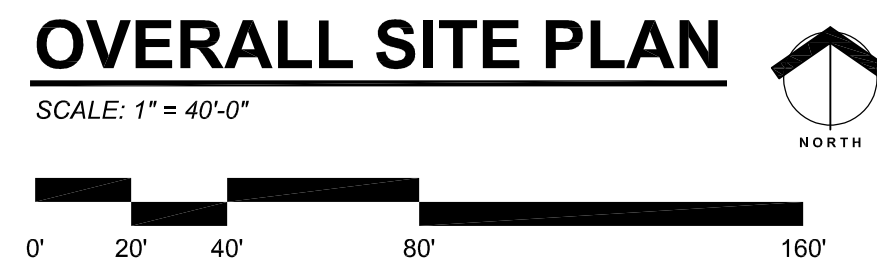


RAY ROAD COMMERCE CENTER (NOT A PART) APN: 304-30-056 LOT 13

RAY ROAD COMMERCE CENTER (NOT A PART) APN: 304-30-058 LOT 15

Proposed Warehouse Facility
47,979 SF
89 Parking Spaces Provided
53 Required at 1/900
APN 304-30-058
SEE SHEET SP-2 FOR SPECIFIC SITE PLAN

PHOENIX-MESA GATEWAY AIRPORT AUTHORITY (NOT A PART) APN: 304-30-027P



PROJECT DATA:

Project Address:
7224 E. Seaver Ave, Mesa, AZ 85212 (The Nox)
7244 E. Ray Road, Mesa AZ 85212 (South Parcel)

Zoning: LI - light industrial
Site Area Nox: 133,966 sf (3.0754 ac)
Lot Coverage: 35.64%
Site Area Warehouse: 138,711 sf (3.1844 ac) 304-30-058
Lot Coverage: 34.59%

Property Owner Information:
Name: GIA 384, LLC
Address: PO Box 1078, Higley, AZ 85236

Project Description:
Providing a new 2-story building that will serve as a music venue performance space with support spaces, offices and recording studio. Conceptual design for single story office-warehouse facility.

Building Height per LI Zoning: 40'-0" aff (max.)

Building Area Nox:

1st Floor:	
Gross Floor Area/area under roof/patio	46,583 sf
2nd Floor:	
Gross Floor Area/area under roof/patio	25,482 sf
Total Gross Building Area All Floors Nox:	72,065 sf

Building Area Warehouse:

1st Floor:	
Gross Floor Area/area under roof/patio	47,979 sf

Building Setbacks:

Seaver Road	= NA
East Ray Road	= 15'-0" (arterial)
Interior Side Yard	= 0'-0"
Rear Yard	= 0'-0"

Landscape Setbacks:

East Ray Road	= 15'-0" (arterial)
Interior Side & Rear Yards	= 7'-0"

Parking Summary Nox

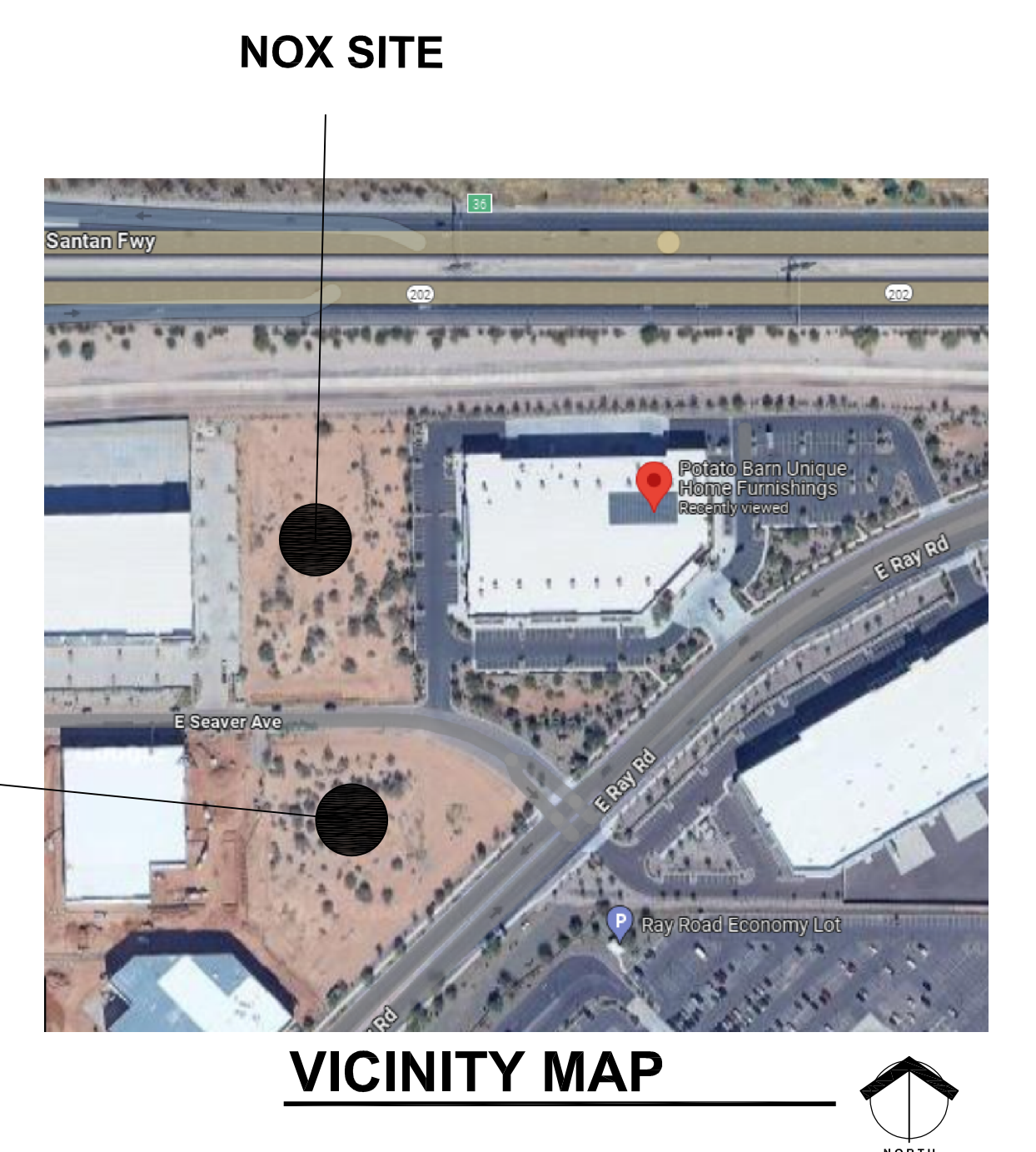
See parking study for more detailed analysis.

