



Date: April 1, 2024
Project Number: 23-019.0
Project Name: Signal Butte
Project Address: 11244 E Pecos Rd
Mesa, AZ 85282
Record ID: DRB23-00689/ZON23-00796

Kwasi Abebrese
Planner I
Planner
City of Mesa
Planning Division
55 N. Center Street
Mesa, AZ 85201

PROJECT NARRATIVE:

Cavan Commercial is developing a new industrial warehouse/office building located approximately ± 600 feet east from the corner of S. Mountain Rd and E. Pecos Rd. The building will be single-story and consist of approximately $\pm 2,000$ square feet of office and $\pm 21,800$ square feet of warehouse with a screened, exterior storage yard in the rear.

The proposed subject property is approximately ± 2.00 acres. The current zoning is LI and it is anticipated that a rezone will not be required.

The site is located within the Logistics and Commerce District of Mesa's Gateway Strategic Development Plan. The project intends to comply with the Logistics and Commerce District's focus and goals of growing the light industrial, storage, and warehouse uses within this area with the creation of employment opportunities. The project intends to comply with the Plan's design guidelines by providing a project with superior materials and architectural aesthetics beyond a typical warehouse. The building design encompasses a contemporary style with monochromatic colors, dark metal paneling, and stack bond masonry. The building entry and northern façade fronting Pecos Road utilizes 16'-0" high storefront glazing, sleek and thin metal canopies, painted stucco, and masonry piers to elevate the design and follow the Logistics and Commerce District's vision of high quality views along public streets.

SPECIAL USE PERMIT REQUEST

A special use permit is requested to reduce the City of Mesa's parking stall count requirements. The request would reduce the total required stalls of (30), per the office and warehouse square footage, to a total required count of (22). Included in the submittal is the Trip Generation and Parking Study, noting the appropriate number of spaces needed per the tenants through industry references. The study notes the reduction of parking stalls to a total count of (13) would be adequate through trip generation and ITE's Parking Generation Manual. The Special Use Permit would request for a reduction to (22) stalls, in order to avoid additional stalls within the north, rear exterior storage yard.

REQUEST FOR ALTERNATIVE COMPLIANCE #1

Alternative compliance for the City of Mesa's Zoning Ordinance Section 11-7-3(B)(5) is requested for the proposed development. The development standard requires, "no more than fifty percent (50%) of the total façade may be covered with one (1) single material". The submitted building design exceeds the 50% material maximum on its east, west, and north elevations with the use of various concrete block, incorporating split face, smooth face, and stack bond masonry.

The proposed alternative compliance would be to recognize the various concrete masonry patterning (stack bond, running bond, and split face) and paints utilized on the three building elevations as their own distinct materials as a result of an enhanced building entry and front elevation.

The east, west, and north elevations are primarily composed of concrete masonry materials. The elevations exceed the prescribed 50% maximum by 37% and 17% on the east and west sides of the building respectively, and by 39% on the rear south elevation. While the development standards describes them as a single material, the proposed masonry materials are discrete patterns and colors with varying textures. The accent bands use a darker, split-face block with a 1" inset reveal across the facades to delineate and subdivide the surfaces to human proportions. The lighter, smooth-face precision block is given a stack-bond pattern to distinguish it from the gray, running-bond block patterning. Utilizing these masonry block materials as described above is the design intent of the building, and the materials help to enhance and transition into the building entry and northern façade.

The proposed south entry elevation has been developed beyond a typical warehouse or storage building, with the façade utilizing premium finishes and distinct forms for its public presence off Pecos Road. The building entry at the southwest corner gravitates towards the appearance of a high-end showroom space through the use of 16'-0" high storefront and sleek metal paneling to create a large shading canopy across the entry plaza. Painted stucco is used across the entry and corners adding an additional material.



The intent of the proposed building design is to enhance the neighborhood and raise the standard of the typical industrial building in the surrounding community. The surrounding built context includes a semi-truck trailer yard directly adjacent (Image 1), with surrounding built structures including heavy industrial facilities, such as the MGC Pure Chemicals plant (Image 2). The proposed building helps bring character and identity to Pecos Road.

REQUEST FOR ALTERNATIVE COMPLIANCE #2

Alternative compliance for the City of Mesa's Zoning Ordinance Section 11-7-3(B)(2)(A) is requested for the proposed development along the north and east elevations and the northern portion of the west elevation. The development standards requires, "publicly visible facades (viewed from rights-of-way or private property), may not have blank, uninterrupted wall lengths exceeding 50 feet without including at least two (2) of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines, or an equivalent element that subdivides the wall into human scale proportions."

The proposed alternative compliance would request leniency regarding the "change in plane" noted in Section 11-7-3(B)(2)(A) for the north and east elevations, and the northern portion of the west elevation as a result of an enhanced building entry.

This request for the alternate compliance would be to recognize the changes in masonry patterning, changes in parapet heights, and additional accent bands of split face CMU as equivalent elements that subdivide the facades into human scale proportions along the noted elevations. The north and east elevations and northern portion of the west elevation include changes in parapet height, changes in masonry patterning (stack bond and running bond), paint color changes, and subdividing the facades horizontally through multiple bands of split face accent CMU and wainscot bases. These elements comply with the required maximum length of 50'-0" of uninterrupted wall lengths.

As noted in the request for alternative compliance #1, the accent bands use a darker, split-face block with a 1" inset across the facades to delineate and subdivide the surfaces to human scale proportions. The lighter, smooth-face precision block is given a stack-bond patterning to distinguish it from the darker, running-bond, block patterning with a maximum continuous pattern no more than 50'-0" in length. Utilizing these masonry block materials as described above is the design intent of the building, and the split face banding helps to accentuate and transition into the southern façade: the principal feature of the building.

The south elevation and southern portions of the east and west elevations exceed the requirement for massing and scale and are directly visible from the public right-of-way of Pecos Rd. These southern facades far surpass the minimum requirements of massing and subdividing surfaces in Section 11-7-3(B)(2)(A) through vertical and horizontal material subdivisions, windows, piers, textural changes, and articulation in grade planes. The building entry has various pop-outs of decorative masonry pier walls extending outward from the 16'-0" high storefront glass, with a large metal canopy further subdividing the storefront. Above the storefront glass is an



additional form clad in metal paneling and stucco that wraps across the southwest edge of the building, giving the appearance of floating above the entry.

The south elevation includes several changes in planes when transitioning to other materials as well, including inset masonry accent bands, double-wythe CMU walls, and additional metal cladding and canopies. The material changes occur both in vertical and horizontal conditions through multiple textures and patterning from the four masonry types, aluminum composite paneling and metal canopies, and accent bands break down the large façade and divide the surface to human proportions. These materials are subdivided further with decorative control and panel joints that extend uninterrupted across the façade between materials to align with the adjacent accent bands to create a uniform, continuous appearance. The proposed alternative compliance would be to recognize the publicly viewable and enhanced designs of these southern facades to allow the requested northern facades to remain as they are without additional changes in plane.

Please call if you have any questions or need further clarification.

Respectfully,
Pinnacle Design, Inc.

Ian Mulich, RA
Senior Architectural Designer





Image 1: 11302 E Pecos Rd, Semi-Truck Trailer Storage Yard

Existing semi-trailer storage property located directly east of the proposed development.



Image 2: 6579 S Mountain Road, MGC Pure Chemical Plant

Existing industrial/warehouse plant located north of the proposed development, the closest built property.



INDUSTRIAL PARK

project consultants

owner:

CAVAN COMMERCIAL
6032 NORTH SCOTTSDALE ROAD, #200
SCOTTSDALE, ARIZONA 85254
CONTACT: AGNES FICKERA
PHONE: 602.390.4560
EMAIL: agnes@cavancommercial.com

architecture:

PINNACLE DESIGN, INC
1048 NORTH 44th STREET, #200
PHOENIX, AZ 85008
PROJECT CONTACT: MADDIE CULVER
PHONE: 602.952.8585
EMAIL: pdi-az.com

civil engineer:

KBELL ENGINEERING
1355 NORTH 86th PLACE
MESA, ARIZONA 85207
CONTACT: KELLY BELL
PHONE: 602.980.8246
EMAIL: kbell@kbelleng.com

landscape architecture:

DESIGN ETHIC, LLC
7525 EAST 6th AVENUE
SCOTTSDALE, ARIZONA 85251
PROJECT CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.net

site data

EXISTING ZONING:	GI
PROPOSED USE:	LIGHT INDUSTRIAL / WAREHOUSE/ OFFICE
NET AREA:	+2.00 AC (+87,121 SF)
GROSS AREA:	+2.25 AC (+97,828 SF)
LOT COVERAGE:	+78% (+67,906 SF)
LANDSCAPE AREA:	+78% (+67,906 SF)
PROPOSED BUILDING:	28,009 SF
PARKING REQUIRED:	OFFICE SF +2,000 SF @ 1/ 375 WAREHOUSE SF: +21,800SF @ 1/ 900 29.55 (30 SPACES)
PARKING PROVIDED:	30 SPACES

sheet index

SHEET	TITLE
L0.01	COVER SHEET & NOTES
L2.01	OVERALL PLANTING PLAN
L2.02	PLANTING PLAN

city of mesa notes

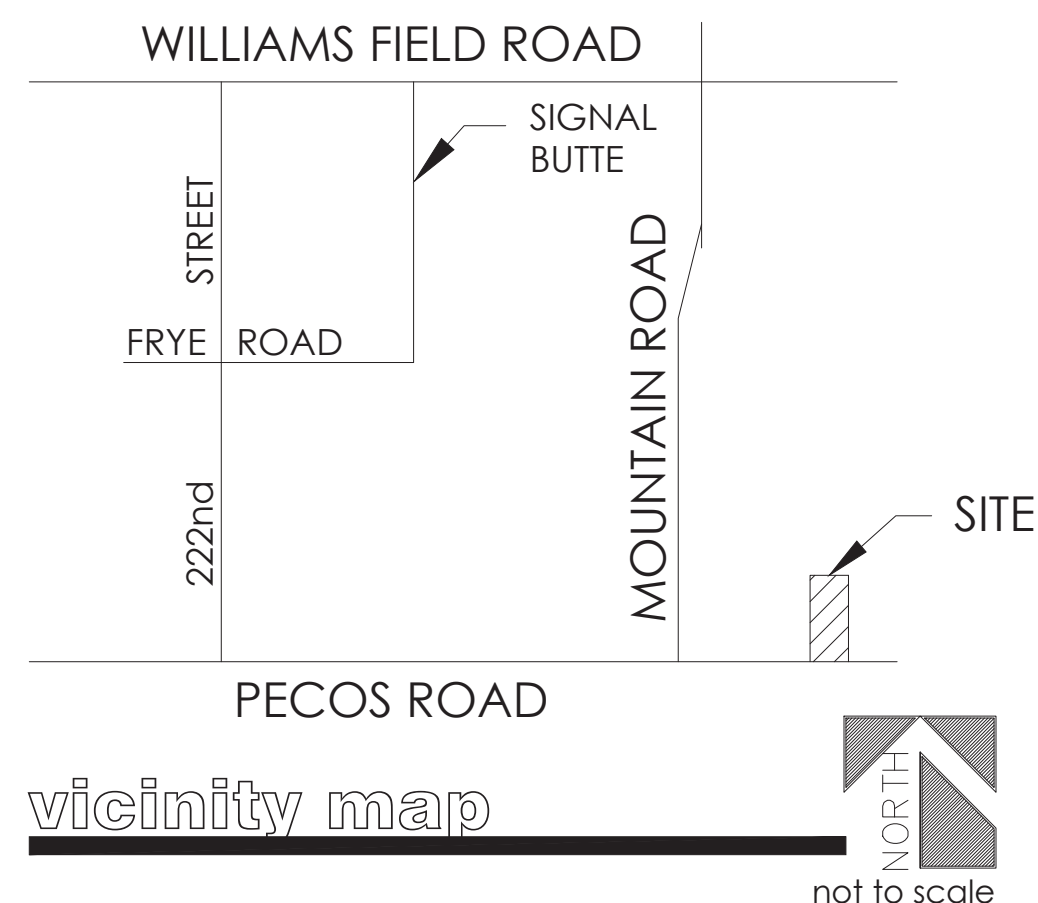
ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IS IN CONFORMANCE WITH THE LOW WATER USE PLANT LIST PROVIDED BY THE ARIZONA DEPT. OF WATER RESOURCES.

ALL LANDSCAPING INSTALLED WITH THIS PROJECT SHALL BE MAINTAINED BY OWNER/OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. TREE HEIGHTS & CALIPERS WILL COMPLY WITH "ARIZONA NURSEY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE & SIZE OF TREE.

PLANT MATERIAL WITHIN THE SIGHT DISTANCE TRIANGLE SHALL NOT EXCEED 30-INCHES IN HEIGHT AT FULL MATURITY. TREES PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE SHALL BE 24-INCH TO 42-INCH BOX SPECIMENS WITH NO BRANCHES LOWER THAN 8-FEET ABOVE THE SIDEWALK ELEVATION, AND 14-FEET OVER VEHICULAR TRAFFIC WAYS.

ALL BACKFLOW PREVENTERS 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE MATERIAL LOCATED WITHIN A 6' RADIUS OF THE BACKFLOW PREVENTER.

ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET AND PAINTED GREEN.



vicinity map

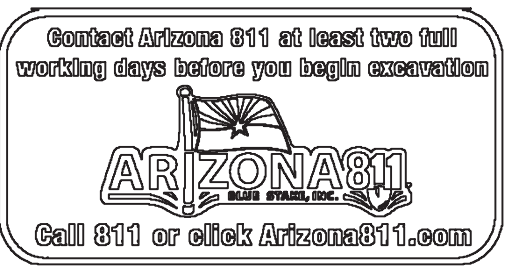
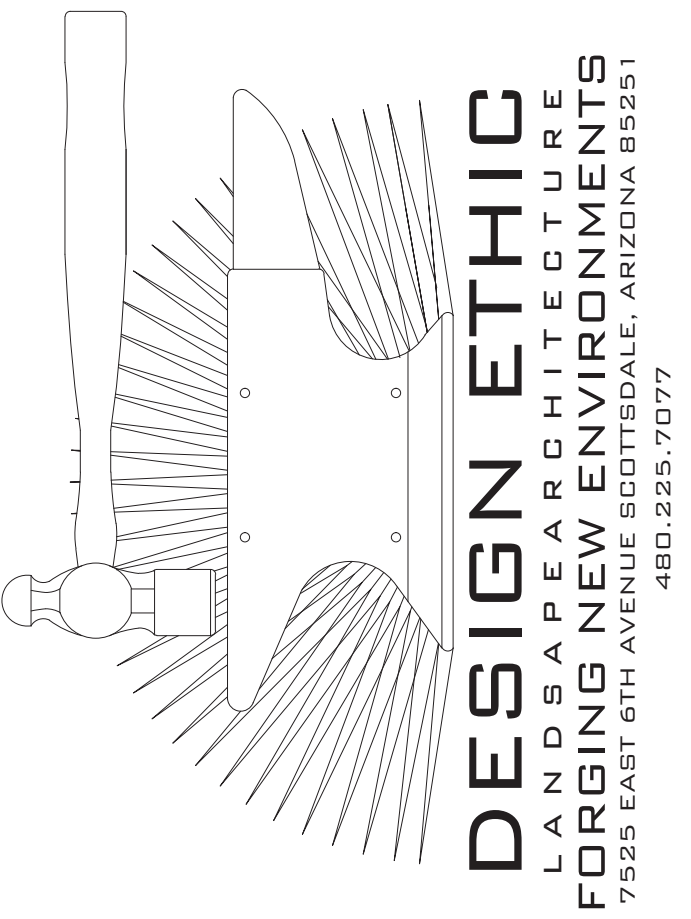
city of mesa landscape data

ZONING:	GI
NET SITE AREA:	+2.00 AC (+87,121 S.F.)
TOTAL R.O.W.:	3,272 S.F.
TOTAL FRONTAGE:	134 L.F.
TOTAL ON-SITE LANDSCAPE:	14,425 S.F.
PERCENTAGE OF LANDSCAPE:	16.6%

OVERALL:	
TREES PROVIDED FOR ENTIRE SITE:	35 TREES
36" BOX TREES REQUIRED:	8 TREES
(25% OF TREES REQUIRED FOR ENTIRE SITE)	
36" BOX TREES PROVIDED:	8 TREES

STREET FRONTAGE - 134 LINEAR FEET:	
TREES REQUIRED:	6
(1 PER 25' OF STREET FRONTAGE - 134 / 25 = 6)	
TREES PROVIDED:	6
24" BOX TREES REQUIRED:	3
(50% OF TREES REQUIRED)	
24" BOX TREES PROVIDED:	4
36" BOX TREES REQUIRED:	2
(25% OF TREES REQUIRED)	
36" BOX TREES PROVIDED:	2

SHRUBS REQUIRED:	36
(6 PER 25' OF STREET FRONTAGE)	
SHRUBS PROVIDED:	42



INDUSTRIAL PARK
PECOS ROAD & MOUNTAIN ROAD
MESA, ARIZONA 85212

COVER SHEET & NOTES

PROJECT:

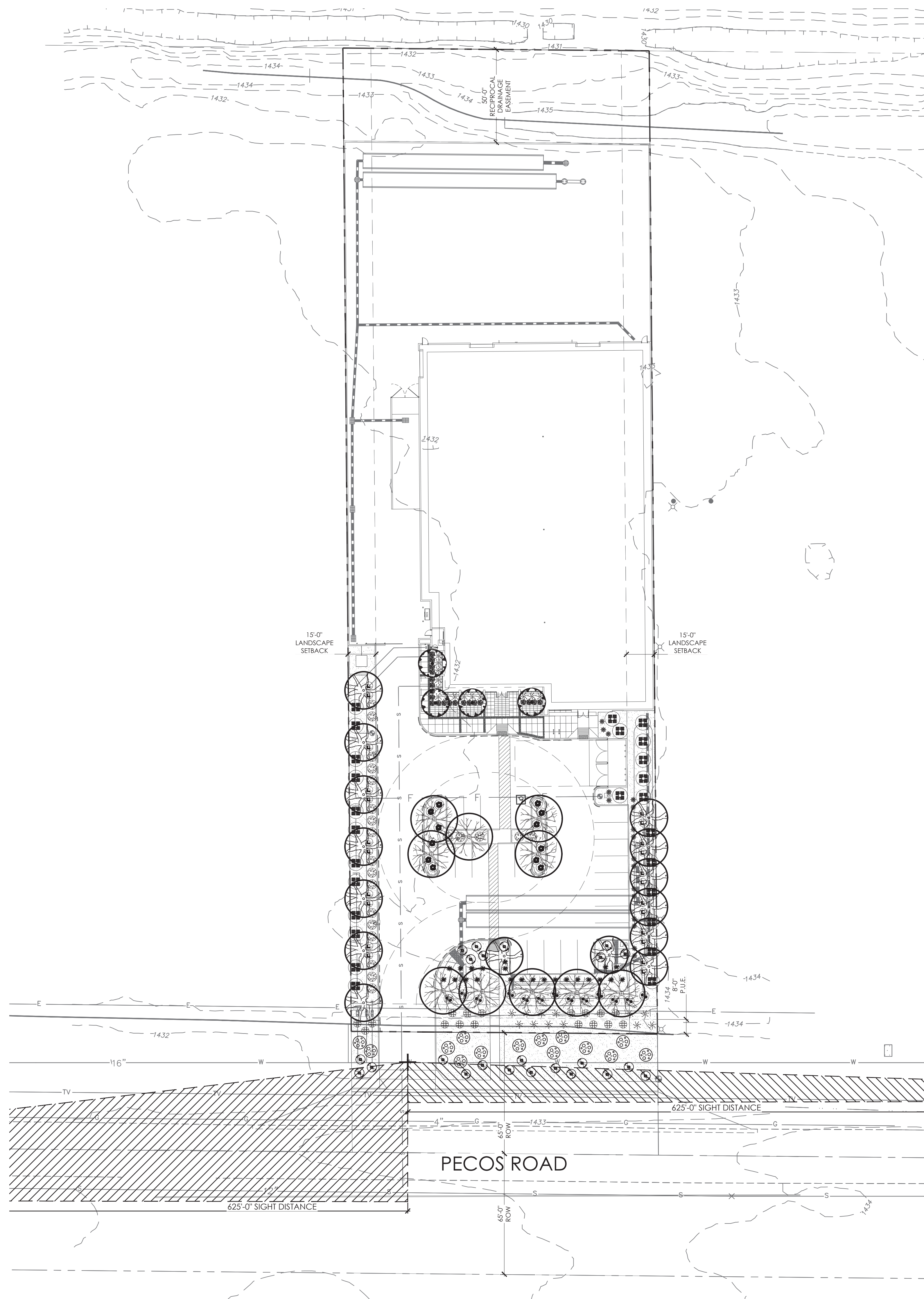
SHEET TITLE:

JOB NO:	23-047
DATE:	-
DRAWN BY:	B. PAUL
SUBMITTED:	03.01.2024
REVISED:	

SHEET

L0.01

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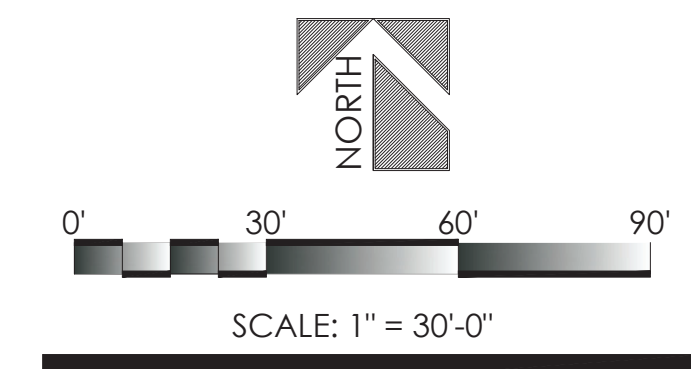
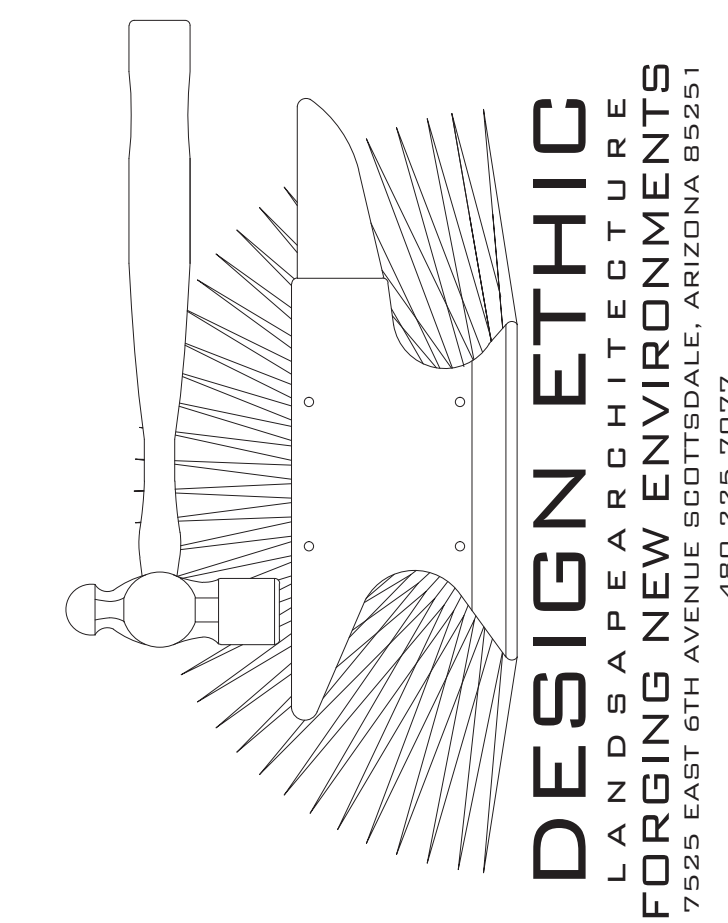


plant legend

	botanical name common name	emitters	size	qty	comments
evergreen trees					
	ACACIA ANEURA MULGA	(5 @ 1.0 GPH)	24" BOX 36" BOX	1 3	6.0H., 2.0W., .75 CAL. 7.0H., 4.0W., 1.5 CAL. STAKE IN PLACE
	PISTACIA X. RED PUSH RED PUSH PISTACHE	(6 @ 2.0 GPH)	24" BOX 36" BOX	14 1	7.0H., 2.5W., 1.0 CAL. 9.0H., 4.0W., 1.75 CAL. STAKE IN PLACE
	TIPUANA TIPU TIPU TREE	(6 @ 2.0 GPH)	24" BOX 36" BOX	6 4	7.0H., 3.0W., 1.0 CAL. 9.0H., 5.0W., 1.75 CAL. STAKE IN PLACE
large shrubs					
	TECOMA ALATA ORANGE JUBILEE	(1 @ 1.0 GPH)	5 GAL.	26	PLANT AT 8' O.C.
medium shrubs					
	Ms. ALICE BOUGAINVILLEA WHITE BOUGAINVILLEA	(1 @ 1.0 GPH)	5 GAL.	13	PLANT AT 5' O.C.
	HESPERALOE FUNIFERA GIANT HESPERALOE	(1 @ 1.0 GPH)	5 GAL.	27	PLANT AT 4' O.C.
	LEUCOPHYLLUM LANGMANIAE RIO BRAVO TEXAS RANGER	(1 @ 1.0 GPH)	5 GAL.	12	PLANT AT 8' O.C.
	SENNA OLIGOPHYLLA OUTBACK CASSIA	(1 @ 1.0 GPH)	5 GAL.	17	PLANT AT 4' O.C.
small shrubs					
	ASCLEPIAS SUBULATA DESERT MILKWEED	(1 @ 1.0 GPH)	5 GAL.	23	PLANT AT 3' O.C.
	EREMOPHILA HYGROPHANA 'BLUE BELLS' EMU	(1 @ 1.0 GPH)	5 GAL.	23	PLANT AT 4' O.C.
	HESPERALOE PARVIFLORA 'DESERT FLAMENCO' DESERT FLAMENCO RED YUCCA	(1 @ 1.0 GPH)	5 GAL.	17	PLANT AT 3' O.C.
	PORTULACARIA AFRA ELEPHANT'S FOOT	(1 @ 1.0 GPH)	5 GAL.	21	PLANT AT 3' O.C.
evergreen groundcovers					
	ACACIA REDOLENS DESERT CARPET	(1 @ 1.0 GPH)	1 GAL.	14	PLANT AT 7' O.C.
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU	(1 @ 1.0 GPH)	5 GAL.	23	PLANT AT 3' O.C.
inerts					
	1/2" SCREENED DECOMPOSED GRANITE EXPRESS BROWN		3/4" SCRND	14,425 S.F.	2' MINIMUM DEPTH IN ALL PLANTERS

planting key notes

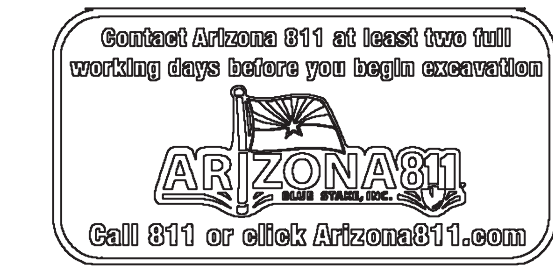
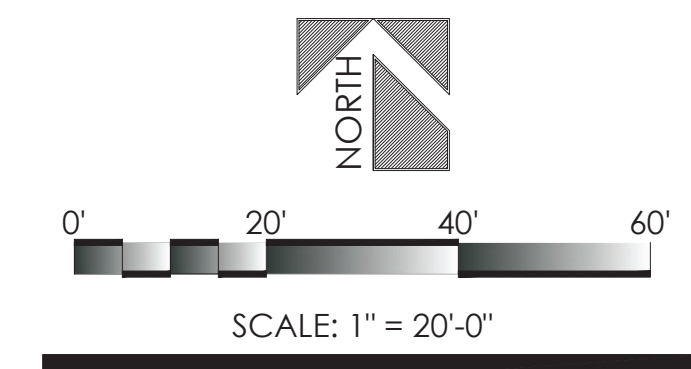
- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- 3 SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- 4 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 5 SIDEWALK. SEE CIVIL ENG. PLANS.
- 6 FIRE HYDRANT - 3'-0" CLEAR OF ALL PLANT MATERIAL.
- 7 SITE LIGHTING. SEE ARCH. PLANS.
- 8 3' HIGH PARKING SCREEN WALL. SEE ARCH. PLANS.
- 9 CONCRETE CURB. SEE CIVIL ENG. PLANS.
- 10 TRASH ENCLOSURE. SEE ARCH. SITE PLAN.
- 11 P.U.E. SEE CIVIL ENG. PLANS.
- 12 STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 13 DRAINAGE STRUCTURE. SEE CIVIL ENG. PLANS.
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- 17 BICYCLE PARKING. SEE ARCH. SITE PLAN.
- 18 PROPOSED TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES. ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.



