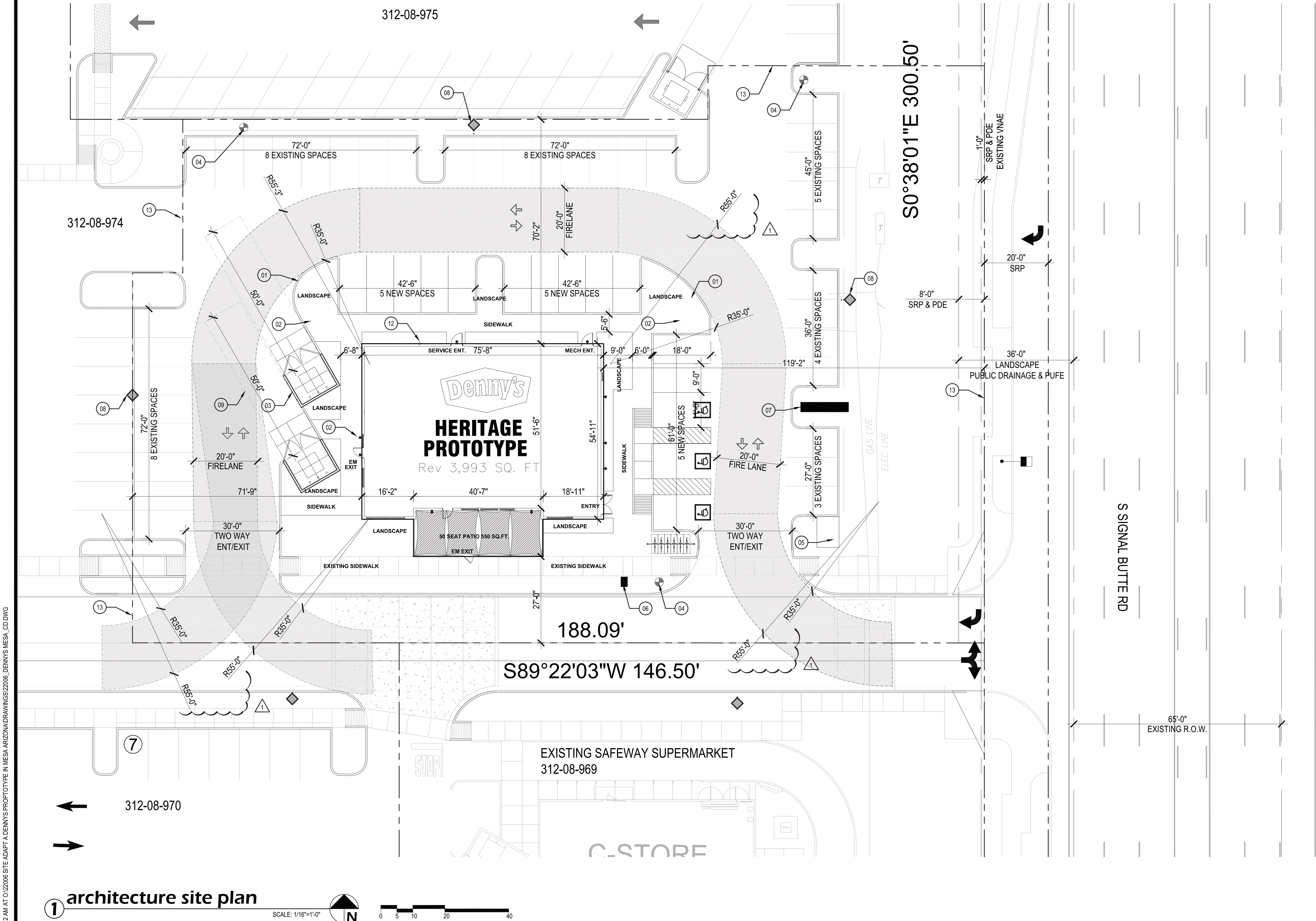


PLOTTED BY OMAR YOUSSEF ON 10/9/2022 11:32 AM AT 0:32006 SITE ADAPT A DENNY'S PROTOTYPE IN MESA, ARIZONA DRAWINGS 22006, DENNY'S MESA, CO.DWG



PARKING CALCULATIONS:

RATIOS FOR PARKING		
RESTAURANT		
VEHICULAR PARKING MINIMUMS		
INDOOR: 1 SPACE PER 75 SQ.FT.		
3,186 / 75 = 42.48 ->	43 SPACES REQUIRED	
OUTDOOR: 1 SPACE PER 150 SQ.FT.		
550 / 150 = 3.6 ->	4 SPACES REQUIRED	
TOTAL SPACES REQUIRED = 47 SPACES		
EXISTING SPACES = 35 SPACES		
NEW SPACES = 15 SPACES		
TOTAL SPACES PROVIDED = 50 SPACES		
BICYCLE PARKING MINIMUMS		
INDOOR: 1 PER 1,000 SQ.FT.		
3,186 / 1000 = 3.1 ->	4 SPACES REQUIRED	
OUTDOOR: 1 PER 2,000 SQ.FT.		
550 / 1000 = 0.55 ->	1 SPACE REQUIRED	
TOTAL SPACES REQUIRED = 5 SPACES		
TOTAL SPACES PROVIDED = 6 SPACES		

