

COCONUT GROVE PLAZA

ZONA K9 PLAYSCHOOL & GROOMING - SPECIAL USE PERMIT / TENANT IMPROVEMENT

2820 E UNIVERSITY DR., SUITE 122, MESA, AZ 85213

APN: 140-11-447

BUILDING CODES

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMMENDMENTS PER THEIR ADOPTING ORDINANCES:

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2009 ADA ICC A117.1

ALL PRODUCTS LISTED BY I.C.C./E.S.R. NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION(S) FOR PRODUCT(S) LISTED SHALL ALSO HAVE I.C.C. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.

PROJECT NARRATIVE

ZONA K9 PLAYSCHOOL & GROOMING, LLC IS REQUESTING SPECIAL USE PERMIT APPROVAL FOR THEIR PROPOSED DOG DAYCARE, DOG GROOMING AND DOG TRAINING FACILITY.

THE FRONT AREA WILL BE USED FOR DOG DAYCARE, DOG TRAINING AND RECEPTION. THE BACK AREA WILL BE FOR DOG GROOMING, OFFICE DESK, KENNELS AND THE RESTROOM.

THERE WILL BE NO OVERNIGHT PETS IN THIS FACILITY. ALL DOGS WILL RETURN TO THEIR HOME AT THE END OF THE DAY. IN ADDITION, THERE WILL BE NO OUTSIDE USE BY DOGS OTHER THAN BEING HANDLED BY THE OWNER OR THE FACILITY FOR PICK UP AND DROP OFF WITHIN THE PARKING LOT. THERE WILL BE NO OUTDOOR PLAY YARDS AT THIS FACILITY. INDOOR USAGE ONLY.

THESE PLANS SHEETS CS, A1, & A2 ARE FOR "SPECIAL USE PERMIT" SUBMITTAL PACKAGE ONLY - FINAL CONSTRUCTION DOCUMENTS, ENGINEERING AND PERMITTING WILL BE A SEPARATE SUBMITTAL AFTER S.U.P. APPROVAL.

HOURS OF OPERATION:

MONDAY - FRIDAY: 7:00 AM to 7:00 PM
SATURDAY: 9:00 AM to 5:00 PM
SUNDAY: 9:00 AM to 4:00 PM

GENERAL INFORMATION

THE STARTING OF WORK BY ANY CONTRACTOR OR SUB-CONTRACTOR SHALL BE CONSIDERED PRIMA FACIE EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES AND PROTECT SAME.

THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND SHALL REVIEW ALL GRADING CONDITIONS WITH THE ARCHITECT/DESIGNER PRIOR TO COMMENCEMENT OF WORK.

WE CERTIFY TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THAT THE DESIGN OF THIS PROJECT COMPLIES WITH THE APPLICATION PROVISIONS OF THE REQUIREMENTS OF SECTION 34-401, 34-411 INCLUSIVELY OF THE STATUTES OF THE STATE OF ARIZONA.

MANUFACTURING SPECIFICATIONS & I.C.C. ASSEMBLY, SHALL SUPPLEMENT THE ARCHITECTURAL/DESIGNER DRAWINGS AND DETAILS.

THE INTENT OF THESE DOCUMENTS FOR CONSTRUCTION, AS CONVEYED IN THESE DRAWINGS AND SPECIFICATIONS, IS TO PROVIDE, FOR THE INDICATED PROJECT, ALL SERVICES, EQUIPMENT, MATERIALS, APPLIANCES, ETC., CONNECTED AND COMPLETED, IN OPERATING CONDITION, AND READY FOR OCCUPANCY.

MATERIALS SHALL BE NEW, EXCEPT AS NOTED OTHERWISE, AND SHALL CONFORM TO THE LATEST STANDARDS OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, THE AMERICAN INSTITUTE FOR STEEL CONSTRUCTION, THE AMERICAN CONCRETE INSTITUTE, AND LOCAL APPLICABLE BUILDING CODES, AND SHALL BE HANDLED IN A MANNER IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE GOVERNING EDITION OF THE INTERNATIONAL BUILDING CODE, OR SUCH OTHER LEGAL CODES, AND SHALL CONFORM TO ANY SPECIAL REQUIREMENTS OF ANY LENDING OR GOVERNMENTAL INSTITUTIONS.

WORKMANSHIP SHALL CONFORM TO THE HIGHEST STANDARDS ACCEPTABLE FOR FIRST QUALITY CONSTRUCTION. ALL WORK SHALL BE PERFORMED BY MECHANICS AND ARTISANS WHO ARE SKILLED IN THEIR RESPECTIVE TRADES.

ALL WORK SHALL BE EXECUTED IN A NEAT AND SKILLFUL MANNER AND EXACTLY AS SPECIFIED OR DETAILED. ALL REJECTED AND CONDEMNED MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE PREMISES AND SHALL NOT BE USED IN THIS WORK.

ALL PHASES OF THE WORK UNDER THESE CONTRACT DOCUMENTS SHALL BE SO PERFORMED SO AS TO PROTECT FREE FROM DAMAGE THE WORK OF OTHERS CONNECTED WITH THIS PROJECT.

ALL TRADES SHALL PROTECT THEIR OWN WORK TO PREVENT DAMAGE BY OTHERS DURING THE COURSE OF CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL CAREFULLY EXAMINE EACH PAGE OF THESE CONTRACT DOCUMENTS AND BE FULLY FAMILIAR WITH ALL OF THE MATERIAL CONTAINED HEREIN. FURTHER, THE GENERAL CONTRACTOR SHALL MAKE ANY AND ALL INFORMATION CONTAINED HEREIN AVAILABLE TO ANY AND ALL OF HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS, AND SHALL ENDEAVOR TO MAKE CERTAIN THAT ALL ARE FULLY FAMILIAR WITH THE APPLICABLE INFORMATION CONTAINED HEREIN. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT/DESIGNER FOR REVIEW PRIOR TO COMMENCEMENT OF WORK ON THE AFFECTED PORTION OF THE PROJECT.

