

FALCON COMMERCE PARK

LOT 8 1759 N. ROSEMONT MESA, ARIZONA 85205

SCOPE OF WORK 1759

OCCUPANCY PERMIT FOR THE FOLLOWING PROJECT CONSISTS OF A PARCEL OF LAND ON THE EAST SIDE OF N. ROSEMONT ON THE SOUTH SIDE OF E. INGRAM RD., OF APPROX. .954 ACRES. CONSTRUCTION OF ALL SITE WORK, INCLUDING SITE IMPROVEMENTS, 8' HIGH PERIMETER CONC. WALLS, CONC. FLAT WORK ,WATER RETENTION, LANDSCAPING, AND UTILITIES) APPROVED UNDER GROUND PERMIT, WORK INCLUDES CONSTRUCTION OF A 1058 SQ.FT. BUILDING WITH OFFICE AND SHOP AREA, MECHANICAL, ELECTRICAL, PLUMBING TO BE INSTALLED. SIGNAGE PER SEPARATE PERMIT.

PROJECT DATA 1759

OWNER: ZACHARY CAUSER
7117 E ORANGE BLOSSOM
PARADISE VALLEY, AZ 85253
(602) 428-0749
PROJECT ADDRESS: 1759 N ROSEMONT
MESA, ARIZONA 85205
PARCEL NUMBER: 141-35-059
ZONING: LI
TYPE OF CONSTRUCTION: V-B
SITE AREA: 41,576 SQ/FT .954 ac
ALLOWABLE AREA PER BLDG.: B NS- 9,000 SF
(PER IBC TABLE 506.2)
ALLOWABLE AREA PER BLDG.: F2 NS- 13,000 SF
(PER IBC TABLE 506.2)
BUILDING HEIGHT ALLOWABLE: 40'-0"
BUILDING HEIGHT: 16'-0"
BUILDING AREA ALL BLDGS: OFFICE AREA 169 SQ/FT
SHOP 889 SQ/FT
TOTAL BUILDING AREA: 1,058 SQ/FT
CANOPYS 198 SQ/FT
TOTAL SQUARE FOOTAGE: 1,256 SQ/FT
PARKING REQUIRED ALL BUILDS: OFFICE 169 / 375 1 SPACES
PER C.O.M. TABLE 11-32-3.A SHOP 889 / 500 2 SPACES
TOTAL REQ'D 3 SPACES
PARKING PROVIDED TOTAL: REGULAR PARKING 3 SPACES
ACCESSIBLE PARKING 1 SPACES
TOTAL PROVIDED: 4 SPACES
LANDSCAPE AREA TOTAL: ON-SITE 7,790 SQ/FT
OFF-SITE 2,030 SQ/FT
TOTAL LANDSCAPE AREA: 9,820 SQ/FT
AREA PERCENT (%) COVERAGE 23.7%

OCCUPANCY: B 1,058 SQ/FT
(NON-SEPERATED OCCUPANCY
PER IBC 508.3.2) MOST RESTRICTIVE
OCCUPANCY LOAD: OFFICE 1,058 / 100 10 OCC.
(FOR EXITING) TOTAL OCCUPANTS: 10 OCC

EXITING REQUIRED: (IBC 1015.1) WIDTH (IBC TABLE 1005.1)
1 EXITS 10 occ x 0.15" = 1.5" or 36" MIN.

EXTING PROVIDED: 2 EXITS WIDTH = 36" EACH

MAX. EXITING DISTANCE: B 200'
(IBC TABLE 1016.2)

COMMON PATH OF TRAVEL: B 75'
(IBC 1006.3[2])

Occ. = B						
REQ'D	B	10 Occ	WC	UR	LAV	DF
BUSINESS			1/25 = 1	--	1/40 = 1	1/100 = 1
TOTAL REQUIRED			1	--	1	1
TOTAL PROVIDED			1	--	1	1

REQUIRED RETENTION:
A x C x (D/12) = V

ASPHALT PAVING (INGRAM) 16,770 SQ/FT x 0.85 x 2.2/12 2,608 C.F.
ASPHALT PAVING (ROSEMONT) 2,180 SQ/FT x 0.85 x 2.2/12 339 C.F.
DESERT LANDSCAPING 3,570 SQ/FT x 0.50 x 2.2/12 327 C.F.

TOTAL REQUIRED OFF SITE RETENTION: 3,274 C.F.

ON-SITE REQUIRED
TOTAL AREA: 41,576 SQ/FT
.954 ac

A x C x (D/12) = V					
DESERT LANDSCAPING	6,413 SQ/FT	x 0.50	x 2.2/12		587 C.F.
ROOF AND CONC.	3,002 SQ/FT	x 0.95	x 2.2/12		448 C.F.
GRAVEL YARD	32,141 SQ/FT	x 0.50	x 2.2/12		2,940 C.F.

REQUIRED ON SITE RETENTION: 4,016 C.F.
REQUIRED OFF SITE RETENTION: 3,274 C.F.
TOTAL REQUIRED RETENTION: 7,920 C.F.

PROVIDED
TOTAL PROVIDED RETENTION: 8,804 C.F.

