivision:
 Lot #:
 Floor: 1
 Construction Year:
 Living Space (sq ft):

Valuation Information

Tax Year: 2024 2023
 FCV: \$ 570,200 \$ 410,300
 LPV: \$ 169,564 \$ 161,490
 Legal Class: 2.R M



Search By

Using the Mouse What I Know Buffer Results

Features selected: 242

137-01-001Q

Owner: BPM-431 LLC
 Property Address: 431 N HARRIS DR MESA 85203
 Mailing Address: 3514 N POWER RD STE 132 MESA AZ USA 85215
 Latitude: 33.423189105277
 Longitude: -111.796380291141

137-01-001S

Owner: LORE ENTERPRISES LLC
 Property Address: 435 N HARRIS DR MESA 85203
 Mailing Address: 355 S BALBOA DR GILBERT AZ USA 85296
 Latitude: 33.4233961495571
 Longitude: -111.796380929525

2nd Ave & Company Neighbors
Melissa Crandall
149 S Lazona Dr
Mesa AZ 85204

2nd Ave & Company Neighbors
Sylvia Barrias
328 S Lazona
Mesa AZ 85210

2nd Ave & Company Neighbors
Michelle Westenfield
1527 E Mahoney
Mesa AZ 85210

Casa de Sol
Bonnie Holloman
2101 E Alpine Cir
Mesa AZ 85204

Casa de Sol
Carmen Newman
2345 E Birchwood
Mesa AZ

Cottage Grove Estates Homeowners
Association
Ray Poserina
125 N 22nd Pl 111
Mesa AZ 85213

Doran Circle
Lee Noblitt
61 S Doran
Mesa AZ 85204

Eastbrook/Stratford Place
Shannon Boysen
2301 E University 375
Mesa AZ 85213

Fuller Ranch
Robin Brown
2348 E Catalina Ave
Mesa AZ 85204

Fuller Ranch
Kaleigh Brown
2242 E Dragoon Ave
Mesa AZ 85204

Mesa Mobile Estates
Donna Lawton
2600 E. Allred Ave
Mesa AZ 85204

Mesa Mobile Estates
Mindy Willert
2600 E Allred Ave Lot 19
Mesa AZ 85204

Mesa Mobile Home Estates III
James Santa
325 S Winterhaven
Mesa AZ 85204

RAILmesa (Retail, Arts, Innovation &
Livability)
David Crummey
658 W 1st St
Mesa AZ 85201

RAILmesa (Retail, Arts, Innovation &
Livability)
Jen Duff
146 W 2nd St
Mesa AZ 85201

RAILmesa (Retail, Arts, Innovation &
Livability)
Ryan Winkle
911 W Jacinto Cir
Mesa AZ 85210