REASONABLE PROFESSIONAL CARE AND DILIGENCE IS ASSUMED IN THE PREPARATION OF THESE DOCUMENTS. SHOULD ERRORS AND/OR OMISSIONS OCCUR, ALL WORK ON THE AFFECTED PORTION OF THE PROJECT SHALL BE STOPPED AT ONCE, AND SAID ERROR AND/OR OMISSION SHALL BE REFERRED TO THE ARCHITECT/DESIGNER AT ONCE FOR RESOLUTION. WORK ON THE AFFECTED PORTION OF THE WORK SHALL BE RESUMED ONLY UPON WRITTEN APPROVAL BY THE ARCHITECT/DESIGNER.

PROPERTY DIMENSIONS, BEARINGS, SETBACKS, EASEMENTS, LOCATION AND AVAILABILITY OF UTILITIES ARE ALL INFORMATION SUPPLIED TO THE ARCHITECT/DESIGNER BY OTHERS AND ARE ASSUMED ACCURATE. THE ARCHITECT/DESIGNER SHALL MAKE EVERY EFFORT TO INSURE THE ACCURACY OF THE WORK PROVIDED TO HIM BY OTHERS, BUT IN NO WAY SHALL GUARANTEE OR BE RESPONSIBLE FOR SAID WORK BY OTHERS.

NO SUBSTITUTIONS, DEVIATION, OR CHANGE FROM THESE CONTRACT DOCUMENTS SHALL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY ARCHITECT/DESIGNER.

DRAWINGS ARE NOT TO BE SCALED. IF NOTED DIMENSIONS DO NOT ADEQUATELY DESCRIBE THE AREA IN QUESTION, REFER AT ONCE TO THE ARCHITECT/DESIGNER.

FIELD VERIFY ALL CABINETS, MIRRORS, WINDOWS, DOORS, STOREFRONT ASSEMBLIES, ETC., PRIOR TO FABRICATION AND/OR INSTALLATION.

FINAL LOCATIONS OF ALL SWITCHES, OUTLETS, GRILLES, ETC. SHALL BE DETERMINED BY THE ARCHITECT/DESIGNER ON THE JOBSITE. INFORMATION SHOWN ON THESE DOCUMENTS IS, BY NATURE, SCHEMATIC. ALL SUBCONTRACTORS SHALL VERIFY ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS SHOWN WILL FIT IN THE SPACES ALLOCATED FOR SAME IN A PROFESSIONAL MANNER. SHOULD PROBLEMS ARISE, NOTIFY THE ARCHITECT/DESIGNER AT ONCE.

SAMPLES SHALL BE SUPPLIED TO THE ARCHITECT/DESIGNER OF ALL MATERIALS PROPOSED FOR SUBSTITUTION OF SPECIFIED MATERIALS, AND OF WORKMAN- SHIP REPRESENTING ARTISTIC TECHNIQUE SPECIFIED BELOW. SHOP DRAWINGS SHALL BE PROVIDED FOR FABRICATED ITEMS SPECIFIED BELOW.

TEMPORARY FACILITIES FOR PROTECTION OF MATERIALS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS, AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH FEDERAL AND STATE REGULATIONS REGARDING SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL BIDS SUBMITTED AND ACCEPTED UNDER THIS CONTRACT SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS. SUBCONTRACTORS WILL EXAMINE ALL OF THE CONTRACT DOCUMENTS TO CROSS REFERENCE THEIR WORK WITH OTHER TRADES AND DETAILING.

PROJECT DATA

PROJECT NAME: ZONA K9 PLAYSCHOOL & GROOMING LLC
TENANT IMPROVEMENT

PROJECT ADDRESS: 2820 E UNIVERSITY DR., SUITE 122
MESA, AZ 85213

APN: 140-11-447

ZONING: LC

FIRE SPRINKLERS: YES

FIRE ALARMS: NO

TYPE OF CONSTRUCTION: V-N

BUILDING SQ. FTG.: 34,438 sq. ft.

SUITE 122 SQ. FTG.: 1,300 sq. ft.

OCCUPANCY: 'B' BUSINESS

OCCUPANCY LOAD:
BUSINESS: 1,300 s.f. / 150 = 9 occupants (8.66)

EXITS REQUIRED: 1 EXIT
EXITS PROVIDED: 2 EXIT

PLUMBING FIXTURE CALCS:

PLUMBING REQUIRED:
SUITE 122: 9 occupants x .50 = 5 MEN & 5 WOMEN
** UNI-SEX ROOM PROVIDED: (1) TOILET, (1) LAVATORY

PLUMBING PROVIDED:
(1) TOILET, (1) SINK, (1) DOGGY TUB / UTILITY SINK
[** Separate Facilities are Not Required for Business Occupancies in which the Maximum Occupant Load is 25 or fewer]

Drinking Fountain not required for Occupancy of 50 or fewer. [Per Section 410.2]
Service Sink not required for Occupancy of 15 or fewer. [Per 2018 IBC Table 2902.1 (E)]

PARKING REQUIRED:
SUITE 122: 1,300 sq. ft. / 375 s.f. = 4 SPACES REQUIRED

PARKING PROVIDED:
EXISTING CENTER: 34,438 sq. ft. = 201 SPACE PROVIDED
SUITE 122: 1,300 sq. ft. / 34,438 sq. ft. = 3.77%...Of Overall Square Footage
201 x .0377 = 7 SPACES PROVIDED

OWNER

PROFESSIONAL PROPERTIES OF ARIZONA, LLC
P.O. BOX 531461
HENDERSON, NEVADA 89053
PH: (702) 755-7100
CONTACT: MARY ROSSETTE

