

THE LANDING at FALCON FIELD

LOCATED AT 1919 N. 46TH ST. IN MESA, ARIZONA

CASE #ZON22-00114

2nd SUBMITTAL – 03.11.2024



DEVELOPMENT TEAM

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I. PURPOSE OF REQUEST

Evergreen Devco, Inc. (“Evergreen”) is pleased to propose a +/-33-acre mixed-use development at 1919 N. 46th St. in Mesa (“Subject Site”). Six development parcels are proposed within the Subject Site to aid in developing the 33-acre mixed-use community, The Landing at Falcon Field. Below in **Table 1** – Proposed Development Parcels, are the proposed parcels and the corresponding zoning requests:

Table 1 – Proposed Development Parcels

PARCEL #	ACRES	PROPOSED LAND USE	PROPOSED ZONING
1	1.38	Commercial/Retail	LI - PAD
2	1.27	Commercial/Retail	LI - PAD
3	6.24	Light Industrial	LI PAD
4	9.13	Light Industrial	LI PAD
5	7.07	Light Industrial	LI PAD
6	8.08	Light Industrial	LI PAD

Evergreen requests Rezoning accompanied with a Site Plan (Section 11-56-4.C) approval for all the development with a concurrent “Specific Site Plan” (Section 11-22-5.B.2) approval and “Design Review” (Section 11-22-5.B.1) approval for Parcels 3 through 6.

A. THE LANDING AT FALCON FIELD MIXED-USE VISION

The Landing at Falcon Field is conceived as a versatile light industrial area, designed to accommodate a range of uses, including retail, restaurants, and light industrial/employment spaces. The retail establishments are positioned along McKellips Road, and they are adjacent to complementary commercial facilities to the west, as well as employment hubs to the east and south. This strategic layout promotes both internal and external walkability to nearby commercial amenities. The industrial buildings are thoughtfully distributed across the site, strategically located adjacent to the Falcon Field Business Park.

B. REZONING REQUEST

The Landing at Falcon Field seeks rezoning from Light Industrial (LI) Council Use Permit (CUP) to Light Industrial (LI) Planned Area Development (PAD). This rezoning was proposed by the City of Mesa as the process required to remove a CUP that calls for the development of a Sam’s Club shopping center. Additionally, the PAD request will include development standard code deviations as described in Section IV. C. 1. below. The proposed LI PAD entitlement is consistent with the land use pattern outlined in the General Plan 2040.



II. PROPERTY LOCATION & SURROUNDING AREA

A. SITE LOCATION

Generally located east of the southeast corner of Greenfield Road and McKellips Road, the Subject Site is approximately 33 net acres of vacant land with an address of 1919 N. 46th St. (APN#141-34-002H). The Subject Site and proposed development parcel legal descriptions and ALTA survey are provided with this application.

The property is surrounded by existing and developing commercial and employment uses. **Table 2-** Land Uses, General Plan & Zoning Designations, provides a summary of existing surrounding land uses, General Plan Land Use designations, and zoning.

Table 2 – Land Uses, General Plan & Zoning Designations

	LAND USE	GENERAL PLAN	ZONING
SITE	Vacant	Mixed Use Activity	LI CUP
NORTH	Aviation/Education	Specialty/Airport	LI/LC
EAST	Vacant, Commercial Service, Employment	Mixed Use Activity & Employment	LI
SOUTH	Employment & Education	Employment	LI
WEST	Commercial/Retail, Vacant, Employment, Education	Mixed Use Activity & Employment	LC

B. SURROUNDING AREA

An aerial of the surrounding area is included in **Exhibit 1** – Context Map, to bring visual to Table 2– Land Uses, General Plan & Zoning Designations. While Falcon Field Airport is located north of the Subject Site across McKellips Road (arterial roadway), a variety of flight schools and vacant land buffer the physical airport. To the east, the Mixed Use Activity General Plan designation extends along McKellips Road across a small office building and vacant land. The remaining land to the east consists of commercial services and employment. Walmart is west of the site and is located at the southeast corner of Greenfield Road and McKellips Road. It works as an anchor to restaurant and retail service pads along McKellips Road. Lastly, between McKellips Road and McLellan Road lies a variety of uses including schools, employment, and light industrial uses.

III. SITE ANALYSIS

A. General Plan Land Use Designation & Analysis

The subject site falls under both Employment/ Mixed-Use Activity District (“MUAD”) on the Mesa 2040 General. The Subject Site’s General Plan designation was amended with the 2040 update in 2014 from the 2025 General Plan designation of “Business Park.” **Exhibit 2**– General Plan Land Use Map displays the Subject Site and its current land use designation.

The Employment District is defined as “Large area devoted to industrial, office, warehousing and related uses which may include associated commercial uses”. Furthermore, the Subject Site is one of four designated growth areas, defined as the Falcon Field area. The Falcon Field area plan



recognizes established and growing business centers throughout the city and works with those areas to increase the identity and quality of those places. A minimum of 70% of the zoning district is required to be a primary zoning district. Our intended Light Industrial zone district is classified as a primary zoning district.

B. FALCON FIELD SUB-AREA DESIGNATION & ANALYSIS

The Subject Site is designated as “Business Park” on the land use designation map in the Falcon Field Sub-Area Plan. This plan was adopted by Council in 2007 and reflected the Zoning and General Plan designations at that time. The Mesa 2040 General Plan was adopted seven years later in 2014 and has been updated to show the Subject Site as Employment/Mixed Use Activity. See **Exhibit 3** – Falcon Field Area Plan.

C. AIRPORT OVERLAY DISTRICT

Majority of the entire site is within the Airport Overflight Area Three (“AOA 3”). AOA 3 is defined as “The area outside the 60 DNL contour area...” There are no limitations or restrictions of land use in the AOA 3 Overlay District, therefore the land use proposal for commercial and light industrial are compatible. Full compliance with Section 11-19-5 Supplementary Provisions is expected. This includes an Avigation Easement, disclosure, and noise level reduction. Airport Overflight Area Two (“AOA 2”) is located on the northwestern portion of Parcel 1. Parcel complies with all overflight restrictions set forth for development within the AOA 2 subject area. See **Exhibit 4** – AOA Overlay Map for a depiction of the overlay district on the Subject Area.

D. EXISTING LAND USE

The Subject Site is primarily vacant and has been in the current condition for over a decade. There are 3 abandoned SRP power poles and were used for RV storage previously. See **Exhibit 5** – Site Aerial.

E. EXISTING ZONING

In 1979 the Subject Site was annexed into the City of Mesa with a larger 3,000-acre area. Long standing M-1 (Light Industrial) and subsequent LI (Light Industrial) zoning has been on the Site for over forty years (Ord. #1250).

In 2005, a Council Use Permit (CUP) was approved for a 247,423 SF Sam’s Club anchored retail center (Z05-073). This proposal included a 134,000 SF Sam’s Club, a 2-acre gas station, and 112,700 SF of commercial pad space. This proposal was reflective of the Sam’s Club/Walmart property ownership and vision of the Subject Site and adjacent 34 acres. Sam’s Club/Walmart maintained ownership for the past 16 years and decided not to pursue the 2005 proposal. Evergreen purchased the Subject site from Sam’s Club/Walmart in September of 2022. See **Exhibit 6** – 2005 CUP Site Plan.



IV. DESCRIPTION & JUSTIFICATION FOR REQUEST

The Landing at Falcon Field proposes approximately 7,000 SF of commercial/retail space and 551,320 SF light industrial building. Below is a development use breakdown. See **Exhibit 7** – The Landing at Falcon Field Master Plan.

A. PROPOSED ZONING & ANALYSIS

All parcels propose rezoning from the current base district of LI CUP to LI PAD to permit the use of commercial/retail and industrial uses. Our site plan includes two drive-thru facilities along McKellips Road and because our application was submitted before the drive-thru code amendments took effect, the Subject Site will be assessed based on the regulations in place prior to the changes.

B. PROPOSED PAD ZONING OVERLAY & ANALYSIS

Per Section 11-22-1 of the Mesa Zoning Ordinance (“MZO”), the parcels will utilize the Planned Area Development (“PAD”) zoning overlay as the “purpose statements” section intended. The overlay is used to provide an increasingly desirable building standard for its prospected tenant base and neighbors. It also allows for site design that creates a unique mixed use development opportunity that would otherwise not be sustainable to conventional development. Lastly, it combines multiple land use activities in a comprehensive manner that work together synergistically for the benefit of the Landing at Falcon Field development, and Mesa business owners, their employees and the residents.

C. LI Development Standards

Below in **Table 3 – LI Amended Development Standards** outlines the MZO section, regulation, standard of the LI base zoning district (MZO Table 11-7-3.), and the proposed standard for Landing at Falcon Field. Changes are noted in bold.

Table 3 – LI Amended Development Standards

Regulation	LI Standard	Proposed Standard
Max. Bldg. Height (ft.)	40'	45'
Group Industrial – Shell Building (No Specified Use) Parking	75% at 1 space per 500 square feet plus 25% at 1 space per 375 square feet	80 % at 1 space per 900 square feet and 20% at 1 space per 375 square feet calculated on the total industrial SF of 551,320. 80% of the total industrial square footage (441,056 SF) will be parked at 1 space per 900 square



		feet and 20% of the total industrial square footage (110,264 SF) will be parked at 1 space per 375 square feet.
Trash Enclosures	Solid waste container enclosures are required for all industrial < 10,000sf	Roll off dumpster surrounded by painted bollards in a fixed location within enclosed truck court

1. Amended Development Standards Justification

MAX BUILDING HEIGHT: The existing maximum building height is set at 40'. However, when factoring in our internal clear height ranging from 28' to 32', along with parapet vertical measurements and rooftop equipment, the total height exceeds the LI standard maximum building height. The proposed deviation for increased building height is supported by modern industries that are increasingly relying on automation and advanced technology to streamline processes and enhance efficiency. Taller clear heights provide the necessary room for the installation of automated systems, including robotic arms and conveyor systems. These technologies often require vertical space for optimal functionality, and buildings with taller clear heights can better support the integration of these systems. Creating designs that cater to both present and future market demands will position Mesa as an attractive and adaptable market for high-tech users.

PARKING REDUCTION: To optimize the functionality, a departure from the existing parking code is requested. Industrial parcels 3 through 6 are speculative developments therefore no use is identified. These buildings will be categorized through the Mesa Zoning Code as a group industrial- shell buildings which is 75% of the building provide 1 parking space per 500 square feet and 25% of the building be built out as office with 1 parking space per 375 square feet. As a response to the City of Mesa's initiative to attract advanced technologies, innovation, and skilled labor markets, the need for extensive parking facilities diminishes. Through a reduction in parking, we can optimize the site area, allowing for improved on-site greenery, landscaping, break areas, and more. This not only helps in minimizing the heat island effect but also reduces overall environmental impacts. With this in mind, our site is requesting the following parking standard deviation with 80% of the total industrial square footage (441,056 SF) parked at 1 space per 900 square feet and the remaining 20% of the total industrial square footage (110,264 SF) will be parked at 1 space per 375 square feet.

TRASH ENCLOSURES: Roll off dumpsters with surrounding bollards located in the enclosed truck court are an optimal alternative to the standard LI masonry trash enclosure code. Enclosures within the truck court can pose a potential nuisance, hindering efficiency and creating obstacles for drivers navigating the space. As an alternative option we will provide a fixed location with yellow painted bollards around



the roll-off dumpsters, ensuring they are securely positioned and accessible. The truck court itself is adeptly designed to provide screening for each building, eliminating the need for additional trash enclosures that would essentially double up on screening efforts. Our commitment to thoughtful and pragmatic solutions underscores our dedication to creating an optimal environment for both tenants, Mesa’s disposable waste department and operational success.

D. DEED RESTRICTIONS

Sam’s West Inc., the previous property owner and an affiliate Walmart, imposed specific land use restrictions which are recorded against the Subject Property. This extensive list includes uses that could compete with current and future Walmart services on the adjacent parcel. Generally, this includes commercial uses that have an online sales component, grocery, pharmaceutical, etc. The uses proposed at The Landing at Falcon Field were strategically chosen to conform to the Walmart deed restrictions and support the adjacent Walmart shopping center. It is important to understand that these deed restrictions further limit land use options on the Subject Site.

E. PRILIMINARY PLAT/ FINAL PLAT

A Plat will be processed to create Parcels 1 through 6.

F. GRADING & DRAINAGE

A Master Drainage study will be prepared for the entire development. Preliminary grading/drainage, water, and sewer plans have been submitted for the entire development as part of this submittal.

G. UTILITIES & SERVICES

Below are the Subject Site’s intended utility and service providers. Water, Sewer, and Drainage reports have been provided with this submittal in additional to Preliminary Improvement Plans.

Table 4 – Utility & Service Providers

SERVICE	PROVIDER
WATER	City of Mesa
WASTEWATER	City of Mesa
REFUSE	City of Mesa
ELECTRIC	Salt River Project
GAS	City of Mesa
CABLE	Cox Communications
TELEPHONE	Cox Communications
POLICE	City of Mesa
FIRE	City of Mesa



V. OUTREACH

A. PUBLIC PARTICIPATION

A Citizen Participation Plan has been submitted concurrently with this application and will be updated to a Citizen Participation Report as the application progresses.

VI. CONCLUSION

After years of dedicated collaboration with our neighbors and City staff, we are eager to present our updated rezoning application and site plan that addresses the needs expressed to us. This revised plan aims to establish an industrial development that also fulfills the commercial/retail requirements of the surrounding area. With careful consideration of the feedback received and a commitment to creating a positive impact for future employees, we firmly believe the proposed rezoning, site plan, and design review approval are consistent with the current Mixed-Use Activity District General Plan designation and furthers the goals and policies of the Quality Design Standards.



EXHIBT 1 – CONTEXT MAP



EXHIBT 2– GENERAL PLAN LAND USE MAP



EXHIBT 3 – FALCON FIELD AREA PLAN



EXHIBT 4 – AOA OVERLAY MAP



EXHIBT 5 – SITE AERIAL



EXHIBIT 6 -2005 CUP SITE PLAN



EXHIBT 7 – THE LANDING AT FALCON FIELD MASTER PLAN

LANDSCAPE LEGEND

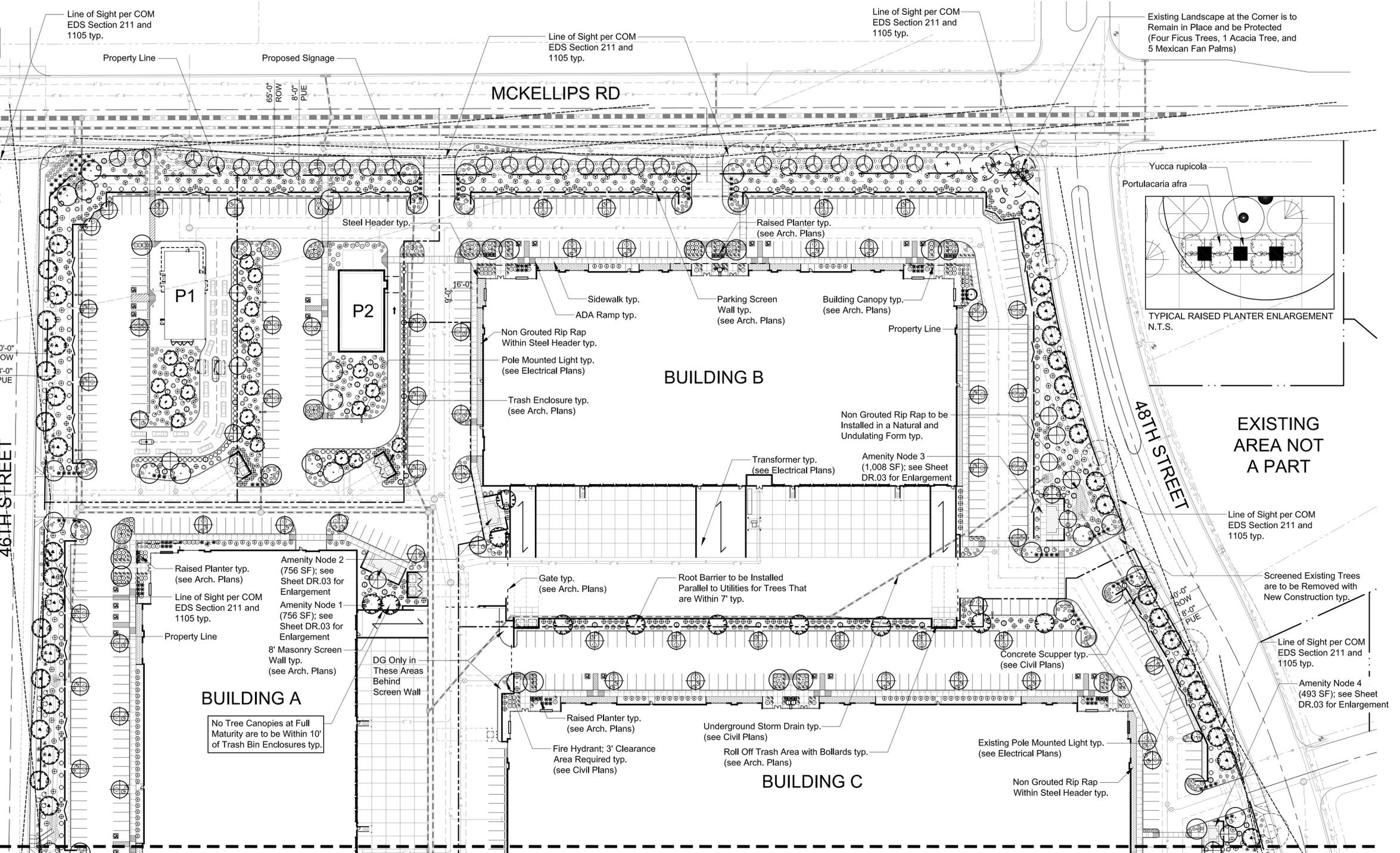
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY
Chilopsis linearis 'Art' Seedless Desert Willow	24" box Multi-Trunk	21
Ulmus parviflora 'Sempervirens' Chinese Evergreen Elm	24" Box Standard, Matching	26
Parkinsonia hybrid 'Desert Museum' Desert Museum Palo Verde	36" Box Multi-Trunk, Breaker, Matching	106
Prosopis alba 'Hybrid Cooperii' Cooper's Thornless Mesquite	24" Box Standard, Matching	115
Caesalpinia mexicana Mexican Bird of Paradise	36" Box Standard, Matching	03
Acacia salicina Willow Acacia	24" Box Standard, Matching	53
Fouquieria splendens Ocotillo	6' Tall - 6 Cane Minimum	02
Quercus virginiana 'Heritage' Heritage Live Oak	24" Box Standard, Matching	73
Existing Trees to Remain in Place and be Protected		05
Existing Mexican Fan Palm to Remain in Place and be Protected		5
Existing Trees to be Removed with New Construction		29