INDUSTRIAL PARK
PECOS ROAD & MOUNTAIN ROAD
MESA, ARIZONA 85212
OVERALL PLANTING PLAN

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SHEET
L2.01
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plant legend

botanical name	common name
evergreen trees	
ACACIA ANEURA MULGA	
PISTACIA X. RED PUSH RED PUSH PISTACHE	
TIPUANA TIPU TIPU TREE	
large shrubs	
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Ms. ALICE BOUGAINVILLEA WHITE BOUGAINVILLEA	
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ACACIA REDOLENS DESERT CARPET	
EREMOPHILA GLABRA 'MINGENW GOLD' OUTBACK SUNRISE EMU	
inerts	
1/2" SCREENED DECOMPOSED GRANITE EXPRESS BROWN	

**city of mesa
landscape data**

ZONING:	GI
NET SITE AREA:	+2.00 AC (+87,121 S.F.)
TOTAL R.O.W.:	3,272 S.F.
TOTAL FRONTAGE:	134 L.F.
TOTAL ON-SITE LANDSCAPE:	14,425 S.F.
PERCENTAGE OF LANDSCAPE:	16.6%
OVERALL:	
TREES PROVIDED FOR ENTIRE SITE:	35 TREES
36" BOX TREES REQUIRED:	8 TREES
(25% OF TREES REQUIRED FOR ENTIRE SITE)	
36" BOX TREES PROVIDED:	8 TREES
STREET FRONTAGE - 134 LINEAR FEET:	
TREES REQUIRED:	6
(1 PER 25' OF STREET FRONTAGE - 134 / 25 = 6)	
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(25% OF TREES REQUIRED)	
36" BOX TREES PROVIDED:	2
SHRUBS REQUIRED:	36
(6 PER 25' OF STREET FRONTAGE)	
SHRUBS PROVIDED:	42

city of mesa vegetation credit table

	CREDIT (S.F.)	QTY ON PLAN	TOTAL CREDIT (S.F.)
EVERGREEN TREE: (MIN. 25'-0" TALL AT MATURITY)	100	29	2,900
SHADE TREE: (MIN. 25'-0" TALL AT MATURITY)	50	--	--
ORNAMENTAL TREE:	25	--	--
LARGE SHRUB: (MIN. 8'-0" TALL AT MATURITY)	50	26	1,300
MEDIUM SHRUB: (4'-0" - 8'-0" TALL AT MATURITY)	25	69	1,725
SMALL SHRUB: (UNDER 4'-0" TALL AT MATURITY)	10	84	840
EVERGREEN GROUNDCOVER:	25	37	925
TOTAL VEGETATION CREDIT (S.F.)			7,690
TOTAL OPEN SPACE (S.F.)			14,425
VEGETATION COVERAGE (%)			53.31%

visibility triangle info

SITE VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET ACCESS GUIDELINES DATED FEB. 15, 2005.

PECOS ROAD
STREET SPEED: 45 MPH
STREET CROSS SECTION 4LU
FIGURE 2.3 (50 MPH DESIGN SPEED) SD = 625'

planting key notes

- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- 3 SIGHT VISIBILITY TRIANGLE. MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
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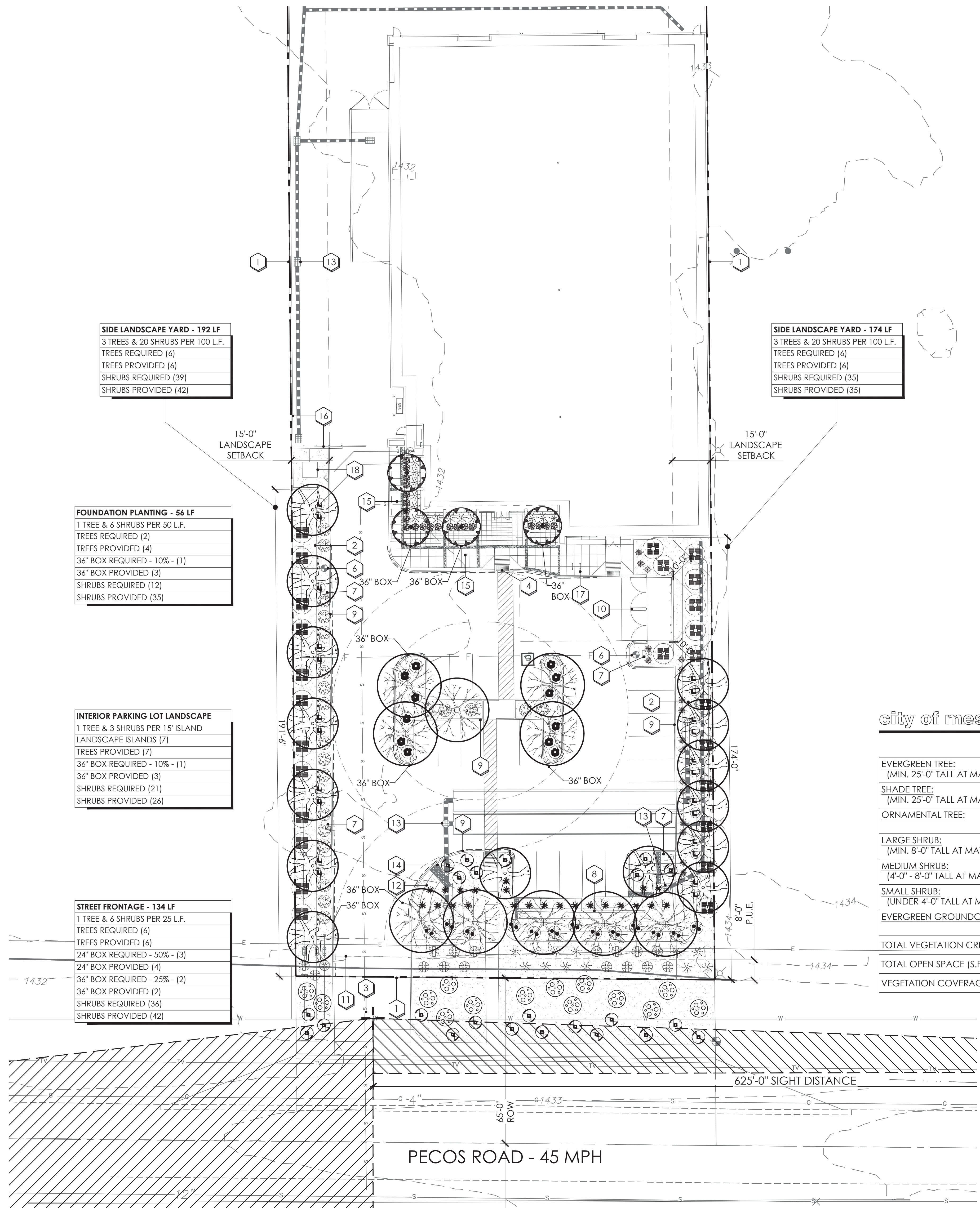
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SIDE LANDSCAPE YARD - 192 LF
3 TREES & 20 SHRUBS PER 100 L.F.
TREES REQUIRED (6)
TREES PROVIDED (6)
SHRUBS REQUIRED (39)
SHRUBS PROVIDED (42)

SIDE LANDSCAPE YARD - 174 LF
3 TREES & 20 SHRUBS PER 100 L.F.
TREES REQUIRED (6)
TREES PROVIDED (6)
SHRUBS REQUIRED (35)
SHRUBS PROVIDED (35)

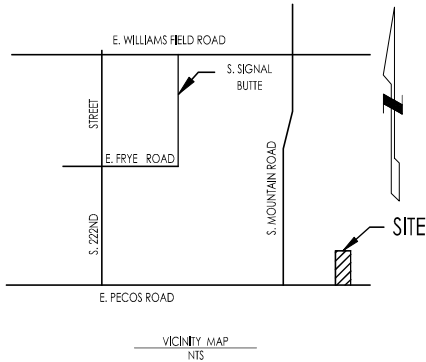
FOUNDATION PLANTING - 56 LF
1 TREE & 6 SHRUBS PER 50 L.F.
TREES REQUIRED (2)
TREES PROVIDED (4)
36" BOX REQUIRED - 10% - (1)
36" BOX PROVIDED (3)
SHRUBS REQUIRED (12)
SHRUBS PROVIDED (35)

INTERIOR PARKING LOT LANDSCAPE
1 TREE & 3 SHRUBS PER 50 L.F.
LANDSCAPE ISLANDS (7)
TREES PROVIDED (7)
36" BOX REQUIRED - 10% - (1)
36" BOX PROVIDED (3)
SHRUBS REQUIRED (21)
SHRUBS PROVIDED (26)

STREET FRONTAGE - 134 LF
1 TREE & 6 SHRUBS PER 25 L.F.
TREES REQUIRED (6)
TREES PROVIDED (6)
24" BOX REQUIRED - 50% - (3)
24" BOX PROVIDED (4)
36" BOX REQUIRED - 25% - (2)
36" BOX PROVIDED (2)
SHRUBS REQUIRED (36)
SHRUBS PROVIDED (42)

PECOS ROAD - 45 MPH

625'-0" SIGHT DISTANCE



PRELIMINARY GRADING AND STORM DRAIN KEYNOTES

1. INSTALL SINGLE CURB PER MAG STD DTL 220, TYPE A.
2. INSTALL CONCRETE SIDEWALK PER MAG STD DTL 220, MATCH LINE AND GRADE AT CONNECTIONS. SIDEWALK SHALL MEET ADA STANDARDS: 1:50 MAX CROSS SLOPE AND 1:12 MAX LONGITUDINAL SLOPES.
3. INSTALL PERPENDICULAR CURB RAMP PER MAG STD DTL 238-1, MATCHED AS SHOWN.
4. ADA PARKING SPACES AND ACCESSIBLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
5. INSTALL INLET PER MAG STD DTL 537.
6. INSTALL INLET PER MAG STD DTL 535.
7. INSTALL REPEATED STORM DRAIN PIPE.
8. INSTALL ADS MC-7200 CHAMBER STORAGE SYSTEM.
9. INSTALL NYOPLAST INLET.
10. INSTALL PROPOSED MAXWELL PLUS DRYWELL.

RETENTION CALCULATIONS

APPLIED RUNOFF COEFFICIENT "C" = 0.95

$$V_r = C \cdot D \cdot A$$

WHERE:

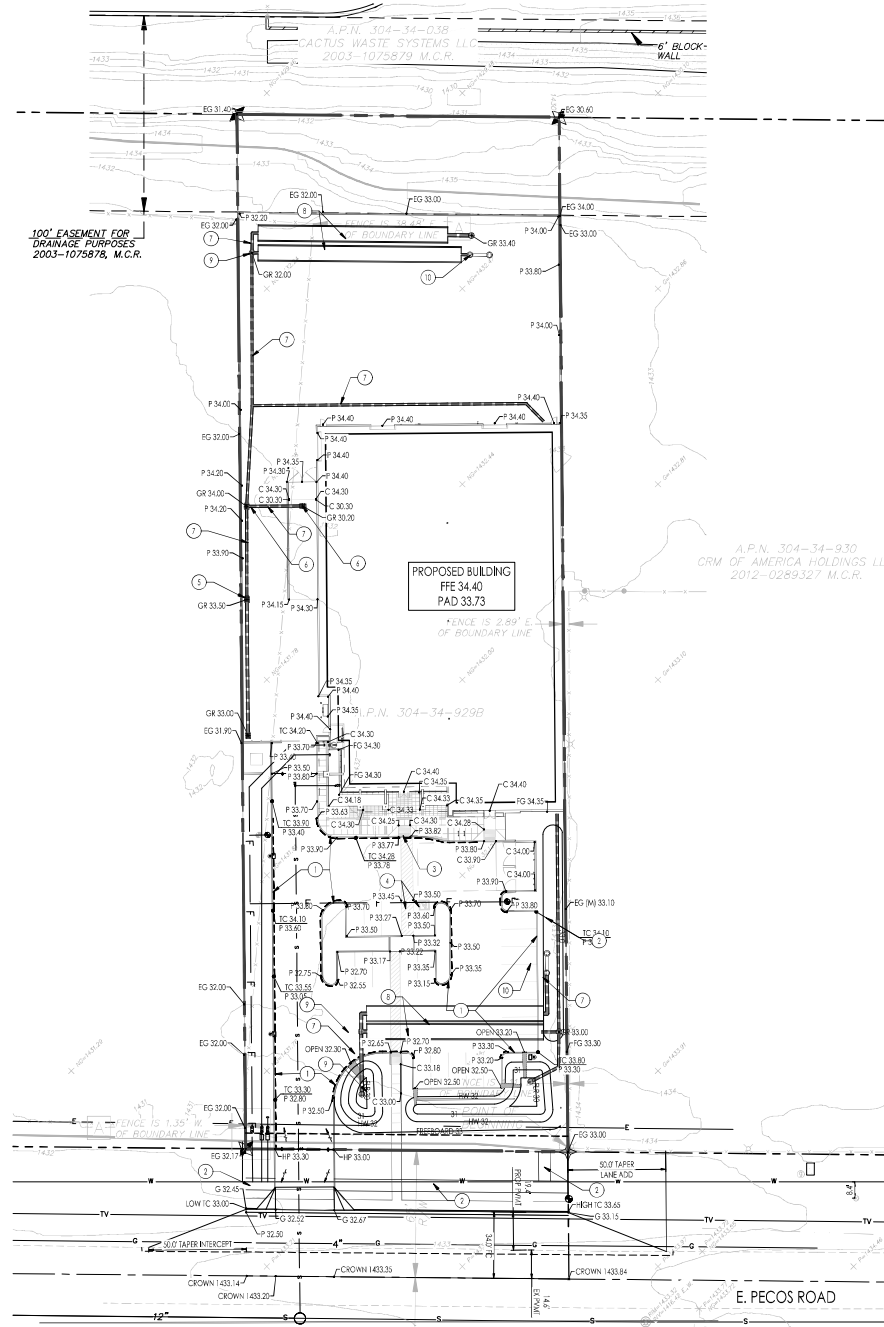
- V_r = VOLUME REQUIRED (CF)
- V_p = VOLUME PROVIDED (CF)
- C = RUNOFF COEF. = 0.95
- D = RAINFALL DEPTH (IN) FOR 100 YR 2 HOUR RAINFALL DEPTH = 2.2"
- A = CONTRIBUTING DRAINAGE AREA = 97,829 SF