ARCHITECT FIRM

NOTCH ENTERPRISES, LLC
1540 EAST MARYLAND AVENUE #101
PHOENIX, ARIZONA 85014-1448
PH: (602) 264-5454
FAX: (602) 264-5471
CONTACT: DWAYNE L. GRIFFIN
Architect of Record: JAMES DAVID RUSH

GENERAL ADDRESSING NOTE

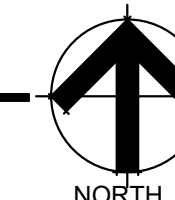
APPROVED NUMBERS OR ADDRESSES, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE MINIMUM 12 INCHES IN HEIGHT WITH A 2-INCH STROKE. IN ADDITION TO BUILDINGS, EACH ENTRANCE TO INDIVIDUAL SUITES SHALL BE IDENTIFIED. LETTERS OR NUMBERS SHALL BE A MINIMUM OF 4 INCHES (102 MM) IN HEIGHT AND STROKE OF 0.5 INCH (12.7 MM) OF A CONTRASTING COLOR TO THE BACKGROUND ITSELF (NOTE: 10" MINIMUM PREFERRED HEIGHT), COMPLIANCE PER FIRE DEPARTMENT DETAIL #151. REFERENCE IBC SECTION 501.2 AND UPC SECTION 10.301(c) AS AMENDED.



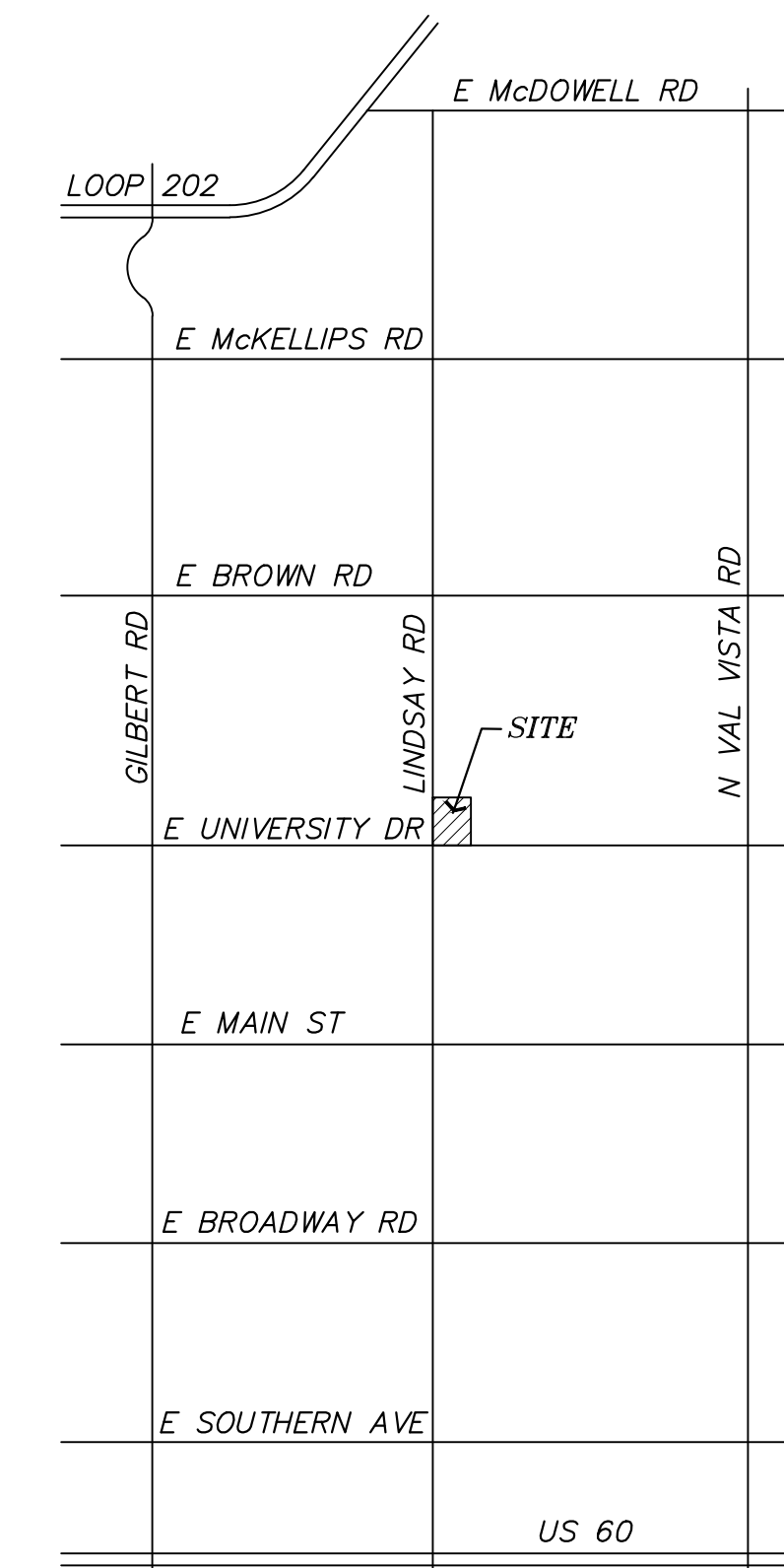
SITE PLAN

SCALE:

1" = 60'