SHRUBS / ACCENTS / VINES	SIZE	QTY
Dasyliodon wheeleri Desert Spoon	5 Gallon	57
Hesperaloe funifera Giant Yucca	5 Gallon	59
Leucophyllum frutescens 'Compacta' Compact Texas Sage	5 Gallon	351
Hesperaloe parviflora 'Yellow' Yellow Yucca	5 Gallon	124
Bouteloua gracilis Blonde Ambition Grass	5 Gallon	115
Agave desmettiana Smooth Agave	5 Gallon	284
Caesalpinia mexicana Mexican Bird of Paradise	5 Gallon	105
Senna artemisioides Feathery Cassia	5 Gallon	139
Eremophila hydrophana Blue Bells	5 Gallon	282
Tecoma x 'Sparky' Sparky Tecoma	5 Gallon	399
Aloe x 'Blue Elf' Blue Elf Aloe	5 Gallon	266
Ruellia peninsularis Desert Ruellia	5 Gallon	217
Justicia californica Red Chuparosa	5 Gallon	82
Encelia farinosa Brittlebush	5 Gallon	66
Nerium oleander 'Petite Pink' Petite Pink Oleander	5 Gallon	267
Leucophyllum x Heavenly Cloud Heavenly Cloud Sage	5 Gallon	114
Calliandra californica Baja Fairy Duster	5 Gallon	97
Hesperaloe parviflora 'Red' Red Yucca	5 Gallon	100
Yucca rupicola Twisted Leaf Yucca	5 Gallon	36

GROUNDCOVERS	SIZE	QTY
Lantana x 'White Lightning' Trailing White Lantana	5 Gallon	67
Lantana montevidensis Trailing Lantana 'Purple & Gold Mound'	5 Gallon	553
Portulacaria afra Elephant's Food	5 Gallon	96

SUBMIT SAMPLES OF ALL INERT MATERIAL TO LA FOR APPROVAL



GENERAL BUILDING FOUNDATION / IRRIGATION NOTES:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 5' NEXT TO THE BUILDING FOUNDATION. WITHIN 5'-10' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 10' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

SIGHT DISTANCE DESIGN NOTE:

SIGHT VISIBILITY TRIANGLES HAVE BEEN DESIGNED FOR A 45 MPH + 5 TOTALING 50 MPH ALONG MCKELLIPS RD.

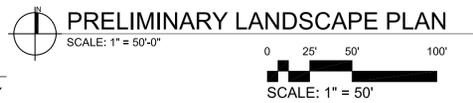
SIGHT VISIBILITY TRIANGLES HAVE BEEN DESIGNED FOR A 30 MPH + 5 TOTALING 35 MPH ALONG 46TH ST AND 48TH ST.

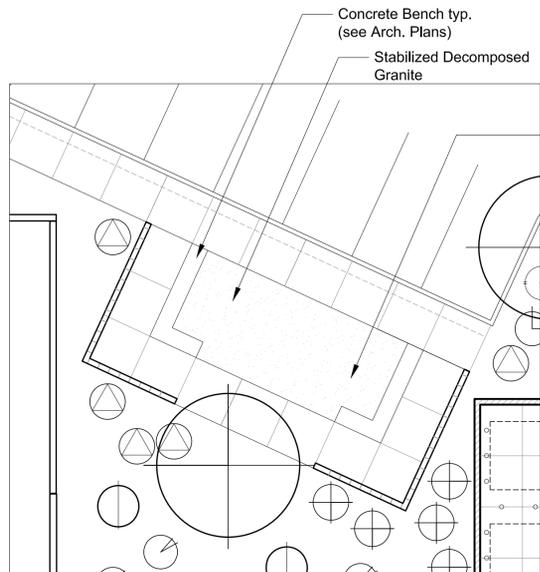
PRELIMINARY LANDSCAPE PLAN GENERAL NOTES:

- THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY OF MESA STANDARDS.
- ALL TREES WILL BE 15 GALLON OR LARGER.
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.
- DECOMPOSED GRANITE, 2" MINIMUM THICKNESS, TO BE PLACED IN ALL LANDSCAPE AREAS NOT DESIGNATED FOR RIP-RAP OR LAWN.
- ALL EARTHWORK WILL BE DONE SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS / STRUCTURES AND WILL NOT IMPEDE NATURAL DRAINAGE EASEMENTS.
- STRUCTURES AND LANDSCAPING WITHIN A SIGHT VISIBILITY TRIANGLE OR SIGHT VISIBILITY LINE WILL NOT EXCEED 24" INCHES.
- FINAL LANDSCAPE PLANS TO MEET OR EXCEED MINIMUM CITY STANDARDS.

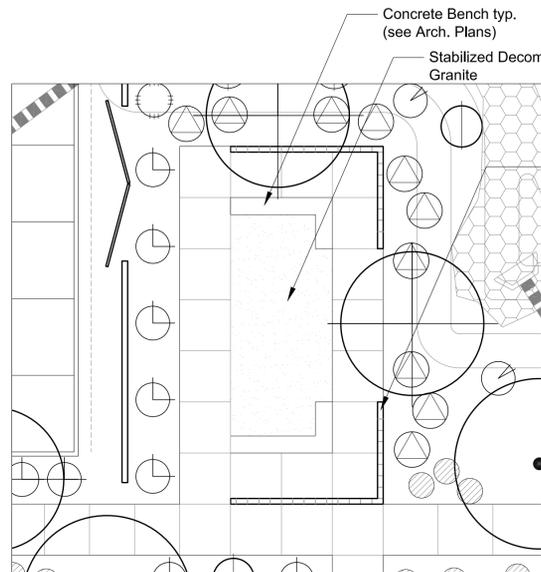


**Proposed Mixed-Use Development
Greenfield Road and McKellips Road
Mesa, Arizona**

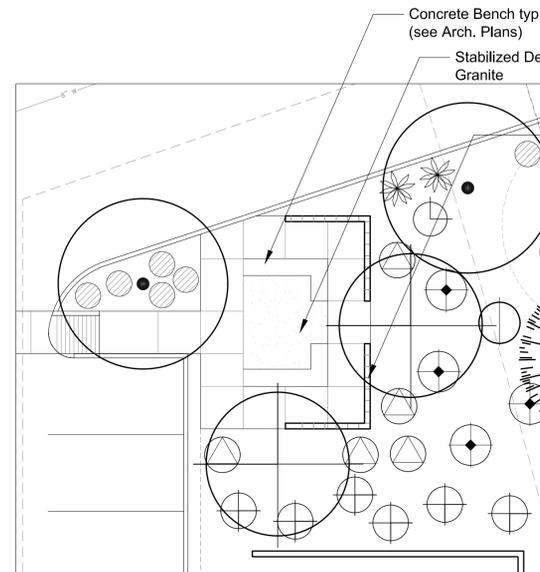




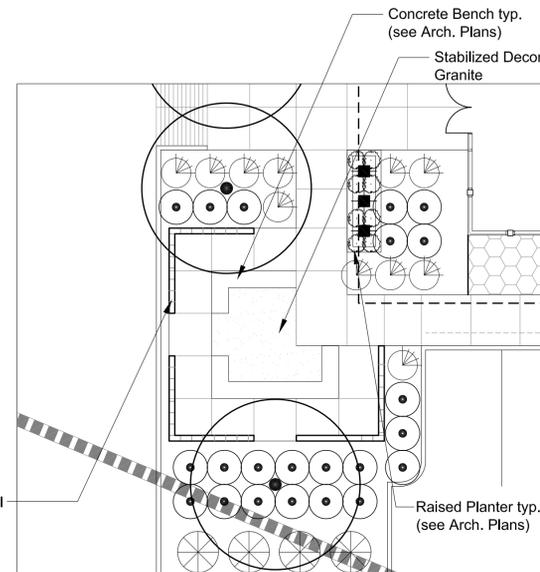
AMENITY NODE 1 AND 2
SCALE: 1" = 10'-0"
SCALE: 1" = 10'



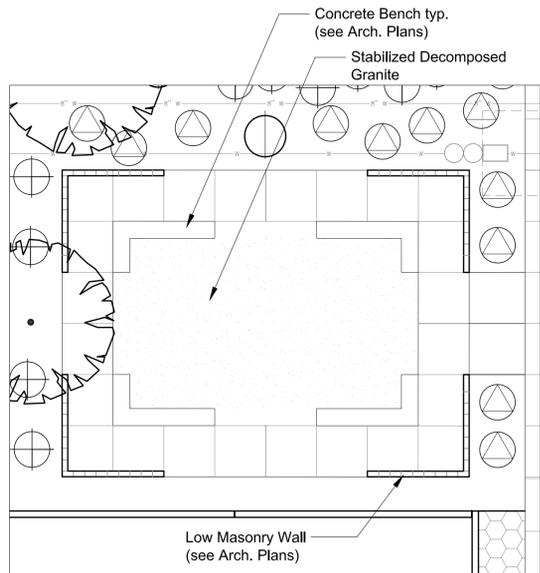
AMENITY NODE 3 AND 6
SCALE: 1" = 10'-0"
SCALE: 1" = 10'



AMENITY NODE 4
SCALE: 1" = 10'-0"
SCALE: 1" = 10'



AMENITY NODE 5
SCALE: 1" = 10'-0"
SCALE: 1" = 10'



AMENITY NODE 7
SCALE: 1" = 10'-0"
SCALE: 1" = 10'

SHADE COVERAGE CALCULATIONS

TOTAL SIDEWALK SF FOR ENTIRE SITE: 52,984 SF	
TOTAL TREES ADJACENT TO SIDEWALK ROUTE: 176	
TREE BREAKDOWN:	
- PARKINSONIA HYBRID 'DESERT MUSEUM'	
- 25' DIAMETER CANOPY AT MATURITY (491 SF)	
- TOTAL: 56	
PROSOPIS ALBA HYBRID	
- 25' DIAMETER CANOPY AT MATURITY (491 SF)	
- TOTAL: 45	
QUERCUS VIRGINIANA 'HERITAGE'	
- 20' DIAMETER CANOPY AT MATURITY (491 SF)	
- TOTAL: 51	
CAESALPINIA MEXICANA	
- 10' DIAMETER CANOPY AT MATURITY (79 SF)	
- TOTAL: 01	
ULMUS PARVIFOLIA 'SEMPERVIRENS'	
- 25' DIAMETER CANOPY AT MATURITY (491 SF)	
- TOTAL: 24	
TOTAL SF OF TREE CANOPIES AT MATURITY: 86,495 SF	
ASSUMING 33% OF TREE CANOPY SF WILL SHADE SIDEWALK	
TOTAL NUMBER OF TREES WILL SHADE 28,543 SF OF SIDEWALK	
52,984 SF OF SIDEWALK / 28,381 SF OF SHADE: 53.9% COVERAGE	

OPEN SPACE CALCULATIONS

TOTAL LANDSCAPE AREA +/- 16.2%: 236,564 S.F. (5.43 ACRES)

LANDSCAPE COVERAGE:

- EVERGREEN TREES	24,200 SF
- SHADE TREES	7,600 SF
- ORNAMENTAL TREES	75 SF
- LARGE SHRUBS	25,200 SF
- MEDIUM SHRUBS	58,850 SF
- SMALL SHRUBS	3,020 SF
- GROUNDCOVER	17,900 SF

236,564 SF LS AREA / 136,845 SF OPEN SPACE COVERAGE = 57.8%
(MINIMUM 50% REQUIRED PER 11-33-2: - GENERAL REQUIREMENTS SECTION E - OPEN SPACE)

AMENITY NODES AREA:
- SINGLE NODE: MINIMUM 256 S.F. (16' X 16')
- TOTAL AMENITY NODES (7): 6,320 S.F. (0.15 ACRES)

AMENITY NODE CALCULATIONS:

AMENITY NODE 1	756 SF
AMENITY NODE 2	756 SF
AMENITY NODE 3	1,008 SF
AMENITY NODE 4	493 SF
AMENITY NODE 5	491 SF
AMENITY NODE 6	1,008 SF
AMENITY NODE 7	1,808 SF

TOTALS

REQUIRED:	5,515 SF
PROVIDED:	6,320 SF

FOUNDATION PLANTING REQUIREMENTS:

BUILDING A: 1,164 LF	23 TREES REQUIRED
BUILDING B: 888 LF	18 TREES REQUIRED
BUILDING C: 836 LF	17 TREES REQUIRED
BUILDING D: 1,065 LF	21 TREES REQUIRED
PAD 1: 276 LF	6 TREES REQUIRED
PAD 2: 256 LF	5 TREES REQUIRED

EXISTING SITE CONDITION NOTES:

EXISTING STREETSCAPE LANDSCAPE AND IRRIGATION WAS FIELD VERIFIED ON 10/28/2023. ALL PLANT MATERIAL SHOWN WAS FOUND TO BE HEALTHY. IRRIGATION SYSTEM CURRENTLY WORKING PROPERLY. GENERAL CONTRACTOR TO HOLD A PRE-CON MEETING BETWEEN LANDSCAPE ARCHITECT AND LANDSCAPE CONTRACTOR TO REVIEW THE CURRENT CONDITION OF AREAS TO BE PROTECTED IN PLACE PRIOR TO NEW CONSTRUCTION OR AGREES TO BE HELD TO SITE CONDITIONS RECORDED ON 10/28/2023 BY LASKIN AND ASSOCIATES, INC. IF EXISTING LANDSCAPE DECLINES OR IRRIGATION SYSTEM IS DAMAGED DURING NEW CONSTRUCTION.