LOCAL CODES:

LOCAL CODES: IBC, IPC, IMC, IFGC, IFC 2018
NEC 2017
IECC 2018
ADA 2010
CITY OF MESA ADMINISTRATIVE CODE

SPECIAL INSPECTIONS: NON REQUIRED

CONSULTANTS

ARCHITECT

C.E.W. ASSOCIATES LLC

929 S. 79TH ST.
MESA, ARIZONA 85208
(480) 243-7319

CONTRACTOR

THESE PLANS TO CONFORM WITH DESIGN GUIDELINES AS APPROVED
IN THE FOLLOWING CITY OF MESA CASE NUMBERS:

PRS21-00308

DRAWING INDEX

GENERAL

G1 GENERAL PROJECT INFORMATION

CIVIL

C1 EXISTING TOPO
C2 GRADING AND DRAINAGE

SITE DEVELOPMENT

SD1 SITE PLAN
SD2 LANDSCAPE PLAN
SD3 SITE UTILITIES
SD4 PHOTOMETRIC
SD5 FIRE PLAN

ARCHITECTURAL

A1 FLOOR PLAN
A2 EXTERIOR ELEVATIONS
A3 XXXXX
A4 XXXXX
A5 SECTION

~~NOTE: SEPARATE ARCHITECTURAL SPECIFICATIONS ARE A PART OF THIS SET.~~

BENCHMARK

BRASS TAG TOP OF CURB LOCATED AT
SOUTHEAST CORNER @ INTERSECTION OF
MCKELLIPS ROAD & HIGLEY ROAD
ELEVATION = 1399.12 (NAVD88)
IBM: BRASS CAP IN HANDHOLE LOCATED AT THE INTERSECTION
OF NORTH ROSEMONT & EAST INGRAM STREET
MCKELLIPS ROAD & HIGLEY ROAD
ELEVATION = 1384.41 (C.O.M. DATUM)

LEGAL DESCRIPTION

EXHIBIT A
THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF MESA,
COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

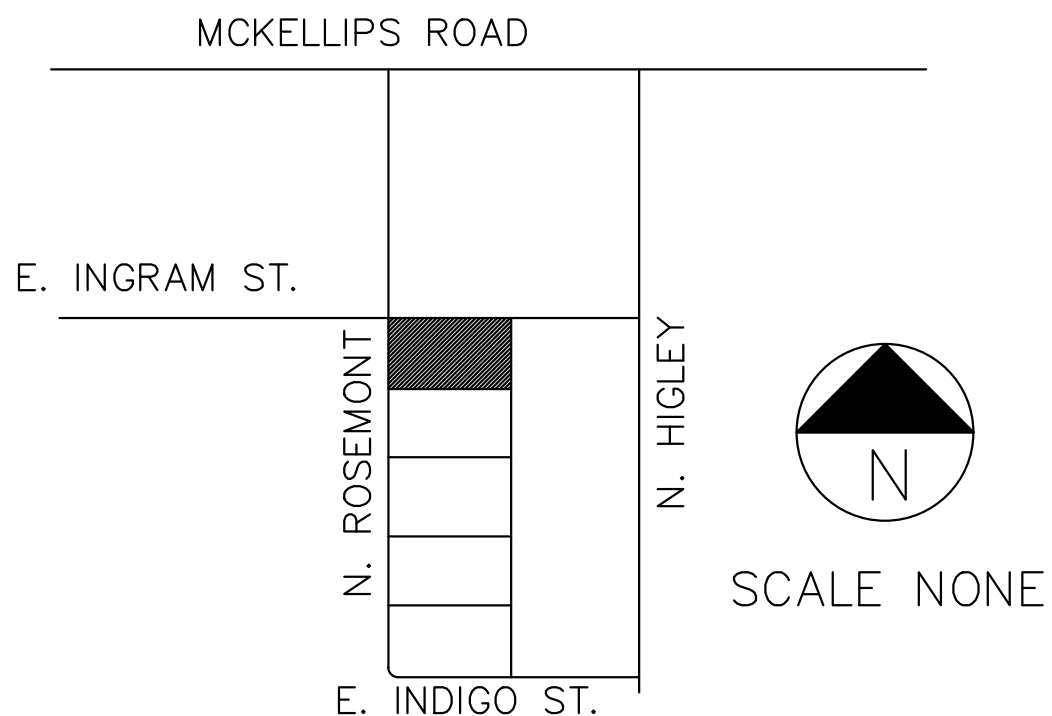
LOT 8, FINAL PLAT OF FALCON COMMERCE PARK, RECORDED
IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA,
IN BOOK 889 MAPS, PAGE 43.

APN 141-35-059

COMMUNITY IMPACT

THIS DEVELOPMENT WILL CONFORM TO THE CITY OF MESA GUIDELINES.
THE ESTIMATED ECONOMIC IMPACT WILL ADD 6 FULL TIME JOBS, AT AN
AVERAGE OF 42 THOUSAND DOLLARS A YEAR, AND WILL REQUIRE AN
APPROX. INVESTMENT OF \$630,00.00.
THERE WILL BE NO PROPOSED CHANGES TO THE DEVELOPMENT STANDARDS
FOR THIS COMMUNITY.