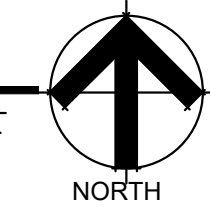


NORTH



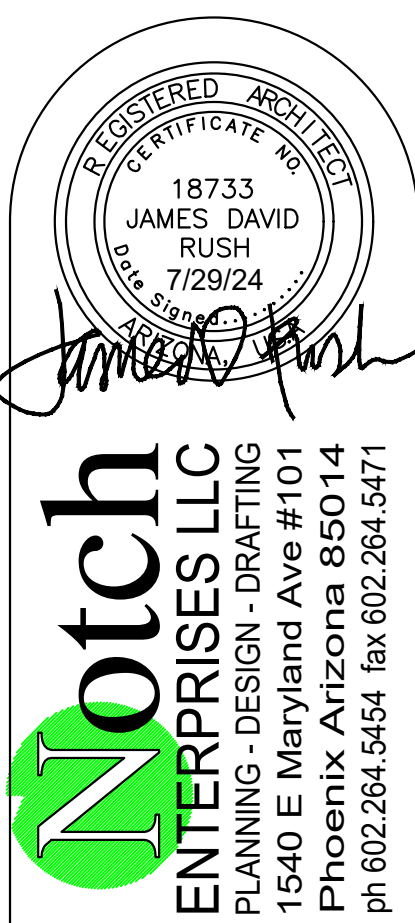
VICINITY MAP

NOT TO SCALE



NORTH

DEFERRED SUBMITTALS
- FIRE SPRINKLERS
- SIGNAGE & PERMITS



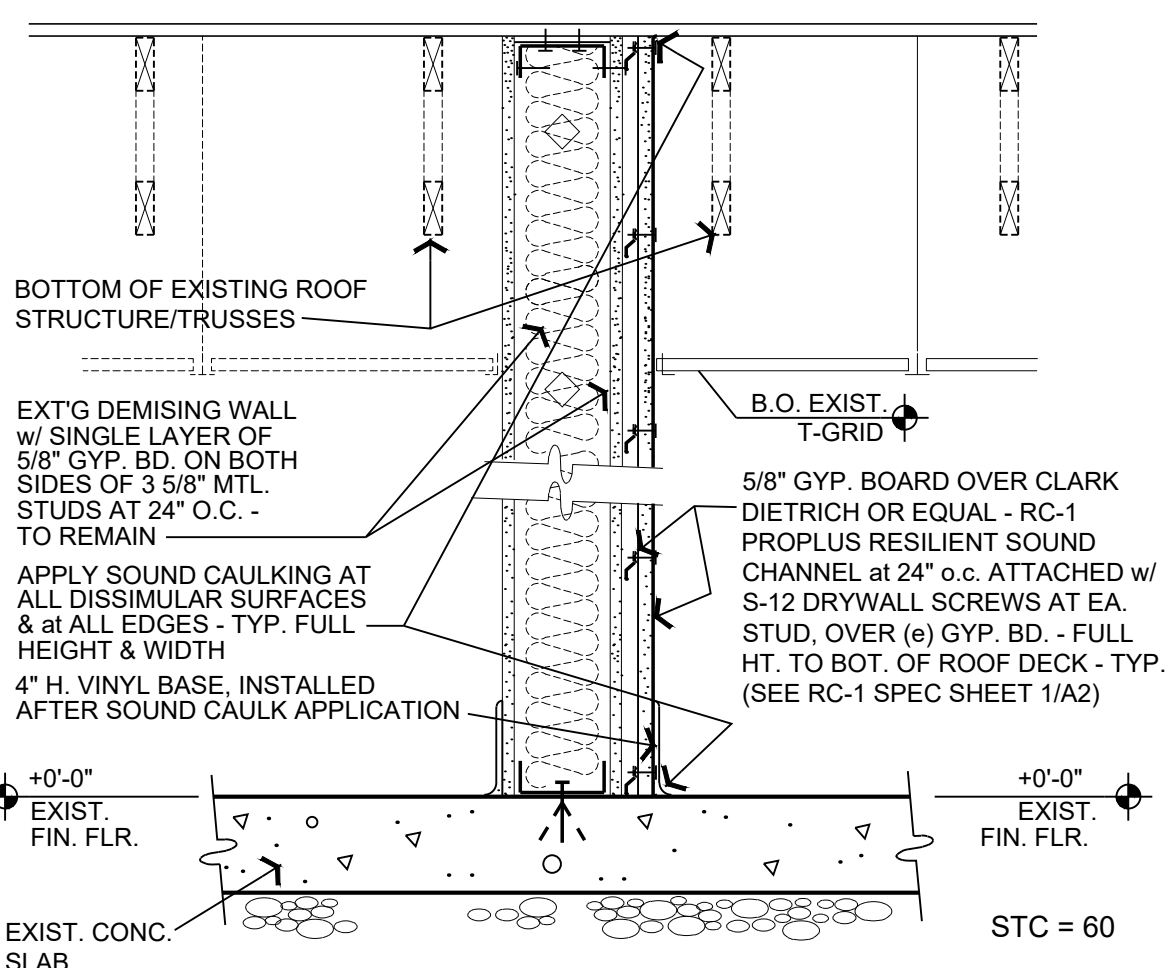
SPECIAL USE PERMIT
COCONUT GROVE PLAZA - TENANT IMPROVEMENT
ZONA K9 PLAYSCHOOL & GROOMING
2820 E UNIVERSITY DR., SUITE 122
MESA, ARIZONA 85213