- $V_p = 0.95 \cdot 2.2 \cdot 97,829 = 17,039$ CF
- $V_p = 3,100$ CF SOUTH FRONTAGE BASIN
- $V_p = 14,452$ CF ADS MC-7200 (DIRECT INFILTRATION WITH MAXWELL PLUS DRYWELL FOR SECONDARY INFILTRATION PER COM EDS MANUAL 806.21 (2) - 806.21 (2.6))
- SOUTHERN RETENTION $V_p = 9,463$ CF
- NORTHERN RETENTION $V_p = 8,367$ CF

V_p TOTAL = 17,039 CF
 V_r TOTAL = 17,830 CF

LEGEND

	C	CONCRETE	(M)	WEST
	AC	ACRES		
	FG	FINISH GRADE	CFS	CUBIC FEET PER SECOND
	G	GUTTER	DA	DRAINAGE AREA
	GR	GRATE	EX	EXISTING
	PROP	PROPOSED		
	(N)	NORTH	Q ₁₀	10 YEAR FLOW
	(E)	EAST	Q ₂₅	25 YEAR FLOW
	TC	TIME OF CONCENTRATION	Q ₁₀₀	100 YEAR FLOW
	TD	TRENCH DRAIN	SD	STORM DRAIN
	EG	EXISTING GRADE		



PRELIMINARY GRADING & DRAINAGE PLAN FOR SIGNAL BUTTE MESA, ARIZONA

OWNER: HIGH VOLTAGE HOLDINGS LLC
 1380 W. BOYWOOD AVE
 GILBERT, AZ 85233

DEVELOPER: CAVAN COMMERCIAL LLC
 16032 NORTH SCOTSDALE ROAD, SUITE 200
 SCOTSDALE, AZ 85254
 PH: 602.615.7185
 CONTACT: JOSH CAVAN
 EMAIL: JOSH@CAVANCOMMERCIAL.COM

ARCHITECT: PINNACLE DESIGN, INC.
 1048 N. 44TH STREET, SUITE 200
 PHOENIX, AZ 85008
 PH: 602.952.8585
 CONTACT: IAN WILCH
 EMAIL: IWILCH@PDLAZ.COM

ENGINEER: KBELL ENGINEERING LLC
 1355 N 81TH PLACE
 MESA, ARIZONA 85207
 PH: 602.980.8246
 CONTACT: KELLY BELL, P.E.
 EMAIL: KBELL@KBELLENG.COM

BENCHMARK:
 THE BENCHMARK USED FOR THIS SURVEY IS THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION UNIQUE POINT NO. 460, BEING A 3" MARICOPA COUNTY BRASS CAP FLUSH MARKING THE SOUTH QUARTER CORNER OF SECTION 36, LOCATED 217' EAST OF THE INTERSECTION OF MOUNTAIN ROAD & PECOS ROAD, HAVING AN ELEVATION OF 1431.55' NAVD83 DATUM.

BASIS OF BEARING:
 THE BASIS OF BEARING IS THE MONUMENT LINE OF PECOS ROAD, ALSO BEING THE SOUTH LINE OF THE SOUTH-WEST QUARTER OF SECTION 36, USING A BEARING OF NORTH 89 DEGREES 27 SECONDS, 1.6 MINUTES WEST, PER THE RESULTS OF SURVEY RECORDED IN BOOK 712 OF MAPS, PAGE 3, RECORDS OF MARICOPA COUNTY, ARIZONA.

PROJECT DATA

PROJECT NAME: INDUSTRIAL WAREHOUSE/OFFICE

PROJECT DESCRIPTION: NEW WAREHOUSE WITH OFFICES

EXISTING USE: VACANT

PROPOSED USE: INDUSTRIAL WAREHOUSE/OFFICE

PROPERTY: A.P.N. 304-34-9299

SITE: SEC. 36, T. 15, R. 7E

CURRENT ZONING: G-I GENERAL INDUSTRIAL

SUBDIVISION: UNSUBDIVIDED

LOT SIZE: 87,120 SF (2.00 AC)



1048 N. 44th St., #200
 Phoenix, AZ 85008
 602.952.8585
 www.pdl-az.com



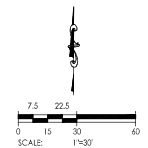
PRELIMINARY NOT FOR CONSTRUCTION
 C:\p\pdl\pinnacle\pinnacle, inc. 2024



SIGNAL BUTTE
 MESA, AZ 85212

PRELIMINARY GRADING AND DRAINAGE PLAN

PROJECT #: 104804 KBE
 DATE: 2.29.2024
 DRAWN BY: KJB/JJB
 REV # DATE DESCRIPTION



EXTERIOR ELEVATION KEYNOTES

- 1 FIRE RISER / FIRE DEPARTMENT CONNECTION
- 2 KNOX BOX PER CITY OF MESA REQUIREMENTS
- 3 ALUMINUM FRAME WINDOW SYSTEM WITH 1" OFFSET INSULATED GLAZING
- 4 ROOF DRAIN AND OVERFLOW DRAIN LEADERS
- 5 LED WALL PACK
- 6 3'-0"x7'-0" HOLLOW METAL DOOR
- 7 14'-0"x14'-0" OVERHEAD COILING DOOR
- 8 12'-0"x12'-0" OVERHEAD COILING DOOR
- 9 PAINTED METAL PARAPET CAP
- 10 DASHED LINE INDICATES LINE OF ROOF BEYOND
- 11 DASHED LINE INDICATES FULLY SCREENED MECHANICAL UNIT
- 12 ENTRY CANOPY
- 13 HOSE BIBB
- 14 4" DIAMETER x 6'-0" CONCRETE FILLED PIPE BOLLARD- PAINT SAFETY YELLOW
- 15 3/8" REVEAL

EXTERIOR FINISHES & MATERIALS SCHEDULE

PAINT

P-1	BEHR "BLACK"
P-2	BEHR #134-2 "CHIC GRAY"
P-3	BEHR #100-4 "POLAR BEAR"
P-4	BEHR #134-3 "GREIGE"
P-5	BEHR #133-7 "INTELLECTUAL"
P-6	BEHR #114-6 "ANCESTRAL"

MASONRY

CMU-1	8"x8"x16" SMOOTH FACE CMU STANDARD GRAY
CMU-2	12"x8"x16" SMOOTH FACE CMU STANDARD GRAY
CMU-3	8"x8"x16" SPLIT FACE CMU STANDARD GRAY
CMU-4	12"x8"x16" SPLIT FACE CMU STANDARD GRAY

GLASS

GL-1	1" INSULATED GLAZING UNIT VITRO SOLARBAN 90 (2) CLEAR + CLEAR MULLION FINISH: ARCADIA SYSTEMS- DARK BRONZE FINISH AB7
------	-----------------------------------------------------------------------------------------------------------------------

STUCCO / EIFS

STUC-1	7/8" STUCCO OVER CMU
STUC-2	7/8" STUCCO OVER METAL STUD FRAMING

METAL

MTL-1	ALUMINUM COMPOSITE PANEL: DARK BRONZE
-------	---------------------------------------

ELEVATION MATERIAL PERCENTAGES

SOUTH (FRONT):

RUNNING BOND CMU:	
CMU-1/P-4	
CMU-2/P-4	
SMOOTH FACE CMU TOTAL:	451.6 SF 12%

STACK BOND CMU:	
CMU-1/P-2	
CMU-2/P-2	
STACK BOND TOTAL:	582.47 SF 4%

SPLIT FACE CMU:	
CMU-3/P-6	64.01 SF
CMU-3/P-5	68.27 SF
CMU-4/P-6	11.83 SF
CMU-4/P-5	10.5 SF
SPLIT FACE CMU TOTAL:	154.11 SF 4%

MISCELLANEOUS:	
GL-1	816.58 SF 22%
MTL-1	507.05 SF 14%
P-1	119.73 SF 3%
STUC-1/P-3	1,008.46 SF 28%
TOTAL:	3,640 SF

NORTH (REAR):

RUNNING BOND CMU:	
CMU-1/P-4	
SMOOTH FACE CMU TOTAL:	1,112.59 SF 38%

STACK BOND CMU:	
CMU-1/P-2	
STACK BOND TOTAL:	1,88.54 SF 44%

SPLIT FACE CMU:	
CMU-3/P-6	130.61 SF
CMU-3/P-5	188.97 SF
SPLIT FACE CMU TOTAL:	319.58 SF 7%

MISCELLANEOUS:	
GL-1	0 SF 0%
MTL-1	0 SF 0%
P-1	434.31 SF 10%
STUC-1/P-3	0 SF 0%
TOTAL:	4,273.99 SF

EAST (LEFT):

RUNNING BOND CMU:	
CMU-1/P-4	
SMOOTH FACE CMU TOTAL:	2,267.51 SF 39%

STACK BOND CMU:	
CMU-1/P-2	
STACK BOND TOTAL:	2,120 36%

SPLIT FACE CMU:	
CMU-3/P-6	339.2 SF
CMU-3/P-5	377.91 SF
SPLIT FACE CMU TOTAL:	717.11 SF 12%

MISCELLANEOUS:	
GL-1	0 SF 0%
MTL-1	0 SF 0%
P-1	87.96 SF 2%
STUC-1/P-3	671.84 SF 11%
TOTAL:	5,813.64 SF

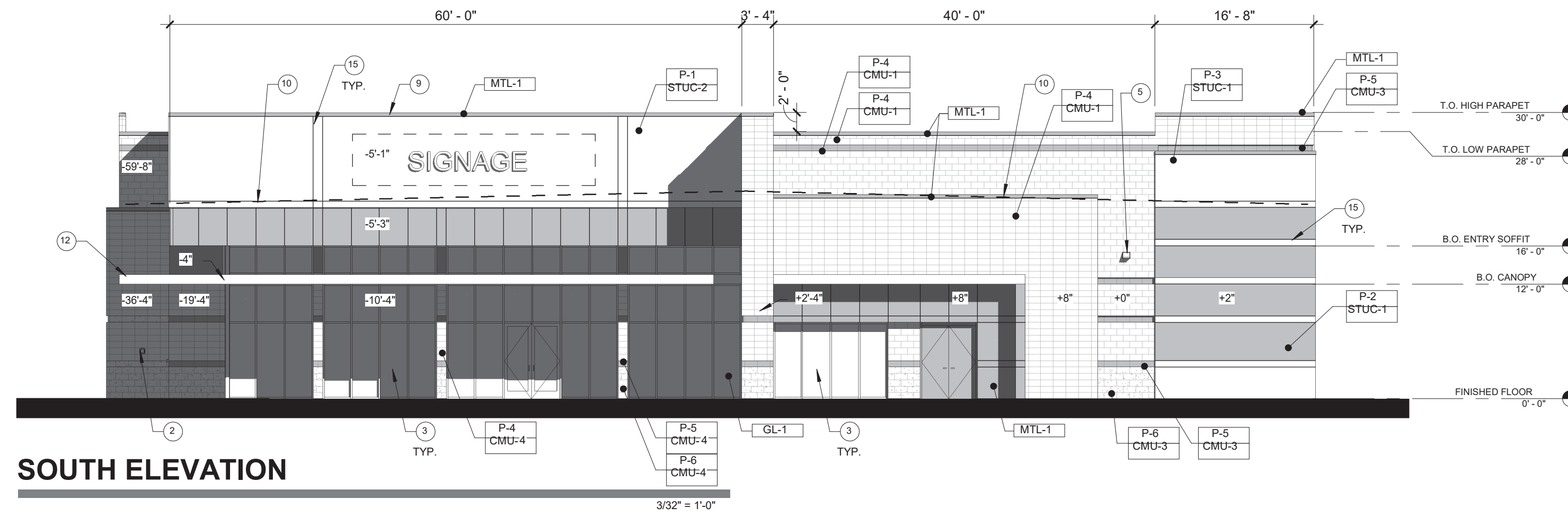
WEST (RIGHT):

RUNNING BOND CMU:	
CMU-1/P-4	
SMOOTH FACE CMU TOTAL:	1,978.45 SF 33%

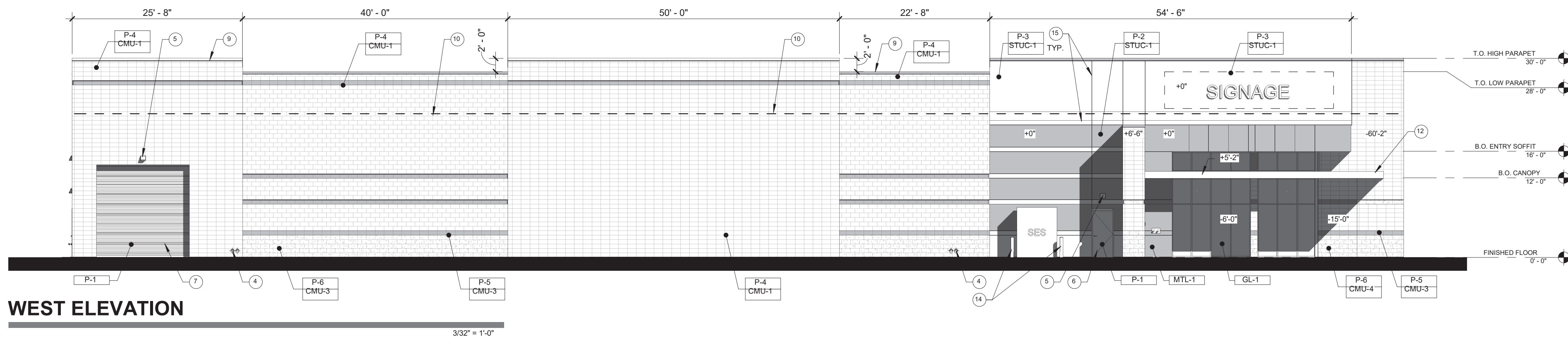
STACK BOND CMU:	
CMU-1/P-2	
STACK BOND TOTAL:	1,551.98 26%