LOCATION	TREES		SHRUBS	
	REQUIRED	FURNISHED	REQUIRED	FURNISHED
NORTH 935'-00" LF				
MCKELLIPS RD				
1 TREE / PER 25' L.F.T.	38	38		
6 SHRUBS / PER 25' L.F.T.			222	369
EAST 1,192'-0" LF				
48TH STREET				
1 TREE / PER 25 L.F.T.	48	48		
4 SHRUBS / PER 25 L.F.T.			192	285
SOUTH 1,247'-0" LF				
PERMIETER				
3 TREE / PER 100 L.F.T.	38	38		
20 SHRUBS / PER 100 L.F.T.			250	281
WEST 1,125'-0" LF				
46TH STREET				
1 TREE / PER 25 L.F.T.	45	45		
4 SHRUBS / PER 25 L.F.T.			180	375
PARKING LOT				
1 TREE / PER 15' ISLAND	132	132		
3 SHRUBS / PER 15' ISLAND			396	396
FOUNDATION PLANTING				
1 TREE / PER 50 L.F.T.	90	90	0	0
TOTAL REQ'D/FRNSHD	391	391	1,240	1,706
SIZE REQ'D/FURNISHED				
TREES 36" BOX MIN 25%	99	109		
24" BOX MIN 50%	199	288		
15 GAL	0	0		
5 GAL	0	0		
Date Palms	0	0		
TOTAL TREES	298	397		
SHRUBS 15 GAL or Larger			0	
5 GAL			3,876	
1 GAL			0	
POT/FLAT			0	
Existing				
TOTAL SHRUBS			3,876	

PROJECT DATA

APN#:	141-34-002H
Property Address:	1919 N. 46th ST. Mesa, AZ 85205
Existing Zoning:	LI
Net Site Area:	1,457,891 S.F. (33.47 AC.)
Additional ROW Dedication:	11,936 S.F. (0.27AC.)
New Net Site Area:	1,445,955 S.F. (33.19 AC.)
Retail Building Area:	6,929 S.F.
Industrial Building Area:	551,500 S.F.
Total Building Area:	558,429 S.F.
Building Coverage:	38.6%

PROJECT DATA - RETAIL

Net Site Area:	115,700 SF. (2.66 AC)
Building Area:	6,929 SF.
Coverage:	6%

PARKING REQUIRED:

Restaurant/Drive-thru (6,929 S.F.) @ 1/100 S.F.:	69 Spaces
Restaurant Patio (600 S.F.) @ 1/200 S.F.:	3 Spaces
Total Parking Required:	72 Spaces
Parking Provided:	94 Spaces
ADA Parking Required:	4 Spaces
ADA Parking Provided:	5 Spaces
Proposed Height:	26'-0"

PROJECT DATA - INDUSTRIAL

Net Site Area:	1,330,255 SF. (30.54 AC)
Building Area:	551,500 SF.
Coverage:	41.5%
Ped Node/Open Space Required (1%):	5,515 SF.
Ped Node/Open Space Provided:	6,320 SF.

PARKING REQUIRED:

Office 25% (104,000 S.F.) @ 1/375 S.F.:	368 Spaces
Warehouse 75% (413,625 S.F.) @ 1/900 S.F.:	460 Spaces
Total Parking Required:	827 Spaces
Parking Provided:	827 Spaces
ADA Parking Required:	17 Spaces
ADA Parking Provided:	28 Spaces
Max Building Height Allowed:	40' Max.
Proposed Building Height:	45'-0" Max.

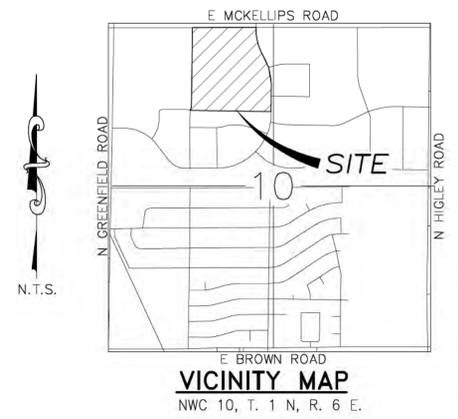


**Proposed Mixed-Use Development
Greenfield Road and McKellips Road
Mesa, Arizona**



PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN FOR THE LANDING AT FALCON FIELD

1919 N. 46TH STREET
S.W.C. OF E MCKELLIPS ROAD AND N 48TH STREET
MESA, ARIZONA 85205



LEGAL DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN HANDHOLE AT THE CENTERLINE INTERSECTION OF 48TH STREET AND MCKELLIPS ROAD, FROM WHICH THE NORTH QUARTER CORNER OF SAID SECTION BEARS NORTH 88 DEGREES 47 MINUTES 43 SECONDS EAST, A DISTANCE OF 270.03 FEET;

THENCE SOUTH 88 DEGREES 47 MINUTES 43 SECONDS WEST ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 1014.81 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 01 DEGREES 12 MINUTES 17 SECONDS EAST, A DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 88 DEGREES 47 MINUTES 43 SECONDS EAST, PARALLEL WITH AND 55.00 FEET SOUTH OF SAID NORTH LINE, A DISTANCE OF 965.14 FEET TO THE BEGINNING OF A 12.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY;

THENCE DEPARTING SAID PARALLEL LINE AND SOUTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 88 DEGREES 10 MINUTES 27 SECONDS, AN ARC LENGTH OF 18.05 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF 48TH STREET AND THE BEGINNING OF A 1038.14 FOOT RADIUS REVERSE CURVE CONCAVE NORTHEASTERLY;

THENCE SOUTHEASTERLY ALONG SAID CURVE AND WESTERLY RIGHT-OF-WAY LINE, THROUGH A CENTRAL ANGLE OF 25 DEGREES 39 MINUTES 25 SECONDS, AN ARC LENGTH OF 464.88 FEET TO THE BEGINNING OF A 917.63 FOOT RADIUS REVERSE CURVE CONCAVE SOUTHWESTERLY;

THENCE SOUTHEASTERLY ALONG SAID CURVE AND WESTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 30 DEGREES 29 MINUTES 28 SECONDS, AN ARC LENGTH OF 488.34 FEET;

THENCE SOUTH 00 DEGREES 11 MINUTES 47 SECONDS EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 346.31 FEET TO THE NORTHEAST CORNER OF "MESA COMMERCE CENTER", ACCORDING TO BOOK 292, PAGE 21, MARICOPA COUNTY RECORDS;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 88 DEGREES 42 MINUTES 56 SECONDS WEST ALONG THE NORTH LINE OF SAID "MESA COMMERCE CENTER", A DISTANCE OF 1146.20 FEET;
THENCE DEPARTING SAID NORTH LINE, NORTH 00 DEGREES 06 MINUTES 14 SECONDS WEST, PARALLEL WITH AND 130.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 10, A DISTANCE OF 50.00 FEET;

THENCE DEPARTING SAID PARALLEL LINE, SOUTH 88 DEGREES 42 MINUTES 56 SECONDS WEST, PARALLEL WITH AND 50.00 FEET NORTH OF SAID NORTH LINE OF "MESA COMMERCE CENTER", A DISTANCE OF 100.00 FEET;

THENCE DEPARTING SAID PARALLEL LINE, NORTH 00 DEGREES 06 MINUTES 14 SECONDS WEST, PARALLEL WITH AND 30.00 FEET EAST OF SAID WEST LINE, A DISTANCE OF 1218.86 FEET TO THE POINT OF BEGINNING.

RETENTION CALCULATIONS

MARICOPA COUNTY 100-YEAR, 2-HOUR STORM

VOLUME REQUIRED = A * P/12 * C

WHERE: A = AREA (S.F.)

P = 100-YEAR, 2-HOUR RAINFALL = 2.20"

C = RUNOFF COEFFICIENT = 0.90 (COMMERCIAL)

DRAINAGE AREA 1

AREA = 1,550,868 S.F.

VOLUME REQUIRED = 1,550,868 * 2.20/12 * 0.90 = 255,893 C.F.

TOTAL SURFACE BASIN VOLUME PROVIDED: 24,966 Cu.Ft.

TOTAL UNDERGROUND RETENTION REQUIRED:

= OVERALL VOLUME REQUIRED - SURFACE BASIN PROVIDED

= 255,893 C.F. - 24,966 C.F. = 230,927 C.F.

UNDERGROUND RETENTION PIPE VOLUME PROVIDED:

VOLUME PROVIDED = LENGTH * CROSS SECTIONAL AREA OF STORAGE PIPE

2,945 LF OF 10' DIA. UNDERGROUND STORAGE PIPE

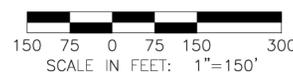
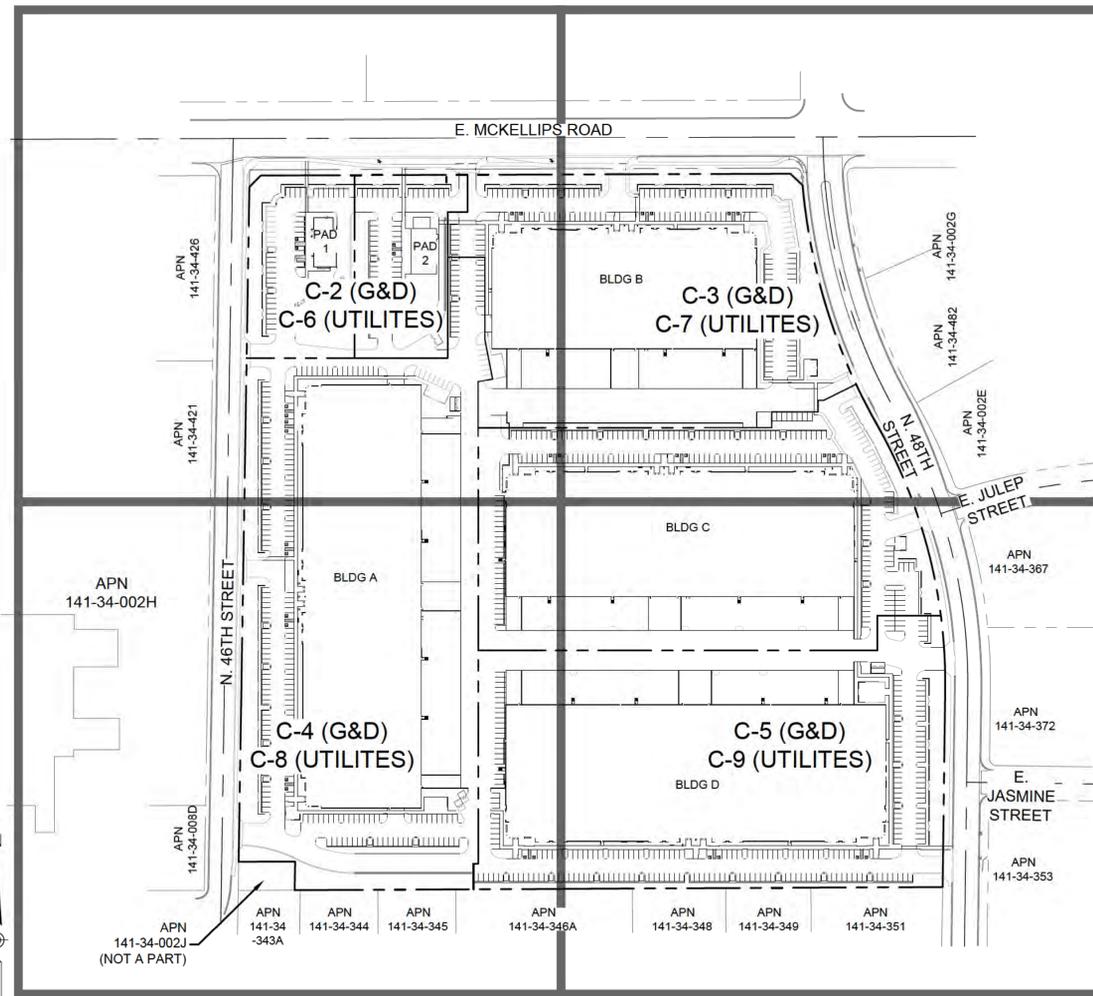
VOLUME PROVIDED = 2,945 * 3.14 * 5² = 231,183 Cu.Ft.

OVERALL VOLUME PROVIDED: 24,966 + 231,183 = 256,149 Cu.Ft.

OVERALL VOLUME REQUIRED: 255,893 Cu.Ft.

PRELIMINARY GRAVITY BLEED OFF SIZING

255,893 CF; DRAIN TIME 36 HOURS ~ 1.97 CFS. 15" @ 0.45% CAPACITY 2.5 CFS



SITE MAP

INDEX OF PLAN SHEETS

- 1 (C-1) COVER SHEET
- 2-5 (C-2-5) PRELIMINARY GRADING AND DRAINAGE PLAN
- 6-9 (C-6-9) PRELIMINARY UTILITY PLANS

LEGEND

<ul style="list-style-type: none"> ○ FOUND BRASS CAP IN HAND HOLE ● FOUND BRASS CAP FLUSH ○ FOUND MONUMENT AS SHOWN ○ SET 1/2" REBAR WITH CAP --- EASEMENT LINE --- PROPERTY LINE --- BOUNDARY LINE --- RIGHT OF WAY --- MONUMENT LINE 	<ul style="list-style-type: none"> ▭ EXISTING CATCH BASIN ○ EXISTING STORM DRAIN MANHOLE ▭ EXISTING SIGN ○ EXISTING SANITARY SEWER MANHOLE ○ EXISTING SEWER CLEANOUT ○ EXISTING TRAFFIC SIGNAL ○ EXISTING FIRE HYDRANT ○ EXISTING BACKFLOW PREVENTER ○ EXISTING WATER VALVE 	<ul style="list-style-type: none"> ● EXISTING UTILITY POLE ○ EXISTING POST ▭ EXISTING SHUT OFF SWITCH ▭ EXISTING PULL/JUNCTION BOX ○ EXISTING ELECTRIC UTILITY ○ EXISTING TELEPHONE MANHOLE ○ EXISTING LIGHT POLE ○ EXISTING SEWER MAIN ○ EXISTING WATER MAIN 	<ul style="list-style-type: none"> —W— PROPOSED WATER LINE —S— PROPOSED SEWER LINE —OHE— EXISTING OVERHEAD ELECTRIC ▭ EXISTING STORM DRAIN P XX.XX PROPOSED ELEVATION. ▭ PROPOSED SCREEN AND/OR RETAINING WALL ▭ PROPOSED RIP RAP ▭ PROPOSED STORM DRAIN 	<ul style="list-style-type: none"> C CONCRETE ELEVATION TC TOP OF CURB ELEVATION G GUTTER ELEVATION FL SWALE FLOWLINE ELEVATION P PAVEMENT FINISH GRADE ELEVATION FG FINISH GRADE TRW TOP OF RETAINING WALL FGN FINISHED GRADE NORTH ELEVATION FGS FINISHED GRADE SOUTH ELEVATION FGW FINISHED GRADE WEST ELEVATION 	<ul style="list-style-type: none"> ○ PROPOSED SEWER CLEANOUT ○ PROPOSED BACKFLOW ○ PROPOSED WATER METER ▭ PROPOSED CATCH BASIN ○ PROPOSED STORM DRAIN MANHOLE ○ DRAINAGE FLOW ARROW Y Y SLOPE OUT 4:1 MAXIMUM 	<ul style="list-style-type: none"> ▭ PROPOSED DRAINAGE AREA BOUNDARY ○ PROPOSED DRAINAGE AREA DESIGNATOR
---	--	--	--	---	--	--

OWNER/DEVELOPER

EVERGREEN DEVCO, INC.
2390 EAST CAMELBACK ROAD,
SUITE 410
PHOENIX, ARIZONA 85016
PHONE: (303) 803-1437
CONTACT: JAZZMINE CLIFTON
jclifton@evgre.com

ARCHITECT

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5017 E. WASHINGTON ST., #107
PHOENIX, AZ 85034
PHONE: 602-957-1800 X228
CONTACT: WENDOLY
ABREGO-PETET
wabrego@butlerdesigngroup.com

ENGINEER

OPTIMUS CIVIL DESIGN GROUP
4850 EAST COTTON CENTER
BLVD.,
SUITE 140
PHOENIX, ARIZONA 85040
PHONE: (602) 393-5234
FAX: (602) 286-9400
CONTACT: JEFF BEHRANA P.E.

BASIS OF BEARINGS

THE BASIS OF BEARING IS THE MONUMENT LINE OF MCKELLIPS ROAD, ALSO BEING THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, USING A BEARING OF NORTH 89 DEGREES 48 MINUTES 45 SECONDS EAST, AS PER THE RECORD OF SURVEY IN BOOK 661 OF MAPS, PAGE 17, RECORDS OF MARICOPA COUNTY, ARIZONA.

BENCHMARK

CITY OF MESA BENCHMARK, BEING A TAGGED NAIL IN THE TOP OF CURB AT THE NORTHWEST CORNER OF THE INTERSECTION OF GREENFIELD ROAD & MCKELLIPS ROAD, HAVING AN ELEVATION OF 1356.57 FEET, NAVD88.

APN

141-34-002H

ZONING

L1

FLOOD ZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2280L, DATED OCTOBER 16, 2013, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".