Parking assembly area = 16,796 sf 1st floor /75 =224 spaces
 Parking assembly 2nd floor area based on fixed seats/2 = 131 spaces
 Parking Office area = 12,409 sf all floors/375 = 32 spaces

Total required 387 spaces Nox

Total provided 406 (357 spaces + 49 valet parking spaces) across 3 parcels

SIGN LOCATIONS AND DESIGN TO BE DETERMINED UNDER SEPARATE SUBMITTAL/APPROVAL AND PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY



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Suite 200
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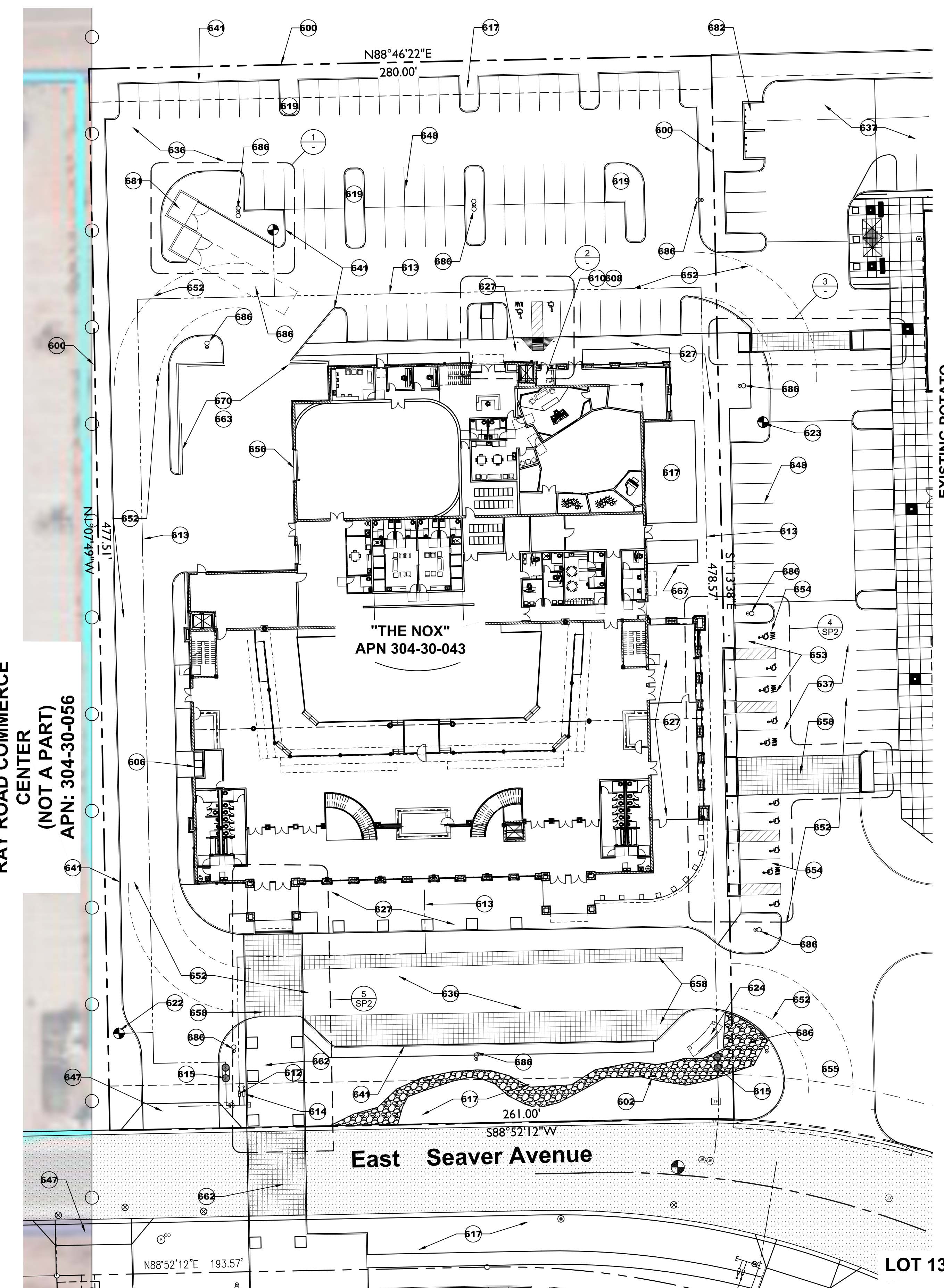
Phase: Design Review