SPLIT FACE CMU:	
CMU-3/P-6	353.29 SF
CMU-3/P-5	286.84 SF
SPLIT FACE CMU TOTAL:	373.45 SF 8%

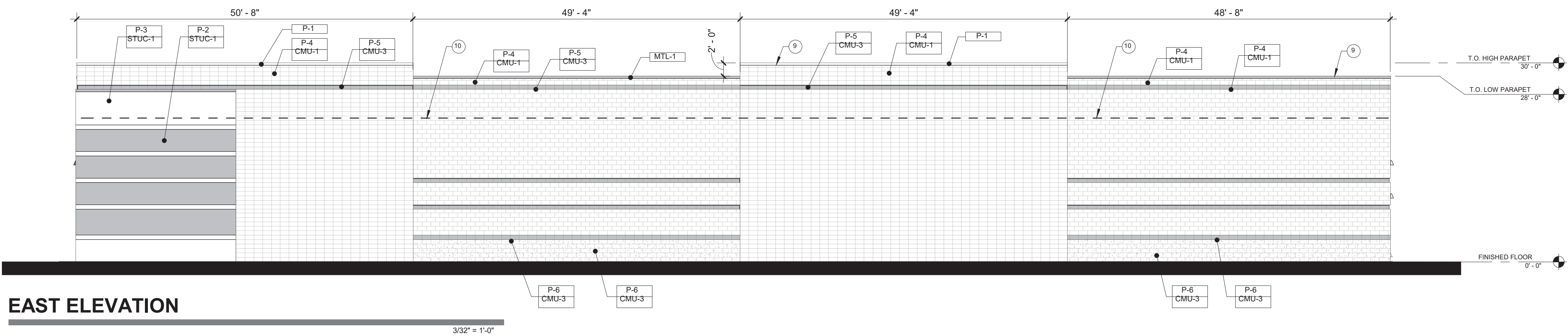
MISCELLANEOUS:	
GL-1	0 SF 0%
MTL-1	0 SF 0%
P-1	63.5 SF 1%
STUC-1/P-3	1,152.67 SF 24%
TOTAL:	4,755.78 SF



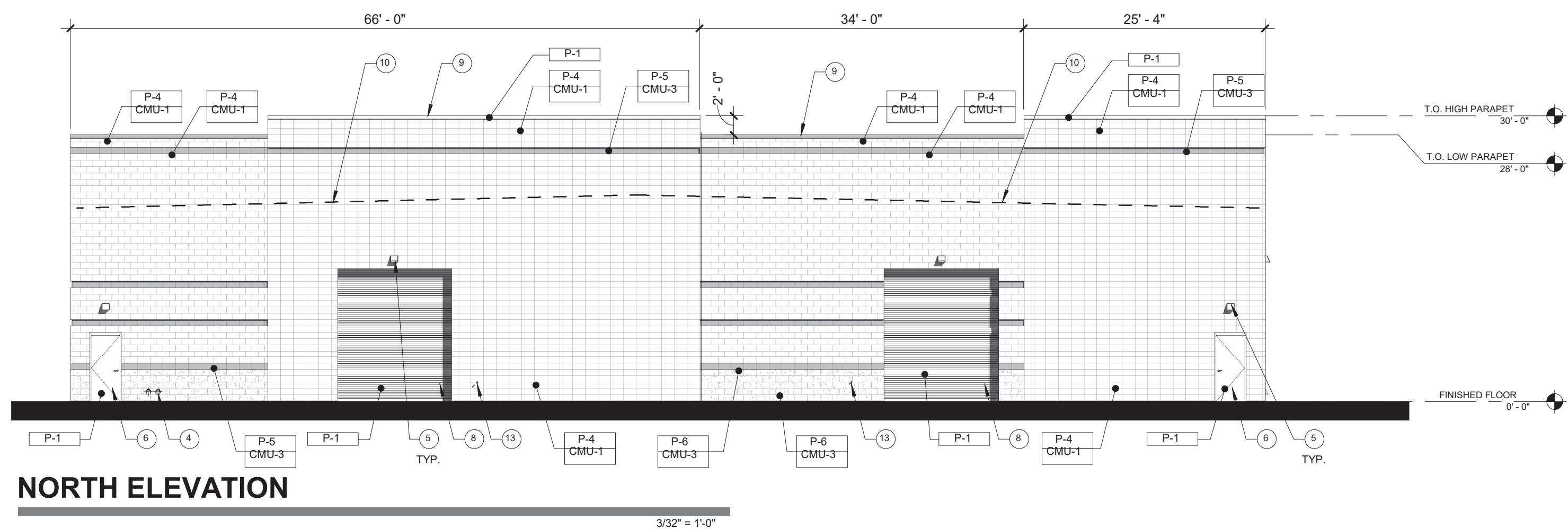
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATION KEYNOTES

- 1 FIRE RISER / FIRE DEPARTMENT CONNECTION
- 2 KNOX BOX PER CITY OF MESA REQUIREMENTS
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- 14 4" DIAMETER x 6'-0" CONCRETE FILLED PIPE BOLLARD- PAINT SAFETY YELLOW
- 15 3/8" REVEAL

EXTERIOR FINISHES & MATERIALS SCHEDULE

PAINT	
P-1	BEHR "BLACK"
P-2	BEHR #134-2 "CHIC GRAY"
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MASONRY	
CMU-1	8"x8"x16" SMOOTH FACE CMU STANDARD GRAY
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CMU-3	8"x8"x16" SPLIT FACE CMU STANDARD GRAY
CMU-4	12"x8"x16" SPLIT FACE CMU STANDARD GRAY

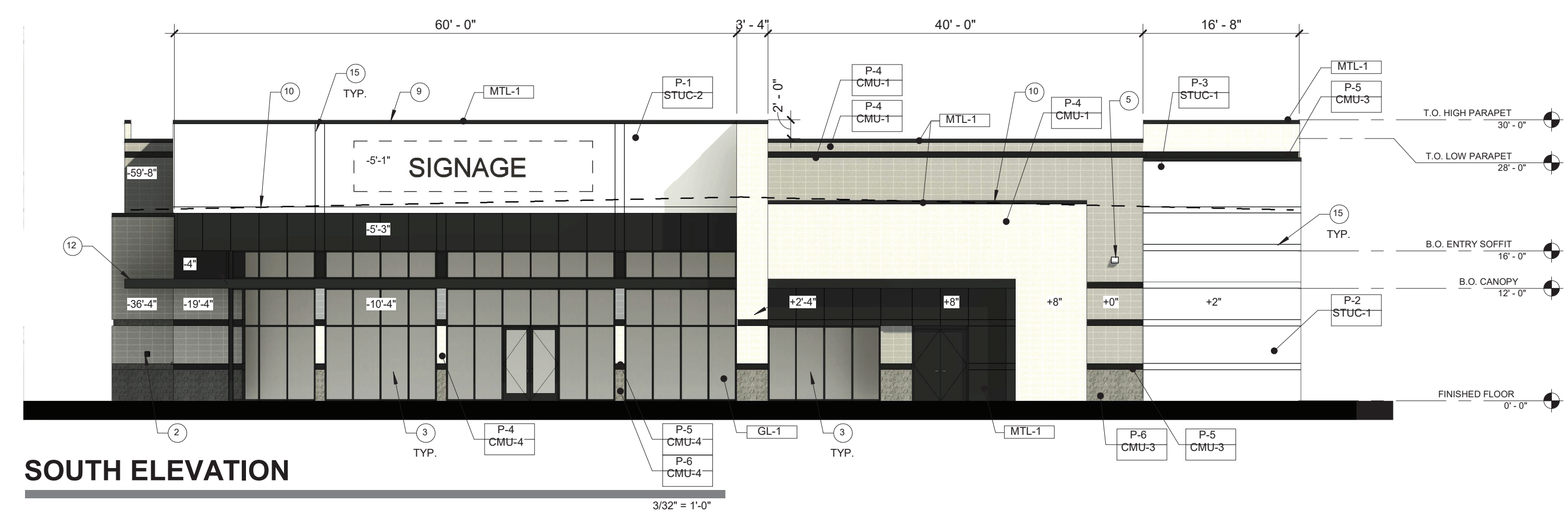
GLASS	
GL-1	1" INSULATED GLAZING UNIT VITRO SOLARBAN 90 (2) CLEAR + CLEAR MULLION FINISH: ARCADIA SYSTEMS- DARK BRONZE FINISH AB7

STUCCO / EIFS	
STUC-1	7/8" STUCCO OVER CMU
STUC-2	7/8" STUCCO OVER METAL STUD FRAMING

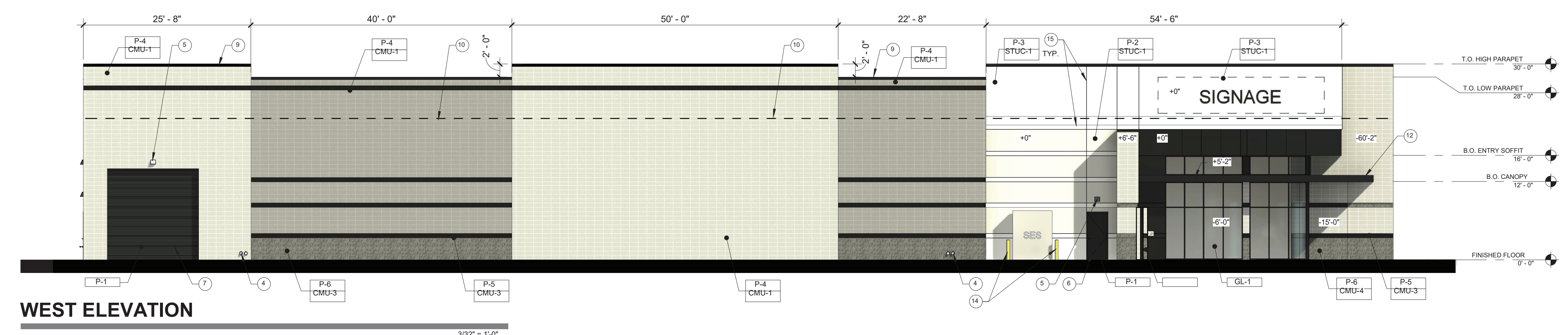
METAL	
MTL-1	ALUMINUM COMPOSITE PANEL: DARK BRONZE

ELEVATION MATERIAL PERCENTAGES

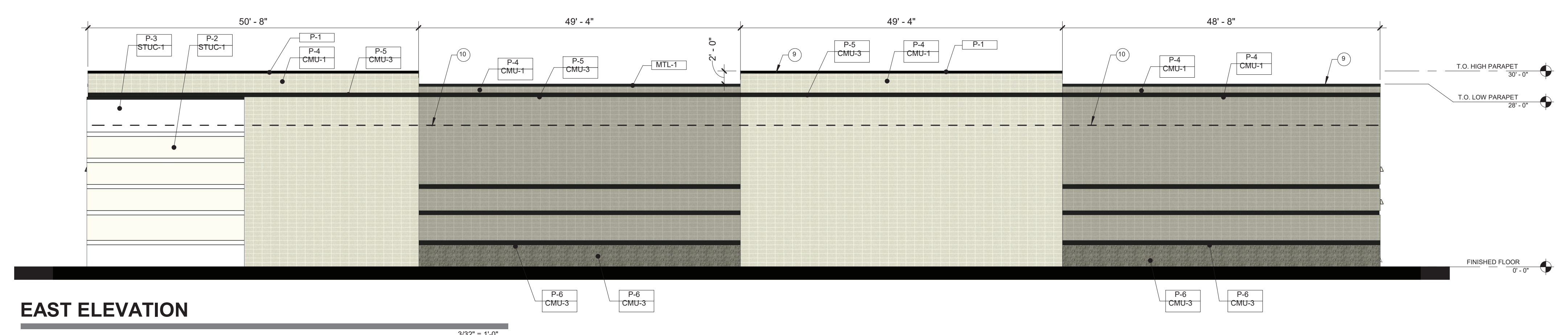
SOUTH (FRONT):			EAST (LEFT):		
RUNNING BOND CMU:			RUNNING BOND CMU:		
CMU-1/P-4	2,267.51 SF	39%	CMU-1/P-4	2,267.51 SF	39%
CMU-2/P-4			SMOOTH FACE CMU TOTAL:	2,267.51 SF	
SMOOTH FACE CMU TOTAL:	451.6 SF	12%	STACK BOND CMU:		
STACK BOND CMU:			STACK BOND CMU:		
CMU-1/P-2	582.47 SF	4%	CMU-1/P-2	2,120	36%
CMU-2/P-2			STACK BOND TOTAL:	2,120	
STACK BOND TOTAL:	582.47 SF	4%	SPLIT FACE CMU:		
SPLIT FACE CMU:			SPLIT FACE CMU:		
CMU-3/P-6	64.01 SF	0%	CMU-3/P-6	339.2 SF	12%
CMU-3/P-5	68.27 SF	0%	CMU-3/P-5	377.91 SF	12%
CMU-4/P-6	11.83 SF	0%	SPLIT FACE CMU TOTAL:	717.11 SF	
CMU-4/P-5	10 SF	0%	MISCELLANEOUS:		
SPLIT FACE CMU TOTAL:	154.11 SF	4%	GL-1	0 SF	0%
MISCELLANEOUS:			MTL-1	0 SF	0%
GL-1	816.58 SF	22%	P-1	87.96 SF	2%
MTL-1	507.05 SF	14%	STUC-1/P-3	621.84 SF	11%
P-1	119.73 SF	3%	TOTAL:	5,813.64 SF	
STUC-1/P-3	1,008.46 SF	28%	NORTH (REAR):		
TOTAL:	3,640 SF		RUNNING BOND CMU:		
RUNNING BOND CMU:			RUNNING BOND CMU:		
CMU-1/P-4	1,112.59 SF	38%	CMU-1/P-4	1,978.45 SF	33%
SMOOTH FACE CMU TOTAL:	1,112.59 SF		SMOOTH FACE CMU TOTAL:	1,978.45 SF	
STACK BOND CMU:			STACK BOND CMU:		
CMU-1/P-2	1,88.54 SF	44%	CMU-1/P-2	1,551.98	26%
STACK BOND TOTAL:	1,88.54 SF		STACK BOND TOTAL:	1,551.98	
SPLIT FACE CMU:			SPLIT FACE CMU:		
CMU-3/P-6	130.61 SF	7%	CMU-3/P-6	353.29 SF	8%
CMU-3/P-5	188.97 SF	0%	CMU-3/P-5	286.84 SF	0%
SPLIT FACE CMU TOTAL:	319.58 SF	7%	SPLIT FACE CMU TOTAL:	373.45 SF	8%
MISCELLANEOUS:			MISCELLANEOUS:		
GL-1	0 SF	0%	GL-1	0 SF	0%
MTL-1	0 SF	0%	MTL-1	0 SF	0%
P-1	434.31 SF	10%	P-1	63.5 SF	1%
STUC-1/P-3	0 SF	0%	STUC-1/P-3	1,152.87 SF	24%
TOTAL:	4,273.99 SF		TOTAL:	4,755.78 SF	