PROJECT DESCRIPTION

THE LANDING AT FALCON FIELD IS A 33+/- ACRE MIXED USE DEVELOPMENT COMPRISED OF COMMERCIAL/RETAIL AND INDUSTRIAL USES. THE PROPOSED CENTER CONSISTS OF TWO PAD BUILDINGS AND FOUR INDUSTRIAL BUILDINGS IN ADDITION TO PAVING, DRAINAGE, AND UTILITY IMPROVEMENTS TO SERVE SAID BUILDINGS. THIS PLAN SET CONTAINS A PRELIMINARY GRADING/DRAINAGE AND UTILITY SCHEME ALONG WITH PERTINENT RETENTION VOLUME CALCULATIONS FOR THE 100-YR; 2-HR EVENT, AND A CONCEPTUAL ROUTING OF A GRAVITY BLEED-OFF LINE WHICH TIES INTO THE EXISTING 54" STORM DRAIN WITHIN MCKELLIPS ROAD. PRELIMINARY OFFSITE IMPROVEMENTS AND RIGHT-OF-WAY DEDICATIONS ARE ALSO REFLECTED WITHIN THE CIVIL SUBMITTAL AS STIPULATED BY CITY OF MESA.

NO.	REVISION	DATE



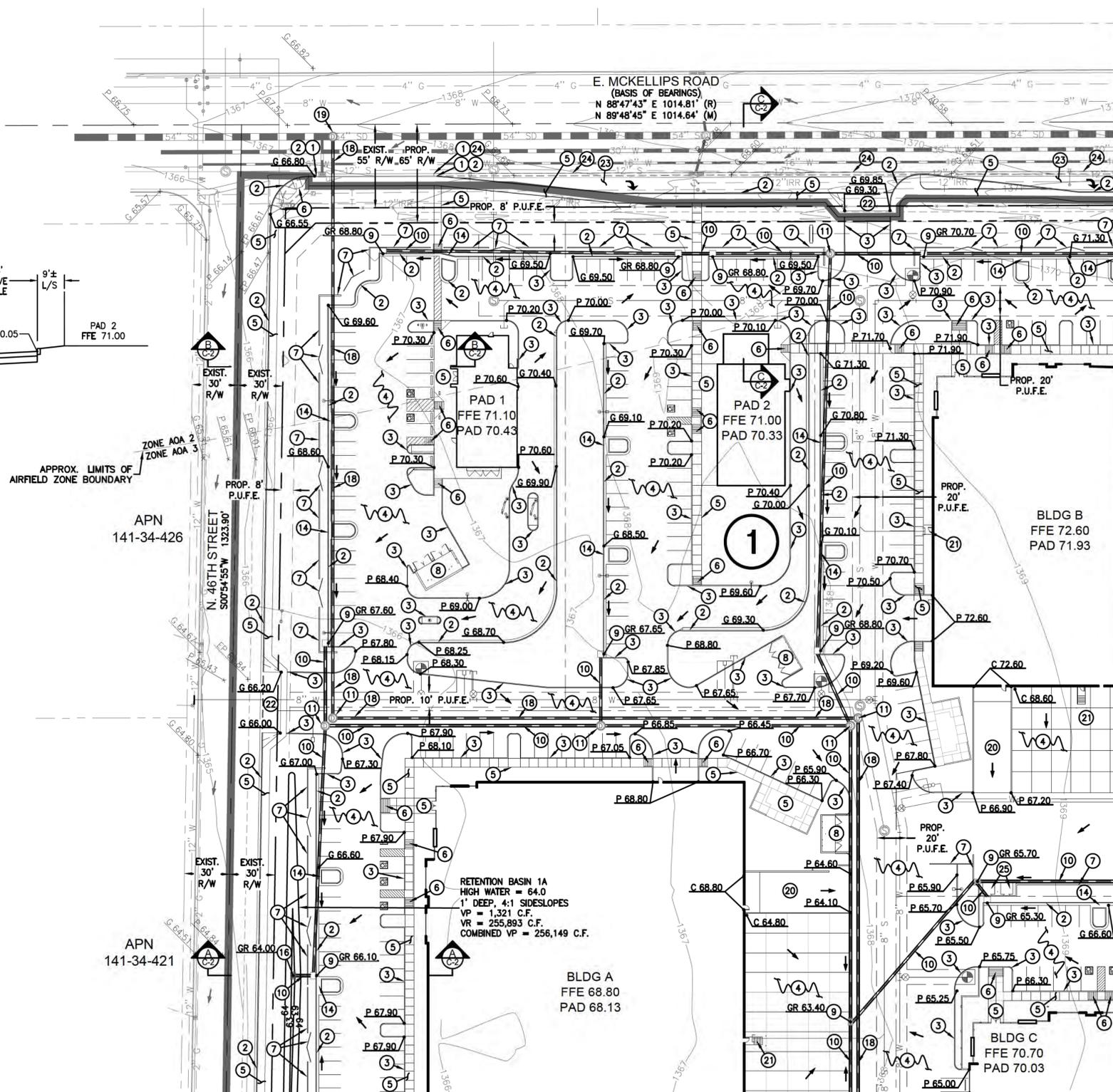
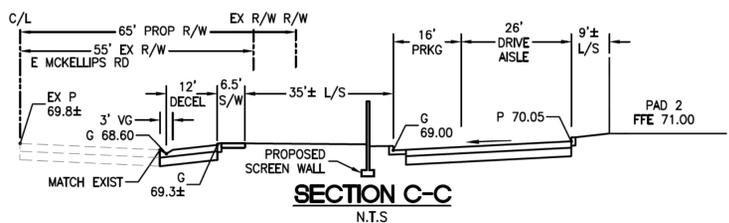
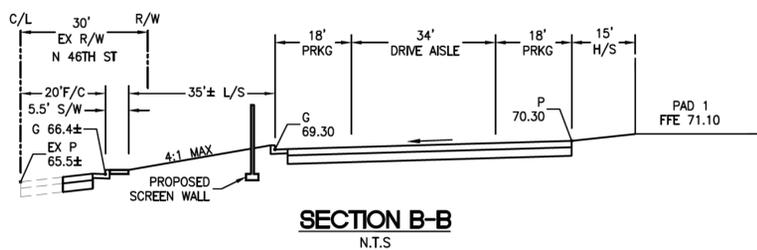
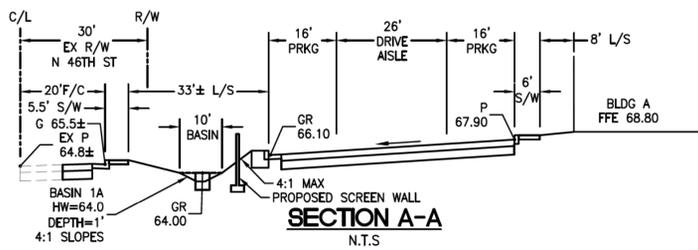
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 ARIZONA. MESA 85205



DESIGNED: AJR
DRAWN: DB,JK
CHECKED: JDB
DATE: 12/2023
JOB NO.: 211366

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C-1
1 of 9

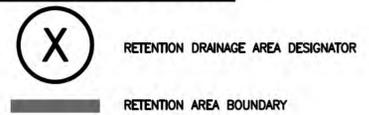




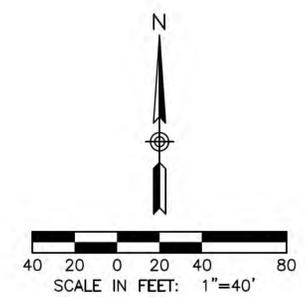
GRADING AND DRAINAGE NOTES

- 1 MATCH EXISTING.
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- 25 BOLLARD TYPE ENCLOSURE SEE SITE ARCHITECTURAL PLANS FOR DETAILS.

DRAINAGE LEGEND

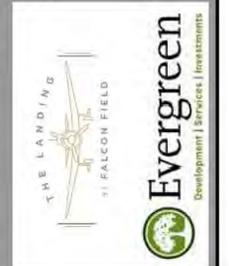


MATCHLINE SEE SHEET C-3



MATCHLINE SEE SHEET C-4

NO.	REVISION	DATE



THE LANDING AT FALCON FIELD
 PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
 PRELIMINARY GRADING & DRAINAGE PLAN
 A PORTION OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH,
 RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY,
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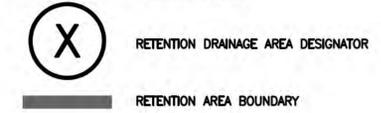
DRAWING NO
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 2 of 9



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DRAINAGE LEGEND



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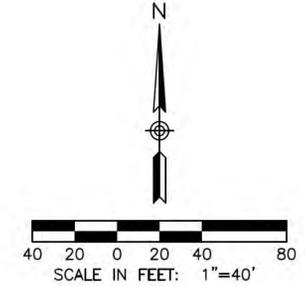
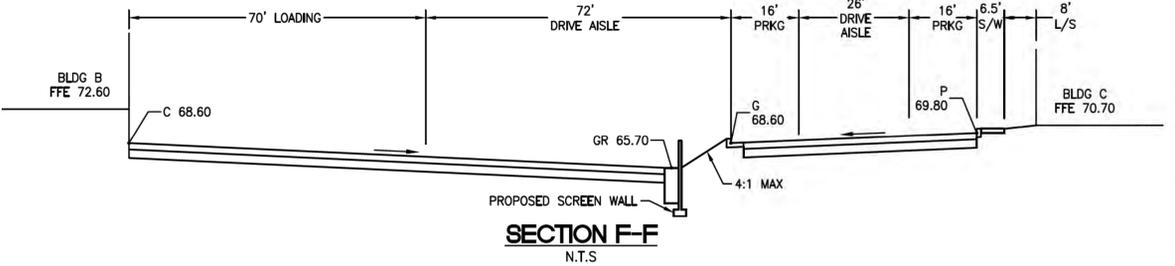
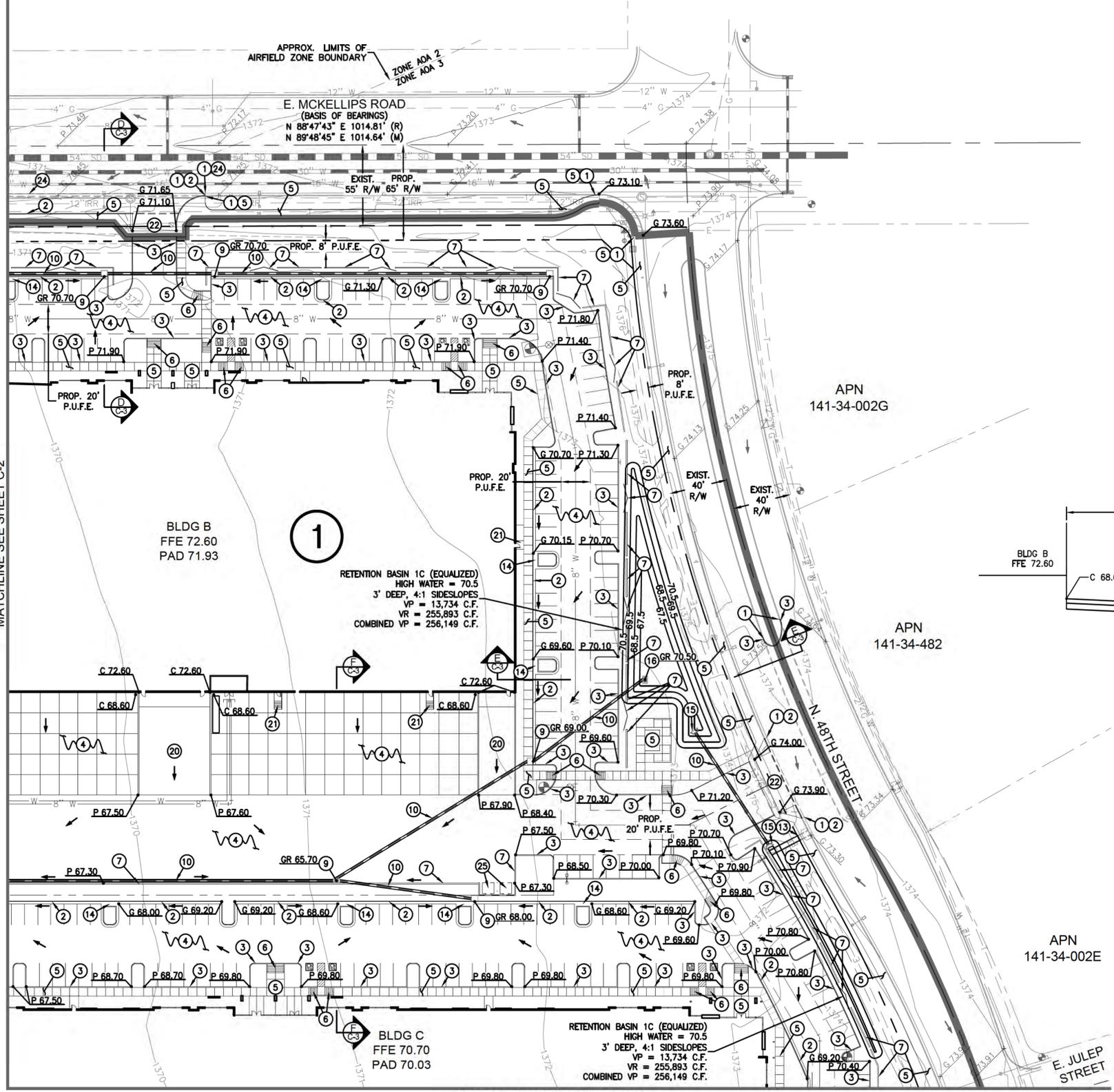
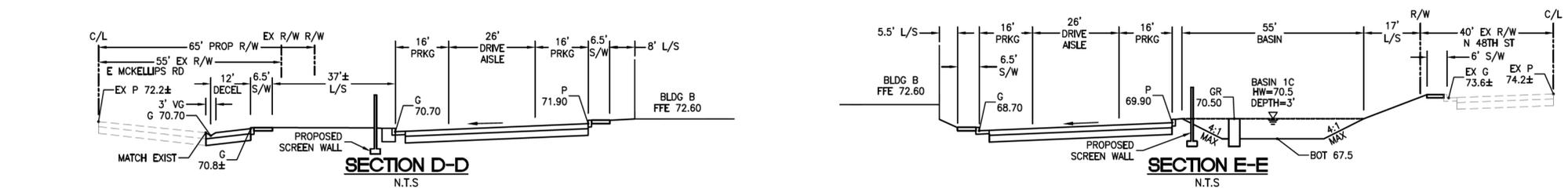
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 ARIZONA. MESA 85205



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C-3
 3 OF 9



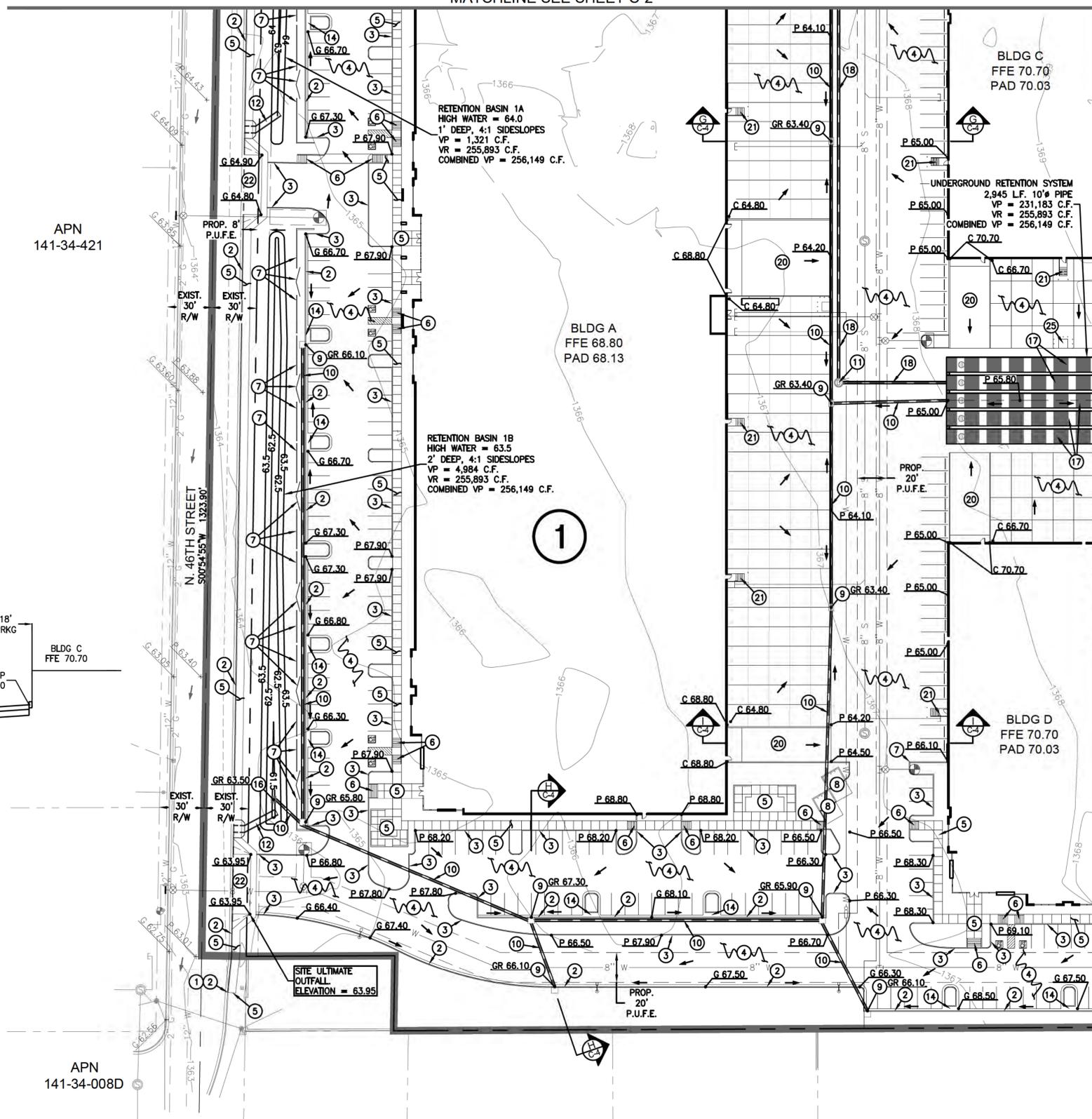
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MATCHLINE SEE SHEET C-2