SHEET TITLE:
COVER SHEET,
SITE PLAN &
PROJECT DATA

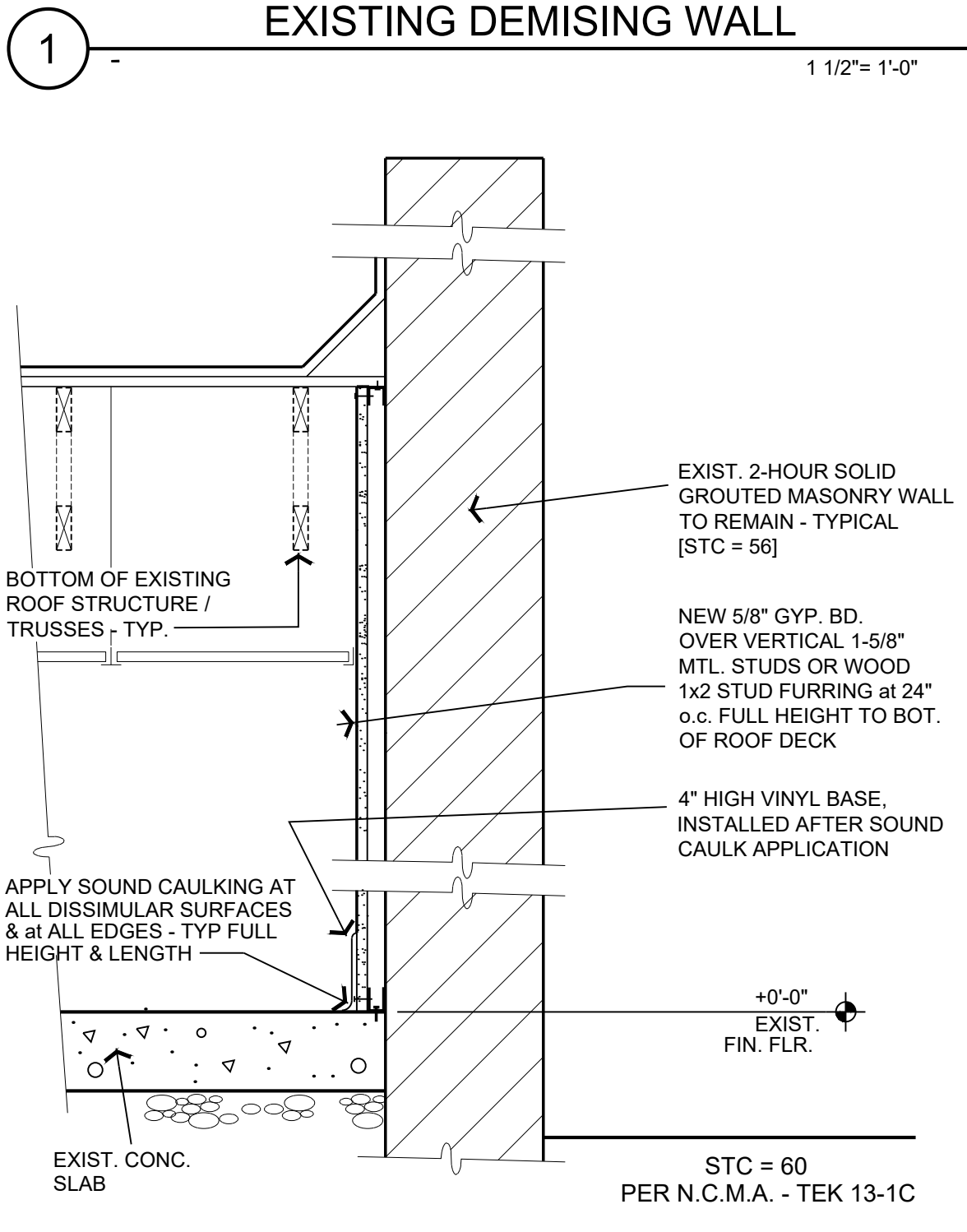
DRAWN BY: **CLF**
CHECKED BY: **JDR/DLG**
DATE: **07/29/2024**
REVISION:
△
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△
24-42
CS

This drawing is an instrument of service and the property of Notch Enterprises, LLC. The use of this drawing shall be restricted to the original site for which it was prepared.

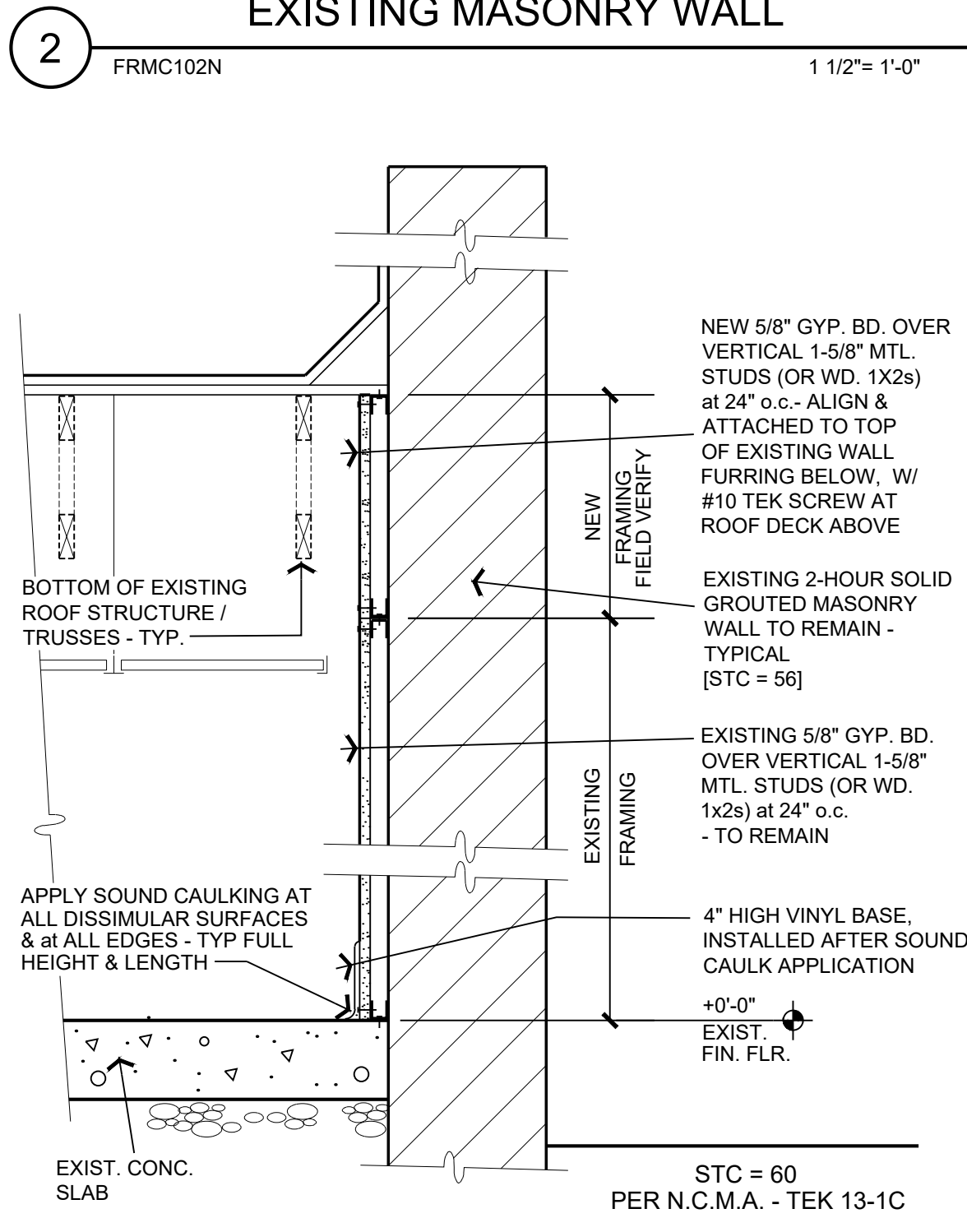
This drawing is NOT TO BE SCALED.