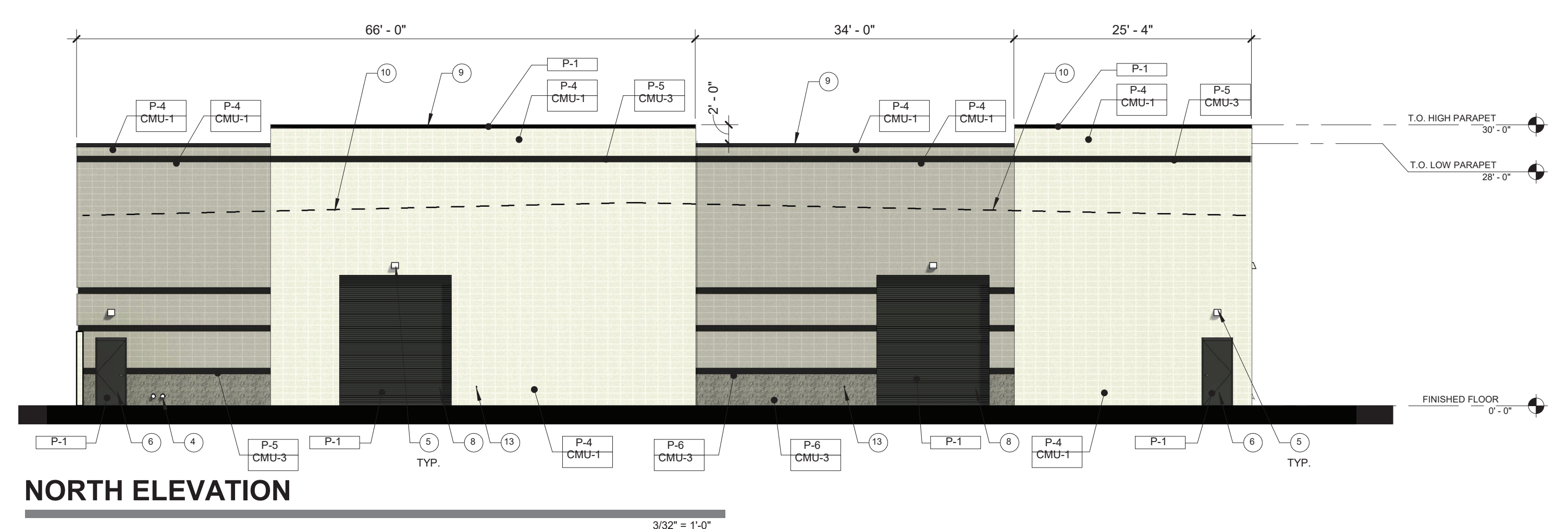
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

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1 CONCEPTUAL BUILDING PERSPECTIVE SW

February 9, 2024

Mr. Dale Cavan, Principal/Manager
Cavan Commercial, LLC
10632 North Scottsdale Road, Suite 200
Scottsdale, Arizona 85254

**RE: PARKING STUDY – WAREHOUSE DEVELOPMENT –
PARCEL APN 304-34-929B, 11300 BLOCK OF EAST PECOS ROAD, MESA, ARIZONA**

Dear Mr. Cavan:

CivTech has been retained to prepare this Parking Statement for a warehouse with office development (the "Project") proposed for Maricopa County Assessor Parcel Number (APN) 304-34-929B in the City of Mesa, Arizona. The site is currently vacant and zoned GI for General Industrial uses. Per the Assessor, the parcel has a net area of 87,120 sf, or precisely 2 acres.

This parking statement documents CivTech methods in determining an appropriate number of parking spaces to serve the proposed development. The goal is to establish an appropriate balance between the number of spaces required by the City and those needed by the commercial tenants per industry references. This parking statement was completed in accordance with Chapter 32 of the Mesa Zoning Ordinance (MZO).

PURPOSE AND BACKGROUND

The purpose of this Parking Study is to document the need for parking and to determine if the 13 parking spaces proposed are sufficient to accommodate the expected parking demand of the land use.

The parcel is located on the north side of the 11300 block of East Pecos Road. **Figure 1** shows the vicinity of the site in relation to area roadways. The area south of State Route 24 (SR 24) and north of Germann Road between Signal Butte Road on the west and Meridian Road on the east



FIGURE 1 – VICINITY MAP

is an industrial area with chemical producers, metal fabricators, and other such facilities. The parcel to the west of the Project site is undeveloped; otherwise, the site has neighbors to the north and east. The nearest residences are north of SR 24 in the Destination at Gateway and Tapestry at Destination subdivisions and south of Germann Road in the Barney Farms subdivision. There are no Valley Metro bus lines within the vicinity of the site. The project is expected to be constructed in a single phase with an anticipated opening in late 2024 or early 2025. The latest ground floor plan is included as **Attachment A** to this statement.

METHODOLOGY

This analysis will apply parking rates published in Table 11-32-3.A of Chapter 32 of the MZO. A development's minimum parking requirements is the product of the applicable parking ratio times appropriate quantity of the applicable land use before the application of any allowable reductions. The proposed number of spaces for motor vehicles is less than the minimum required by the Code; therefore, an analysis is required. The purpose of the analysis is to determine an appropriate number of motor vehicle parking spaces for the proposed development. This analysis will compare the minimum parking requirements found using the MZO rates to values found utilizing the 5th Edition of the Institute of Transportation Engineers' (ITE) *Parking Generation Manual*.

PROPOSED DEVELOPMENT

The planned development is expected to be a single 23,800-square foot (sf, or 25 ksf) warehouse building, of which 21,800 sf (23 ksf) will be dedicated to warehouse uses and 2,000 sf (2 ksf) will be office space. The office use represents 8.4% of the total use. A single site drive to Pecos Road near the southwestern corner of the site is proposed. As noted, the site is currently zoned GI for General Industrial, the net area of the parcel is 87,120 sf or 2 acres, and 13 parking spaces will be provided.

TRIP GENERATION

Civtech estimated the potential trip generation per the TripGen11, the latest (11th) Edition of the ITE *Trip Generation Manual* (TripGen11) and the 3rd Edition of the *Trip Generation Handbook* for the proposed warehouse development. TripGen11 contains data collected by various transportation professionals for a wide range of different land uses. The data for daily and peak hour trips are summarized in the manual, which also provides average rates and regression equations developed from the data as well as the percentages of trips that enter and exit during the study period. These data are then used to generate (i.e., calculate) the site trips for each categorized land use and the in- and outbound trips for the number of units (the independent variable in the calculation) that best represents the development size. **Table 1** details the Trip Generation for the proposed development.

In its description of the Land Use Warehousing, which is assigned the Land Use Code (LUC) 150 in TripGen11, ITE notes that, although a "warehouse is primarily devoted to the storage of materials...it may also include office and maintenance areas." For the purpose of generating trips, traffic engineers typically consider the office in a warehouse facility to be an incidental use, although no guidance is provided as to how much of the overall space dedicated to office use is small enough to be considered "incidental." This leaves it to the professional to decide. In this case, CivTech will consider office space of less than ten percent of the total floor area to be incidental and not separately generate trips for the two uses.

Table 1 – Trip Generation

Land Use	Quantity Units ⁺	ITE LUC	ITE Land Use Name	AM Distribution		PM Distribution				
				In	Out	In	Out			
Warehouse	23,800 ksf	150	Warehousing	77%	23%	28%	72%			
Land Use	ADT		AM Peak Hour			PM Peak Hour				
	Avg. Rate	Total	Avg. Rate	In	Out	Total	Avg. Rate	In	Out	Total
Warehouse	3.42	82	0.34	6	2	8	0.18	3	6	9

Notes: ⁺ Average rate was calculated by dividing total trips generated using regression equation by the quantity of units. (See below.)

PUBLISHED AVERAGE RATES AND CALCULATIONS USING DOUBLED AVERAGE RATES			
Land Use [Units]	Daily	AM Peak Hour	PM Peak Hour
Warehouse [X = 23,800 ksf]	Avg Rate = 1.71; T _{DAY} = 3.42X = 76	Avg Rate = 0.17; T _{AM} = 0.17X = 8	Avg Rate = 0.18; T _{PM} = 0.36X = 9

Additionally, CivTech judged it appropriate to apply double the published average rates for each time period rather than use the published regression equations. Use of the equations resulted in 72% of the 76 daily trips being generated during the two peak hours (26 AM, 29 PM, or 55 total). These two peak hours are each one hour during the typical morning and afternoon commuting times of 7-9 AM and 4-6 PM, times which are referred to by industry professionals as the “peak hour of adjacent street traffic.” TripGen 11 also provides data for the AM and PM peak hour of the generator, in this case, the proposed warehouse development. The peak hours of the generator are other hours not occurring during the identified peak hour.¹ Adding trips from the two peak hours of the generator (31 AM and 24 PM) yields 110 trips just for the four hours for which equations are available. As can be seen in the table, doubling the average weekday rate yielded 82 trips per day, only slightly higher (and more conservative) than the 76 originally calculated and more reasonable peak hour trips relative to the daily trips.

A review of the trip generation calculations detailed in **Table 1** reveals that the proposed warehouse and office space could generate approximately 82 trips on a typical weekday with 8 trips (6 in/2 out) generated during the AM peak hour and 9 trips (3 in/6 out) generated during the PM peak hour.

PARKING REQUIREMENTS

City of Mesa

The City of Mesa’s Zoning Ordinance (MZO) is Title 11 of the City’s Code of Ordinances. Off-site parking ratios are specified in Table 11-32-3.A of Chapter 32 of the MZO. Per Table 11-32-3.A the required rates for a warehouse use with office space are one (1) parking space for every 900 sf for the warehouse land use and one (1) parking space for every 375 sf for the office land use. The required numbers of parking spaces per current Mesa requirements are shown in **Table 2**. Applying published City ratios, 30 spaces are required, a shortage of 17 spaces (56.7%) when compared to the 13 expected to be provided.

¹ If the AM peak hour of recorded traffic is 8 to 9 AM, the trip generation for the peak hour of the adjacent street traffic would be applied to the volumes recorded from 8 to 9. The peak hour of the generator *could* be applied from 7 to 8 AM; however, if the trip generation for the peak hour of the generator is greater than the peak hour of adjacent street traffic, this would suggest to the professional it occurred either before 7 AM (unlikely in most cases) or between 9 AM and noon.



TABLE 2 – PARKING SPACE CALCULATIONS

Project Data			Weekday Motor Vehicle Spaces (Monday – Friday)					
			Per MZO		Per ITE <i>Parking Generation</i> , 5 th Edition			
Land Use	LUC	Quantity Units	Published Ratios	Spaces	Average Rate	Spaces	Via Equation	Spaces
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
Warehousing (91.6%)	150	21,800 sf	1.00 per 900 sf	24.22	0.39 per 1 ksf*	8.50	$P = 0.40X - 2.3 =$	6.42
Small Office Building (8.4%)	712	2,000 sf	1.00 per 375 sf	5.33	2.56 per 1 ksf	5.12		5.12
Totals (Rounded up)		23,800 sf		30		14		12
Parking Spaces Provided				13		13		13
Differences [#(%)]			-17(-56.7%)		-1(-7.1%)		+1(+7.1%)	

Notes: *ksf = 1,000 square feet; †Rate shown is total spaces calculated (by using equation shown) divided by total floor area in ksf.

ITE

Since a shortage of spaces are expected when City of Mesa parking ratios are applied, CivTech referred to the (5th) Edition of ITE’s *Parking Generation Manual*, to determine if the 13 spaces to be provided would be adequate.

Selection of Appropriate Office Land Use. A review of the *Parking Generation Manual* reveals that there are several private, non-medical office categories for which parking generation data has been provided. These include a General Office Building (LUC 710), a Small Office Building (LUC 712), a Corporate Headquarters Building (LUC 714), and a Single-Tenant Office Building (LUC 715). CivTech eliminated the latter two (LUCs 714 and 715) for the reason that the sites observed were much larger buildings of at least 25,000 sf. CivTech eliminated the General Office Building (LUC 710) because, even though its data is based on the most sites observed (148), the equation developed from the data is linear, in the form of $P = aX + b$, where b is 34.60; thus, for a 1-square foot office building, almost 35 spaces are needed, more than required by the City for the entire building. The average published rate for LUC 710 is 2.39 spaces per 1 ksf, which would require 4.78 spaces for the general office use, somewhat slightly lower than the City requirement.

Eliminating these three uses leaves the Small Office Building (LUC 712). With only 19 sites observed and scattered observations, an average rate of 2.56 spaces per 1 ksf was calculated; no equation is provided. Applying this rate yields 5.12 spaces for the office use, also slightly lower than the City requirement, yet higher (and, therefore, slightly more conservative) than the 4.78 spaces calculated for the general office use.

Analysis

A review of the results detailed in **Table 2** reveals that, when applying City of Mesa parking ratios, the proposed development requires 30 parking spaces. When calculated applying published ITE average rates, 14 spaces are required, resulting in a shortage of 1 space when considering the 13 to be provided. However, by applying the published equation for the warehousing use and the average rate for the small office use, CivTech is able to demonstrate that the proposed development warrants only 12 parking spaces, yielding an excess of 1 space with 13 provided. Additionally, the trip generation confirms that a development such as that proposed is unlikely to generate trips warranting more than the 13 spaces to be provided.