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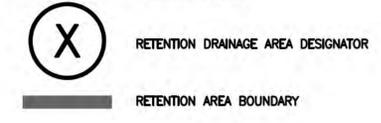
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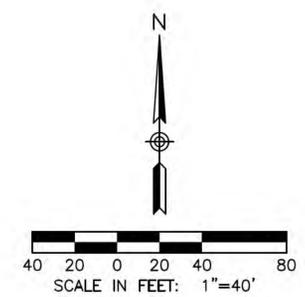
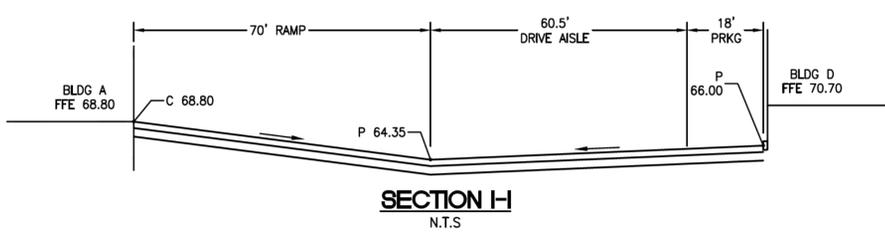
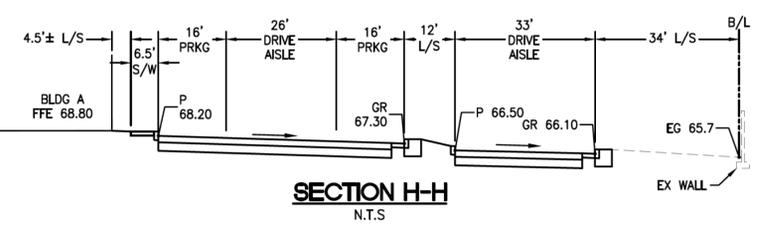
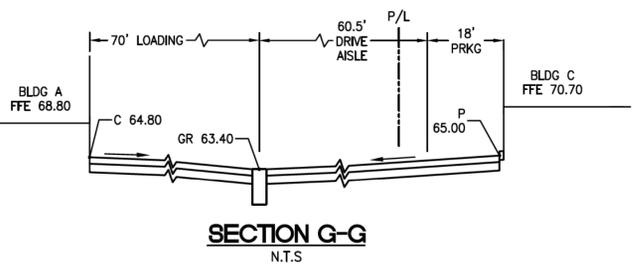
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DRAINAGE LEGEND



MATCHLINE SEE SHEET C-5



NO.	REVISION	DATE



THE LANDING AT FALCON FIELD
 PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
 PRELIMINARY GRADING & DRAINAGE PLAN
 A PORTION OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH,
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 ARIZONA. MESA 85205



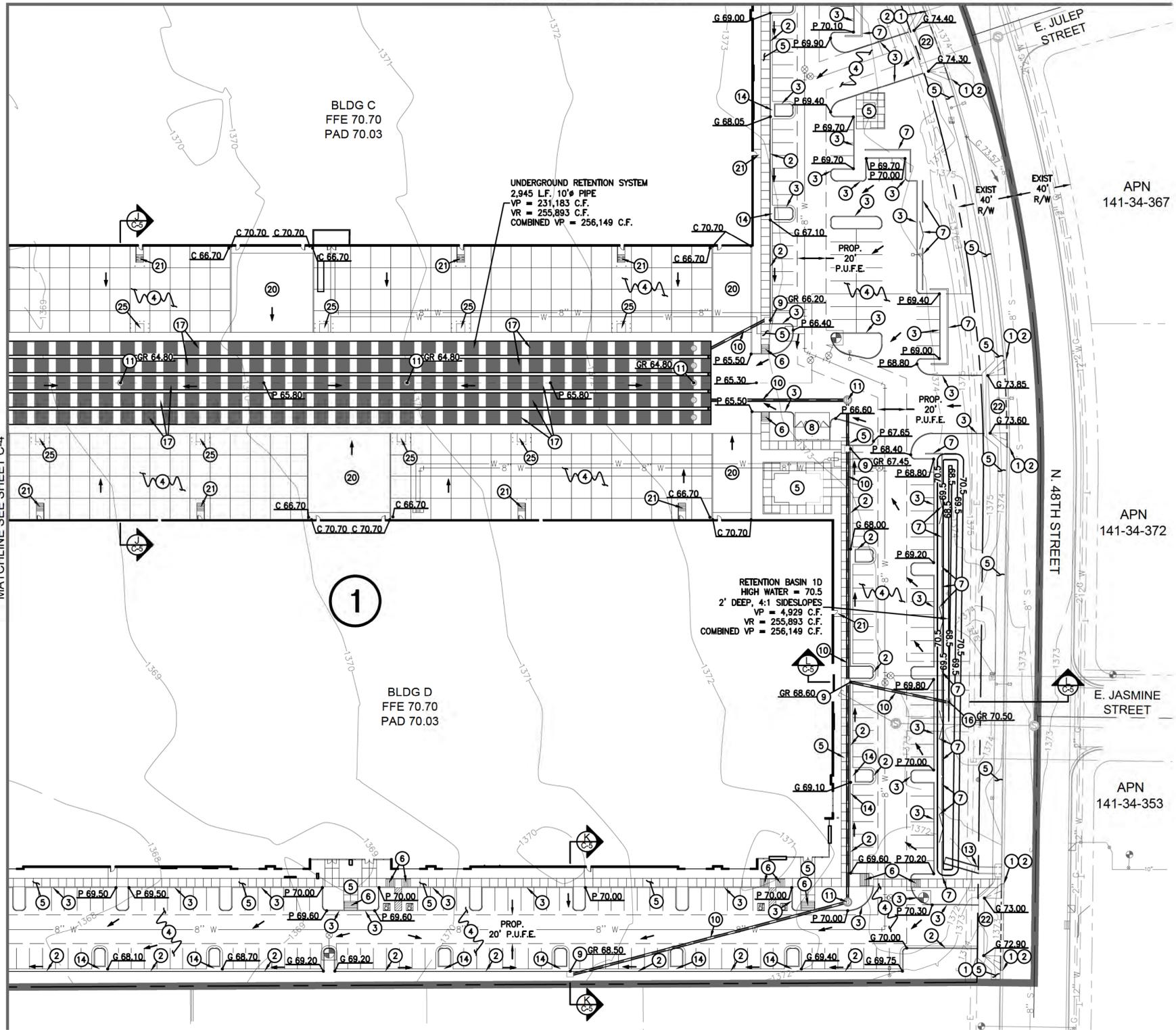
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C-4
 4 OF 9



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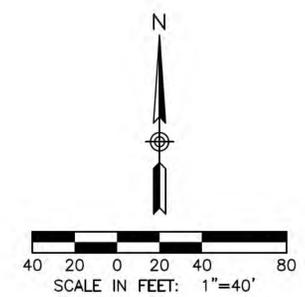
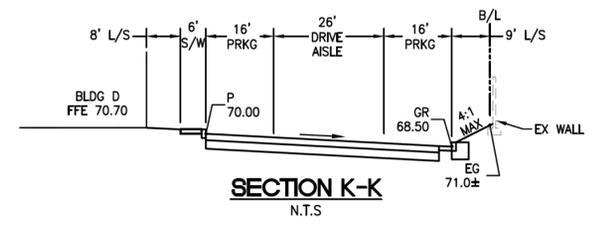
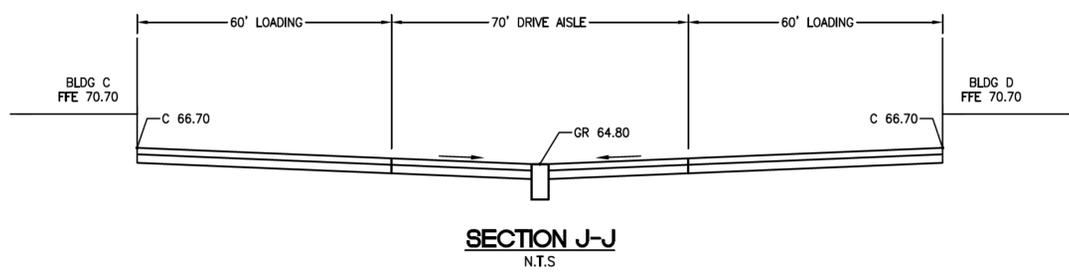
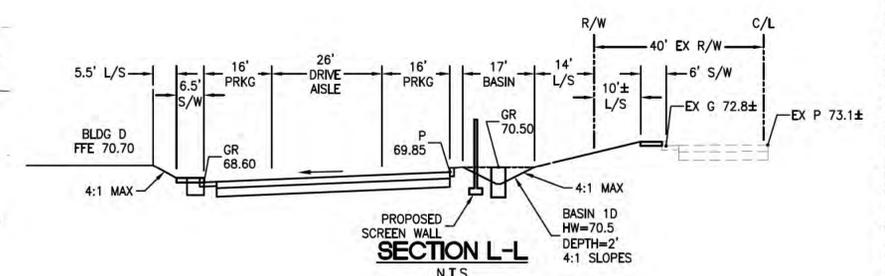
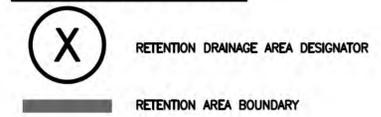
MATCHLINE SEE SHEET C-3



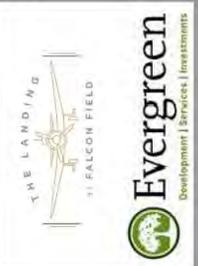
GRADING AND DRAINAGE NOTES

- 1 MATCH EXISTING.
- 2 PROPOSED 6" CURB & GUTTER.
- 3 PROPOSED 6" VERTICAL CURB.
- 4 PROPOSED ASPHALT OR CONCRETE PAVEMENT.
- 5 PROPOSED SIDEWALK/HARDSCAPE.
- 6 PROPOSED ACCESS RAMP.
- 7 PROPOSED SCREEN WALL.
- 8 PROPOSED TRASH ENCLOSURE.
- 9 PROPOSED CATCH BASIN.
- 10 PROPOSED STORM DRAIN.
- 11 PROPOSED STORM DRAIN MANHOLE.
- 12 PROPOSED CONCRETE SCUPPER AND SPILLWAY.
- 13 PROPOSED CONCRETE SPILLWAY EXTENSION ON EXISTING SCUPPER.
- 14 PROPOSED 3" FLUSH CONCRETE SPILLWAY.
- 15 PROPOSED HEADWALL.
- 16 PROPOSED RETENTION BASIN OUTLET CATCH BASIN WITH ORIFICE FLOW CONTROL PLATE.
- 17 PROPOSED 10" UNDERGROUND STORAGE PIPE WITH BOTTOM TANGENT EQUALIZER PIPES AND ACCESS MANHOLES AT EACH END.
- 18 PROPOSED UNDERGROUND STORAGE OUTLET PIPE WITH ORIFICE FLOW CONTROL PLATE (BLEED OFF PIPE).
- 19 CONNECT TO EXISTING 54" STORM DRAIN WITH PROPOSED STORM DRAIN MANHOLE FOR UNDERGROUND STORAGE BLEED-OFF.
- 20 PROPOSED SLOPED LOADING RAMP WITH RETAINING WALLS ON EACH SIDE.
- 21 PROPOSED RAISED STOOP WITH ACCESS STAIRS.
- 22 PROPOSED COMMERCIAL DRIVEWAY ENTRANCE.
- 23 PROPOSED DECELERATION LANE.
- 24 PROPOSED 3" VALLEY GUTTER.
- 25 BOLLARD TYPE ENCLOSURE SEE SITE ARCHITECTURAL PLANS FOR DETAILS.

DRAINAGE LEGEND



NO.	REVISION	DATE



THE LANDING AT FALCON FIELD
 PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
 PRELIMINARY GRADING & DRAINAGE PLAN
 A PORTION OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH,
 RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY,
 ARIZONA. MESA 85205



OPTIMUS
 CIVIL DESIGN GROUP
 4650 E. COCHISE AVENUE, SUITE 100
 PHOENIX, AZ 85040
 PH: (602) 262-9300 FAX: (602) 266-9400

DESIGNED: A,JR
 DRAWN: DB,JK
 CHECKED: JDB
 DATE: 12/2023
 JOB NO.: 211366

DRAWING NO
C-5
 5 OF 9



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NW CORNER
SECTION 10, T.1N, R.6E
FOUND C.O.M. BCHH

FOUND C.O.M. BCHH

E. MCKELLIPS ROAD
(BASIS OF BEARINGS)
N 88°47'43" E 1014.81' (R)
N 89°48'45" E 1014.64' (M)

APN
141-34-426

N. 46TH STREET
S00°54'55" W 1323.90'

APN
141-34-421

BLDG A
FFE 68.80
PAD 68.13

BLDG B
FFE 72.60
PAD 71.93

BLDG C
FFE 70.70
PAD 70.03

PAD 1
FFE 71.10
PAD 70.43

PAD 2
FFE 71.00
PAD 70.33

MATCHLINE SEE SHEET C-7

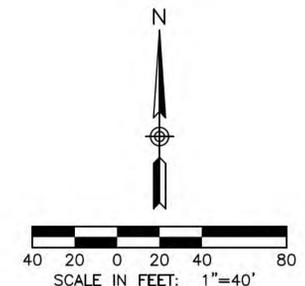
MATCHLINE SEE SHEET C-8

WATER NOTES

- 1 CONNECT TO EXISTING 8" WATER STUB.
- 2 PROPOSED 8" PUBLIC WATER MAIN WITHIN EASEMENT.
- 3 PROPOSED FIRE HYDRANT.
- 4 PROPOSED 6" FIRE SERVICE.
- 5 EXISTING FIRE HYDRANT.
- 6 CONNECT TO EXISTING WATER MAIN WITH TAPPING SLEEVE AND VALVE.
- 7 EXISTING 8" ACP WATER MAIN.
- 8 EXISTING 12" ACP WATER MAIN.
- 9 EXISTING 16" ACP WATER MAIN.
- 10 EXISTING 30" ACP WATER MAIN.
- 11 PROPOSED DOMESTIC WATER SERVICE WITH EMPTY METER BOX.
- 12 PROPOSED LANDSCAPE SERVICE WITH EMPTY METER BOX.
- 13 STUB FOR FUTURE DEVELOPMENT.
- 14 PROPOSED DOMESTIC WATER METER AND BACKFLOW FOR WATER SERVICE.
- 15 PROPOSED 8" FIRE SERVICE.

SEWER NOTES

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- 2 CONNECT TO EXISTING 8" SEWER STUB.
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- 4 PROPOSED 8" PUBLIC SEWER MAIN WITHIN EASEMENT.
- 5 PROPOSED SEWER MANHOLE.
- 6 PROPOSED 6" SEWER SERVICE.
- 7 PROPOSED 8" PRIVATE SEWER LINE.