THE NOX
Music Performance Venue
7224 E. Seaver Ave, Mesa, AZ 85212

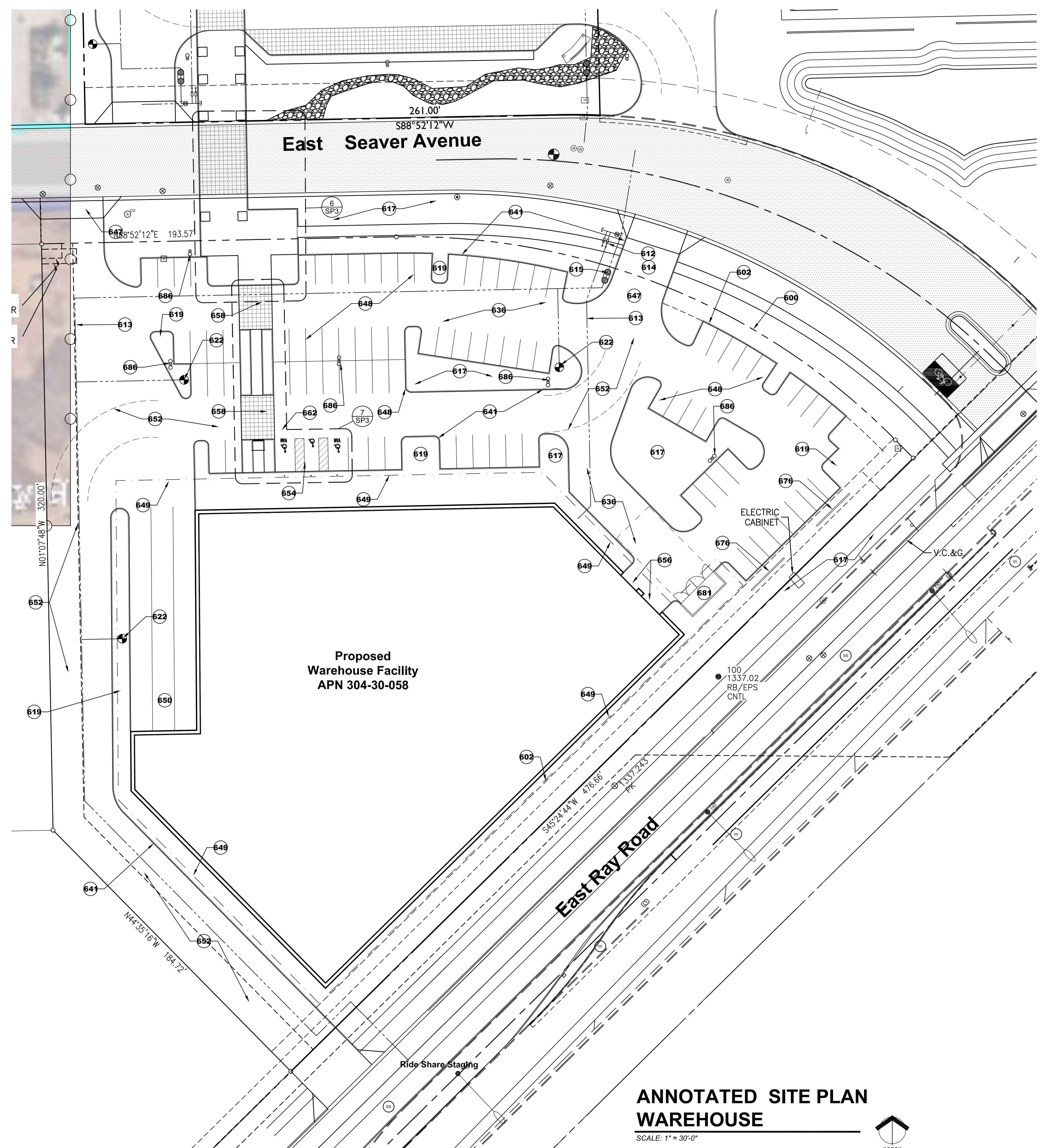
OVERALL SITE PLAN

Project Number: 2201	Revision Date:	Sheet Number: SP
Date: 11/12/2024		

G:\3201-PB Mesa Gateway Facility\CADD\SP Overall Site Plan.dwg 11.11.24 3:27pm Vince



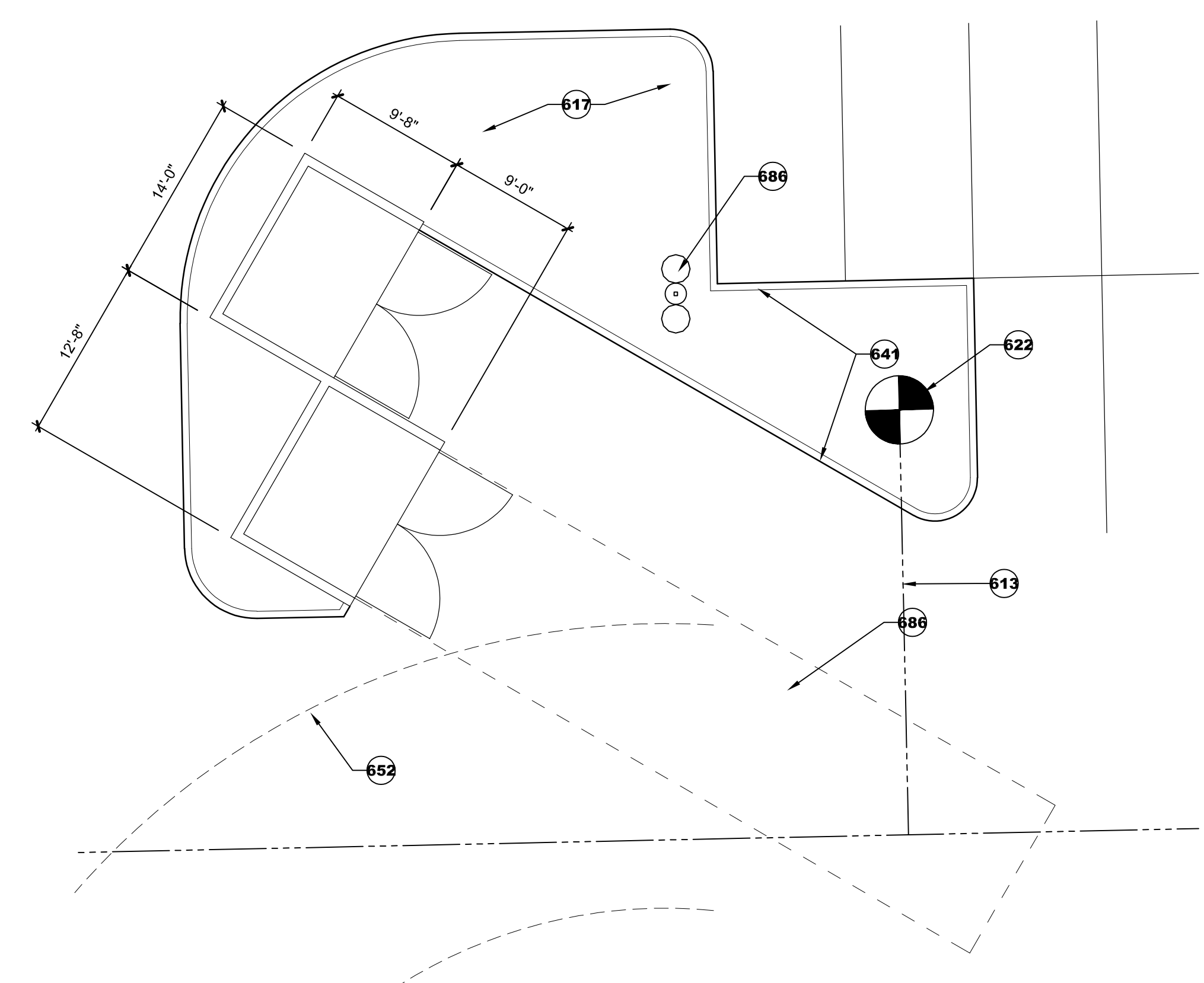
ANNOTATED SITE PLAN NOX
SCALE: 1" = 30'-0"