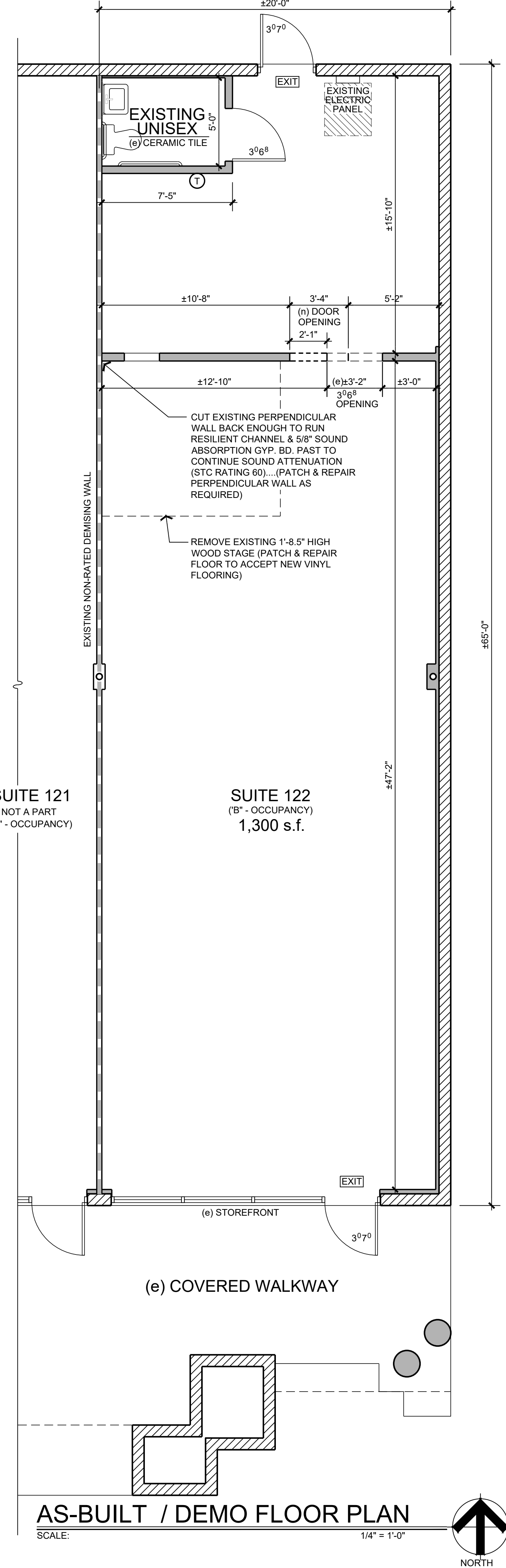
SOUND BARRIER DTL. AT EXISTING DEMISING WALL



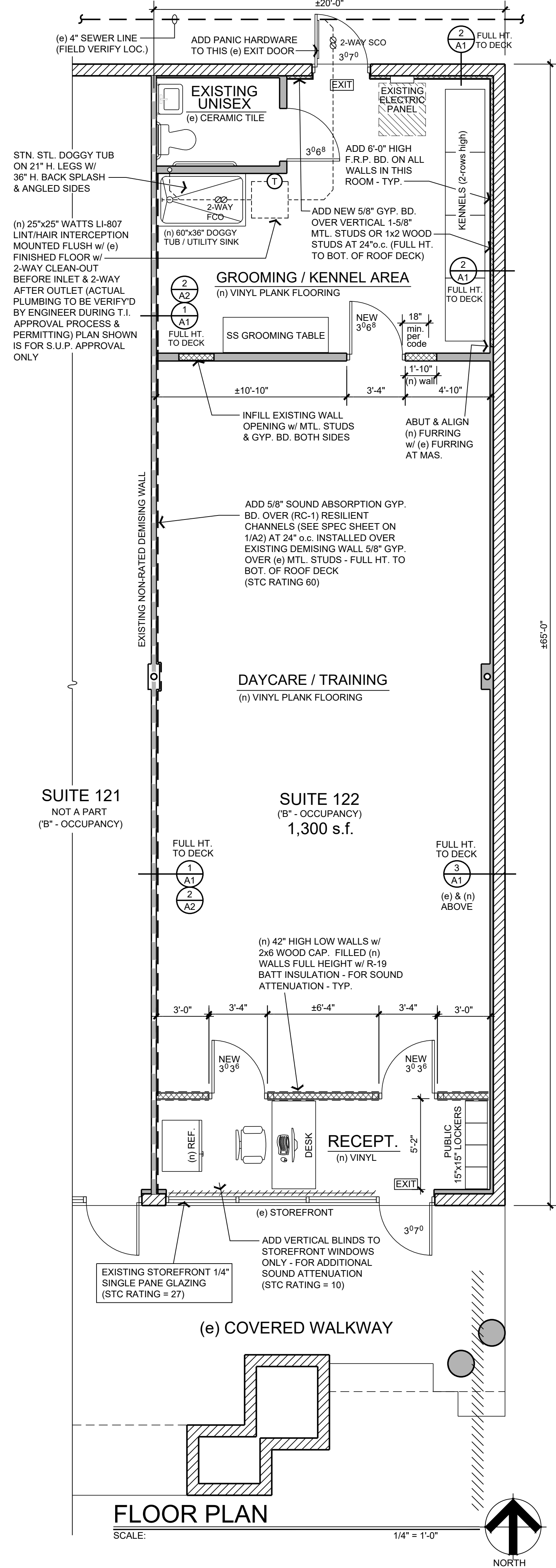
SOUND BARRIER DTL. AT EXISTING MASONRY WALL