NO.	REVISION	DATE



THE LANDING AT FALCON FIELD
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
PRELIMINARY UTILITY PLAN
A PORTION OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH,
RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY,
ARIZONA. MESA 85205



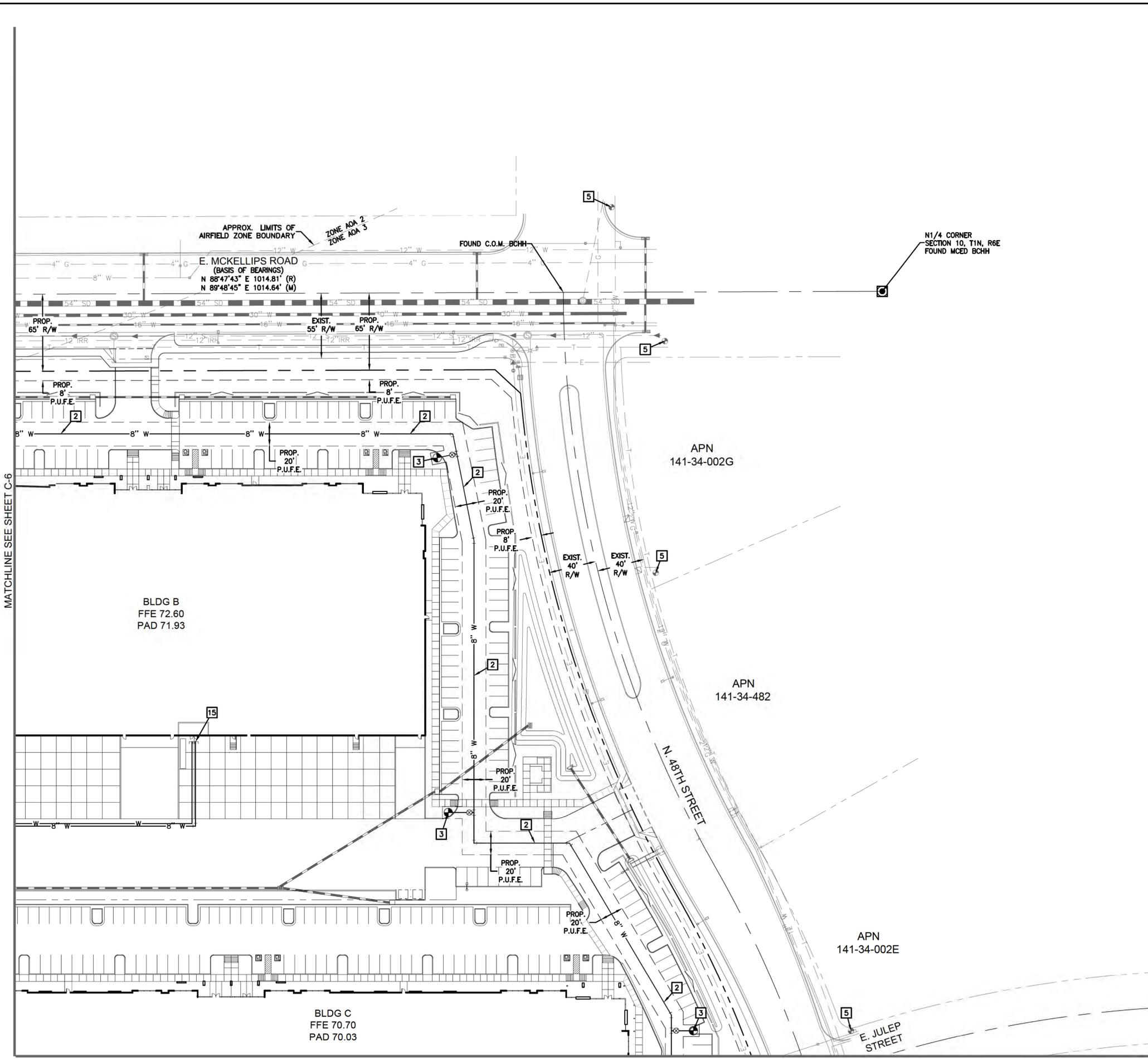
OPTIMUS
CIVIL DESIGN GROUP
4650 E. COCHISE AVENUE, SUITE 100
PHOENIX, AZ 85040
PH: (602) 262-9300 FAX: (602) 266-9400

DESIGNED: AJR
DRAWN: DB,JK
CHECKED: JDB
DATE: 12/2023
JOB NO.: 211366

DRAWING NO
C-6
6 OF 9



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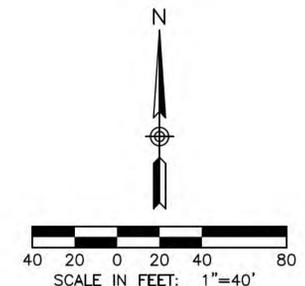


WATER NOTES

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- 6 PROPOSED 6" SEWER SERVICE.
- 7 PROPOSED 8" PRIVATE SEWER LINE.



NO.	REVISION	DATE



THE LANDING AT FALCON FIELD
 PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
PRELIMINARY UTILITY PLAN
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 RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY,
 ARIZONA. MESA 85205



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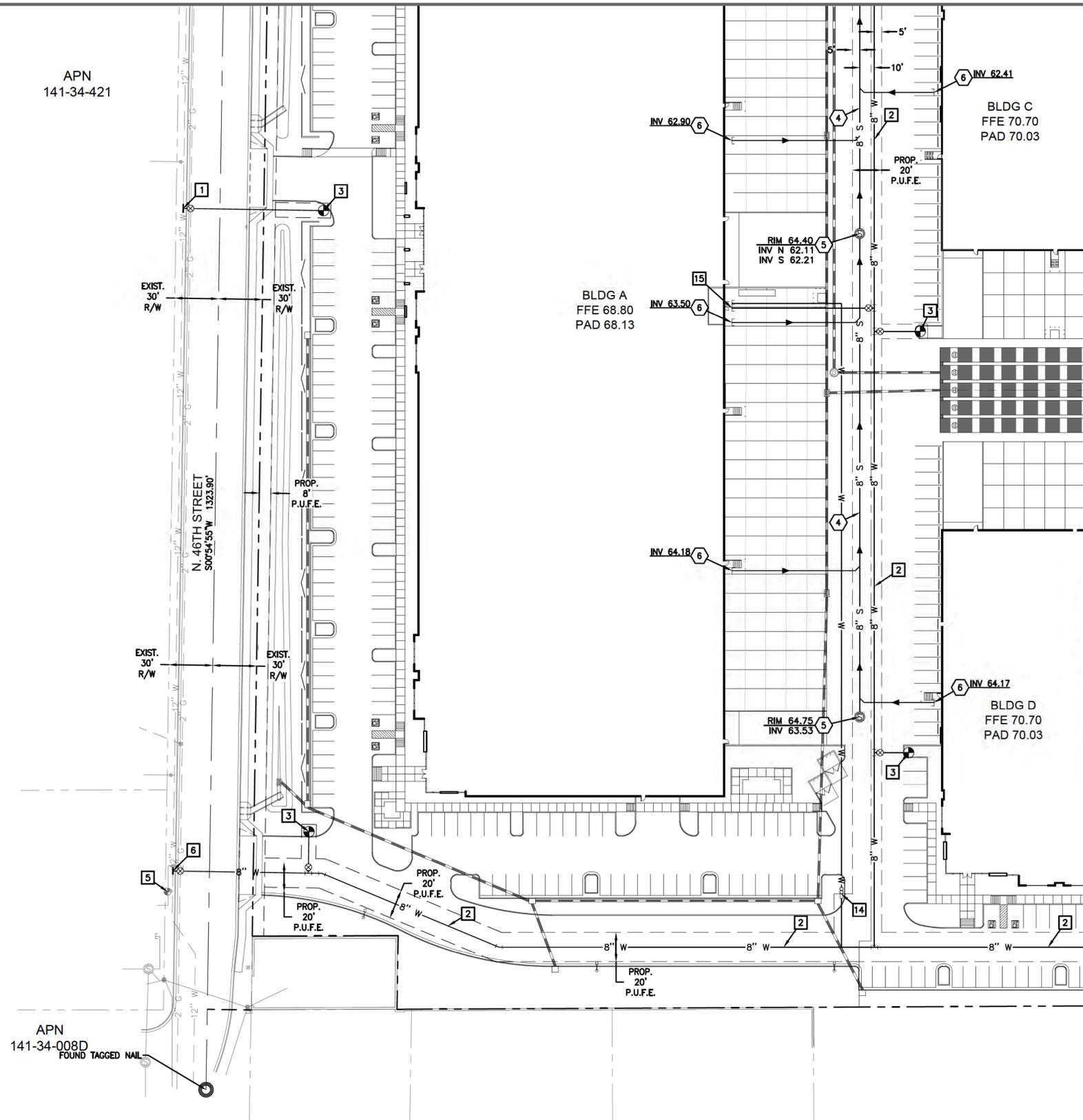
DRAWING NO
C-7
 7 of 9



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MATCHLINE SEE SHEET C-6

APN
141-34-421



MATCHLINE SEE SHEET C-9

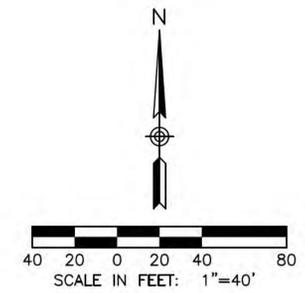
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APN
141-34-008D
FOUND TAGGED NAIL



NO.	REVISION	DATE



THE LANDING AT FALCON FIELD
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
PRELIMINARY UTILITY PLAN
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 ARIZONA. MESA 85205



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 PHOENIX, AZ 85040
 PH: (602) 262-9500 FAX: (602) 266-9400

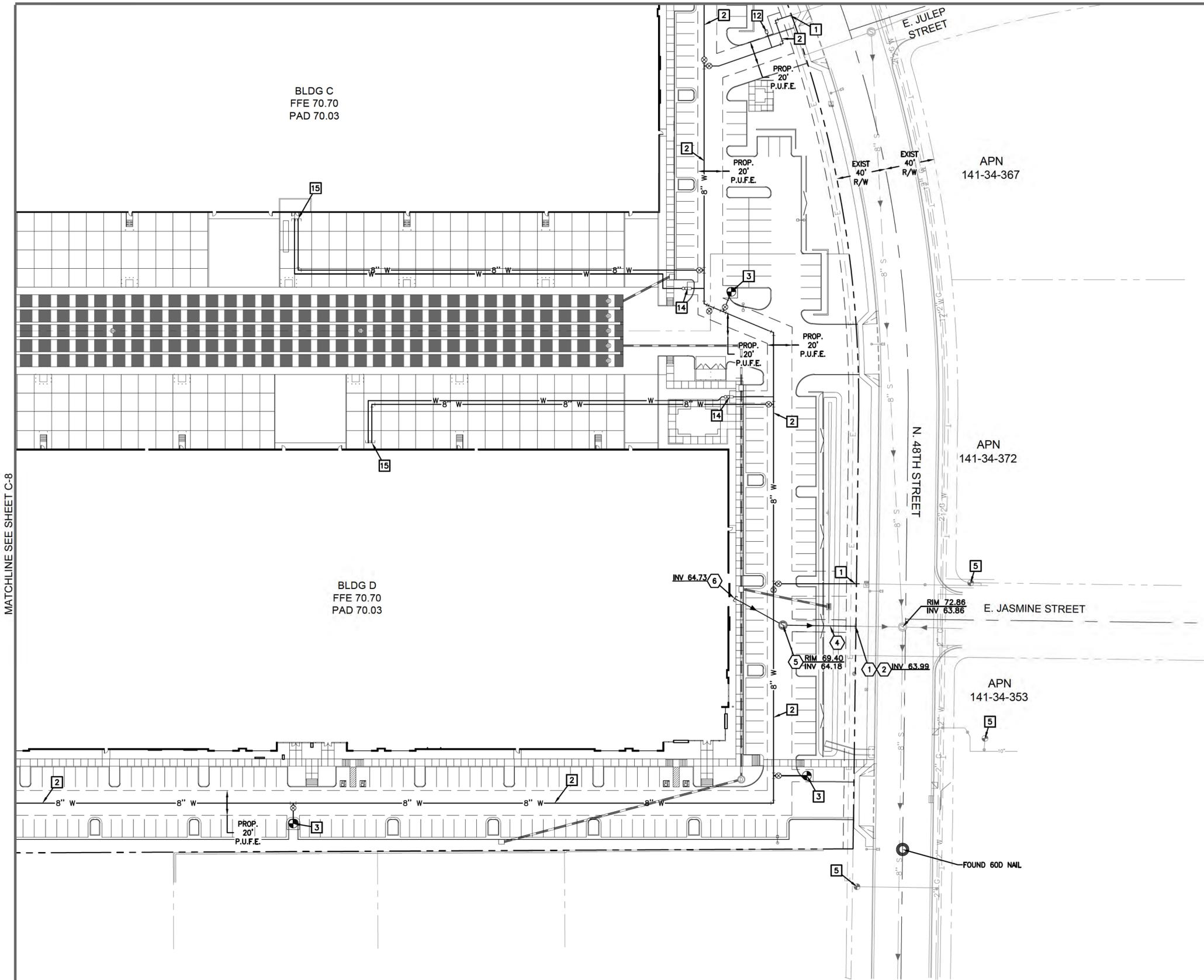
DESIGNED: AJR
 DRAWN: DB,JK
 CHECKED: JDB
 DATE: 12/2023
 JOB NO.: 211366

DRAWING NO
C-8
 8 OF 9



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MATCHLINE SEE SHEET C-7

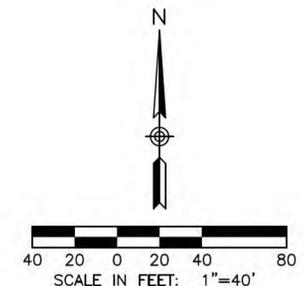


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NO.	REVISION	DATE



THE LANDING AT FALCON FIELD
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
PRELIMINARY UTILITY PLAN
 A PORTION OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH,
 RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY,
 ARIZONA. MESA 85205

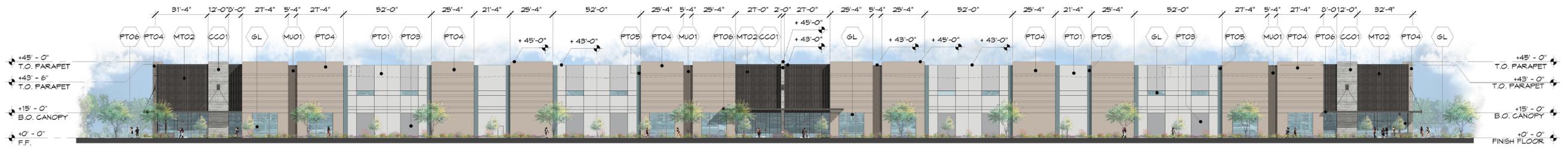


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DRAWING NO
C-9
 9 OF 9



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1 WEST ELEVATION
SCALE: 1" = 30'-0"



2 SOUTH ELEVATION
SCALE: 1" = 30'-0"



3 NORTH ELEVATION
SCALE: 1" = 30'-0"



4 EAST ELEVATION
SCALE: 1" = 30'-0"

MATERIAL FINISH SCHEDULE					
MARK	DESCRIPTION	COLOR / FINISH	MODEL	MANUFACTURER	COMMENTS
CONCRETE					
CCO1	CONCRETE BASE	BOARD FORM CONCRETE			
GLAZING					
GL	INSULATED GLASS	CLEAR GLAZING	--	ARGADIA	
MASONRY					
MUO1	6X8X16 STACKED BOND CMU	MOJAVE BROWN	PRECISION	TRENWYTH	
MUO2	6X8X16 STACKED BOND CMU	HUNTINGTON GRAY	MESASTONE	EGHELON MASONRY	
METAL					
MT01	ALUMINUM WINDOW FRAME SYSTEM	CLEAR ANODIZED	--	ARGADIA	WINDOW AND DOOR SYSTEMS
MT02	STANDING SEAM METAL PANEL	BLACK ZINC PAINT	--	WESTERN STATES METAL ROOFING	
PAINT					
PTO1	PAINTED CONC. TILT PANEL	PORPOISE	DE6373	DUNN EDWARDS	
PTO2	PAINTED CONC. TILT PANEL	SILVER POLISH	DE6374	DUNN EDWARDS	
PTO3	PAINTED CONC. TILT PANEL	CASTLEROCK	DE6375	DUNN EDWARDS	
PTO4	PAINTED CONC. TILT PANEL	ASH GRAY	DEC751	DUNN EDWARDS	
PTO5	PAINTED CONC. TILT PANEL	WEATHERED BLUE	DET560	DUNN EDWARDS	
PTO6	PAINTED STEEL ELEMENTS	CHARCOAL SKETCH	DET626	DUNN EDWARDS	



