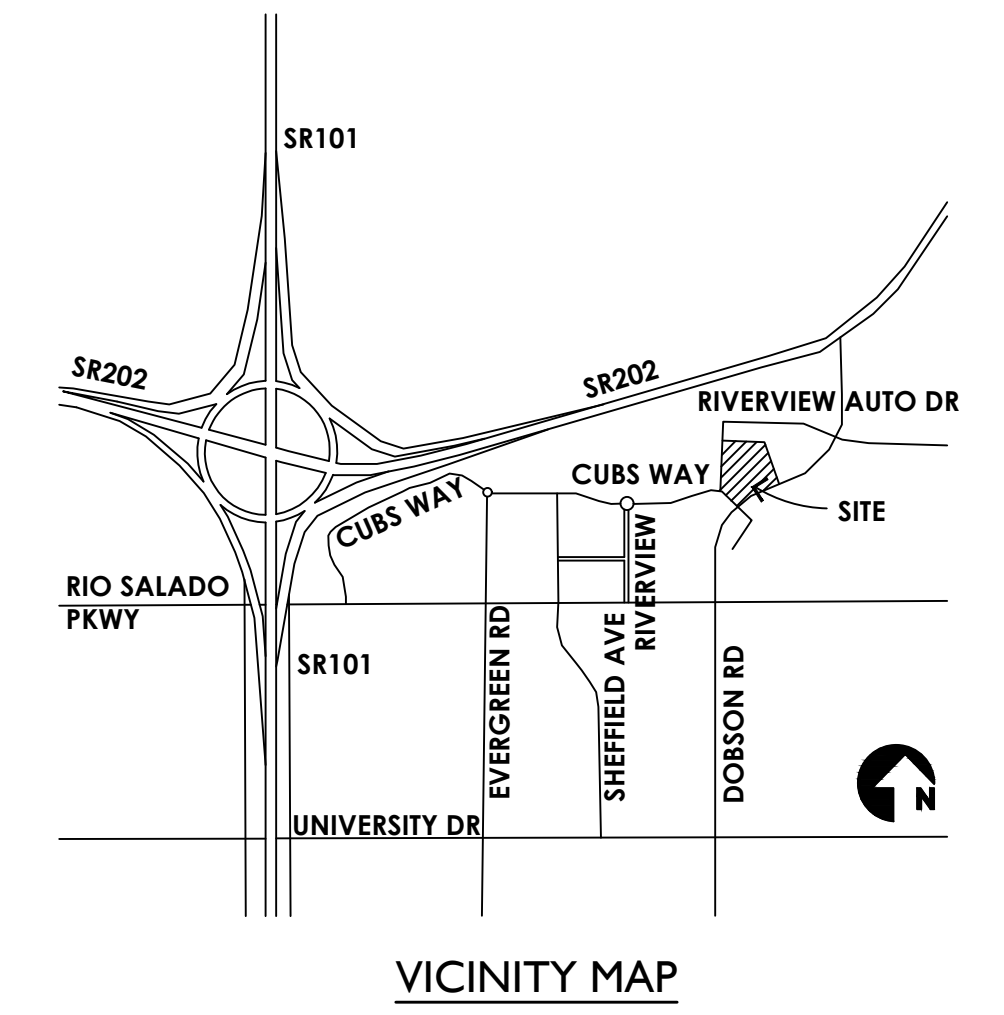