Randall Heights
Brandon Robishaw
120 N Hunt Dr West
Mesa AZ 85203

Reed Park Neighborhood
Jeannie Schmidt
1955 E 7th Ave
Mesa AZ 85204

Reed Park Neighborhood
Harley Gilpin
427 S Ridge
Mesa AZ 85204

Reed Park Neighborhood
AJ Moore
443 S Ridge
Mesa AZ 85204

Reed Park Neighborhood
Marnita Hill
1948 E 2nd Ave
Mesa AZ 85204

Sherwood
Becky Hermosillo
1349 E Pepper Pl
Mesa AZ 85203

Sherwood
Yancy Everhart
1334 E 1st Pl
Mesa AZ 85203

Sherwood
Dick Delci
1233 E 1st Pl
Mesa AZ 85203

Temple Groves/Ellsworth Park
Liz Hawkes
307 S Solomon
Mesa AZ 85204

Temple Groves/Ellsworth Park
Mark Noble
126 S Spencer
Mesa AZ 85204

Temple Groves/Ellsworth Park
Michael Jones
49 S Miller
Mesa AZ 85204

Temple Groves/Ellsworth Park
Jake Brown
712 E 3rd Ave
Mesa AZ 85204

Temple Groves/Ellsworth Park
Holly Brown
130 S Ashland
Mesa AZ 85204

Hawthorne
Sandra Munsch
1347 E Dover St Mesa AZ 85203

Hawthorne
Allison Ellsworth
1571 E Dover Cir Mesa AZ 85203

Harrison Acres
Walter Zimmerman
1042 E 3rd St
Mesa AZ 85203

1756 E University

BPM-431 LLC
3514 N POWER RD STE 132 MESA AZ
USA 85215

LORE ENTERPRISES LLC
355 S BALBOA DR GILBERT AZ USA
85296

MILESTONE LEARNING CENTER LLC
2823 E NORWOOD ST MESA AZ USA
85213

GATTI MARK R
1616 E UNIVERSITY DR MESA AZ
USA 85203

ACADEMY WITH COMMUNITY
PARTNERS-ARIZONA INC
433 N HALL MESA AZ USA 85203

ACADEMY WITH COMMUNITY
PARTNERS-ARIZONA INC
433 N HALL MESA AZ USA 85203

GILBERT SQUARE EQUITY LLC/ETAL
27127 SW MOUNTAIN RD WEST LINN
OR USA 97068

CONTINENTAL BANK
PO BOX 2609 CARLSBAD CA USA
92018

WWC LXIX LP
5013 E WASHINGTON ST 170
PHOENIX AZ USA 85034

WWC LXIX LP
5013 E WASHINGTON ST 170
PHOENIX AZ USA 85034

SHIRIF HOLDINGS UNIVERSITY
PROPERTY LLC
1840 E UNIVERSITY DR MESA AZ
USA 85203

TOMASELLO SARA
1739 TUDOR LN CHICAGO IL USA
60062

RIVIERA PLAZA LLC
1450 E INDIAN SCHOOL RD 104
PHOENIX AZ USA 85014

VALENZUELA DAVID
MORALES/MORALES ROSARIO
MARIA
822 S COLLEGE AVE COLLEGE
PLACE WA USA 99324

SALT RIVER PROJECT
AGRICULTURAL IMPROVEMENT
PO BOX 52025 PHOENIX AZ USA
85072

TREVALLY LLC
306 N FRASER DR W MESA AZ USA
85203

C & D RESERVE LLC
3327 E FOUNTAIN ST MESA AZ USA
85213-5524

C & D RESERVE LLC
3327 E FOUNTAIN ST MESA AZ USA
85213-5524

C & D RESERVE LLC
3327 E FOUNTAIN ST MESA AZ USA
85213-5524

HILL434 LLC
31 OCEANAIRE DR RANCHO PALOS
VERDES CA USA 902755041

C & D RESERVE LLC
3327 E FOUNTAIN ST MESA AZ USA
85213-5524

C & D RESERVE LLC
3327 E FOUNTAIN ST MESA AZ USA
85213-5524

WOO ALDEN
862 PUJOMAO ST HONOLULU HI
USA 96825

TW2 PROPERTIES LLC
3531 N SONORAN HTS MESA AZ USA
85207

TW2 PROPERTIES LLC