VICINITY MAP



LIST OF ABBREVIATIONS

A.I.C. ALT. INTERRUPTING CAPACITY
A.B. ANCHOR BOLT
A.F.F. ABOVE FINISHED FLOOR
ALT. ALTERNATE
ALUM. ALUMINUM
AUX. AUXILIARY
B.O. BOTTOM OF
BD. BOARD
BLK'G. BLOCKING
BM. BEAM
BOT./BOTT. BOTTOM
BRZ. BRONZE
C. CENTER LINE
CND. CONDUIT
CLG. CEILING
COL. COLUMN
C.O. CLEAN OUT
CONC. CONCRETE
CONN. CONNECTION
CONT. CONTINUOUS
CONTR. CONTRACTOR
CTR. CENTER
C.W. COLD WATER
C.O.M. CITY OF MESA
Ø DIAMETER, PHASE
DIA. DIAMETER, DIAGRAM
DBL. DOUBLE
D/T. DRIVE-THRU
DWG. DRAWING
DTL. DETAIL
I.D. INTERIOR DESIGN
INSUL. INSULATION
L.L.H. LONG LEG HORIZONTAL
L.L.V. LONG LEG VERTICAL
L.P. LOW POINT
LAV. LAVATORY
LOC. LOCATE
LG. LONG
MAS. MASONRY
MAX. MAXIMUM
MIN. MINIMUM
MTD. MOUNTED
MTL. METAL
N.I.C. NOT IN CONTRACT
O.C. ON CENTER
O.D. OUTSIDE DIM./OVERFLOW DRAIN
O.H. OVERHANG
O/O. OUT TO OUT
Ø PHASE, DIAMETER
PL. PROPERTY LINE, PLATE
PLYWD. PLYWOOD
P.O.S. POINT OF SAIL
PREFAB. PREFABRICATED
P.S.F. POUNDS PER SQ. FOOT
P.S.I. POUNDS PER SQ. INCH
P.T. PRESSURE TREADED
P.U.E. PUBLIC UTILITY EASEMENT
P.W.E. PUBLIC WATERLINE EASEMENT
E.F. EXHAUST FAN
EA. EACH
ELECT. ELECTRIC
ELEV. ELEVATION
EQ. EQUAL
EQUIP. EQUIPMENT
E.W. EACH WAY
EXT. EXTERIOR
F.C.O. FLOOR CLEAN OUT
F.D. FLOOR DRAIN
F.E. FIRE EXTINGUISHER
F.H. FIRE HYDRANT
FFL. FINISH FLOOR LINE
FDC. FIRE DEPARTMENT CONNECTION
F.O.S. FACE OF STUD
F.R.P. FIRE RATED PANELING
F.S. FLOOR SINK
FT. FOOT
FTG. FOOTING
G.A. GAUGE
GALV. GALVANIZED
G.C. GENERAL CONTRACTOR
G.P.M. GALLONS PER MINUTE
GRD. GROUND
G.W. GREASY WASTE
GYP. GYPSUM
HORIZ. HORIZONTAL
HT. HEIGHT
H.W. HOT WATER
H.D. HAND DRYER
H.C. HANDICAP
H.P. HORSE POWER, HIGH POINT
H.W.C. HANDICAP WATER CLOSET
R.D. ROOF DRAIN
RECEPT. RECEPTACLE
REINF. REINFORCING
REQ'D. REQUIRED
R.W.L. RAIN WATER LEADER
R.O.W. RIGHT-OF-WAY
SQ. SQUARE
SHT. SHEET
STL. STEEL
STRUCT. STRUCTURAL
SURF.MTD. SURFACE MOUNTED
S.W. SAFE WASTE
T.O. TOP OF
T.O.S. TOP OF SLAB
TYP. TYPICAL
UR. URINAL
VEN. VENEER
VERT. VERTICAL
VEST. VESTIBULE
V.T.R. VENT THRU ROOF
W. WIDE, WASTE
w/ WITH
W.C. WATER CLOSET
W.C.O. WALL CLEAN OUT
WD. WOOD
W.H. WATER HEATER
W.I.B. WALK IN BOX
W.P. WATER PROOF
W.W.F. WELDED WIRE FABRIC
W.W.M. WELDED WIRE MESH
NOTE: NOT ALL ABBREVIATIONS
ARE USED IN THESE DRAWINGS