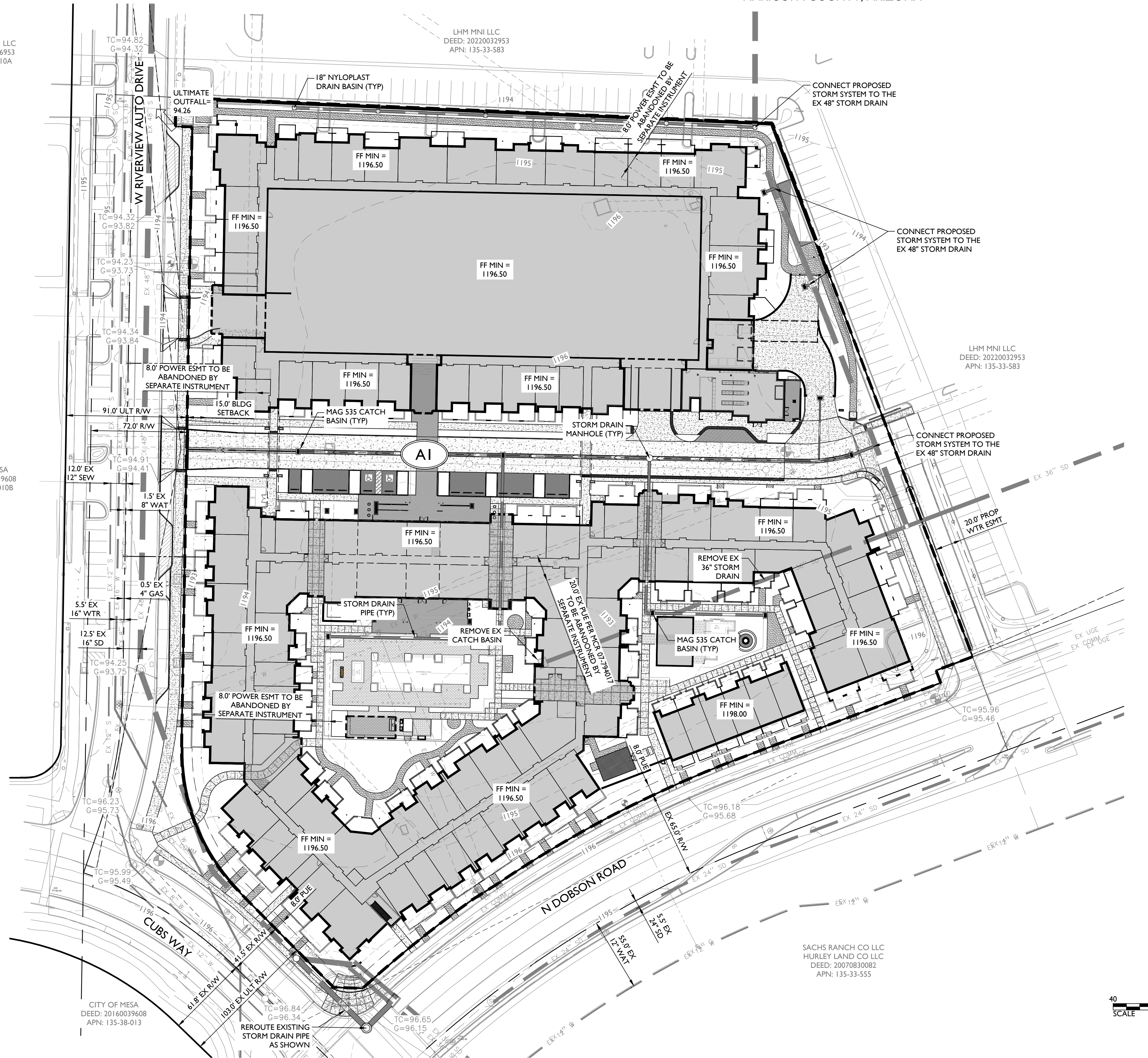