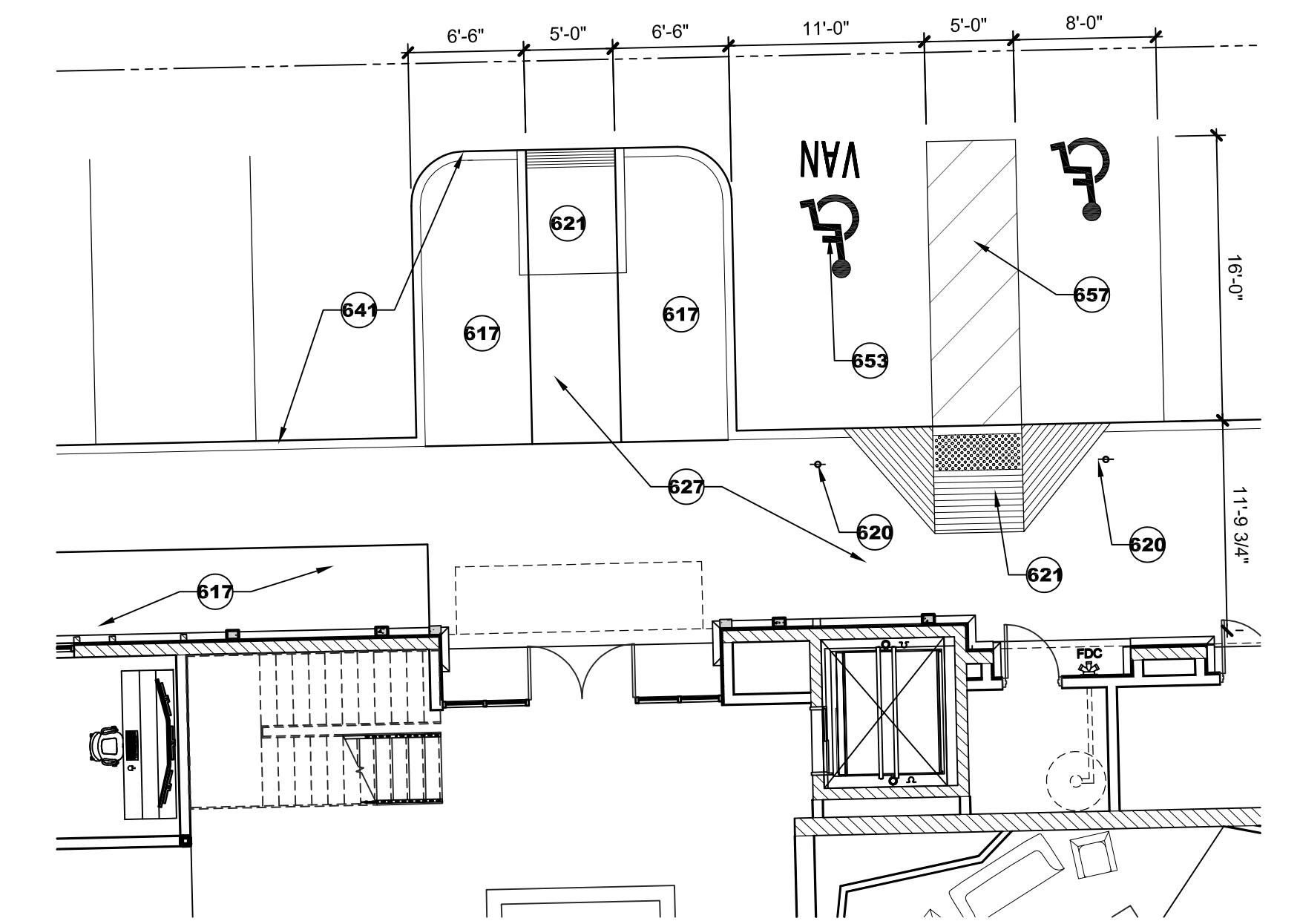
ANNOTATED SITE PLAN WAREHOUSE
SCALE: 1" = 30'-0"

- SITE PLAN KEYNOTES** (SOME KEYNOTES MAY NOT APPLY)
- Ⓜ PROPERTY LINE, SEE CIVIL DRAWINGS
 - Ⓜ LANDSCAPE SETBACK LINE
 - Ⓜ BUILDING SETBACK LINE
 - Ⓜ SITE / BUILDING LAYOUT POINT
 - Ⓜ NEW ELECTRICAL TRANSFORMER LOCATION, SEE ELECTRICAL DRAWINGS
 - Ⓜ ELECTRICAL SERVICE ENTRANCE SECTION (SES) SEE ELECTRICAL DRAWINGS
 - Ⓜ EXISTING DRIVEWAY ENTRANCE
 - Ⓜ FIRE DEPARTMENT CONNECTION LOCATION, SEE CIVIL DRAWINGS
 - Ⓜ FIRE DEPARTMENT KNOX BOX LOCATION PER CITY OF MESA REQUIREMENTS
 - Ⓜ FIRE RISER LOCATION, SEE CIVIL DRAWINGS
 - Ⓜ GAS METER LOCATION, VERIFY LOCATION AND COORDINATE WITH UTILITY COMPANY, SEE CIVIL AND PLUMBING DRAWINGS
 - Ⓜ DOMESTIC WATER METER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
 - Ⓜ WATER LINE ROUTING, SEE CIVIL DRAWINGS
 - Ⓜ IRRIGATION WATER METER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
 - Ⓜ BACKFLOW PREVENTER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
 - Ⓜ SEWER SERVICE CONNECTION LOCATION, SEE CIVIL AND PLUMBING DRAWINGS
 - Ⓜ LANDSCAPE AND/OR RETENTION AREA, SEE CIVIL AND LANDSCAPE DRAWINGS
 - Ⓜ NEW LANDSCAPE ISLAND, SEE CIVIL AND LANDSCAPE DRAWINGS
 - Ⓜ ADA PARKING SIGN AND POLE
 - Ⓜ ADA RAMP
 - Ⓜ FIRE HYDRANT LOCATION
 - Ⓜ EXISTING FIRE HYDRANT LOCATION
 - Ⓜ FUTURE MONUMENT SIGN LOCATION
 - Ⓜ CONCRETE SIDEWALK
 - Ⓜ NEW ASPHALTIC CONCRETE PAVEMENT OVER PREPARED SUB-GRADE PER CIVIL, GRADE, SEE CIVIL DRAWINGS
 - Ⓜ EXISTING ASPHALT PAVING TO REMAIN
 - Ⓜ NEW C.I.P. CONCRETE CURB AND GUTTER WHERE SHOWN, SEE CIVIL DRAWINGS
 - Ⓜ NEW DRIVEWAY APPROACH & SIDEWALK, SEE CIVIL DWGS.
 - Ⓜ NEW PARKING STRIPING, 4" WIDE WHITE PAINTED STRIPES, TYP.
 - Ⓜ DEVELOPMENT LIMIT LINE
 - Ⓜ FIRE LANE PER CITY OF MESA REQUIREMENTS WITH 55'-0" OUTSIDE TURNING RADIUS AND 35'-0" INSIDE TURNING RADIUS, TYP.
 - Ⓜ ADA ACCESSIBLE PARKING SPACE AND PAVEMENT SYMBOL
 - Ⓜ ADA ACCESSIBLE PARKING SPACES, SEE ENLARGED PLAN
 - Ⓜ MODIFIED EXISTING DRIVEWAY ENTRANCE, SEE CIVIL DRAWINGS
 - Ⓜ OVERHEAD DOOR LOCATION
 - Ⓜ ADA 4" WIDE YELLOW STRIPING AT 45 DEGREES
 - Ⓜ PAVEMENT TREATMENT
 - Ⓜ ADA ACCESSIBLE PATH
 - Ⓜ SLIDING VEHICULAR ACCESS GATE, SEE ELEVATIONS
 - Ⓜ BICYCLE RACK
 - Ⓜ ROLLING ELECTRIC GATE
 - Ⓜ ELECTRIC GATE OPERATOR LOCATION, SEE ELECTRICAL DRAWINGS
 - Ⓜ LED PAVEMENT LIGHTS AT CROSSWALK, ACTIVATED FOR EVENTS
 - Ⓜ DEPRESSED LOADING DOCK
 - Ⓜ MASONRY SCREEN WALL, SEE LANDSCAPE DWGS
 - Ⓜ CMU WALL FOR TRASH ENCLOSURE, SEE ENLARGED PLAN AREA
 - Ⓜ EXISTING TRASH ENCLOSURE
 - Ⓜ SITE LIGHTING POLE AND BASE, SEE ELECTRICAL AND STRUCTURAL DRAWINGS
 - Ⓜ 5' CLEAR TRASH MANEUVERING SPACE
 - Ⓜ ROOF DRAIN DOWNSPOUT LEADER ROOF DRAIN LEADER TO CONNECT TO UNDERGROUND STORM DRAIN SYSTEM, OVERFLOW TO DAWDLIGHT @ FACE OF BUILDING, SEE CIVIL AND ROOF PLAN DWGS.