REVISIONS



CEW ASSOCIATES LLC
Architecture design

929 S. 79TH ST. MESA, AZ 85208
480-452-8138
email: cewassociates@aboo.com



1759 N. ROSEMONT
MESA, AZ 85205



30 JUNE 2023

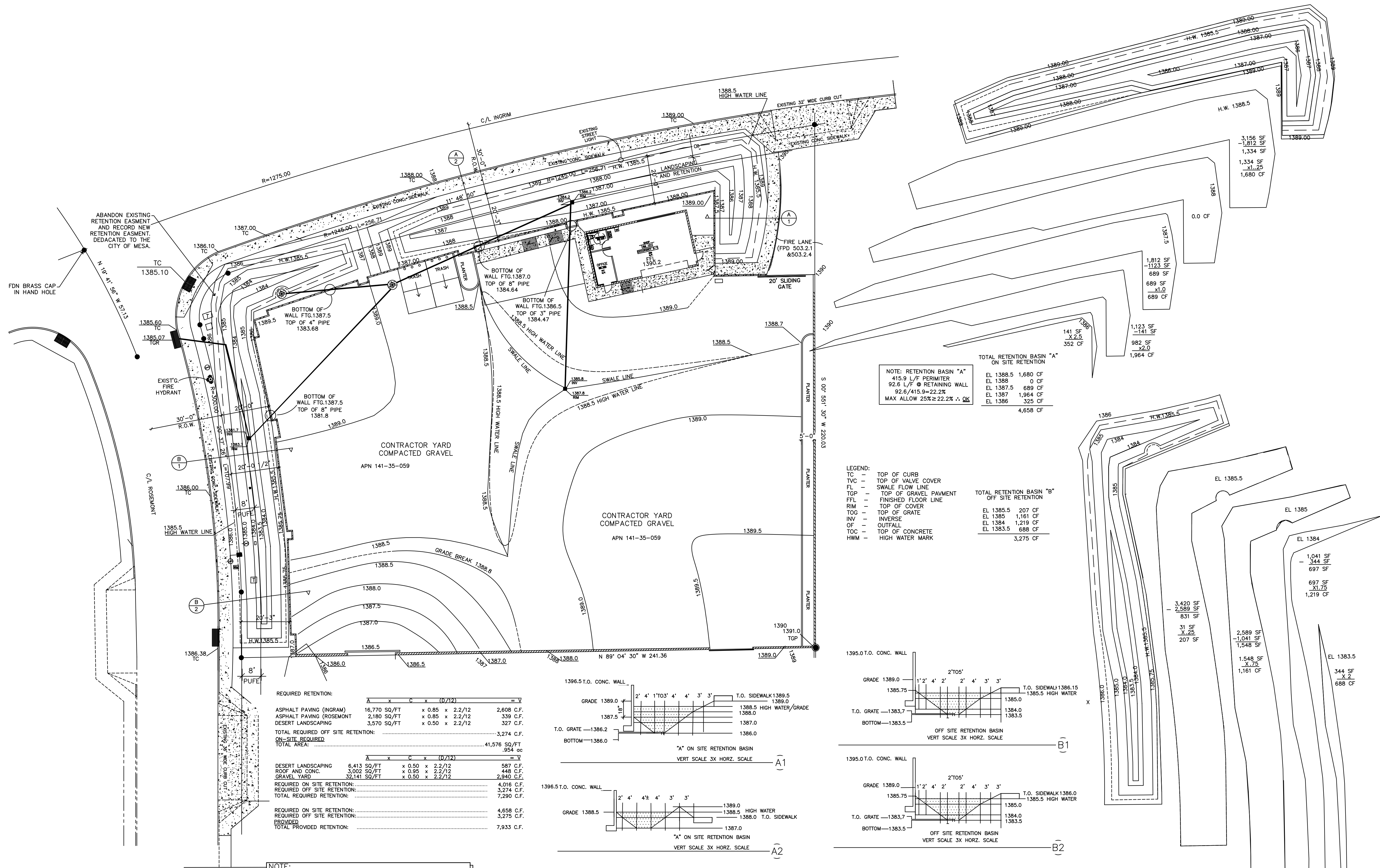
COVER
SHEET

SITE DEVELOPMENT
DRAWINGS

BY MDW DATE 04-14-2021

SD1

FILE NO.



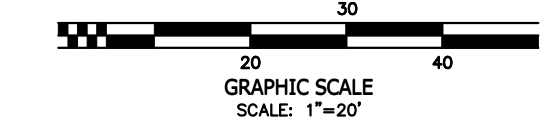
REQUIRED RETENTION:

	A	x	C	x	(D/12)	= V
ASPHALT PAVING (INGRAM)	16,770	SQ/FT	x 0.85	x 2.2/12		2,808 C.F.
ASPHALT PAVING (ROSEMONT)	2,180	SQ/FT	x 0.85	x 2.2/12		339 C.F.
DESERT LANDSCAPING	3,570	SQ/FT	x 0.50	x 2.2/12		327 C.F.
TOTAL REQUIRED OFF SITE RETENTION:						3,274 C.F.
ON-SITE REQUIRED						41,576 SQ/FT
TOTAL AREA:						.954 ac

REQUIRED ON SITE RETENTION:

	A	x	C	x	(D/12)	= V
DESERT LANDSCAPING	6,413	SQ/FT	x 0.50	x 2.2/12		587 C.F.
ROOF AND CONC.	3,002	SQ/FT	x 0.95	x 2.2/12		449 C.F.
GRAVEL YARD	32,141	SQ/FT	x 0.50	x 2.2/12		2,940 C.F.
REQUIRED ON SITE RETENTION:						4,016 C.F.
REQUIRED OFF SITE RETENTION:						3,274 C.F.
TOTAL REQUIRED RETENTION:						7,290 C.F.
REQUIRED ON SITE RETENTION:						4,658 C.F.
REQUIRED OFF SITE RETENTION:						3,275 C.F.
PROVIDED						
TOTAL PROVIDED RETENTION:						7,933 C.F.

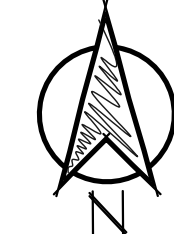
NOTE:
1. MAINTAIN WATER LINE/SEWER LINE SEPARATION AS PER M.A.G. DTL 404-1
2. IF WATER LINE/SEWER LINE IS LESS THAN SHOWN IN M.A.G. DTL 404-1 INSTALL AS PER M.A.G. DTL 404-3
(SEE SHEET C-4)



GRADING & DRAINAGE PLAN

SCALE: 1"=20'