# PRELIMINARY GRADING & DRAINAGE PLAN FOR RESIDENCES AT DOBSON ROAD AND CUBS WAY

A PORTION OF THE NORTHWEST QUARTER OF SECTION 17  
TOWNSHIP 1 NORTH, RANGE 5 EAST OF GILA AND SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA



VICINITY MAP



### PROJECT TEAM

**DEVELOPER:**  
OKLAND CAPITAL  
1700 N MCCLINTOCK DR  
TEMPE, AZ 85281  
TEL: (755) 450-2246  
CONTACT: BRENNAN SHAFFER  
brennan.shaffer@okland.com

**CIVIL ENGINEER:**  
EPS GROUP, INC.  
1130 N. ALMA SCHOOL ROAD, SUITE 120  
MESA, AZ 85201  
TEL: (480)-503-2250  
FAX: (480)-503-2258  
CONTACT: DANIEL AUXIER  
dan.auxier@epsgruoinc.com

**ARCHITECT:**  
TODD + ASSOCIATES  
4019 N 44TH STREET  
PHOENIX, AZ 85018  
TEL: (602) 952-8280  
CONTACT: CRAIG STOFFEL  
cstoffel@toddassoc.com

### PROJECT DATA

A.P.N.: 135-33-584  
CURRENT LAND USE: VACANT  
EXISTING ZONING: GC  
PROPOSED ZONING: RM-4 BIZ  
GROSS AREA: ± 8.30 ACRES  
NET AREA: ± 6.63 ACRES

BUILDING AREA: 478,224 SQ. FT.  
PARKING STRUCTURE AREA: 222,514 SQ. FT.

### BASIS OF BEARINGS

THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, SHOWN ON THE RECORDED MAP OF MESA RIVERVIEW WEST, AMENDED IN BOOK 846, PAGE 38, MCR. THE BEARING OF WHICH IS: NORTH 00 DEGREES 56 MINUTES 08 SECONDS EAST

### BENCHMARK

BEING A BRASS TAG IN THE TOP OF CURB, LOCATED AT THE SOUTHWEST CORNER OF UNIVERSITY AND DOBSON ROADS, CITY OF MESA, MARICOPA COUNTY, ARIZONA, PER THE CITY OF MESA VERTICAL DATUM.

ELEVATION = 1211.62 FEET (CITY OF MESA DATUM)

### FLOOD ZONE INFORMATION

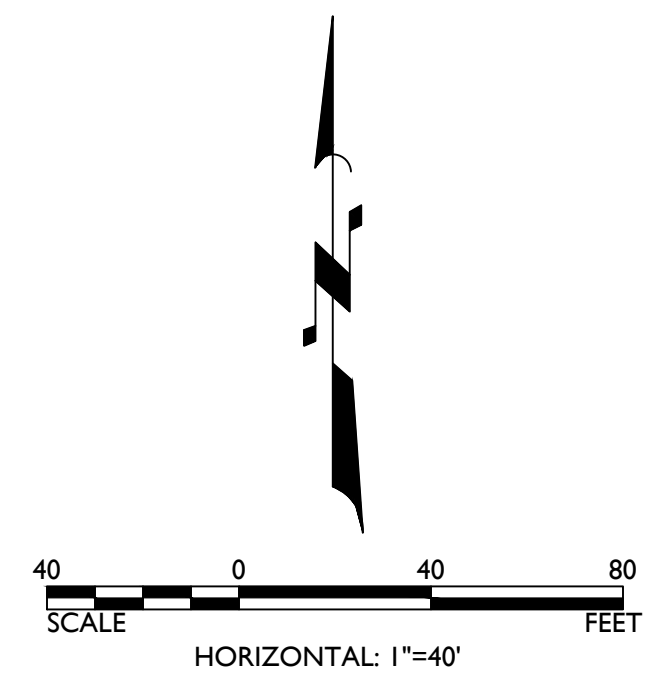
THIS PROJECT IS LOCATED WITHIN ZONE X OF THE F.E.M.A. FLOOD INSURANCE RATE MAP, MAP #04013C2265M, DATED NOV. 4 2015. ZONE X IS DEFINED AS: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

### SITE RETENTION

NO ONSITE RETENTION WILL BE PROVIDED WITH THIS PROJECT. THE PROJECT SITE WILL UTILIZE THE EXISTING STORM SYSTEM CONSTRUCTED WITH THE OVERALL RIVERVIEW AUTO CENTER PROJECT. REFER TO THE PRELIMINARY DRAINAGE REPORT FOR DETAIL REGARDING THE DRAINAGE ANALYSIS AND DESIGN.