3531 N SONORAN HTS MESA AZ USA
85207

TW2 PROPERTIES LLC
3531 N SONORAN HTS MESA AZ USA
85207

TW2 PROPERTIES LLC
3531 N SONORAN HTS MESA AZ USA
85207

CHICO VENTURES V LLC
21000 N PIMA RD 100 SCOTTSDALE
AZ USA 85255

LIBERTY WEST HOLDINGS LLC
211 LAKE DR CADILLAC MI USA
49601

LIBERTY WEST HOLDINGS LLC
211 LAKE DR CADILLAC MI USA
49601

PATTON MARK R
433 N HILL ST UNIT D MESA AZ USA
85203

TW2 PROPERTIES LLC
3531 N SONORAN HTS MESA AZ USA
85207

TW2 PROPERTIES LLC
3531 N SONORAN HEIGHTS MESA
AZ USA 85207

TW2 PROPERTIES LLC
3531 N SONORAN HTS MESA AZ USA
85207

NEWSOM JERRY/IDA M TR
PO BOX 967 GILBERT AZ USA 85299

STERLING INVESTMENT PARTNERS
LLC
PO BOX 1226 HIGLEY AZ USA 85236

TW2 PROPERTIES LLC
3531 N SONORAN HTS MESA AZ USA
85207

LAWYERSUNITED LLC
4927 LAST STAND DR PARK CITY UT
USA 84098

LAWYERSUNITED LLC
4927 LAST STAND DR PARK CITY UT
USA 84098

C & D RESERVE LLC
3327 E FOUNTAIN ST MESA AZ USA
85213-5524

DONOZA RAMON/TRINIDAD R
862 S NEVADA WAY MESA AZ USA
85204

C & D RESERVE LLC
3327 E FOUNTAIN ST MESA AZ USA
85213-5524

EXPRESS COMPANY VI POINT IV
LLC
3100 S RURAL RD 1 TEMPE AZ USA
85282

NIGHT HIKERS LLC
17470 N PACE SETTER WAY
SCOTTSDALE AZ USA 85255

LAUGHLIN NICHOLAS JOHNSON
449 N WILLIAMS MESA AZ USA 85203

WRAIGHT ALEX D/STEPHANIE C
PO BOX 11256 TEMPE AZ USA 85284

NEWSOM JERRY/IDA M TR
PO BOX 967 GILBERT AZ USA 85299

NEWSOM JERRY/IDA M TR
PO BOX 967 GILBERT AZ USA 85299

VENTURE ON WILLIAMS LLC
5227 N 7TH ST PHOENIX AZ USA
85014

EM DENTAL LLC
1722 E UNIVERSITY DR MESA AZ
USA 85203

FOURTH PLACE PROPERTIES LLC
1041 E 7TH ST MESA AZ USA 85203

EM DENTAL LLC
1722 E UNIVERSITY DR MESA AZ
USA 85203

430 HALL LLC
3531 E INGLEWOOD CIR MESA AZ
USA 85213

MOORE BRIAN DONOVAN/THEN
RHIANNON ANGELICA
434 N HALL MESA AZ USA 85203

ABUSALI SALINA B/AHMED IMTHIAZ
3814 SHINGLEWOOD CT UNION CITY
CA USA 945872657

THUENEN DANIEL M
1339 S ALMOND CIR MESA AZ USA
85204

DOHREN L AND ELAINE A JONES
LIVING TRUST
5184 S BARLEY WAY GILBERT AZ
USA 85298

HC HALL LLC
3423 LA TERRAZA DR SIERRA VISTA
AZ USA 85650

NEWSOM JERRY/IDA M TR
PO BOX 967 GILBERT AZ USA 85299

FOURTH PLACE PROPERTIES LLC
1041 E 7TH ST MESA AZ USA 85203

BABYLON CASTLE LLC
1041 E 7TH ST MESA AZ USA 85203

WINSTON LEGACY GROUP LLC
GILBERT AZ USA 85295

THUENEN DANIEL M SR
1002 S SLATER CIR MESA AZ USA
85206

BROKALAKIS NEKTARIOS
2847 E HALE ST MESA AZ USA 85213

LEWIS NANCIE V
6727 E JUNIPER ST MESA AZ USA
85205

DOAK DONNA BETH TR
6418 E MESCAL SCOTTSDALE AZ
USA 85254

MILLETT DANIEL G/COLLEEN TR
904 N BARKLEY MESA AZ USA 85203

DESERT PROPERTIES INC
535 N HALL MESA AZ USA 85203