1



NOTE: RETENTION BASIN "A"
415.9 L/F PERMITTER
92.6 L/F @ RETAINING WALL
92.6/415.9=22.2%
MAX ALLOW 25%≥22.2% ∴ OK

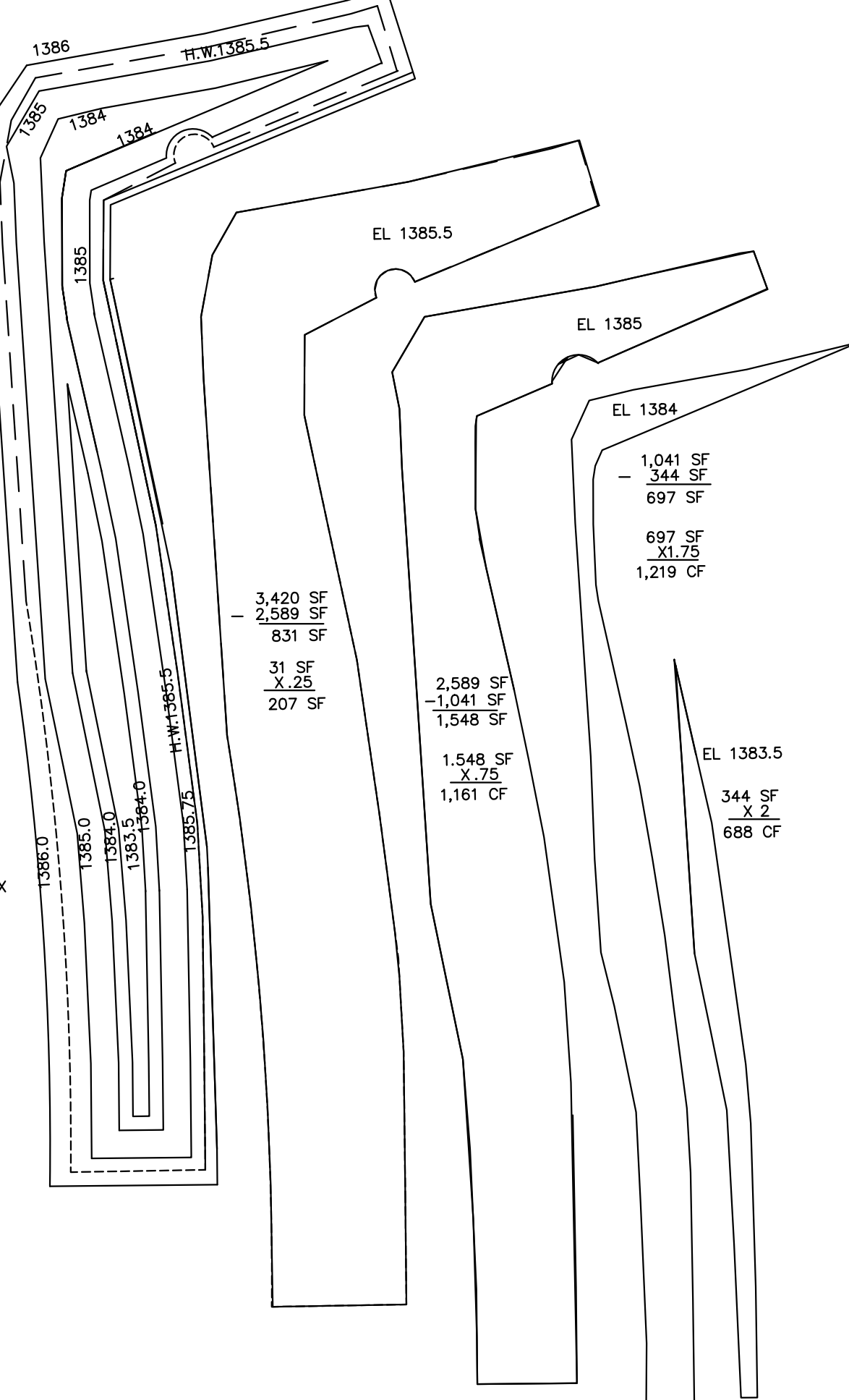
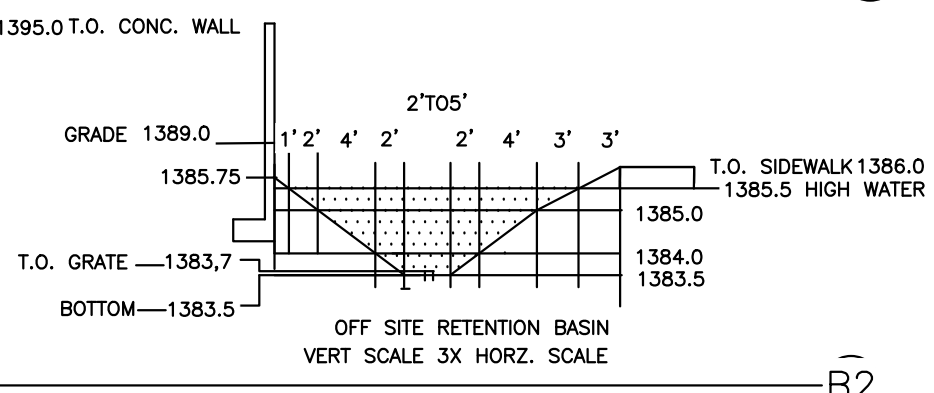
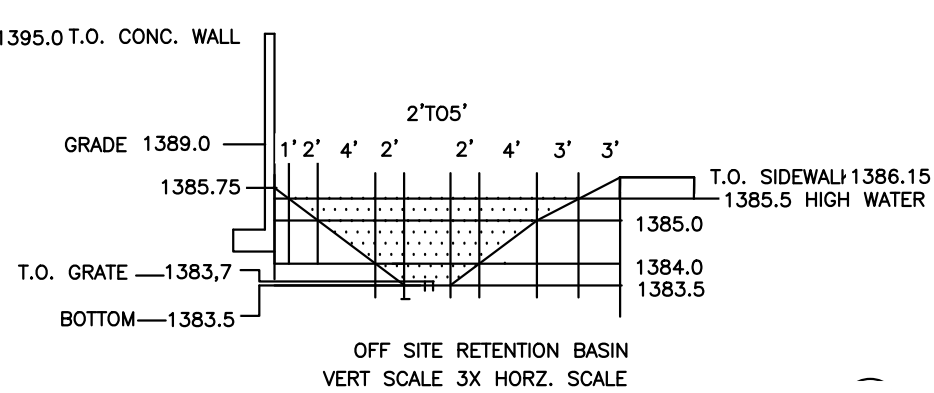
TOTAL RETENTION BASIN "A"
ON SITE RETENTION

EL 1388.5	1,680 CF
EL 1389	0 CF
EL 1387.5	689 CF
EL 1387	1,964 CF
EL 1386	325 CF
	4,658 CF

TOTAL RETENTION BASIN "B"
OFF SITE RETENTION

EL 1385.5	207 CF
EL 1385	1,161 CF
EL 1384	1,219 CF
EL 1383.5	688 CF
	3,275 CF

LEGEND:
TC - TOP OF CURB
TVC - TOP OF VALVE COVER
FL - SWALE FLOW LINE
TGP - TOP OF GRAVEL PAVEMENT
FFL - FINISHED FLOOR LINE
RIM - TOP OF COVER
TOG - TOP OF GRATE
INV - INVERSE
OF - OUTFALL
TOC - TOP OF CONCRETE
HWM - HIGH WATER MARK