### LEGEND

- FF= FINISHED FLOOR
- STORM DRAIN PIPE
- CATCH BASIN
- DRAINAGE AREA
- (A##) DRAINAGE AREA LABEL
- XXXX RETENTION BASIN LABEL



21-1375 - Residences at Dobson Road & Cubs Way

Apr. 18, 2023 4:01pm S:\Projects\2021\21-1375\Civil\_Prelim\21-1375 - P601.dwg ngabbert

UNION MESA I LLC  
DEED: 20190736953  
APN: 135-38-010A

CITY OF MESA  
DEED: 20160039608  
APN: 135-38-010B

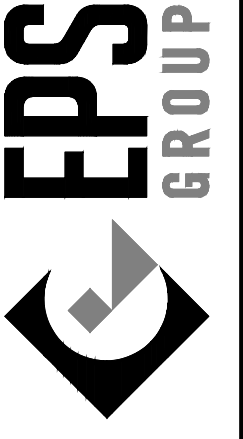
CITY OF MESA  
DEED: 20160039608  
APN: 135-38-013

LHM MINI LLC  
DEED: 20220032953  
APN: 135-33-583

LHM MINI LLC  
DEED: 20220032953  
APN: 135-33-583

SACHS RANCH CO LLC  
HURLEY LAND CO LLC  
DEED: 20070830082  
APN: 135-33-555

1130 N Alma School Road  
Suite 120  
Mesa, AZ 85201  
T: 480.503.2250 | F: 480.503.2258  
www.epsgruoinc.com



Residences at Dobson Road & Cubs Way  
Preliminary Grading & Drainage Plan

Project:

Revisions:

No.	Description

Call at least two full working days before any begin construction.