MILLETT DANIEL G/COLLEEN TR
904 N BARKLEY MESA AZ USA 85203

DOAK DONNA BETH TR
6418 E MESCAL SCOTTSDALE AZ
USA 85254

MILLER J MICHAEL
3750 S SHILOH WY GILBERT AZ USA
85297

MESA POWER LLC
41410 JUNIPER ST UNIT 2713
MURRIETA CA USA 92562

STRODE SILAS
7834 W MAUI LN PEORIA AZ USA
85381

NASTRO ERIC P
29428 BERTRAND DR AGOURA
HILLS CA USA 91301

MILLER J MICHAEL
3750 S SHILOH WAY GILBERT AZ
USA 85297

ARREDONDO INVESTMENTS LLC
7533 E PALM LN SCOTTSDALE AZ
USA 85257

NEWSOM JERRY/IDA M TR
PO BOX 967 GILBERT AZ USA 85299

MILLETT DANIEL G/COLLEEN N
904 N BARKLEY MESA AZ USA 85203

MILLETT DANIEL G/COLLEEN N
904 N BARKLEY MESA AZ USA 85203

NEWSOM JERRY/IDA M
PO BOX 967 GILBERT AZ USA 85299

NEWSOM FAMILY LIVING TRUST
PO BOX 967 GILBERT AZ USA 85299

WED PROPERTIES I LLC
1459 E INDIGO ST MESA AZ USA
85203

GOLLADAY ROY JR/ ESTER
PO BOX 31953 MESA AZ USA 85275

EAST VALLEY SFR LLC
PO BOX 2129 MESA AZ USA 85214

RHODES KATHLEEN A
PO BOX 2008 MESA AZ USA 85214

VAQUERA GERARDO
330 N HARRIS DR MESA AZ USA
85203

PERKINS SANDRA R
324 N HARRIS DR MESA AZ USA
85203

BROCKMAN ROBERT GARY
JR/LINDA M
316 N HARRIS DR MESA AZ USA
85203

FKH SFR PROPCO B-HLD LP
1850 PARKWAY PL STE 900
MARIETTA GA USA 30067

WOOD RONALD/DENISE
303 N HARRIS DR MESA AZ USA
85203

WOOD MICHAEL/JENNIFER
309 N HARRIS DR MESA AZ USA
85203

ALBRECHT JOHN JR/JESSICA
315 N HARRIS DR MESA AZ USA
85203

TOWNSEND DAVID
323 N HARRIS DR MESA AZ USA
85203

SWH 2017-1 BORROWER LP
8665 E HARTFORD DR 200
SCOTTSDALE AZ USA 85255

SLACK CHARLES J JR/ELIZABETH
TR
1575 W LAUREL AVE GILBERT AZ
USA 85233

DAVIS CHASE B
343 N HARRIS DR MESA AZ USA
85203

GOLLADAY BRIAN
3130 E FOUNTAIN ST MESA AZ USA
85213

HUNT HOLDINGS LLC
1629 E UNIVERSITY DR MESA AZ
USA 85203

GOLLADAY ROY
PO BOX 9240 MESA AZ USA
852149240

LADY BUG PROPERTY CORP
1641 E UNIVERSITY DR MESA AZ
USA 85203

PREHAB FOUNDATION INC
868 E UNIVERSITY DR MESA AZ USA
85203

LOPEZ JORGE A ALVAREZ
1804 S ASH MESA AZ USA 85202

SWAPP AMANDA/JORDAN
350 N WILLIAMS MESA AZ USA
852038208

HEIL MICHAEL/MICHELLE
344 N WILLIAMS MESA AZ USA 85203

ROEBEN BRYAN
336 N WILLIAMS ST MESA AZ USA
85203

OLIVE B HENDERSON FAMILY
REVOCABLE TRUST
1509 N DIANE ST MESA AZ USA
85203

LASHWAY SHARON
322 N WILLIAMS MESA AZ USA 85203

DUNCAN SONYA
316 N WILLIAMS ST MESA AZ USA
85203

SOTO CARLOS A/ANGELICA M
310 N WILLIAMS RD MESA AZ USA
85203

LOMBARDO GERARD A/ERIKA
302 N WILLIAMS MESA AZ USA 85203

FIERRO YUSLY ANAID
262 N WILLIAMS MESA AZ USA 85203

MARTINEZ ROBERT/TIFFANY N
254 N WILLIAMS ST MESA AZ USA
85203

WILLIAMS RYAN/RAYLEE
248 N WILLIAMS MESA AZ USA 85203