KEYNOTES:

- 6" CURB PER MAG STD DTL 220-1 TYPE A.
- SIDEWALK PER MAG STD DTL 230 - WIDTH PER PLAN.
- REFUSE ENCLOSURE PER COM STD DTL M-62.01 THRU M-62.04. SEE ARCHITECTURAL PLAN FOR MORE DETAILS.
- EXISTING FIRE HYDRANT.
- EXISTING TRANSFORMER ON PAD.
- EXISTING ELECTRIC CABINET
- EXISTING MONUMENT SIGN
- EXISTING LIGHT POLE
- 50' CLEARANCE RECTANGLE ALLOWING THE OPERATOR SAFE MANEUVERABILITY
- BIKE RACK PARKING WITH CLEARANCE PAD (2 x 6) PER SPACE
- BUILDING MOUNTED LIGHT FIXTURES
- INTERNALIZED DOWNSPOUTS. SEE CIVIL FOR CONTINUATION.
- SITE PROPERTY LINE

SITE GENERAL NOTES:

- ALL DEVELOPMENT AND USE OF THE SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- SEE CIVIL AND LANDSCAPE DOCUMENTS FOR ADDITIONAL INFORMATION IN RELATIONSHIP TO HARDSCAPE, DRIVES, PARKING AREAS AND MISCELLANEOUS ITEMS.
- SEE ELECTRICAL DOCUMENTS FOR SITE LIGHTING AND REQUIRED SITE RELATED ITEMS WHICH REQUIRE SERVICE.
- REFER TO SOILS REPORT FOR GUIDELINES FOR SITE PREPARATION, FOOTING SOIL PREPARATION, AND ADDITIONAL REQUIREMENTS FOR SLOPES AT BUILDING PARAMETERS.
- REFER TO SOILS REPORT AND CIVIL DOCUMENTS FOR PAVING SECTIONS AND CONCRETE DESIGN FOR ALL HARDSCAPE.
- THE GENERAL CONTRACTOR IS TO VISIT THE SITE FOR OBSERVATION OF ANY EXISTING CONDITIONS AND SHALL REPORT ANY AND ALL CONFLICTS BETWEEN THE DOCUMENTS AND THE FIELD CONDITIONS.
- ALL AREAS OF PEDESTRIAN ACCESS SHALL COMPLY WITH THE AMERICANS WITH DISABILITY ACT AND LOCAL ENFORCED CODES, THERE WILL BE NO EXCEPTIONS.
- ALL CURBS AT ACCESSIBLE PATHS / PARKING ARE TO BE FLUSH TO PAVEMENT TO PROVIDE RAMP ACCESS.
- ALL ACCESSIBLE ROUTES:
  - SHALL HAVE AN 1/2" OR LESS CHANGE IN ELEVATION AT EXTERIOR 'ACCESSIBLE' DOORS.
  - PROVIDE ROUGH NON-SLIP SURFACE FIN. AT ALL ACCESSIBLE ROUTES AT ELEVATION CHANGES.
- ALL SITE EQUIPMENT SHALL BE PAINTED TO MATCH ADJACENT BUILDING, SITE WALL, OR LANDSCAPE AS APPLIES. SEE LANDSCAPE PLANS.
- REFER TO PROJECT MANUAL FOR ADDITIONAL ITEMS OF COORDINATION AND SPECIFIC REQUIREMENTS FOR PRODUCTS AND PROCEDURES.
- FINAL COORDINATION OF OFFSITE LIGHTING SHALL BE REQUIRED AND COORDINATED WITH LOCAL UTILITY COMPANY.
- FIRE LANES SHALL BE PROVIDED IN COMPLIANCE WITH THE LOCAL JURISDICTION. SEE SITE PLAN.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- TYP (TYPICAL) AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME R REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.

PAD PREP:

OVER-EXCAVATED / ENGINEERED PAD FOR BUILDING PER SOILS REPORT AND CIVIL. CONNECT TO STUBBED UTILITIES. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO TRENCHING. LANDSCAPE AND IRRIGATION TO BE INSTALLED BY SITE CONTRACTOR. SITE CONTRACTOR TO COORDINATE W/BUILDING CONTRACTOR.

GENERAL NOTES:

- FIELD VERIFY EXISTING CONDITIONS.
- DO NOT SCALE DRAWINGS. RELY ONLY UPON ARCHITECT'S WRITTEN DIMENSIONS.

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JOB NUMBER

**22006**

denny's restaurant #9633

mesa new build

4248 S SIGNAL BUTTE ROAD  
MESA, ARIZONA 85212

PROJECT

SEP 12, 2022

REVISIONS

CITY COMMENTS

DATE ISSUED

DRAWN BY

CHECKED BY

SHEET DESCRIPTION

REGISTERED ARCHITECT

CERTIFICATE NO. 27908

AKRAM NASR

ROSHEIDAT

SEP 20 2022

PHOENIX, U.S.A.

SHEET

**A1.0**