REVISIONS

C.E.W. ASSOCIATES LLC
Architecture, design

1759 N. ROSEMONT
MESA, AZ 85205

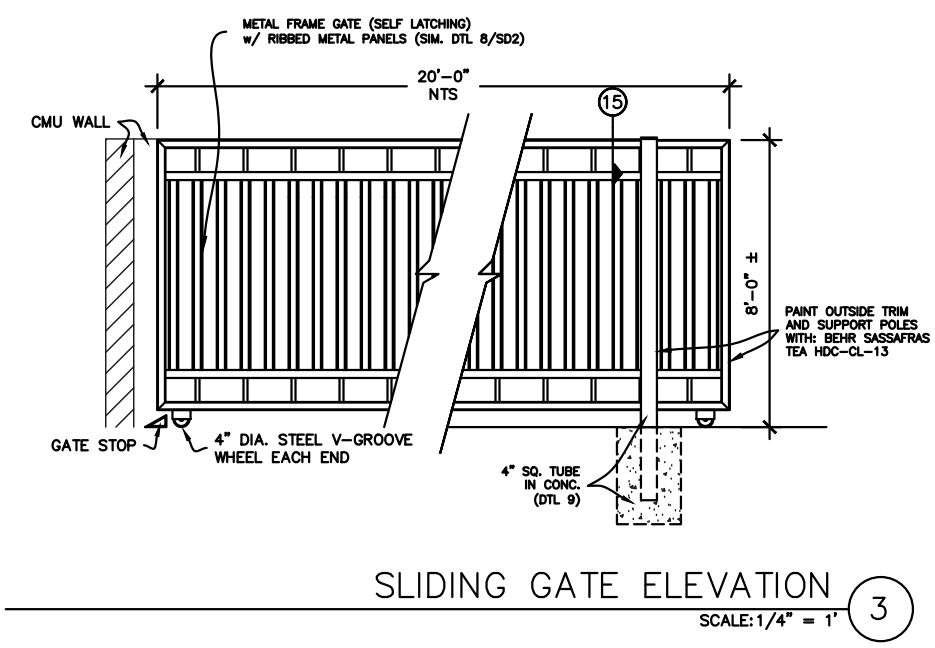
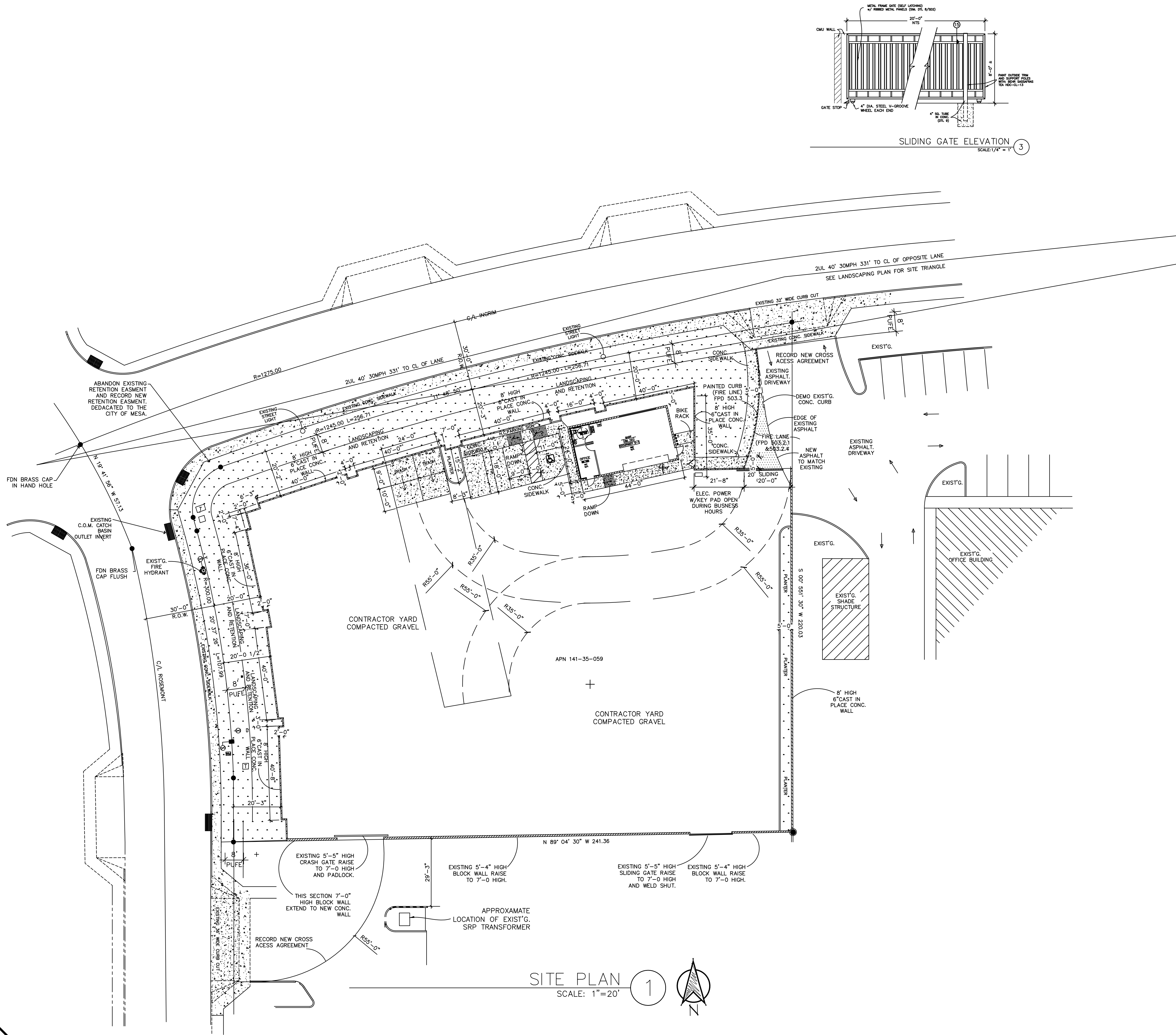


GRADING/
DRAINAGE
PLAN
SITE DEVELOPMENT
DRAWINGS

BY MDW DATE 04-14-2021

C-2

FILE NO.



GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL DIMENSION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL FINISHES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER.
4. BACKFLOW PREVENTION DEVICES TO BE PAINTED TO MATCH BUILDING COLOR.
5. ALL LANDINGS AT DOORS SHALL BE MIN. 4' x 4' AND NOT TO EXCEED 2% SLOPE.
6. ALL STREET LIGHTS ARE EXISTING (SEE SHT C-2)
7. EXTERIOR SIGNS REQUIRE A SEPARATE SIGN PERMIT & COMPATIBILITY w/ BLDG ARCHITECTURE.
8. NO OVERHEAD POWER LINES ON THIS SITE.
9. ALL LANDSCAPING TO BE MAINTAINED BY OWNER.
10. NO COVERED PARKING ON THIS SITE.