ERNEST AND ELIZABETH MCKAY
FAMILY TRUST
240 N WILLIAMS MESA AZ USA 85203

NCBLD1 ENTERPRISES LLC
530 E HUBER ST MESA AZ USA
85203

ESCOBAR CYNTHIA
351 N WILLIAMS ST MESA AZ USA
85203

USA HOME SOLUTIONS LLC
343 N WILLIAMS MESA AZ USA 85203

WILLIAMS HOUSE L L C
831 N BLUE MARLIN DR GILBERT AZ
USA 85234

OREGEL FLURETTE/GONZALEZ
JAVIER V JR
331 N WILLIAMS MESA AZ USA 85203

BARTLETT JOSHUA P/KATHERINE
323 N WILLIAMS MESA AZ USA
852038207

SOLIZ JOSEFINA/GARCIA ROSA
MEDINA
317 N WILLIAMS DR MESA AZ USA
85203

GRIEGO MARY C
309 N WILLIAMS MESA AZ USA 85203

LUCAS CORI V
303 N WILLIAMS MESA AZ USA 85203

CAULFIELD ANGELIQUE J
261 N WILLIAMS MESA AZ USA 85203

BRON REGINALD SARMIENTO
255 N WILLIAMS MESA AZ USA 85203

GRIPE MARYANNA
18066 169TH AVE SE RENTON WA
USA 98058

GARCIA EPIFANIO MARIN
241 N WILLIAMS MESA AZ USA 85203

MARIAS PROFESSIONAL CLEANING
LLC
1725 E UNIVERSITY DR MESA AZ
USA 85203

WHITENER STEPHEN/SHARON
459 N MILLER ST MESA AZ USA
85203

WEIMAN DOROTHY L/BRUNET
JASON ALAN/ANGELA C
344 N HALL MESA AZ USA 85203

VANDEKOP STEPHAN/LISA
338 N HALL MESA AZ USA 852038229

RICHARD M BRADSHAW AND SIAN M
BRADSHAW TRUST
1444 E PEPPER PL MESA AZ USA
85203

PINTO ANA R/MOISES/ANA ISABEL
RUIZ DE
322 N HALL MESA AZ USA 85203

ZAZUETA EMANUEL/YANEL
316 N HALL MESA AZ USA 85203

RODRIGUEZ RAFAEL JR
308 N HALL MESA AZ USA 852038229

ANDERSON KAREN
302 N HALL ST MESA AZ USA 85203

SHERLOCK FAMILY LIVING TRUST
262 N HALL ST MESA AZ USA 85203

MALDONADO JANETTE S
254 N HALL MESA AZ USA 85203

LORENZEN DONALD/DIANA
248 N HALL MESA AZ USA 85203

SALAS OLIMPIA/JIMENEZ DANIEL
SALAS
240 N HALL MESA AZ USA 852038227

VALENZUELA RODOLFO
SANTILLANO
234 N HALL DR MESA AZ USA 85203

RANGEL LUCIA GABRIELA
RIZO/PEREZ RAUL MURGA
359 N HALL MESA AZ USA 85203

MANAOIS ELMER
901 S DOBSON RD APT 2077 MESA
AZ USA 852022965

CAREAGA JULIAN/BERTHA/OCHOA
MARIA C
343 N HALL MESA AZ USA 85203

WIGGINS SHANICE L
337 N HALL ST MESA AZ USA 85203

NIETO CLADETH J/LUNA CLAUDIA A
329 N HALL MESA AZ USA 85203

CAIFA DANEEAN R/NICHOLAS A
323 N HALL MESA AZ USA 85203

ASPIRE RENTAL J LLC
5304 E SOUTHERN AVE 101 MESA
AZ USA 85206

NATHAN M SORENSEN AND MILLIE J
SORENSEN TRUST AGREEMENT
309 N HALL MESA AZ USA 85203

HARRISON SANDRA L TR
303 N HALL MESA AZ USA 85203

HERNANDEZ JOSE M/RODRIGUEZ
OLGA
261 N HALL MESA AZ USA 85203

2017-2 IH BORROWER LP
1717 MAIN ST STE 2000 DALLAS TX
USA 75201

CARPENTER DAVID LEE/JULIE
816 S MAPLE MESA AZ USA 85206

SHERLOCK FAMILY LIVING TRUST
262 N HALL ST MESA AZ USA 85203

SANDOVAL MARIO ALBERTO
MENDEZ
235 N HALL MESA AZ USA 85203