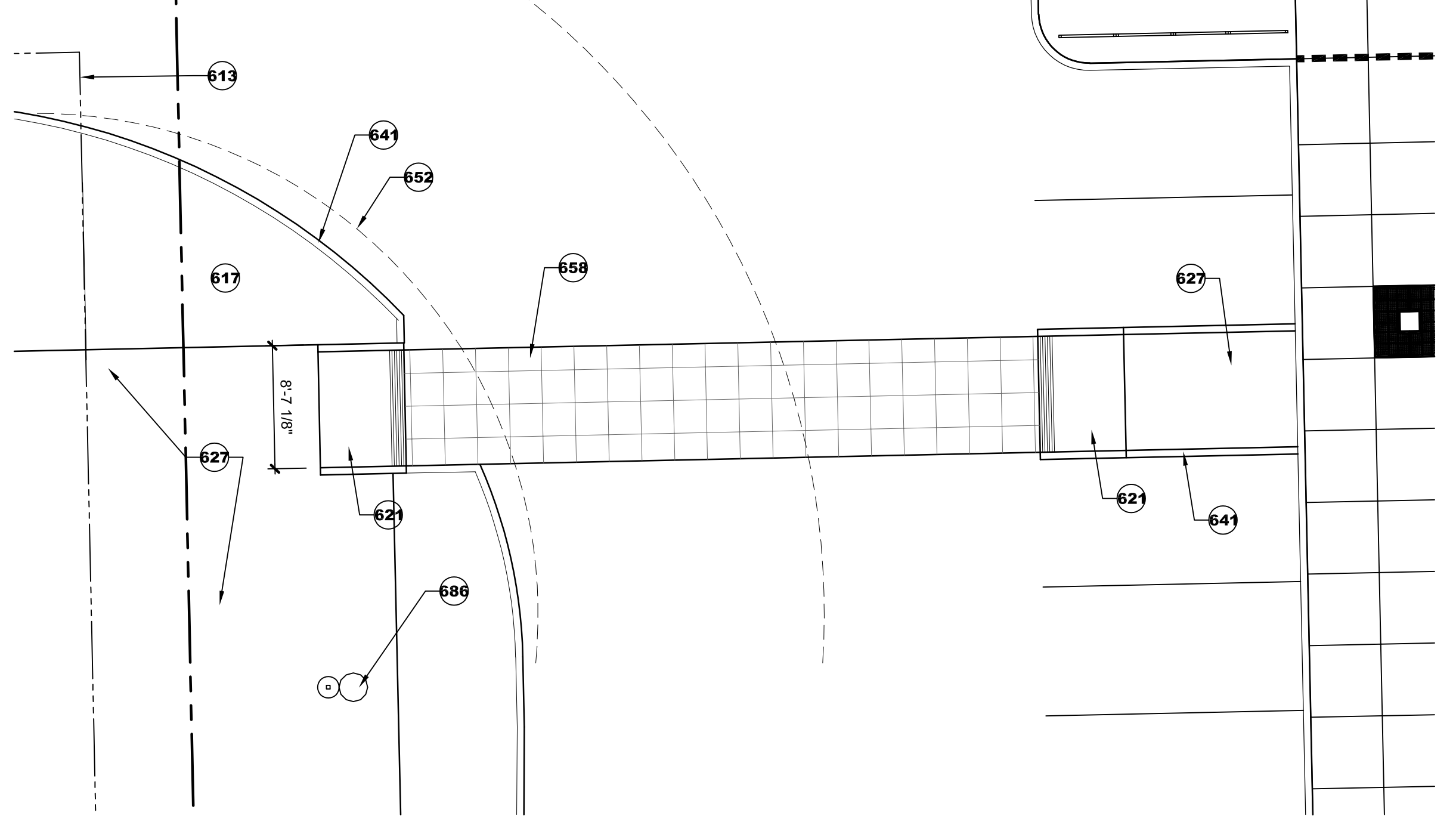
SIGN LOCATIONS AND DESIGN TO BE DETERMINED UNDER SEPARATE SUBMITTAL/APPROVAL AND PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY



1 TRASH ENCLOSURE
1/8" = 1'-0"



2 ADA NORTH SIDE
1/8" = 1'-0"



3 ADA CROSSWALK EAST SIDE
1/8" = 1'-0"

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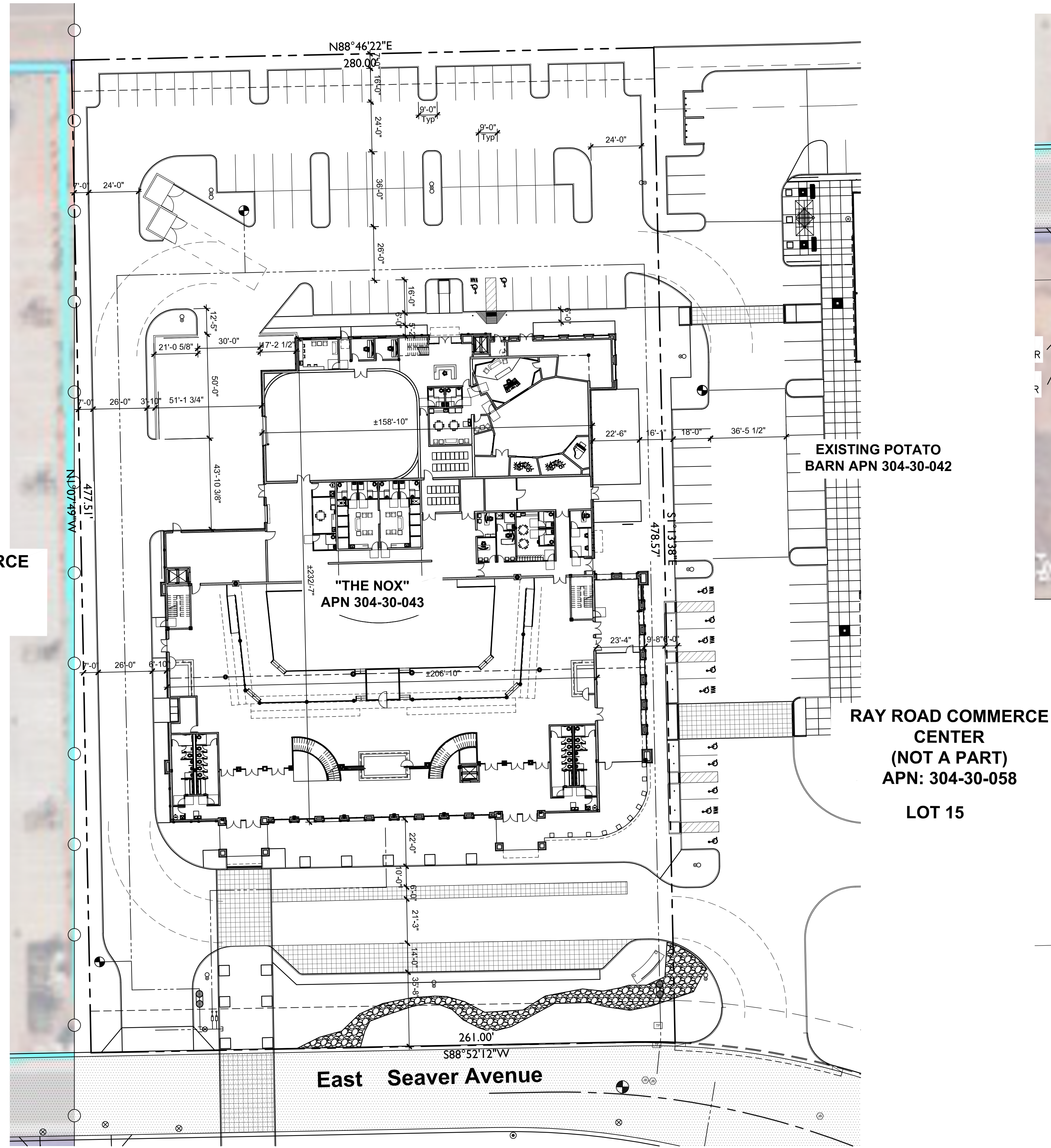
Phase: **Design Review**