Proposed Industrial Development
Greenfield and McKellips Road
Mesa, Arizona

BUILDING A

Project No.: 20083

Issue Date: 02/23/2024

Title: COLORED ELEVATIONS

CE-01



Butler Design Group, Inc.
architects & planners

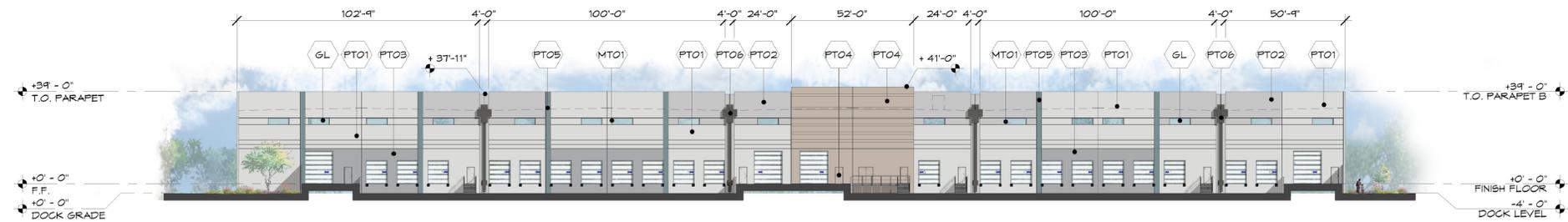


1 NORTH ELEVATION
SCALE: 1" = 30'-0"



2 WEST ELEVATION
SCALE: 1" = 30'-0"

3 EAST ELEVATION
SCALE: 1" = 30'-0"



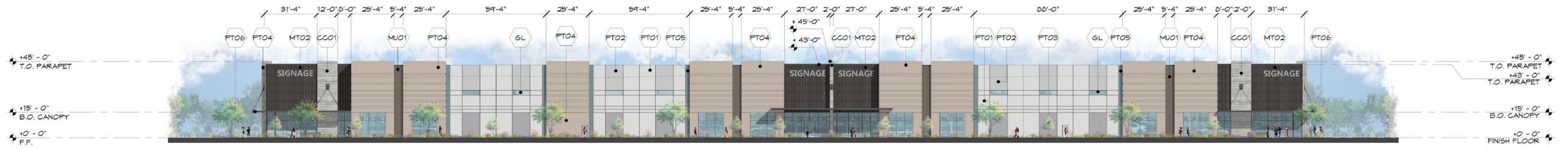
4 SOUTH ELEVATION
SCALE: 1" = 30'-0"

MATERIAL FINISH SCHEDULE					
MARK	DESCRIPTION	COLOR / FINISH	MODEL	MANUFACTURER	COMMENTS
CONCRETE					
CCO1	CONCRETE BASE	BOARD FORM CONCRETE			
GLAZING					
GL	INSULATED GLASS	CLEAR GLAZING	---	ARGADIA	
MASONRY					
MU01	8X8X16 STACKED BOND CMU	MOJAVE BROWN	PRECISION	TRENWYTH	
MU02	8X8X16 STACKED BOND CMU	HUNTINGTON GRAY	MESASTONE	ECHOLON MASONRY	
METAL					
MTO1	ALUMINUM WINDOW FRAME SYSTEM	CLEAR ANODIZED	---	ARGADIA	WINDOW AND DOOR SYSTEMS
MTO2	STANDING SEAM METAL PANEL	BLACK ZINC MATTE	---	WESTERN STATES METAL ROOFING	
PAINT					
PTO1	PAINTED CONG. TILT PANEL	PORPOISE	DE6373	DUNN EDWARDS	
PTO2	PAINTED CONG. TILT PANEL	SILVER POLISH	DE6374	DUNN EDWARDS	
PTO3	PAINTED CONG. TILT PANEL	CASTLEROCK	DE6375	DUNN EDWARDS	
PTO4	PAINTED CONG. TILT PANEL	ASH GRAY	DEC751	DUNN EDWARDS	
PTO5	PAINTED CONG. TILT PANEL	WEATHERED BLUE	DET560	DUNN EDWARDS	
PTO6	PAINTED STEEL ELEMENTS	CHARCOAL SKETCH	DET620	DUNN EDWARDS	

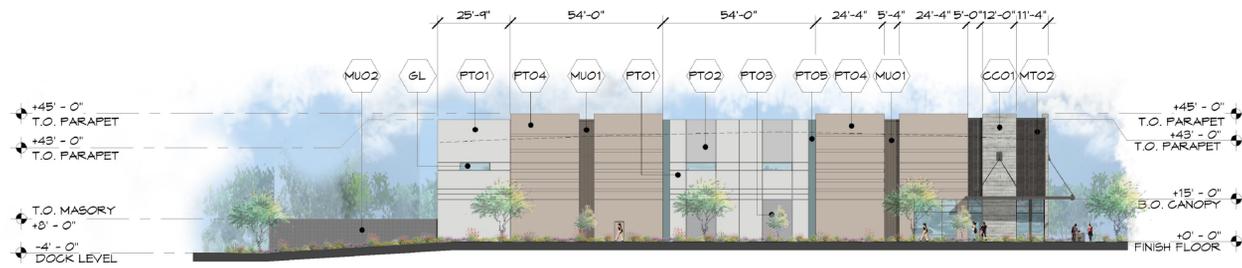


BUILDING B
Project No.: 20083
Issue Date: 02/23/2024
Title: COLORED ELEVATIONS
CE-02

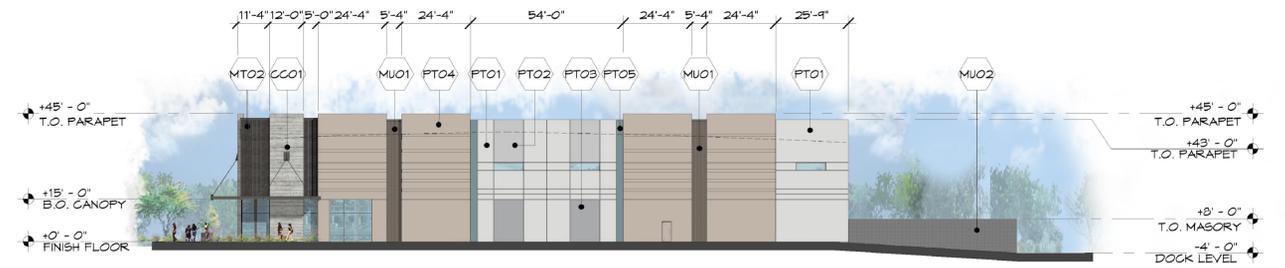




1 NORTH ELEVATION
SCALE: 1" = 30'-0"



3 EAST ELEVATION
SCALE: 1" = 30'-0"



2 WEST ELEVATION
SCALE: 1" = 30'-0"



4 SOUTH ELEVATION
SCALE: 1" = 30'-0"

MATERIAL FINISH SCHEDULE					
MARK	DESCRIPTION	COLOR / FINISH	MODEL	MANUFACTURER	COMMENTS
CONCRETE					
CCO1	CONCRETE BASE	BOARD FORM CONCRETE			
GLAZING					
GL	INSULATED GLASS	CLEAR GLAZING	--	ARCADIA	
MASONRY					
MU01	8X8X16 STACKED BOND CMU	MOJAVE BROWN	PRECISION	TRENKMYTH	
MU02	8X8X16 STACKED BOND CMU	HUNTINGTON GRAY	MESASTONE	ECHELON MASONRY	
METAL					
MT01	ALUMINUM WINDOW FRAME SYSTEM	CLEAR ANODIZED	--	ARCADIA	WINDOW AND DOOR SYSTEMS
MT02	STANDING SEAM METAL PANEL	BLACK ZINC MATTE	--	WESTERN STATES METAL ROOFING	
PAINT					
PT01	PAINTED CONC. TILT PANEL	PORPOISE	DE6373	DUNN EDWARDS	
PT02	PAINTED CONC. TILT PANEL	SILVER POLISH	DE6374	DUNN EDWARDS	
PT03	PAINTED CONC. TILT PANEL	GASTLEROCK	DE6375	DUNN EDWARDS	
PT04	PAINTED CONC. TILT PANEL	ASH GRAY	DEC751	DUNN EDWARDS	
PT05	PAINTED CONC. TILT PANEL	WEATHERED BLUE	DET560	DUNN EDWARDS	
PT06	PAINTED STEEL ELEMENTS	CHARCOAL SKETCH	DET620	DUNN EDWARDS	



BUILDING C
Project No.: 20083
Issue Date: 02/23/2024
Title: COLORED ELEVATIONS
CE-03



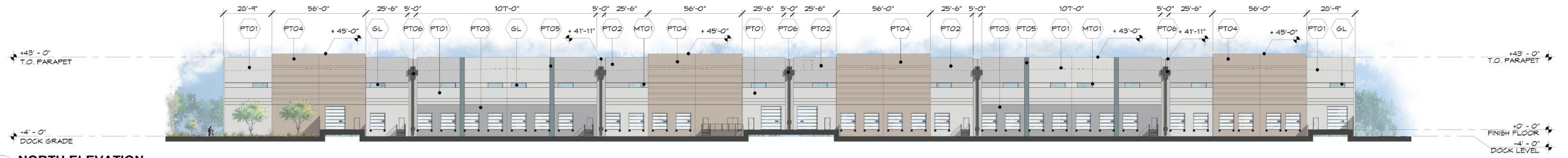


1 SOUTH ELEVATION
SCALE: 1" = 30'-0"



2 WEST ELEVATION
SCALE: 1" = 30'-0"

3 EAST ELEVATION
SCALE: 1" = 30'-0"



4 NORTH ELEVATION
SCALE: 1" = 30'-0"

MATERIAL FINISH SCHEDULE

MARK	DESCRIPTION	COLOR / FINISH	MODEL	MANUFACTURER	COMMENTS
CONCRETE					
CCO1	CONCRETE BASE	BOARD FORM CONCRETE			
GLAZING					
GL	INSULATED GLASS	CLEAR GLAZING	--	ARCADIA	
MASONRY					
MU01	8X8X16 STACKED BOND CMU	MOJAVE BROWN	PRECISION	TRENWYTH	
MU02	8X8X16 STACKED BOND CMU	HUNTINGTON GRAY	MESASTONE	ECHELON MASONRY	
METAL					
MT01	ALUMINUM WINDOW FRAME SYSTEM	CLEAR ANODIZED	--	ARCADIA	WINDOW AND DOOR SYSTEMS
MT02	STANDING SEAM METAL PANEL	BLACK ZINC MATTE	--	WESTERN STATES METAL ROOFING	
PAINT					
PT01	PAINTED CONG. TILT PANEL	PORPOISE	DE6373	DUNN EDWARDS	
PT02	PAINTED CONG. TILT PANEL	SILVER POLISH	DE6374	DUNN EDWARDS	
PT03	PAINTED CONG. TILT PANEL	CASTLEROCK	DE6375	DUNN EDWARDS	
PT04	PAINTED CONG. TILT PANEL	ASH GRAY	DEC751	DUNN EDWARDS	
PT05	PAINTED CONG. TILT PANEL	WEATHERED BLUE	DET560	DUNN EDWARDS	
PT06	PAINTED STEEL ELEMENTS	CHARCOAL SKETCH	DET628	DUNN EDWARDS	



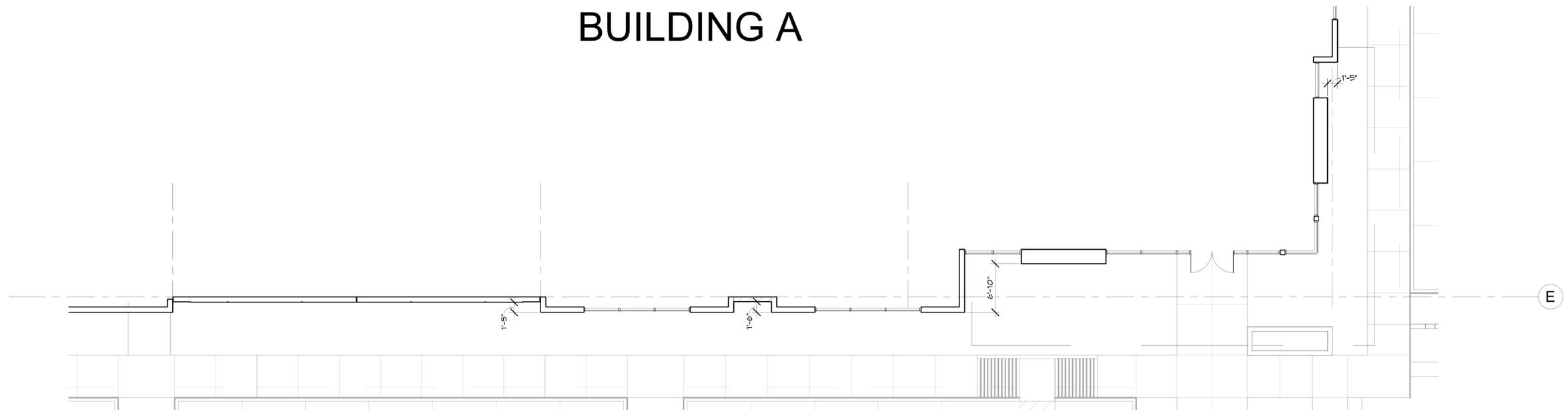
BUILDING D
Project No.: 20083
Issue Date: 02/23/2024
Title: COLORED ELEVATIONS
CE-04





1 WEST ENLARGED ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING A



2 TYPICAL ENLARGED CORNER PLAN
SCALE: 1/8" = 1'-0"

THE LANDING at FALCON FIELD

Employment/MUAD

LOCATED AT 1919 N. 46TH ST. IN MESA, ARIZONA

CITIZEN PARTICIPATION PLAN

December 20, 2023

1. PURPOSE

The purpose of this Citizen Participation Plan (CPP) is to inform citizens, property owners, neighborhood associations, schools, and businesses in the vicinity of the proposed project. The Landing at Falcon Field is located at 1919 N. 46th Street (east of the southeast corner of Greenfield Road and McKellips Road. This CPP will ensure that anyone potentially impacted from this application will have adequate opportunity to learn and comment about the proposal. Records of outreach efforts will be provided to the City of Mesa Planner.

2. CONTACT

Evergreen Devco. Inc.
Jazzmine Clifton
2390 E. Camelback Rd. Suite 410
Phoenix, Arizona 85016
602-808-8600
jclifton@evgre.com

3. PRE-SUBMITTAL MEETING

A pre-submittal meeting was held on April 13, 2021. Staff indicated that all property owners within 1,000 feet of the site and all registered neighborhoods and HOAs within 1 mile be notified of the public hearing.

4. ADJACENT PROPERTY OWNERSHIP OUTREACH

The applicant team met with adjacent parcel owners and stakeholders to discuss the proposed project from 2021 through 2023. Details of this outreach will be documented in the Citizen Participation Report.

5. ACTION PLAN

In order to provide effective outreach, the following actions will be implemented.

- A. Contact list created for notification.
 - 1. *All property owners within 1,000 feet of the site.*
 - 2. *All registered neighborhoods & HOAs within one mile of the site.*
- B. Notification for Planning and Zoning Commission and City Council will be mailed to those outlined in the notification list above.
- C. Notification Signs detailing Planning and Zoning Commission and City Council Hearings will be posted on site as required and directed by the City and required evidence of postings will be provided.

THE LANDING at FALCON FIELD

Employment/MUAD

LOCATED AT 1919 N. 46TH ST. IN MESA, ARIZONA

CITIZEN PARTICIPATION REPORT

March 11, 2024

1. PURPOSE

The purpose of this Citizen Participation Report (CPR) was to inform citizens, property owners, neighborhood associations, schools, and businesses in the vicinity of the proposed project rezoning. The Landing at Falcon Field is located at 1919 N. 46th Street (east of the southeast corner of Greenfield Road and McKellips Road. This plan ensured that anyone potentially impacted from this application will have adequate opportunity to learn and comment about the proposal. Records and communications of outreach efforts have been provided to the City of Mesa Planner.