ANTON GERALD SHANE
358 N GUTHRIE ST MESA AZ USA
85203

LARSEN DON ELWOOD
350 N GUTHRIE ST MESA AZ USA
85203

NORRIS SARAH ABIGAIL/KLEPPE JIM
ROSS/BRENDA
342 N GUTHRIE ST MESA AZ USA
85203

RICHTER MICHAEL D/LANAE
ALDERETE
PO BOX 21476 MESA AZ USA 85277

CADENA NOE P/TORRES DANIEL
P/SOLIS FRANCISCA
330 N GUTHRIE ST MESA AZ USA
85203

WALKOWIAK DEAN D
322 N GUTHRIE MESA AZ USA 85203

BARNETT CRAIG S
316 N GUTHRIE MESA AZ USA 85203

JOHNSON MARCUS/OCHOA
SUZELLE
310 N GUTHRIE ST MESA AZ USA
85203

HERNANDEZ LISSETTE S
302 N GUTHRIE ST MESA AZ USA
85203

ALVARADO VICTOR/ROSA
262 N GUTHRIE ST MESA AZ USA
85203

JOHNSON KAREN S
5002 HUNTMASER TRL
GREENSBORO NC USA 27407

HARDWICK GEORGE
248 N GUTHRIE ST MESA AZ USA
85203

MILLETT DARREL A/BARBARA TR
240 N GUTHRIE ST MESA AZ USA
85203

ALLEN DANIEL MARK
234 N GUTHRIE MESA AZ USA 85203

RASMUSSEN LEE/SHERI
55089 BAY AREA DR ELECTRIC CITY
WA USA 99123

ACUNA JOSE G
325 N HILL ST MESA AZ USA 85203

DE AGUIRRE MARTHA A ZUNIGA
317 N HILL DR MESA AZ USA 85203

LOPEZ JACOB M/SHATTUCK ROBIN
P
MESA AZ USA 85203

FLORES JOSE ARMANDO
HERNANDEZ/IBARRA STEPHANIE
ALEXANDRA
303 N HILL MESA AZ USA 85203

DURAN LUIS
261 N HILL ST MESA AZ USA 85203

SPEZZANO EARL K/ PAULINE R
255 N HILL ST MESA AZ USA 85203

BLASDELL BRUCE D/DIANE M
MESA AZ USA 852038201

MARZAN CHRISTOPHER/MOLINA
JUDITH
254 N HILL MESA AZ USA 85203

CARBAJAL ROCIO BENITEZ
260 N HILL ST MESA AZ USA 85203

GUTIERREZ ROSSANA
304 N HILL RD MESA AZ USA 85203

ARZAGA JESUS V/CANDIDA
14716 CALHOUN DR HORIZON CITY
TX USA 79928

GARCIA SAMANTHA MONTERO
MESA AZ USA 85203

GILLESPIE ROBERT
MESA AZ USA 85203

DAVIS RICHARD A/MARGARET J
332 N HILL ST MESA AZ USA 85203

MEDICAL ARTS PLAZA LC
20363 N 93RD PL SCOTTSDALE AZ
USA 85255

RATLIFF FAMILY LLC
PARADISE VALLEY AZ USA 85253

MISSION SQUARE PLAZA LLC
14039 SHERMAN WAY STE 201 VAN
NUYS CA USA 91405

MISSION SQUARE PLAZA LLC
14039 SHERMAN WAY STE 201 VAN
NUYS CA USA 91405

OSBUN ROGER/LAPATRA CHARITY
343 N GUTHRIE ST MESA AZ USA
85203

C L C INVESTMENTS LLC
PO BOX 30771 MESA AZ USA 85275

JIMENEZ ERNESTO
CASTRO/CASTRO AIDE
331 N GUTHRIE ST MESA AZ USA
85203

AYALA JORGE LUIS/ORTIZ ANAHIS J
VASQUEZ
325 N GUTHRIE ST MESA AZ USA
85203

HEMINGWAY DONNA J/WILLIAM J
324 N BURL CIR MESA AZ USA 85203

LUNA YAJAIRA N MADRID
330 N BURL CIR MESA AZ USA 85203

APODACA VENY G/AUDEVES
KARINA VALENZUELA
338 N BURL CIR MESA AZ USA 85203

NICHOLAS RANDALL D
344 N BURLE CIR MESA AZ USA
85203

HUNGRY HOLLOW TRUST
1661 W BENTLEY MESA AZ USA
85201

PINEDA CARMEN/LOPEZ LUIS
ENRIQUE
329 N BURL CIR MESA AZ USA 85203