Designer: NAG  
Drawn by: EPS



Job No.  
**21-1375**

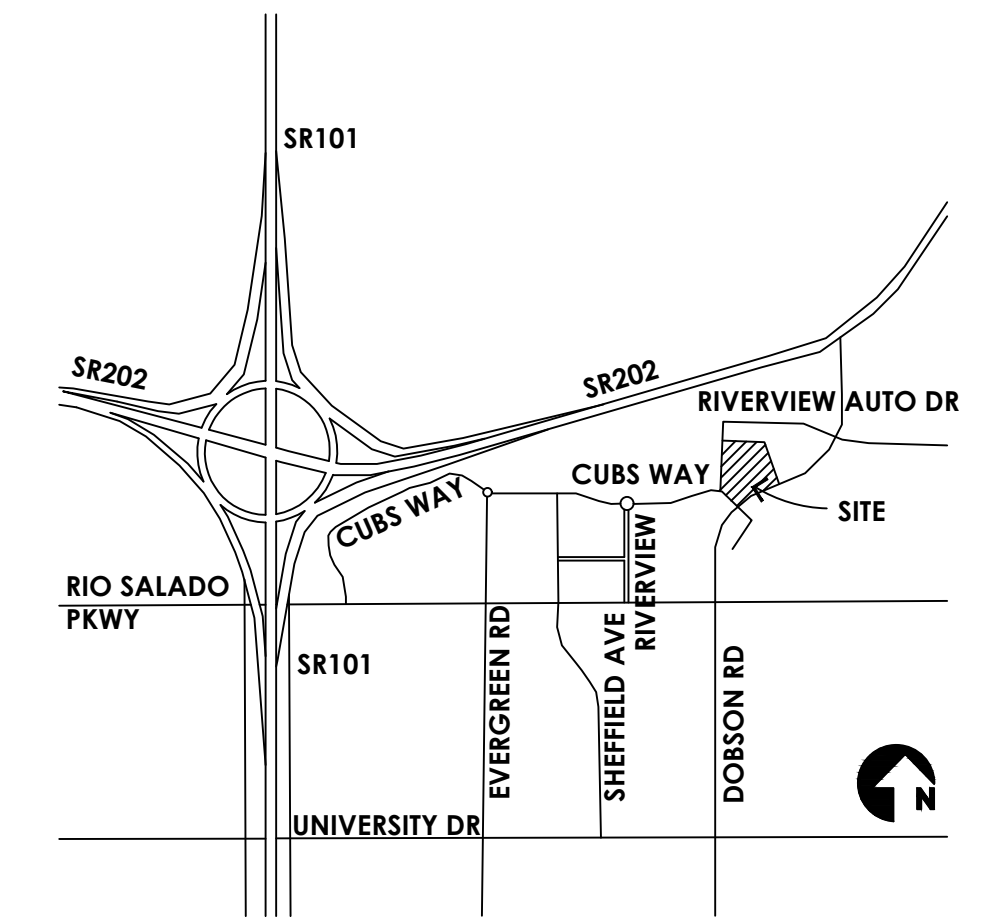
PG01

Sheet No.  
**1 of 1**



# PRELIMINARY UTILITY PLAN FOR RESIDENCES AT DOBSON ROAD AND CUBS WAY

A PORTION OF THE NORTHWEST QUARTER OF SECTION 17  
TOWNSHIP 1 NORTH, RANGE 5 EAST OF GILA AND SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA



VICINITY MAP

### PROJECT TEAM

**DEVELOPER:**  
OKLAND CAPITAL  
1700 N MCCLINTOCK DR  
TEMPE, AZ 85281  
TEL: (755) 450-2246  
CONTACT: BRENNAN SHAFFER  
brennan.shaffer@okland.com

**CIVIL ENGINEER:**  
EPS GROUP, INC.  
1130 N. ALMA SCHOOL ROAD, SUITE 120  
MESA, AZ 85201  
TEL: (480)-503-2250  
FAX: (480)-503-2258  
CONTACT: DANIEL AUXIER  
dan.auxier@epsgruoinc.com

**ARCHITECT:**  
TODD + ASSOCIATES  
4019 N 44TH STREET  
PHOENIX, AZ 85018  
TEL: (602) 952-8280  
CONTACT: CRAIG STOFFEL  
cstoffel@toddasoc.com

### PROJECT DATA

A.P.N.: 135-33-584  
CURRENT LAND USE: VACANT  
EXISTING ZONING: GC  
PROPOSED ZONING: RM-4 BIZ  
GROSS AREA: ± 8.30 ACRES  
NET AREA: ± 6.63 ACRES

BUILDING AREA: 478,224 SQ. FT.  
PARKING STRUCTURE AREA: 222,514 SQ. FT.

### BASIS OF BEARINGS

THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, SHOWN ON THE RECORDED MAP OF MESA RIVERVIEW WEST, AMENDED IN BOOK 846, PAGE 38, MCR. THE BEARING OF WHICH IS: NORTH 00 DEGREES 56 MINUTES 08 SECONDS EAST