PROVIDE "NO SMOKING" SIGNS w/ NO SMOKING SYMBOL PER CITY OF MESA CODE (MIN. 3" HIGH LETTERS TYP. @ EACH ENTRY POINT)

FIRE DEPARTMENT NOTES

1. VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE ACCESS ROAD AND HYDRANTS.
2. CONTRACTOR SHALL CONSTRUCT FIRE LANE IN ACCORDANCE WITH F.P.D. No. 503.2-1 AND 503.2-2.
3. STRUCTURE CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 241.
4. NO APPROPRIATE TURN RADIUS REQUIRED PER IFC 503.2.5

SOLID WASTE NOTES

1. THIS PROJECT SHALL COMPLY WITH THE NOTES ON CITY OF MESA DETAIL M-62.01 THROUGH M-62.04.2

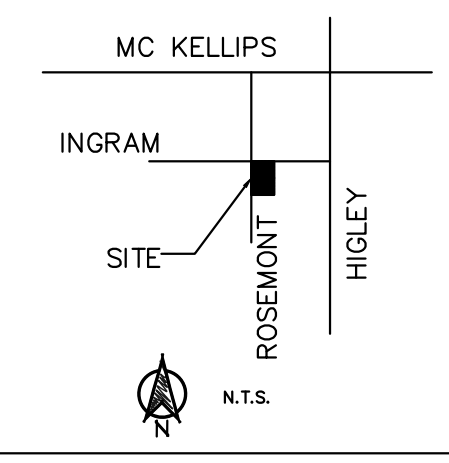
SYMBOL LEGEND

SOME SYMBOLS MAY NOT APPEAR ON SHEET

CURVE LEGEND

MARK	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
	1305.00'	135.34'	135.28'	N 65°-10'-03" E

VACINITY MAP



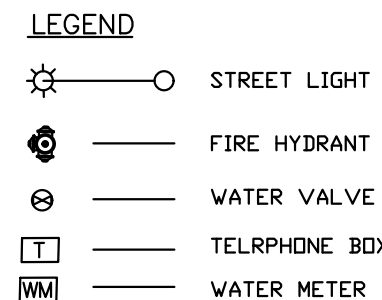
REVISIONS

C.E.W. ASSOCIATES LLC
Architecture design
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MESA, AZ 85205
480-452-8138
email: cewassociates@aboo.com

1759 N. ROSEMONT
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SITE PLAN
SITE DEVELOPMENT DRAWINGS
BY: MDW DATE: 04-14-2021
SD1
FILE NO.



- ① REMOVE EXISTING CAP AT END OF MAIN. ADD VALVE AND CONNECT NEW FIRE LINE.
FR C.D.M. DET. M31.7
- ② INSTALL 30" Ø F.W.D. WITH MECHANICAL RESTRAINTS (MESA-LUG OR EQUAL) PER MAG. DETAIL STD. 302-1.2 & 303-1.2.
- ③ ~~INSTALL 45" Ø F.W.D. WITH MECHANICAL RESTRAINTS (MESA-LUG OR EQUAL) PER MAG. DETAIL STD. 302-1.2 & 303-1.2.~~
- ④ INSTALL CHECK VALVE ASSEMBLY, VERTICAL, DIRECTION, IN FIRE RISER ROOM FR C.D.M. STD M-316, CONNECTION TO FIRE LINE PER FIRE PROTECTION ENGINEER DRAWINGS.
- ⑤ INSTALL 2-1/2"x2-1/2"x4" FIRE DEPT. CONNECTION.
- ⑥ INSTALL 6" D.I.P. GLASS 30" FIRELINE, LENGTH AS INDICATED, REFLECT PIPE AS NEEDED PER MFG. RECOMMENDATIONS TO ACHIEVE DESIGN ALIGNMENT.

- 1 CONNECT DRY SEWER TO EXISTING SEWER STUB; VERIFY STUB INVERT PRIOR TO ANY TRENCHING.
- 2 INSTALL 3' P.V.C. (SDR-35) SEWER; AS SHOWN.
- 3 INSTALL 3' SEWER CLEANOUT PER M.A.G. STD. DTL. 441;

NOTE: CONTRACTOR SHALL VERIFY EXISTING SEWER INVERTS PRIOR TO ANY TRENCHING.

1	EXISTING WATER METER BOX AND 1' METER (DOMESTIC) ON THE PROPOSED WATER SERVICE PER CITY OF MESA STD. DTL'S M49-1 & M49-2. OWNER/DEVELOPER TO PAY ALL APPLICABLE WATER METER PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.D.M. DTL. M-3.3
2	INSTALL 3/4" REDUCE PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (LANDSCAPE) PER C.D.M. DTL. M-3.3
3	INSTALL 1" P.V.C. (SCH.40) WATER SERVICE LINE FROM BACKFLOW PREVENTION ASSEMBLY TO BUILDING; LENGTH AS SHOWN.
4	<u>CIVIL PLAN TO BRING WATER WITHIN 5' OF THE BUILDING; SEE PLUMBING PLANS FOR CONTINUATION AND ACTUAL CONNECTION TO BUILDING.</u>
5	SEE LANDSCAPE & IRRIGATION PLANS FOR CONNECTION & CONTINUATION OF IRRIGATION SYSTEM.
6	ABANDON EXISTING WATER LINE BACK AT EXISTING 8" WATER MAIN AS PER ENGINEERING AND DESIGN STANDARDS SECTION 317.19.6

Occ. = B		WC	UR	LAV	DF	OTHER
REQ'D						
BUSINESS	B 10 Occ	1/25 = 1	---	1/40 = 1	1/100 = 1	
TOTAL REQUIRED		1	---	1	1	
TOTAL PROVIDED		1	---	1	1	

NOTE: THIS IS A SINGLE LOT IN AN EXISTING DEVELOPMENT WITH ONE SMALL BUILDING, ONE WATER CLOSET, ONE LAV, ONE SINK AND ONE HDSE BIB.
ALL APPLICABLE SECTIONS OF THE CITY OF MESA ENGINEERING STANDARDS SECTIONS 311, THROUGH 411 HAVE BEEN COMPLIED WITH AND ARE REFLECTED IN THE WATER CALCULATIONS BELOW.