THE NOX
Music Performance Venue
7224 E. Seaver Ave, Mesa, AZ 85212

ANNOTATED/ENLARGED SITE PLANS

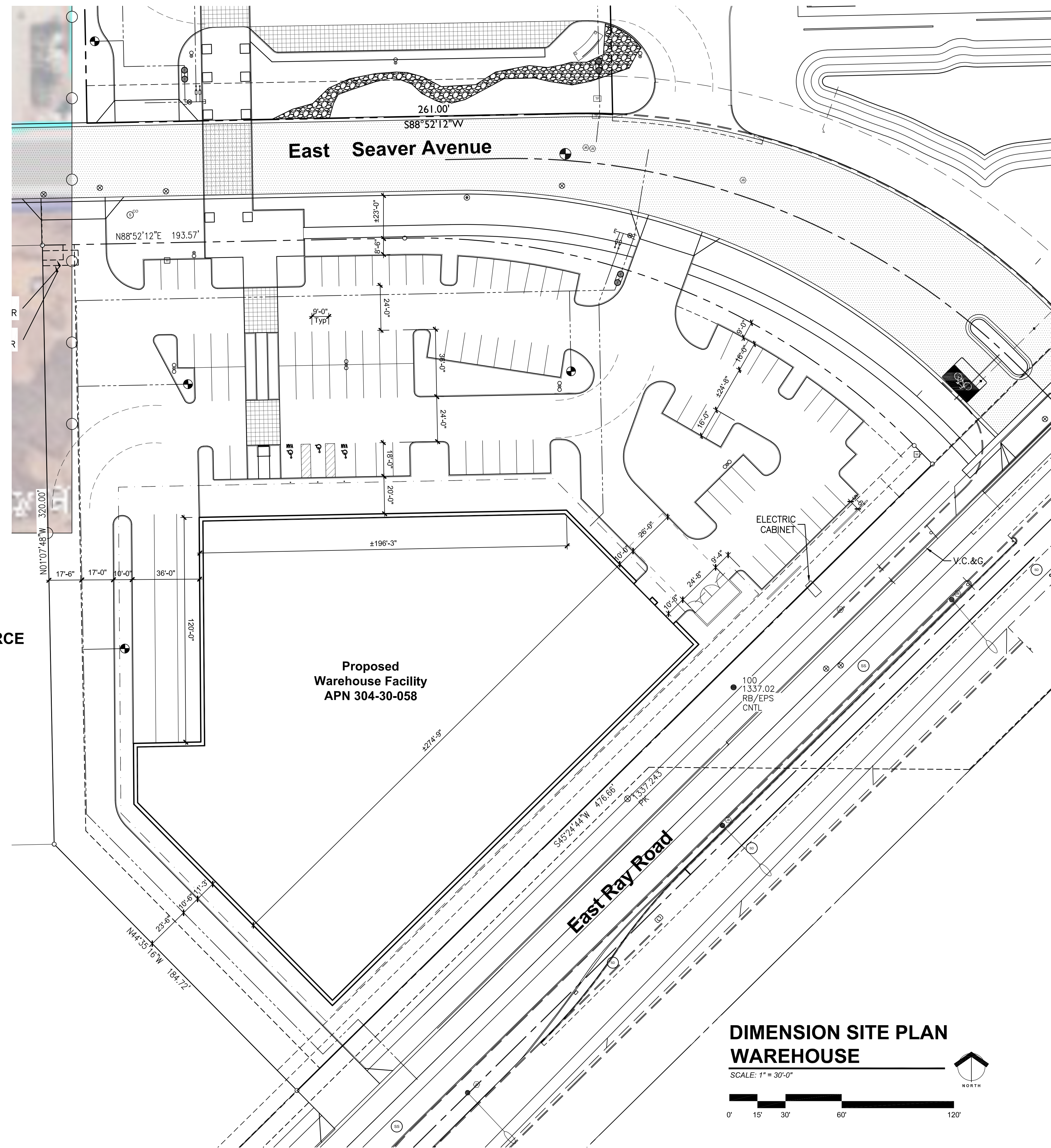
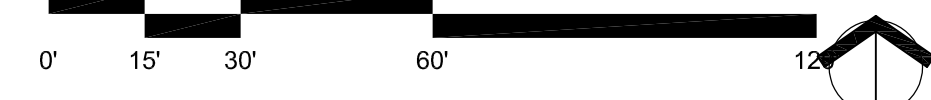
Project Number: 2201	Revision Date:	Sheet Number: SP1
Date: 11/12/2024		

RAY ROAD COMMERCE CENTER (NOT A PART) APN: 304-30-056



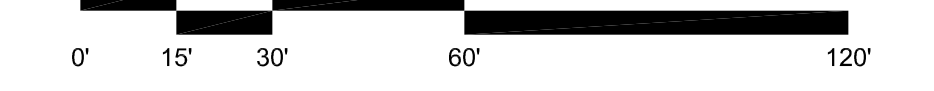
DIMENSION SITE PLAN NOX

SCALE: 1" = 30'-0"



DIMENSION SITE PLAN WAREHOUSE

SCALE: 1" = 30'-0"