SOUND BARRIER DTL. AT (e) FURR-OUT AT EXISTING MASONRY WALL



AS-BUILT / DEMO FLOOR PLAN



FLOOR PLAN

MARICOPA COUNTY (N.E.S.H.A.P.)

LANDLORD, TENANT, GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL PERFORM ALL REQUIRED ASBESTOS TESTING OR OBTAIN ANY REQUIRED ASBESTOS APPROVALS FROM MARICOPA COUNTY N.E.S.H.A.P. DEPARTMENT PRIOR TO ANY DEMOLITION ON THIS PROJECT OR SITE.

- IF ASBESTOS IS FOUND, ABATE PER MARICOPA COUNTY (N.E.S.H.A.P.) CODES & ORDINANCES.
- CONTRACTOR SHALL VERIFY ALL AND ADHERE TO ANY, (10) TEN DAY WAITING PERIODS THAT MAY BE REQUIRED BY (N.E.S.H.A.P.) PRIOR TO DEMOLITION.

AS-BUILT & DEMO NOTES

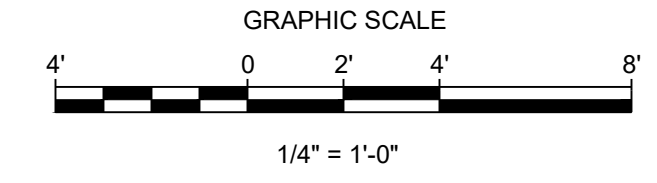
1. DEMOLITION OF EXISTING CONSTRUCTION TO BE DONE IN CONFORMANCE WITH CITY OF MESA ADOPTED BUILDING CODES.
2. ALL NEW CONSTRUCTION TO BE DONE UNDER THIS PERMIT.
3. ALL EXISTING FLOORING IN OPEN SUITE TO BE REMOVED, EXCEPT AS NOTED ON PLANS FOR THIS TENANT IMPROVEMENT. (RESTROOM FLOOR TILE & WAINSCOT TO REMAIN)
4. ALL EXISTING SHELL BUILDING STRUCTURE AND STRUCTURAL DESIGN TO REMAIN - NO SHELL BUILDING AND STRUCTURAL IMPROVEMENTS REQUIRED THIS PERMIT.
5. ALL EXISTING MECHANICAL EQUIPMENT AND DESIGN TO REMAIN (NO MECHANICAL CONSTRUCTION) FOR THIS TENANT IMPROVEMENT.
6. ALL EXISTING PLUMBING EQUIPMENT AND DESIGN TO REMAIN, EXCEPT AS MODIFIED / NOTED ON PLANS FOR THIS TENANT IMPROVEMENT - SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
7. ALL EXISTING ELECTRICAL EQUIPMENT AND DESIGN TO REMAIN, EXCEPT AS MODIFIED / NOTED ON PLANS FOR TENANT IMPROVEMENT - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

GENERAL FLOOR PLAN NOTES

1. PROVIDE RED MYCARTA PLAQUE ON PANELS W/ THE FOLLOWING MESSAGE ENGRAVED IN 1/4" WHITE LETTERS: "CAUTION: N.E.C. 110-26 (a) REQUIRES MIN. 3' DEPTH WORKING SPACE FOR THIS EQUIPMENT. WORKING SPACE TO BE FREE OF ANY OBSTRUCTIONS AT ALL TIMES". CONTRACTOR TO PAINT FLOOR AREA (BRIGHT YELLOW) PER N.E.C. WORKING SPACE REQUIREMENTS. COORDINATE WITH THE CITY OF MESA FOR EXACT REQUIREMENTS (TYP.)
2. ADD SUITE ADDRESSING TO ENTRY DOORS PER IBC SECTION 502.1 AND IFC SECTION 505.1 AS AMENDED. ALSO SEE GEN. NOTE SHEET CS, FOR MORE INFORMATION.
3. SEE SHEET A1 FOR PROJECT DETAILS.
4. SEE SITE PLAN SHEET CS FOR REQ'D. LANDINGS AT ENTRY / EXIT PATHWAY TO THE PUBLIC WAY
5. ALL SIGNAGE PER SEPARATE SUBMITTAL, REVIEW, AND PERMIT (BY OTHERS) TYPICAL
6. SPECIFY "NO SMOKING" SIGNS, "SMOKEFREE" SIGNS, "THIS IS A NON-SMOKING ESTABLISHMENT" SIGN OR THE INTERNATIONAL "NO SMOKING" SYMBOL TO BE CONSPICUOUSLY POSTED AT EACH OF ALL ENTRY POINTS TO BUILDING WITH ALL LETTERS OR SYMBOLS THEREON TO BE NO LESS THAN 3 INCHES IN HEIGHT AS PER CITY OF CHANDLER CODES.