2. CONTACT

Evergreen Devco. Inc.
Jazzmine Clifton
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Phoenix, Arizona 85016
602-808-8600
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3. PRE-SUBMITTAL MEETING

A pre-submittal meeting was held on April 13, 2021. Staff indicated that all property owners within 1,000 feet of the site and all registered neighborhoods and HOAs within 1 mile be notified of the public hearing.

4. ADJACENT PROPERTY OWNERSHIP OUTREACH

In June 2021, the applicant team met with adjacent parcel owners and stakeholders to discuss the proposed project. In December 2021 outreach to Falcon Field Airport was done. The applicant sent follow up details to those they had met with prior immediately after the first submittal in February. Details of this outreach will be documented in the Citizen Participation Report.

5. ACTION PLAN

In order to provide effective outreach, the following actions will be implemented.

- A. Contact list created for notification.
 - 1. *All property owners within 1,000 feet of the site.*
 - 2. *All registered neighborhoods & HOAs within one mile of the site.*
- B. Letter to Applicable School District (Mesa Public Schools) for Elementary, Jr. High, and High School.
- C. Notification for Planning and Zoning Commission were mailed out by May 7, 2024.
- D. Notification for City Council will be mailed to those outlined in the notification list above.
- E. Notification Signs detailing Planning and Zoning Commission and City Council Hearings have been posted on site as required and directed by the City and required evidence of postings will be provided.

6. SCHEDULE

Pre-Submittal Meeting – April 13, 2021

Individual Stakeholder Meetings – June 2021 – December 2021

Letter to Mesa Public School District – January 26, 2022

Application/CPP 1st Submittal – January 4, 2024

Application/CPP 2nd Submittal – March 11, 2024

Planning & Zoning Commission Hearing – May 22, 2024

City Council Hearing – TBD

1000' – Addresses

Mailing Address1	Mailing Address2	Mailing Address City	Mailing Address State	Mailing Address Zip Code	Property Street Number	Property Street Direction	Property Street Name	Property Street Type	Property Suite	Property City	Property Zip Code
539 N ARIZONA AVE	<Null>	CHANDLER	AZ	85225	1915 N		48TH	ST	<Null>	MESA	85205
4801 E MCKELLIPS RD	<Null>	MESA	AZ	85205	4801 E		MCKELLIPS	RD	<Null>	MESA	85205
2390 E CAMELBACK RD UNIT 410	<Null>	MESA	AZ	85205	1919 N		46TH	ST	<Null>	MESA	85205
PO BOX 1464	<Null>	MESA	AZ	85211	1805 N		46TH	ST	<Null>	MESA	85205
20 E MAIN ST STE 650	PO BOX 1466	MESA	AZ	85211	1804 N		46TH	ST	<Null>	MESA	85205
8007 E COPPER CYN	<Null>	MESA	AZ	85207	1709 N		GREENFIELD	RD	<Null>	MESA	85205
6502 E BAMBI DR	<Null>	MESA	AZ	85215	1745 N		GREENFIELD	RD	<Null>	MESA	85205
27540 DETROIT RD STE 201	<Null>	WESTLAKE	OH	44145	4442 E		IVY	ST	<Null>	MESA	85205
9106 BLAZING STAR LN	<Null>	PROSPECT	KY	40059	1750 N		PARKCREST	<Null>	<Null>	MESA	85205
13142 N 136TH PL	<Null>	SCOTTSDALE	AZ	85259	1734 N		PARKCREST	<Null>	<Null>	MESA	85205
6748 N 19TH ST	<Null>	PHOENIX	AZ	85016	4511 E		IVY	ST	<Null>	MESA	85205
3311 N CHESTNUT	<Null>	MESA	AZ	85213	4655 E		IVY	ST	<Null>	MESA	85205
5123 E CALLE DEL NORTE	<Null>	PHOENIX	AZ	85018	4711 E		IVY	ST	<Null>	MESA	85205
11 W JEFFERSON ST 1	<Null>	PHOENIX	AZ	85003	4751 E		INDIGO	ST	<Null>	MESA	85205
740 N 52ND ST STE 200	<Null>	PHOENIX	AZ	85008	4807 E		INDIGO	ST	<Null>	MESA	85205
4749 E INGRAM ST	<Null>	MESA	AZ	85205	4749 E		INGRAM	ST	<Null>	MESA	85205
4723 E INGRAM ST STE 201	<Null>	MESA	AZ	85205	4723 E		INGRAM	ST	<Null>	MESA	85205
PO BOX 707	<Null>	GILBERT	AZ	85299	1661 N		QUAIL	<Null>	<Null>	MESA	85205
1367 S COUNTRY CLUB DR UNIT 1276	<Null>	MESA	AZ	85210	1711 N		QUAIL	<Null>	<Null>	MESA	85205
1550 N 40TH ST	<Null>	MESA	AZ	85205	1725 N		QUAIL	<Null>	<Null>	MESA	85205
3118 DOUGLAS CIR	<Null>	LAKE OSWEGO	OR	97035	1718 N		QUAIL	<Null>	<Null>	MESA	85205
1385 KINGSWAY AVE	<Null>	PORT COQUITLAM	BC	V3C 1S2	1721 N		46TH	ST	<Null>	MESA	85205
1409 S NASSAU	<Null>	MESA	AZ	85206	1720 N		46TH	ST	<Null>	MESA	85205
1755 N 48TH ST	<Null>	MESA	AZ	85205	4540 E		IVY	ST	<Null>	MESA	85205
21615 E PEGASUS PKWY	<Null>	QUEEN CREEK	AZ	85142	4522 E		IVY	ST	<Null>	MESA	85205
1261 E FAIRFIELD ST	<Null>	MESA	AZ	85203	4610 E		INGRAM	ST	<Null>	MESA	85205
3230 E FAIRFIELD	<Null>	MESA	AZ	85213	4624 E		INGRAM	ST	<Null>	MESA	85205
1550 N 40TH ST UNIT 8	<Null>	MESA	AZ	85213	4660 E		INGRAM	ST	<Null>	MESA	85205
PO BOX 10	<Null>	SCOTTSDALE	AZ	85252	4738 E		INGRAM	ST	201 MESA	85205	
PO BOX 10	<Null>	SCOTTSDALE	AK	85252	1754 N		48TH	ST	<Null>	MESA	85205
3062 N MAPLE ST	<Null>	MESA	AZ	85215	4814 E		INGRAM	ST	<Null>	MESA	85205
1831 N ROCHESTER	<Null>	MESA	AZ	85205	1831 N		ROCHESTER	<Null>	<Null>	MESA	85205
1440 N BEL AIR DR	<Null>	MESA	AZ	85201	1909 N		ROCHESTER	<Null>	<Null>	MESA	85205
PO BOX 1464	<Null>	MESA	AZ	85211	4852 E		JULEP	ST	<Null>	MESA	85205
1929 VAN NESS AVE	<Null>	SAN FRANCISCO	CA	94109	4811 E		JULEP	ST	<Null>	MESA	85205
4001 N 3RD ST 405	<Null>	PHOENIX	AZ	85012	<Null>	<Null>	<Null>	<Null>	<Null>	<Null>	<Null>
PO BOX 72342	<Null>	SAN CLEMENTE	CA	92673	4863 E		INGRAM	ST	<Null>	MESA	85205
1744 N LINDSAY RD	<Null>	MESA	AZ	85213	4825 E		INGRAM	ST	<Null>	MESA	85205
16009 E CHOLLA DR	<Null>	FOUNTAIN HILLS	AZ	85268	4836 E		INDIGO	ST	<Null>	MESA	85205
1301 S E 10TH ST	<Null>	BENTONVILLE	AR	72716-0550	4505 E		MCKELLIPS	RD	<Null>	MESA	85205
PO BOX 847	<Null>	CARLSBAD	CA	92018	1805 N		GREENFIELD	RD	<Null>	MESA	85205
6067 JOHN MUIR RD	<Null>	HIDDEN HILLS	CA	91302	4405 E		MCKELLIPS	RD	<Null>	MESA	85205
7329 VIA LORADO	<Null>	RANCHO PALOS VERDES	CA	90274	4515 E		MCKELLIPS	RD	<Null>	MESA	85205
PO BOX 2609	<Null>	CARLSBAD	CA	92018	4525 E		MCKELLIPS	RD	<Null>	MESA	85205
5701 E INDIAN SCHOOL RD	<Null>	PHOENIX	AZ	85018	4722 E		IVY	ST	101 MESA	85205	
1350 E PARKSIDE DR	<Null>	GILBERT	AZ	85234	4722 E		IVY	ST	104 MESA	85205	
10725 HESS DR	<Null>	LA MESA	CA	91941	4722 E		IVY	ST	<Null>	MESA	85205
13912 FM 1730	<Null>	LUBBOCK	TX	79424	4521 E		JENSEN	ST	101 MESA	85205	
4749 E INGRAM ST	<Null>	MESA	AZ	85205	4521 E		JENSEN	ST	102 MESA	85205	
4521 E JENSEN ST 103	<Null>	MESA	AZ	85205	4521 E		JENSEN	ST	103 MESA	85205	
3046 N SAWYER	<Null>	MESA	AZ	85207	4521 E		JENSEN	ST	104 MESA	85205	
PO BOX 21887	<Null>	MESA	AZ	85277	4521 E		JENSEN	ST	105 MESA	85205	
1635 N GREENFIELD RD 104/105	<Null>	MESA	AZ	85205	4521 E		JENSEN	ST	106 MESA	85205	
627 E LEHI RD	<Null>	MESA	AZ	85213	4521 E		JENSEN	ST	107 MESA	85205	
4521 E JENSEN UNIT 109	<Null>	MESA	AZ	85205	4521 E		JENSEN	ST	109 MESA	85205	
4521 E JENSEN ST 110	<Null>	MESA	AZ	85205	4521 E		JENSEN	ST	110 MESA	85205	
936 N SINOA	<Null>	MESA	AZ	85205	4521 E		JENSEN	ST	<Null>	MESA	85205
4710 E FALCON DR UNIT 209	<Null>	MESA	AZ	85215	4813 E		MCKELLIPS	RD	<Null>	MESA	85205
7505 E MALLORY ST	<Null>	MESA	AZ	85207	1925 N		48TH	ST	<Null>	MESA	85205
2120 FAIRMONT AVE	<Null>	READING	PA	19612	1705 N		48TH	ST	<Null>	MESA	85205
226 W RANCH RD	<Null>	TEMPE	AZ	85284	1850 N		ROSEMONT	<Null>	<Null>	MESA	85205
13027 CROSSROADS PKWY S	<Null>	CITY OF INDUSTRY	CA	91746	4946 E		INGRAM	ST	<Null>	MESA	85205
549 N STARLEY	<Null>	MESA	AZ	85203	4925 E		INGRAM	ST	<Null>	MESA	85205
2016 E NORCROFT ST	<Null>	MESA	AZ	85213	1908 N		ROSEMONT	<Null>	<Null>	MESA	85205
PO BOX 1464	<Null>	MESA	AZ	85211	5000 E		MCKELLIPS	RD	<Null>	MESA	85205
4711 E FALCON DR STE 312	<Null>	MESA	AZ	85215	4542 E		MCKELLIPS	RD	101 MESA	85215	
3003 N CENTRAL STE 2600	<Null>	PHOENIX	AZ	85012	4542 E		MCKELLIPS	RD	103 MESA	85215	
3905 N SAPPHIRE	<Null>	MESA	AZ	85215	4542 E		MCKELLIPS	RD	104 MESA	85215	
907 GREENWAY DR	<Null>	ROCK VALLEY	IA	51247	4542 E		MCKELLIPS	RD	105 MESA	85215	
PO BOX 9949	<Null>	FARGO	ND	58106	4542 E		MCKELLIPS	RD	106 MESA	85215	
2620 310TH ST	<Null>	ROCK VALLEY	IA	51247	4542 E		MCKELLIPS	RD	107 MESA	85215	
4542 E MCKELLIPS RD 108	<Null>	MESA	AZ	85215	4542 E		MCKELLIPS	RD	108 MESA	85215	
4558 E MCKELLIPS RD 101	<Null>	MESA	AZ	85215	4558 E		MCKELLIPS	RD	101 MESA	85215	
175 S ARIZONA AVE	<Null>	CHANDLER	AZ	85225	4550 E		MCKELLIPS	RD	101 MESA	85215	
2575 E PROVIDENCE CT	<Null>	HOLLADAY	UT	84121	4550 E		MCKELLIPS	RD	102 MESA	85215	
4122 E MCLELLAN RD UNIT 13	<Null>	MESA	AZ	85205	4550 E		MCKELLIPS	RD	103 MESA	85215	
6532 E RUSTIC DR	<Null>	MESA	AZ	85215	4550 E		MCKELLIPS	RD	104 MESA	85215	
718 NW 8TH AVE	<Null>	FORT LAUDERDALE	FL	33311	4550 E		MCKELLIPS	RD	105 MESA	85215	
7260 E EAGLE CREST DR UNIT 17	<Null>	MESA	AZ	85207	4550 E		MCKELLIPS	RD	110 MESA	85215	
8015 -49 AVE	<Null>	RED DEER	AB	T4P2V5	4550 E		MCKELLIPS	RD	111 MESA	85215	
4350 W EARHART WY	<Null>	CHANDLER	AZ	85226	4550 E		MCKELLIPS	RD	112 MESA	85215	
4710 E FALCON DR STE 111	<Null>	MESA	AZ	85215	4542 E		MCKELLIPS	RD	<Null>	MESA	85215
4710 E FALCON DR STE 111	<Null>	MESA	AZ	85215	<Null>	<Null>	<Null>	<Null>	<Null>	<Null>	<Null>
PO Box 1466	<Null>	Mesa	AZ	85211-1466							
PO Box 1466	<Null>	Mesa	AZ	85211-1466							
ATTN: Josh Grandlienard	PO Box 1466	Mesa	AZ	85211-1466							

HOA Addresses

Registered Neighborhoods and City of Mesa

Neighborhood Name	First Name	Last Name	St No	St Dir	St Name	StType	City	State	Zip
Estate Groves & Valencia Estates	William	Toperzer	4049 E		Huber	St	Mesa	AZ	85205
Alta Mesa Estates HOA	Barb	Gaudio	5345 E		McLellan	Rd #80	Mesa	AZ	85205
Alta Mesa Community Association	Dorne	Ellsworth	5966 E		Fountain	Cir	Mesa	AZ	85205
Mesa Commerce Center - HOA	Peggy	Maxwell	4001 N		3rd	St #405	Phoenix	AZ	85012
Mesa Commerce Center - HOA	Anne	Kleefisch	5060 E		Falcon	Dr	Mesa	AZ	85205
Apache Wells	Judy	Teague	2223 N		56th	St	Mesa	AZ	85215
Princess Park	Joseph	Hansen	4707 E		Hannibal	St	Mesa	AZ	85205
Princess Park	Geri	Nichols	4608 E		Greenway	St	Mesa	AZ	85205
Desert Springs	Lori	Percival	1901 E		University	Dr #440	Mesa	AZ	85203
Villa Sendero HOA	Terri	Jonas	1600 W		Broadway	Rd #200	Tempe	AZ	85282
Villa Sendero HOA	Lori	Percival	1901 E		University	Dr #440	Mesa	AZ	85203
Alta Mesa Community Association	Mitch	Kellogg	150 E		Alamo #3		Chandler	AZ	85225
Mira Mesa	Tracy	Childers	4937 E		Grandview	St	Mesa	AZ	85015
Apache Wells	Apache	Wells HOA	2223 N		56th	St	Mesa	AZ	85215
Alta Mesa Community Association	Thomas	Speropulos	5802 E		Fountain	St	Mesa	AZ	85205
Estate Groves & Valencia Estates	Jared	Langkilde	4228 E		Hope	St	Mesa	AZ	85205
Apache Wells	Kimberly	Cogill	2223 N		56th	St	Mesa	AZ	85215

HOA Name	Corp Comm Link
Falcon Estates	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=11222015
Los Estados	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=07583870
Park Avenue	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08256551
Spyglass Estates	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=01848439
Terra Mesa	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=02445223
Crossroads Estates	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08189240
The Estates at High Grove	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=07921010
The Village at Apache Wells	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=02130652
Villa Sendero	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=01662703
Villa Tuscano	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=10895939
Vista Estancia	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=09460713
Parklinks at Alta Mesa Townhomes	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=06015306
Desert Springs at Alta Mesa Condominiums	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=09453795
Alta Mesa Estates	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=01753580
Apache Wells	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=01930890
El Portillo	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=10355330
The Alta Mesa Community	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=01674054
Alta Mesa Resort Village Condominiums	https://ecorp.azcc.gov/PublicBusinessSearch/PublicBusinessInfo?entityNumber=08542834