PER CITY OF MESA ENGINEERING STANDARDS SECTION 311
TABLE 3.1 AVERAGE DAY WATER DEMANDS BY LAND USE
INDUSTRIAL VALUE 1,500 UNITS GPD/ACRE
SECTION 311.3 PEAKING FACTORS

PER CITY OF MESA ENGINEERING STANDARDS SECTION 311
TABLE 3.1 AVERAGE DAY WATER DEMANDS BY LAND USE
INDUSTRIAL VALUE 1,500 UNITS GPD/ACRE
SECTION 311.3 PEAKING FACTORS

$$\begin{aligned} \text{MAX. DAY} &= 2.0 \times \text{AVE. DAY DEMAND} \\ 1,500 \times 2 &= 3,000 \text{ GPD.} / 8 \text{ HR} = 375 \text{ GPH.} / 60 \text{ MIN.} = 6.25 \text{ GPM.} \end{aligned}$$
$$1.500 \times 2 = 1.500 \text{ GPD} \div 2 \text{ HR} = 500 \text{ GPD} \div 60 \text{ MIN} = 8.33 \text{ GPM}$$

SECTION 317.26.1 ACCEPTABLE WATER METER SIZE

3/4" WATER METER = 0.25 TO 30 GPM.
3/4" WATER METER = 0.25 TO 30 GPM.

PROJECT NAME: LOT #		FUTURE ADDRESS		QTY	WFSU
LOCATION: W. 34 TH ST. BEYOND		HOBBS		1	X 4.0
PROJECT: 1759 N. ROSSMONT		HOBBS		1	X 4.0
PROVIDE TRAINERS AND PRESSURE REGULATOR		80 PSI (SEE TANK)		1	X 3.0
TO REDUCE PRESSURE TO 80 PSI. CALCULATION		UTILITY SINK		1	X 3.0
(80 PSI X 0.75)		WIRING FOUNTAIN		1	X 0.25
TOTAL		TOTAL			
WATER PRESSURE		50 PSI		15.25 WFSU = 9 GPM	
LOSS THRU 3/4" DISC WATER METER		.50 PSI		BASED ON SYSTEMS W/ PREDOMINANTLY FLUSH TANK	
LOSS THRU 1/2" DISC W/ 90° ELB.		.50 PSI		PER ARIAR STATE LOSS OF 10 PSI	
LOSS THRU EQUIV. FURTHURTH FRICTION		.50 PSI		ARE RESTRICTED TO PROVIDING NO MORE THAN:	
STATIC LOSS (ELEVATION H. 4.5)		15.25 PSI		WATERS: _____ 3.00 GPM	
LOSS THRU 1/2" DISC W/ 90° ELB.		.50 PSI		WIRING: _____ 1.60 GPM	
EQUIVALENT PIPE LENGTH		15.25 PSI		SINKS: _____ 3.00 GPM	
ALLOWABLE FRICTION LOSS /100FT		5.56 PSI		WFSU & CLOSING HAVE BEEN REQUIRED TO REDUCE REQUIRED LOWER FLOW RATES.	

FRICTION LOSS EQUIV. LENGTH OF PIPE IN FT.										
1"	1/2"	3/4"	1"	1 1/2"	2"	3"	4"	6"	8"	10"
1/2"	2.0	1.2	3.0	1.8	0.4	0.5	1.0	1.5	2.0	2.5
3/4"	2.5	1.5	4.0	2.0	0.8	0.5	2.0	3.0	4.0	5.0
1 1/2"	5.0	3.0	7.0	1.3	1.0	1.0	4.5	7.0	10.0	12.0

DEBRN FLV		WFSU TANK	
W.C. TANK	1	LAV	5
LAV	6	H.B.	2
D.F.	0.5	D.S.	0.25
S.S.	1		

FLOW & PRESSURE	
W.C. TANK	5.8
H.B.	0.75
D.F.	0.25
S.S.	2.8

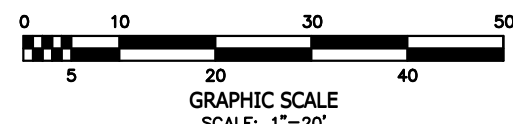
SIZEZ BASED ON CALCULATED ALLOWABLE FRICTION LOSS AND MAXIMUM VOLUME OF FLOW	
WFSU	10
WFSU (STD)	10
1/4"	12
1/2"	14
3/4"	30
1"	30
1 1/2"	145
2"	80

NOTES

WATER DEMAND, FLOW RATES, AND FRICTION ARE AS PER THE APPLICABLE SECTIONS OF THE CITY OF MEA ENGINEERING STANDARDS

WATER DEMAND, FLOW RATES, AND FRICTION
ARE AS PER THE APPLICABLE SECTIONS OF
THE CITY OF MESA ENGINEERING STANDARDS

APPROXIMATE
LOCATION OF EXIST'G.
SRP TRANSFORMER



SCALE: 1"=20'



C.E.W. ASSOCIATES LLC
architecture, design

929 S. 79TH ST, MESA, AZ 85208
480-452-8138
email: cawassociates@yahoo.com

WEST COAST COMMERCIAL
1759 N. ROSEMONT
MESA, AZ 85205



30 JUNE 2023

**SITE
UTILITIES
PLAN**

**SITE DEVELOPMENT
DRAWINGS**

MDW	DATE 04-14-2021
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SD3

FILE NO

REVISIONS

C.E.W. ASSOCIATES LLC
architecture design

209 S. 7TH ST. MESA, AZ 85208
480-452-8138
email: cewassociates@aboo.com

WEST COAST COMMERCIAL
1759 N. ROSEMONT
MESA, AZ 85205



FIRE
PLAN

SITE DEVELOPMENT
DRAWINGS

BY: MDW DATE: 04-14-2021

SD5

FILE NO.