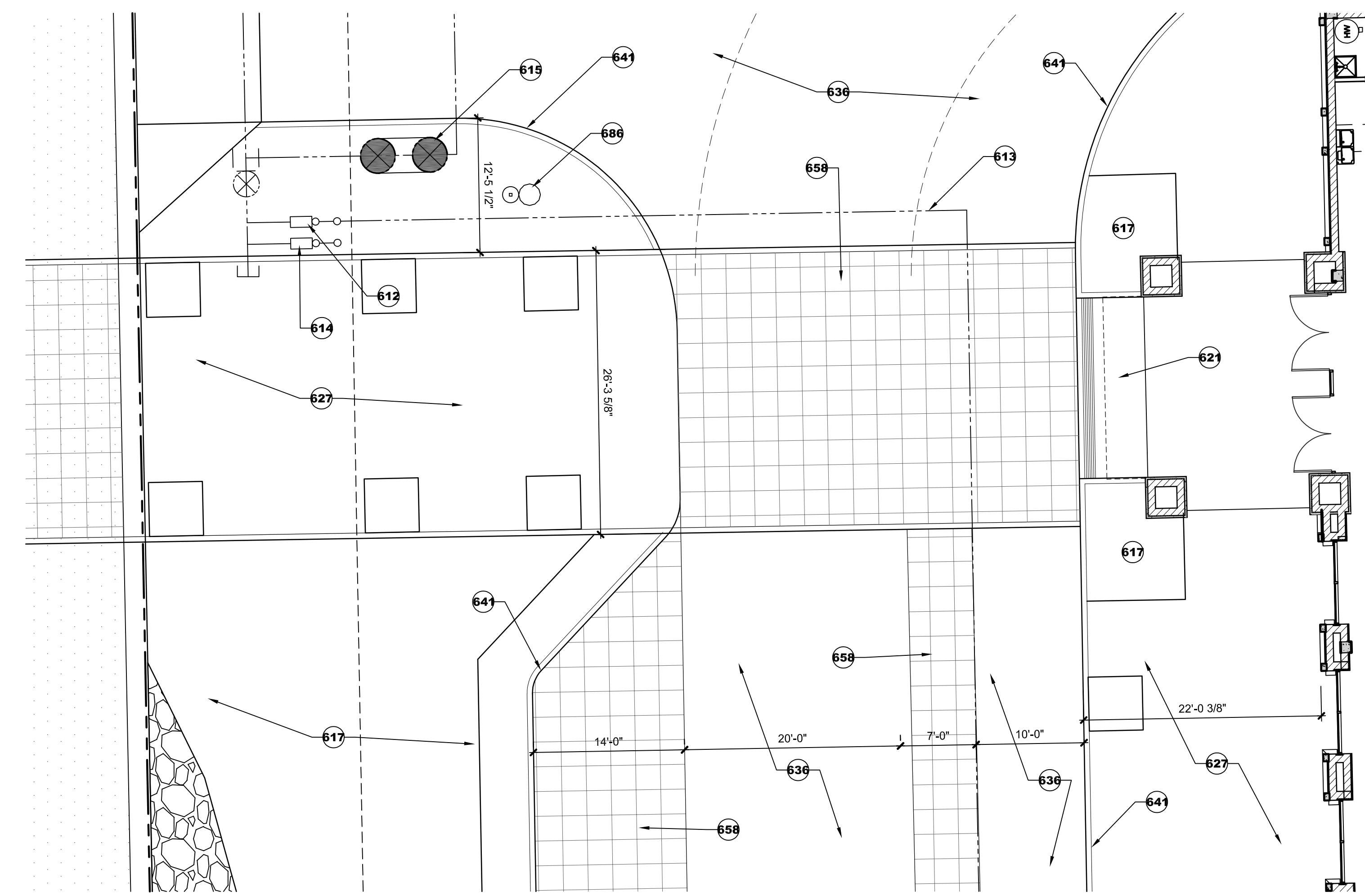


- SITE PLAN KEYNOTES** (SOME KEYNOTES MAY NOT APPLY)
- ⊙ PROPERTY LINE. SEE CIVIL DRAWINGS
 - ⊙ LANDSCAPE SETBACK LINE
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 - ⊙ SITE / BUILDING LAYOUT POINT
 - ⊙ NEW ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS
 - ⊙ ELECTRICAL SERVICE ENTRANCE SECTION (SES) SEE ELECTRICAL DRAWINGS
 - ⊙ EXISTING DRIVEWAY ENTRANCE
 - ⊙ FIRE DEPARTMENT CONNECTION LOCATION. SEE CIVIL DRAWINGS
 - ⊙ FIRE DEPARTMENT KNOX BOX LOCATION PER CITY OF MESA REQUIREMENTS
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 - ⊙ IRRIGATION WATER METER LOCATION PER CIVIL. SEE CIVIL DRAWINGS
 - ⊙ BACKFLOW PREVENTER LOCATION PER CIVIL. SEE CIVIL DRAWINGS
 - ⊙ SEWER SERVICE CONNECTION LOCATION. SEE CIVIL AND PLUMBING DRAWINGS
 - ⊙ LANDSCAPE AND/OR RETENTION AREA. SEE CIVIL AND LANDSCAPE DRAWINGS
 - ⊙ NEW LANDSCAPE ISLAND. SEE CIVIL AND LANDSCAPE DRAWINGS
 - ⊙ ADA PARKING SIGN AND POLE
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 - ⊙ EXISTING ASPHALT PAVING TO REMAIN
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4 ADA PARKING EAST SIDE

1/8" = 1'-0"



5 MAIN PEDESTRIAN STREET CROSSING

1/8" = 1'-0"