INTERNAL CAPTURE AND ALTERNATE TRAVEL MODE REDUCTIONS

Since the number of vehicular parking spaces required by Code is greater than the spaces to be provided, CivTech conducted online research to identify reasonable/supportable reduction factors that could be applied to the parking requirements that could account for internal capture and/or for the use of alternate modes of transportation. Both are described below.

Internal Capture. Both formal studies and general experience have proven that some reduction in parking should be applied to projects where there are multiple land uses. In this case, there is a single building expected to be occupied by a single tenant with office/administrative staff and warehouse workers. As they are all employed by the same employer, the facility is to be considered a single land use and no reduction can or will be applied for internal capture.

Alternate Mode Reduction. The mode split is the percentage of persons arriving at a destination in different modes of transportation. As noted, there is no transit service in the area. The nearest homes are more than a mile away to the north and south; while residents of the mentioned subdivisions may find employment at the proposed facility and find walking and bicycling convenient ways to commute, CivTech will not apply a reduction for the use of alternate modes of travel.

CONCLUSIONS AND RECOMMENDATIONS

Based on the foregoing analysis, CivTech concludes the following:

- The proposed warehouse could generate approximately 82 trips on a typical weekday with 8 trips (6 in/2 out) during the AM peak hour and 9 trips (3 in/6 out) during the PM peak hour.
- Using the City of Mesa Zoning Ordinance, Chapter 32, Table 11-32-3.A, a total of 30 parking spaces would be required for the proposed development using the parking ratios of one (1) parking space for every 900 sf for the warehouse land use and one (1) parking space for every 375 sf for the office land use.
- Using the ITE *Parking Generation Manual* for reference, by applying the published equation for the warehousing use and the average rate for the small office use, CivTech has demonstrated that the proposed development warrants only 12 parking spaces, yielding an excess of 1 space (7.1%) with 13 provided.
- Based on the above, CivTech concludes that that the 30 spaces that the City of Mesa Zoning Ordinance requires for the proposed development would not be needed based on the projected number of trips and ITE data.

Therefore, based on CivTech's experience and what is currently known about the tenants moving in, the proposed number of parking spaces is sufficient for the type of development proposed.

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Thank you for allowing CivTech to assist you on this project. Please contact me with any questions you may have on this statement

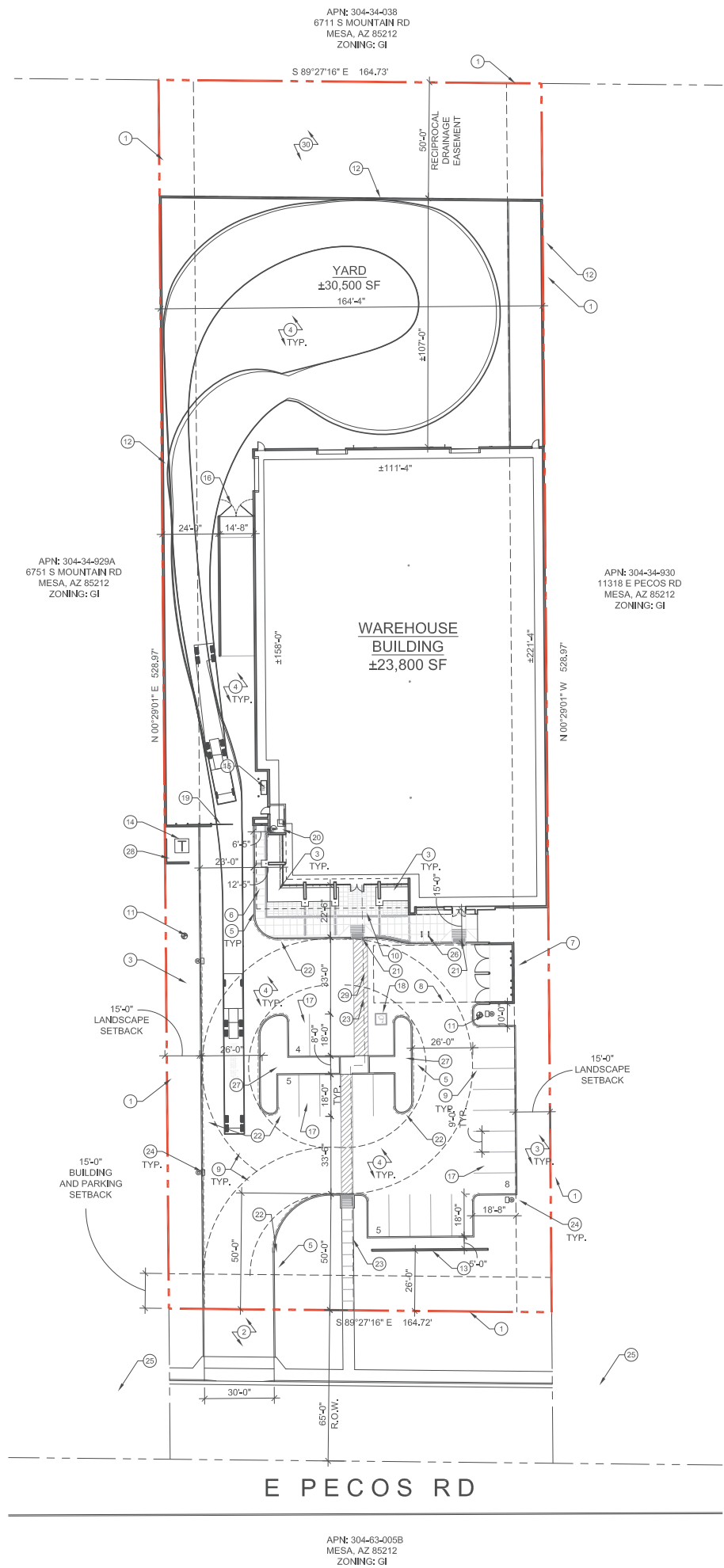
Sincerely,

CivTech



Joseph F. Spadafino, P.E., PTOE, PTP
Project Manager/Senior Traffic Engineer

Attachment



PROJECT INFORMATION

PROPERTY OWNER: CAVAN COMMERCIAL
10632 NORTH SCOTTSDALE ROAD SUITE 200
SCOTTSDALE, ARIZONA 85254
CONTACT: DALE CAVAN
PHONE: 602.390.4560
EMAIL: agnes@cavanccommercial.com

ARCHITECT: PINNACLE DESIGN INC.
1048 N. 44TH STREET SUITE 200
PHOENIX, ARIZONA 85008
CONTACT: IAN MULICH
PHONE: 602.952.8585
EMAIL: imulich@pd-az.com

ADDRESS: NA
MESA, ARIZONA 85212

APN #: 304-34-929B
SITE ACREAGE: NET: ±2.00 ACRES (±87,121 SF)
GROSS: ±2.25 ACRES (±97,828 SF)

CURRENT LAND USE: VACANT
PROPOSED LAND USE: LIGHT INDUSTRIAL / WAREHOUSE / OFFICE
EXISTING ZONING: GI
PROPOSED ZONING: GI
BUILDING SF COVERAGE: ±23,800 SF / ±87,121 SF = 27.3%
LANDSCAPE COVERAGE: ±12,180 SF / ±87,121 SF = 14.0%
LOT COVERAGE: ±74,941 SF / ±87,121 SF = 86.0%

PROPOSED BUILDING USE: WAREHOUSE / OFFICE
TOTAL BUILDING SF: ±23,800 SF
PROPOSED BUILDING HEIGHT: ±30'-0"

PARKING REQUIRED: WAREHOUSE: ±21,800 SF @ 1/900 = 24.2
OFFICE: ± 2,000 SF @ 1/375 = 5.3
29.5 (30 SPACES)

PARKING PROVIDED: 30 SPACES
INCLUDES (1) ADA SPACE

LEGAL DESCRIPTION

A PARCEL OF LAND BEING LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 36, SAID POINT BEING A FOUND MARICOPA COUNTY BRASS CAP L.S., #9653, FROM WHICH THE SOUTHEAST CORNER OF SECTION 36, BEING A FOUND G.L.O., BRASS CAP BEARS SOUTH 89 DEGREES 27 MINUTES 16 SECONDS EAST, FOR A DISTANCE OF 2638.97 FEET;

THENCE SOUTH 89 DEGREES 27 MINUTES 16 SECONDS EAST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 36, FOR A DISTANCE OF 614.85 FEET;

THENCE NORTH 00 DEGREES 29 MINUTES 01 SECONDS WEST, FOR A DISTANCE OF 65.01 FEET, TO A POINT ON THE EXISTING 65 FOOT NORTH RIGHT-OF-WAY LINE OF E, PECOS ROAD, AS CONVEYED TO THE CITY OF MESA IN DEED RECORDED IN RECORDING NO. 92-011883, SAID POINT BEING THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00 DEGREES 29 MINUTES 01 SECONDS WEST, FOR A DISTANCE OF 528.97 FEET;

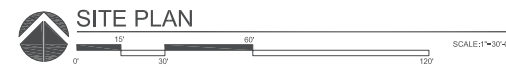
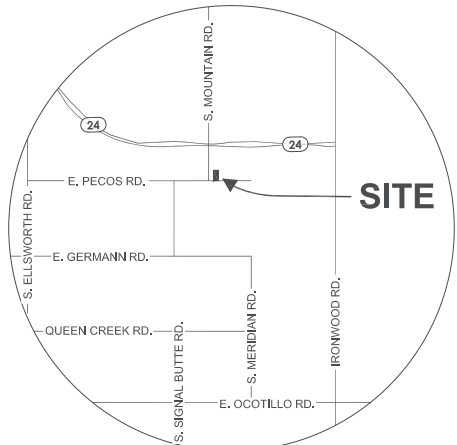
THENCE NORTH 89 DEGREES 27 MINUTES 16 SECONDS WEST, FOR A DISTANCE OF 164.73 FEET;

THENCE SOUTH 00 DEGREES 29 MINUTES 01 SECONDS EAST, FOR A DISTANCE OF 528.97 FEET TO A POINT ON SAID EXISTING 65 FOOT NORTH RIGHT-OF-WAY LINE OF E, PECOS ROAD;

THENCE SOUTH 89 DEGREES 27 MINUTES 16 SECONDS EAST, FOR A DISTANCE OF 164.72 FEET, TO THE POINT OF BEGINNING.

EXCEPT ALL COAL, ASPHALT, TUM, OIL, GASES, FERTILIZERS, FOSSILS AND OTHER LIKE SUBSTANCES IN OR UNDER SAID LAND, AS RESERVED BY THE STATE OF ARIZONA IN THE PATENT TO SAID LAND, RECORDED IN BOOK 152 OF DEEDS, PAGE 119.

- SITE KEYNOTES**
- 1 PROPERTY LINE
 - 2 PROPOSED 30'-0" ENTRY DRIVE
 - 3 LANDSCAPE AREA
 - 4 ASPHALT PAVEMENT
 - 5 6" RAISED CONCRETE CURB
 - 6 CONCRETE SIDEWALK
 - 7 REFUSE ENCLOSURE PER MESA SOLID WASTE STANDARDS M-62,01 THROUGH M-62,04.2, SEE DETAIL 1/DR-2
 - 8 REFUSE ENCLOSURE 50'-0" CLEARANCE
 - 9 35'-0" & 55'-0" TURNING RADII
 - 10 20'-0" x 20'-0" 300 SF ENTRY PLAZA PER M2.0 SECTION 11-35-5.A.1.A.11, SEE ENLARGED DETAIL ENTRY 10/DR-2
 - 11 FIRE HYDRANT
 - 12 8'-0" HIGH CMU WALL, SEE DETAIL 7/DR-2
 - 13 3'-4" HIGH CMU PARKING SCREEN WALL- SEE DETAIL 8/DR-2
 - 14 TRANSFORMER
 - 15 SERVICE ENTRY SECTION
 - 16 55'-0" DEPRESSED TRUCK DOCK WITH ACCESS GATE
 - 17 9'-0" X 18'-0" PARKING SPACE
 - 18 11'-0" X 18'-0" ACCESSIBLE PARKING SPACE WITH 5'-0" ACCESS AISLE
 - 19 18'-0" WIDE YARD ENTRY GATE, SEE DETAIL 5/DR-2
 - 20 FIRE DEPARTMENT CONNECTION / FIRE RISER ROOM
 - 21 2'-0" DETECTABLE WARNING STRIP AND ACCESSIBLE RAMP
 - 22 DASHED LINE INDICATES LOCATION OF FIRE LANE MARKING
 - 23 DASHED LINE INDICATES LOCATION OF ACCESSIBLE ROUTE TO RIGHT OF WAY
 - 24 POLE MOUNTED SITE LIGHT- SEE PHOTOMETRIC PLAN
 - 25 SHADED REGION INDICATES SITE VISIBILITY TRIANGLES PER CITY OF MESA ENGINEERING AND DESIGN STANDARDS, SEE LANDSCAPE PLANS.
 - 26 (4) BICYCLE PARKING SPACES
 - 27 8'-0" MIN. x 30'-0" MIN. LANDSCAPE ISLAND FOR DOUBLE ROW PARKING
 - 28 6'-0" HIGH SCREEN WALL, SEE DETAIL 9/DR-2
 - 29 5'-0" WIDE, 3" HIGH RAISED CONCRETE PEDESTRIAN WALKWAY WITH 4" WIDE TRAFFIC YELLOW STRIPING
 - 30 EXISTING DRAINAGE WASH



PRELIMINARY NOT FOR CONSTRUCTION

COPYRIGHT PINNACLE DESIGN, INC., 2023



PECOS & MOUNTAIN
MESA, AZ 85212

PROJECT #: 23,019.0
DATE: 10.02.2023
DRAWN BY:
REV # DATE DESCRIPTION

CONCEPTUAL SITE PLAN



Date: October 2, 2023
Project Number: 23-019.0
Project Name: Signal Butte
Project Address: Mesa, AZ 85212
Record ID: PRS23-00531

Sean Pesek
Planner II
Planner
City of Mesa
Planning Division
55 N. Center Street
Mesa, AZ 85201

Dear Sean,

We have received your comments dated September 19, 2023. The following is our Citizen Participation Plan following the requirements of the Citizen Participation Resource Guide:

Citizen Participation Plan

Interested persons and surrounding property owners within 1,000 feet will be notified of the proposed development via a notification letter. The notification letter will include the scheduled Mesa Review Board meeting date and location, my contact information, if they have questions on the proposed development, as well as the submitted site plan, building elevations, and perspectives of the proposed building.