MENDEZ BOANERGES ARIEL DIAZ
1840 E BROOKDALE ST MESA AZ
USA 85203

BACA OLGA SUSANA
9128 WILSHIRE CT NE
ALBUQUERQUE NM USA 87122

JENNINGS MATTHEW/DOZIER
RAVEN
1848 E BROOKDALE ST MESA AZ
USA 85203

CLAEYS NATHAN/AMBER
1852 E BROOKDALE ST MESA AZ
USA 85203

RIOS JORGE/MARTINEZ JOSEFINA
1028 E GREENWAY ST MESA AZ USA
85203

MOTA GEORGE
1860 E BROOKDALE ST MESA AZ
USA 852038216

CARR CODY/ADRIANNA
1864 E BROOKDALE ST MESA AZ
USA 85203

GUERRERO-FELIX IGNACIO M
1857 E BOISE ST MESA AZ USA
85203

WINTZ MATTHEW D/AMELIA G
1851 E BASE ST MESA AZ USA 85203

ROYAL FLUSH LLC
555 W LA DONNA DR TEMPE AZ USA
85283

PRATT THOMAS JOSEPH
1839 E BOISE ST MESA AZ USA
85203

TROTTIER DAVID M
1833 E BOISE ST MESA AZ USA
85203

RODRIGUEZ JESUS
PRECIADO/MOLINA DIANA E
1825 E BOISE ST MESA AZ USA
85203

GONZALEZ RUBEN
1819 E BOISE MESA AZ USA 85203

PRUETT ROBERT J JR
LIVERMORE CA USA 94550

MYERS SANDRA L/PETER A
1807 E BOISE ST MESA AZ USA
85203

RIVERA-CARRILLO MARCO
A/RIVERA-MONTANEZ YHANETH
263 N GUTHRIE ST MESA AZ USA
85203

SMOLEN JOHN/HELEN T/GAMBINO
KAREN C
15055 E SAGE DR FOUNTAIN HILLS
AZ USA 85268

SERVIN MEGEN/ALFONSO
1822 E BOISE ST MESA AZ USA
85203

FERIC DRAZEN
3503 6TH AVE E WILLISTON ND USA
58801

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USA 75201

DEVINE PROMISE LLC
PO BOX 21674 MESA AZ USA 85277

DIVINE PROMISE LLC
PO BOX 21674 MESA AZ USA 85277

FARIAS ROSALVA
1839 E BROOKDALE ST MESA AZ
USA 85203

CHURCHILL KERNS/FRANKLYN JR
10625 CALLE MAR DE MARIPOSA
APT 2105 SAN DIEGO CA USA 92130

JACKSON FAMILY TRUST
1815 E BROOKDALE ST MESA AZ
USA 85203

CAPICH JOHN E III/WANDA
313 N GUTHRIE ST MESA AZ USA
85203

KAM FAMILY REVOCABLE TRUST
244 CROYDEN DR PLEASANT HILL
CA USA 94523

PRATT THOMAS JOSEPH
1839 E BOISE ST MESA AZ USA
85203

BARAJAS HECTOR M/ROCIO
607 E 7TH DR MESA AZ USA 85204

MYRES LARRY WAYNE/BARBARA
ANN TR
1810 E 2ND PL MESA AZ USA 85203

RICHARD AND THAVONE STITELER
LIVING TRUST
1434 E PALOMINO DR TEMPE AZ
USA 85284

SVIR DANIEL L
1824 E 2ND PL MESA AZ USA 85203

GODINEZ RAMON/HERNANDEZ
MARIA GARCIA
1834 E 2ND PL MESA AZ USA 85203

CURTICE PAUL S
1838 E 2ND PL MESA AZ USA 85203

SMITH EAST VALLEY PROPERTIES
LLC
2531 N WHITING MESA AZ USA 85213

1901 UNIVERSITY 440 LLC
1901 E UNIVERSITY DR STE 440
MESA AZ USA 85203

SUGARLAND PROPERTIES LLC
714 E MESQUITE AVE GILBERT AZ
USA 85296

LEVY PROPERTIES LLC E MESA
6805 N JOSHUA TREE LN PARADISE
VALLEY AZ USA 85253

EXECUTIVE SQUARE OFFICE PARK
OWNERS ASSOCIA
2531 N WHITING MESA AZ USA
85213

UNIVERSITY 4
2531 N WHITING MESA AZ USA
85213

UNIVERSITY 4
2531 N WHITING MESA AZ USA 85213