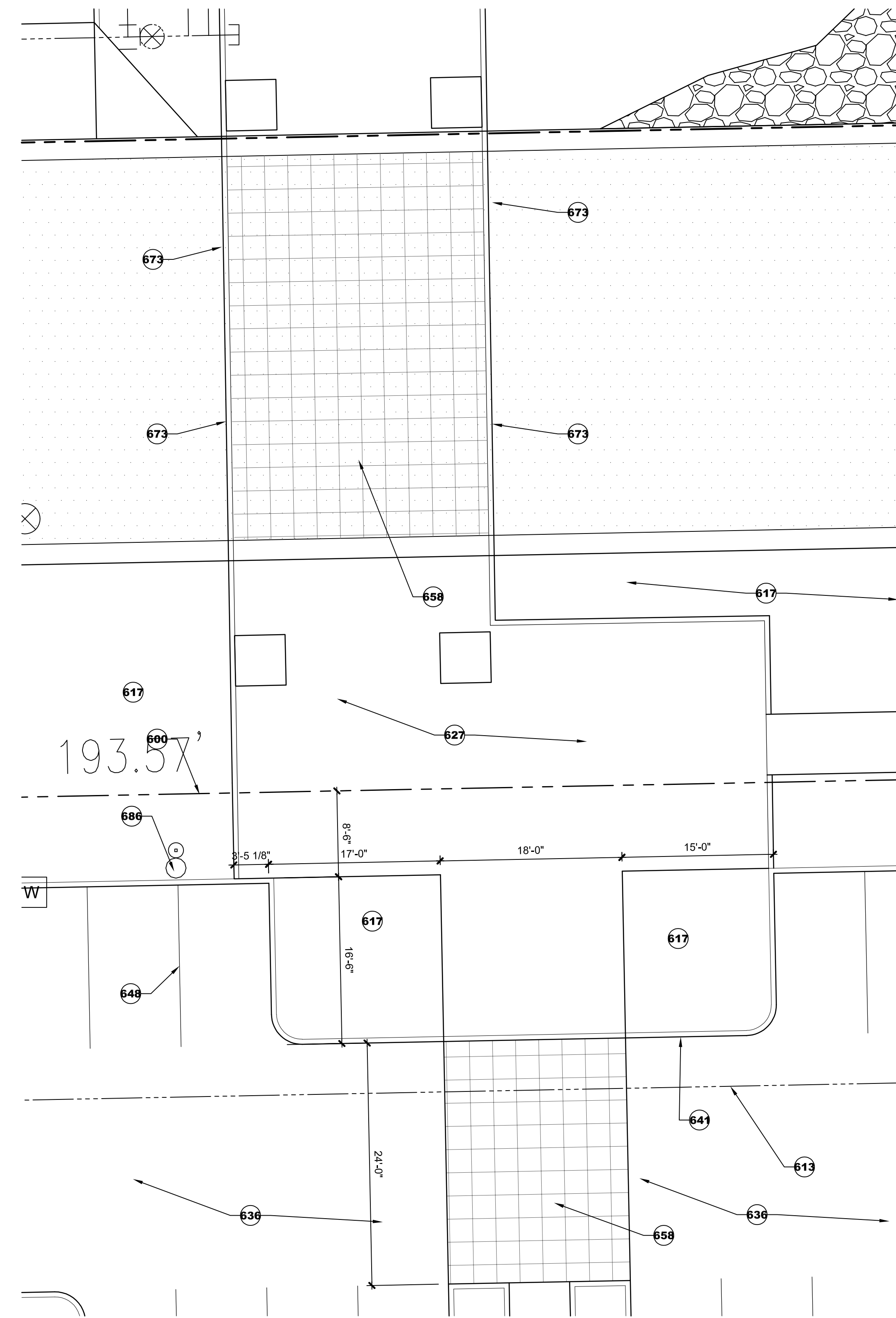
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Phase **Design Review**

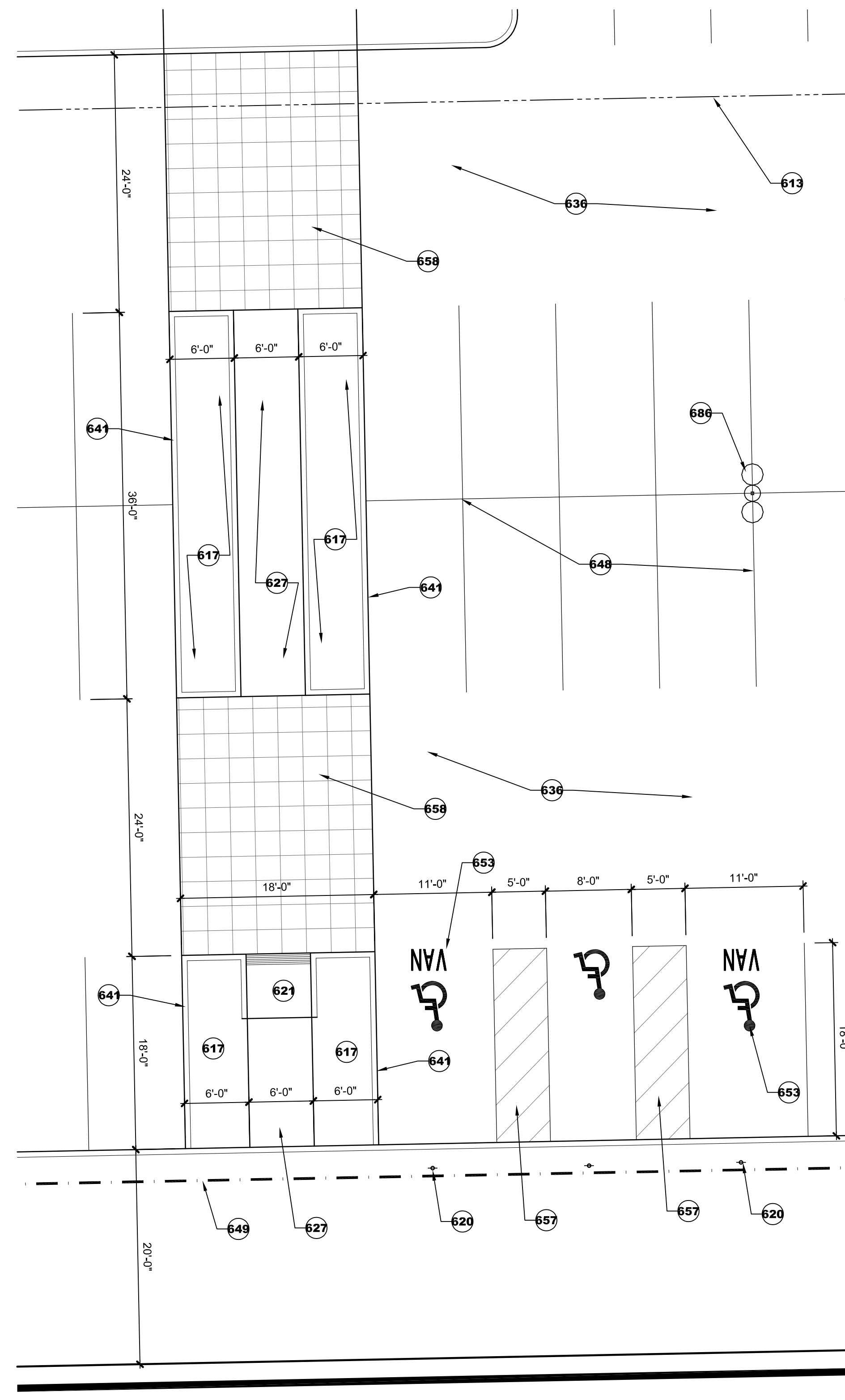
THE NOX
Music Performance Venue
7224 E. Seaver Ave, Mesa, AZ 85212

DIMENSION/ENLARGED SITE PLANS

Project Number: 2201	Revision Date:	Sheet Number: SP2
Date: 11/12/2024		



6 SEAVER CROSSING
1/8" = 1'-0"



7 WAREHOUSE ADA PARKING
1/8" = 1'-0"

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SIGN LOCATIONS AND DESIGN TO BE DETERMINED UNDER SEPARATE SUBMITTAL/APPROVAL AND PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY



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Phase **Design Review**

THE NOX
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ENLARGED SITE PLANS

Project Number: 2201	Revision Date:	Sheet Number: SP3
Date: 10/21/2024		