These notification letters will be provided to you, our planner, after receiving a list of interested parties following our first review. Notification letters will be prepared and submitted to the City of Mesa (2) weeks after receiving the party list and 1st review comments. A neighborhood meeting is not planned, but if it is determined that a neighborhood meeting is necessary for the proposed development, notification letters can include such information.

Contact from citizens, including their concerns or issues with the proposed development, and a summary of the neighborhood meeting (if necessary) will be developed into a Report and provided to our planner prior to 30 days from the scheduled public hearing.

Please call if you have any questions or need further clarification.

Respectfully,
Pinnacle Design, Inc.

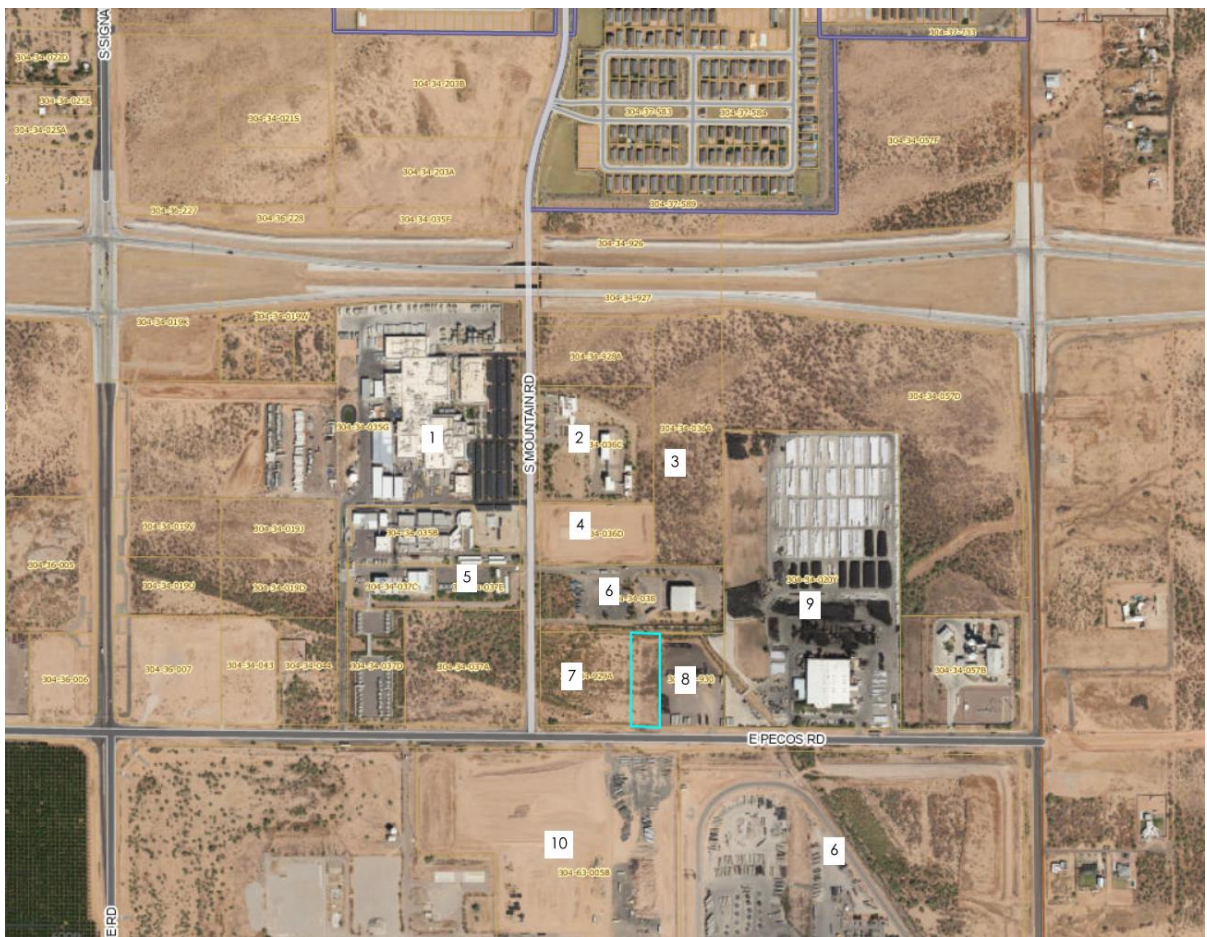
Ian Mulich, RA
Senior Architectural Designer



Citizen Participation Report

Signal Butte

April 9th, 2024



Purpose:

The Citizen Participation Report provides results of the execution of the Citizen Participation Plan for the Signal Butte Industrial project. The site is located near the southeast corner of Pecos Road and Mountain Road and is approximately two gross acres. The site is scheduled for the Planning & Zoning Hearing on April 24th, 2024.

Contact:

Ian Mulich
Pinnacle Design, Inc.
1048 N. 44th Street #200
Phoenix, AZ 85008
602.952.8585
imulich@pdi-az.com

Neighborhood Meetings: While Planning Staff had asked for a Citizen Participation Plan, they did not request any neighborhood meetings to take place. The subject site is more than 1,000' from any residential properties and very few, if any, industrial property owners would be inclined to comment on the proposed project.

Correspondence and Telephone Calls: While a neighborhood meeting was not required we went beyond the notification requirements of 500' for property owners and have mailed out letters to all property owners and within a 1,000' radius vicinity of our site (Exhibit A). The letters had included the location of the subject property, scope of project, preliminary elevations, and a perspective rendering that have been submitted to the Design Review and Planning & Zoning Boards (Exhibit C). All received comments will be documented and shared with Staff and our planner.

The letters were sent to the property owners listed within Exhibit B, on the date of March 5th, prior to the submittal of the Design Review Board Notification Letters submitted on March 25th, and the Planning and Zoning Notification Letters submitted on April 9th. Attached is a contact list of all property owners and interested parties within 1,000' feet of the subject site (Exhibit A and B).

Results: No feedback has been received from any contacted nearby property owners or associations. If received, any future feedback will be delivered to City Staff prior to the Planning and Zoning Hearing scheduled on April 24th, 2024.

Sincerely,

Applicant: Ian Mulich
Phone: 602.952.8585



Exhibit A: 1,000' Radius Vicinity Map of Neighboring Property Owners

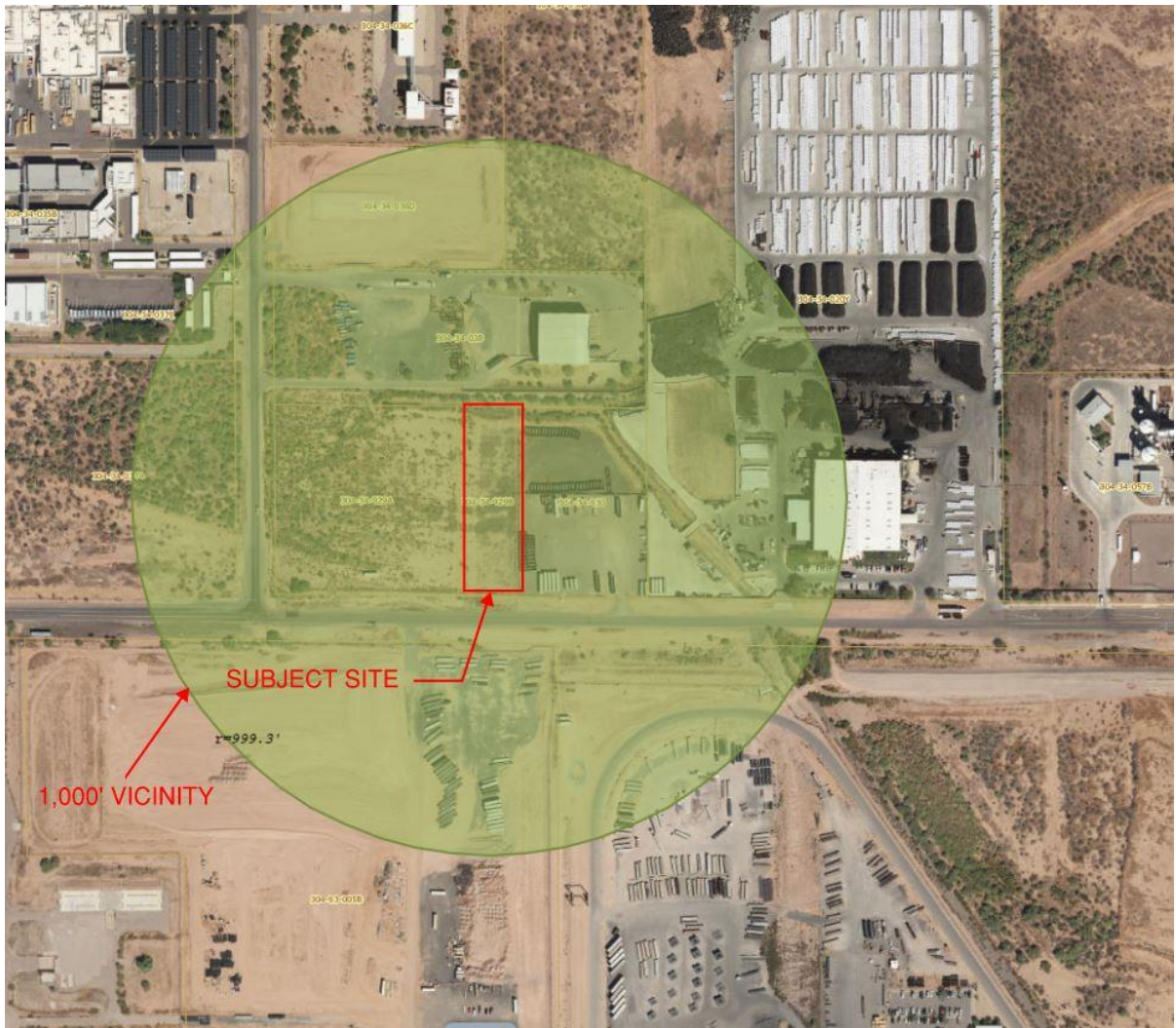


Exhibit B: List of Property Owners Within 1,000' of Subject Site

NAME	ADDRESS 1	ADDRESS CITY	STATE	ZIP CODE
MGC PURE CHEMICALS AMERICA INC	6560 S MOUNTAIN RD	MESA	AZ	85201
DAWSON FAMILY TRUST	17251 E SHEA BLVD UNIT 100	FOUNTAIN HILLS	AZ	85268
ALLIED WASTE TRANSPORTATION INC	18500 N ALLIED WAY STE 100	PHOENIX	AZ	85054
CACTUS WASTE SYSTEMS LLC	PO BOX 29246	PHOENIX	AZ	85038
COMMERCIAL METALS CO STEEL FABRICATORS INC	6565 N MACARTHUR BLVD STE 801	IRVING	TX	75039
CRM OF AMERICA HOLDINGS LLC	15800 S AVALON BLVD	RANCHO	CA	90220
CRM OF AMERICA HOLDINGS LLC	1301 DOVE ST 940	NEWPORT BEACH	CA	92660
WOUTENBERG PROPERTIES LLC	17200 N PERIMETER DR STE 103	SCOTTSDALE	AZ	85255
BRIDGESTONE AMERICAS TIRE OPERATIONS LLC	535 MARRIOTT DR	NASHVILLE	TN	37214
FUJIFILM ELECTRONIC MATERIALS USA INC	80 CIRCUIT DR	NORTH KINGSTOWN	RI	02852
HIGH VOLTAGE HOLDINGS LLC	1330 W BOXWOOD AVE	GILBERT	AZ	85233
CMC STEEL FABRICATORS INC	6565 N MACARTHUR BLVD STE 801	IRVING	TX	75039



Exhibit C: Citizen Participation Notification Letter Example



April 9th, 2024

Fujifilm Electronic Materials USA Inc
80 Circuit Dr,
North Kingstown, RI 02852

Proposed Development: Signal Butte
Parcel Number: 304-34-929B

Fujifilm Electronic Materials USA Inc,

Purpose: The purpose of this Citizen Participation Letter is to inform citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of the site of an application for the Signal Butte project. The site is located near the southeast corner of Pecos Road and Mountain Road and is approximately two gross acres. This participation letter ensures that those nearby to this application will have an adequate opportunity to learn about and comment on the proposal.

The site is located within the Logistics and Commerce District of Mesa's Gateway Strategic Development Plan. The project intends to comply with the Logistics and Commerce District's focus and goals of growing the light industrial, storage, and warehouse uses within this area with the creation of employment opportunities. The project intends to comply with the Plan's design guidelines by providing a project with superior materials and architectural aesthetics beyond a typical warehouses.

Enclosed for your review is a copy of the site plan and elevations of the proposed development.

The building design encompasses a contemporary design with monochromatic colors, dark metal paneling, and stack bond masonry. The building entry and northern façade fronting Pecos Road utilizes 16'-0"-high storefront glazing, sleek and thin metal composite material canopies, painted stucco, and masonry piers to elevate the design and follow the Logistics and Commerce District's vision of high quality views along public streets.

If you have any questions regarding this proposal or concerns with the proposed design, please call me at 602-952-8585 or e-mail me at imulich@pdi-az.com.

Sincerely,

Ian Mulich, RA



Contact:

Ian Mulich, RA
Pinnacle Design, Inc.
1048 N. 44th Street #200
Phoenix, AZ 85008
602.952.8585
imulich@pdi-az.com

Anticipated Schedule:

Design Review Board Hearing:	April 9th, 2024
Planning and Zoning Board Hearing:	April 24th, 2024





1 CONCEPTUAL BUILDING PERSPECTIVE SW

PHOTO COURTESY OF THE ARCHITECTURAL FIRM, P.L.L.C. (PHOTO: JAMES H. HARRIS)



1000 N. 4TH ST. SUITE 200
 PLYMOUTH, MI 48170
 313.487.0000
 WWW.PDI.COM

DESIGN REVIEW
 2/7/2024



SIGNAL SUITE
 PHOTO: JAMES H. HARRIS, P.L.L.C.

PROJECT: SIGNAL SUITE
 DATE: 02/07/2024
 DRAWN BY: JMC
 REV & DATE: 02/07/2024

CONCEPTUAL PERSPECTIVE

DR-6
 2/7/2024