LEGEND

- EXISTING - 8" THICK EXTERIOR CMU WALLS TO REMAIN (BEARING)
- EXISTING - DEMISING - WOOD INTERIOR STUD FRAME WALLS (NON-BEARING) TO REMAIN
- EXISTING - INTERIOR WOOD STUD FRAME WALLS (NON-BEARING) TO REMAIN
- NEW - INTERIOR FRAME LOW WALLS (NON-BEARING) - W/ 3 5/8" 20 GA. MTL. STUDS AT 24" O.C. (362 S125-33) 42" HIGH (W/ R-19 BATT INSULATION)
- NEW - INTERIOR FURRING ON (e) MASONRY WALL (NON-BEARING) - W/ 1 5/8" 25 GA. MTL. STUDS AT 24" O.C. (362 S125-18) FULL HEIGHT TO BOT. OF (e) ROOF DECK
- NEW SOUND TRANSMISSION CLASS (STC) RATING OF 60 ATTENUATION AT WALLS
- DETAIL CUT - SEE SHEET A1 & A2



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Notch ENTERPRISES LLC
 REGISTERED ARCHITECT
 18733 JAMES DAVID RUSH
 7/29/24
 PLANNING - DESIGN - DRAFTING
 1540 E Maryland Ave #101
 Phoenix, Arizona 85014
 PH: 602.264.5454 FAX: 602.264.5471

SPECIAL USE PERMIT
TENANT IMPROVEMENT
COCONUT GROVE PLAZA -
ZONA K9 PLAY SCHOOL & GROOMING
 2820 E UNIVERSITY DRIVE, SUITE 122
 MESA, ARIZONA 85213

SHEET TITLE :
AS-BUILT / DEMO & FLOOR PLAN AND FLOOR PLAN AND DETAILS

DRAWN BY : CLF
CHECKED BY : JDR/DLG
DATE : 07/29/2024
REVISION :

24-42
A1

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This drawing is NOT TO BE SCALED.

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LI-800
 Tag: Lint Trap LI-807

Lint Interceptor

SPECIFICATION: Watts Drainage LI-800 Series recessed or floor mounted epoxy coated steel lint interceptor with gasketed epoxy coated steel skid-proof cover secured with hex head center bolt(s), removable steel filter screens, and IPS threaded connections.

Flow Rate (Select One)	Description
03	30 GPM
07	70 GPM
10	100 GPM
20	200 GPM
30	300 GPM
40	400 GPM
50	500 GPM

Options (Select One or More)	Description
E	Extension
HD	Heavy Duty (10,000 lb.) Traffic Cover
NH	No Hub Connections
O	Inlet & Outlet other than Standard
SS	Stainless Steel
US	Buy American Compliant

Interceptor Catalog Number	Inlet/Outlet Size	Flow Rate GPM	Size/No. of Machines	A	C	D	E	F
LI-803	2\"(51)	30	3	17\"(432)	16-1/2\"(419)	13-1/2\"(343)	3-1/4\"(83)	15-1/4\"(387)
LI-807	3\"(76)	70	7	25\"(635)	20\"(508)	16-1/2\"(419)	3-1/4\"(83)	20-1/4\"(519)
LI-810	4\"(102)	100	10	33\"(838)	28\"(711)	20-1/8\"(513)	4\"(102)	31-1/4\"(796)
LI-820	4\"(102)	200	20	40\"(1014)	35\"(889)	27-1/8\"(689)	4\"(102)	38-1/4\"(972)
LI-830	6\"(152)	300	30	45\"(1143)	40\"(1014)	38-1/8\"(974)	5\"(127)	43-1/4\"(1099)
LI-840	6\"(152)	400	40	48\"(1219)	43\"(1092)	31-1/8\"(791)	5\"(127)	46-1/4\"(1175)
LI-850	6\"(152)	500	50	52\"(1321)	47\"(1194)	35-1/8\"(892)	5\"(127)	50-1/4\"(1276)

Job Name: Altered Tails Contractor: _____

Job Location: Mesa, Arizona Contractor's P.O. No. _____

Engineer: _____ Representative: _____

WATTS Drainage reserves the right to modify or change product design or construction without prior notice and without incurring any obligation to make similar changes and modifications to products previously or subsequently sold. See your WATTS Drainage representative for any clarification. Dimensions are subject to manufacturing tolerances.

Specification Drainage Products
 USA: 100 Watts Road, Spindale, NC, 28160-2298; TEL: 828-288-2179 TOLL-FREE: 1-800-338-2581 www.watts.com

1
WATTS LI-800 HAIR INTERCEPTOR SPEC
 SCALE: _____ NO SCALE

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RC-1 PROPLUS™ RESILIENT CHANNEL (RCUR HEAVY)

HEAVY-DUTY SINGLE-LEG RESILIENT CHANNEL
 Made of 22mil steel to provide a stiffer resilient channel.

Found in:
 Interior Framing > Sound-Rated Systems

Description

Installation

Resources

Submittals

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CA Transparency in Supply Chain Act
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2
RC-1 RESILIENT CHANNEL SPEC
 SCALE: _____ NO SCALE

Notch

ENTERPRISES LLC

PLANNING - DESIGN - DRAFTING
1540 E Maryland Ave #101
Phoenix, Arizona 85014
PH: 602.264.5454 FAX: 602.264.5471

SPECIAL USE PERMIT
 COCONUT GROVE PLAZA - TENANT IMPROVEMENT
 ZONA K9 PLAY SCHOOL & GROOMING
 2820 E UNIVERSITY DRIVE, SUITE 122
 MESA, ARIZONA 85213

SHEET TITLE :

SPEC SHEETS
RC-1 CHANNEL
& HAIR INTERCEPTOR

DRAWN BY: **CF**

CHECKED BY: **JDR/DLG**

DATE: **07/29/2024**

REVISION:

▲
▲
▲

24-42

A1