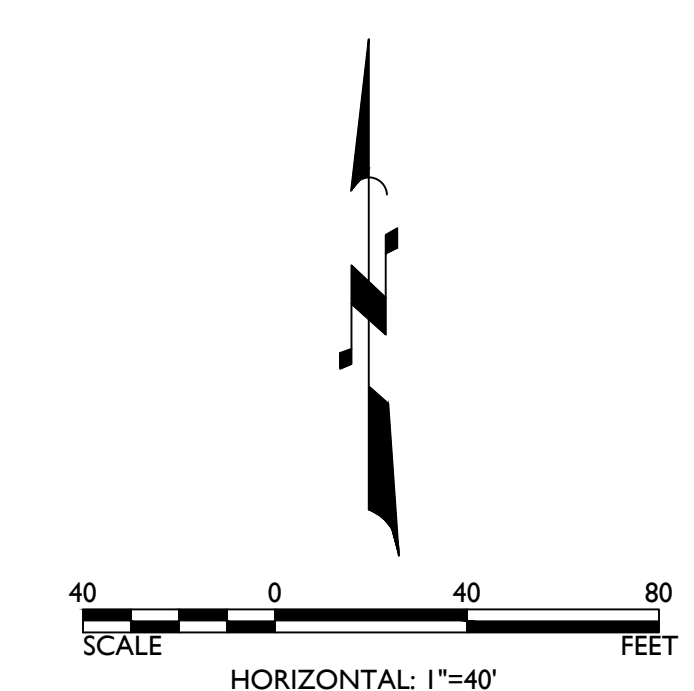
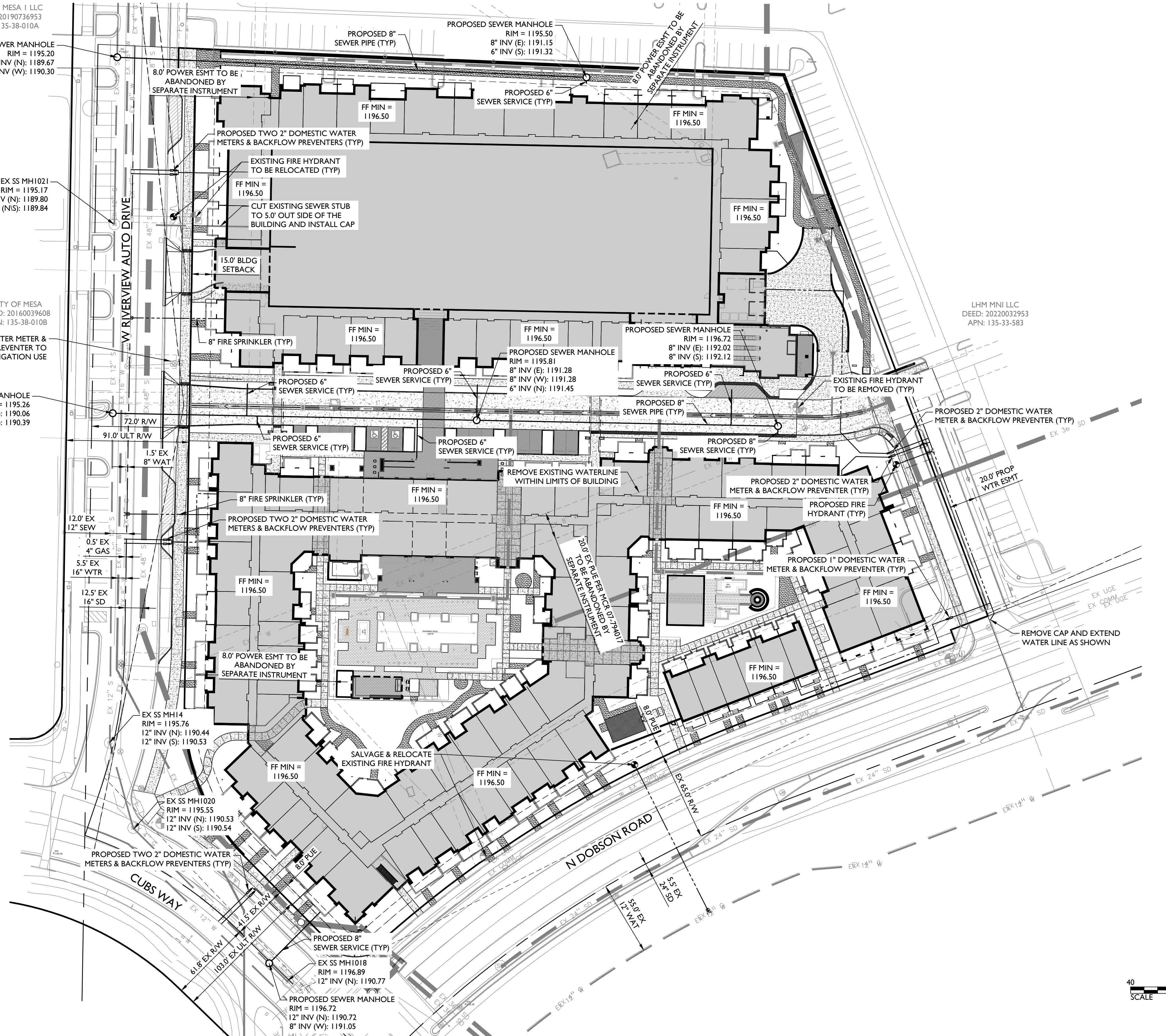
### BENCHMARK

BEING A BRASS TAG IN THE TOP OF CURB, LOCATED AT THE SOUTHWEST CORNER OF UNIVERSITY AND DOBSON ROADS, CITY OF MESA, MARICOPA COUNTY, ARIZONA, PER THE CITY OF MESA VERTICAL DATUM.

ELEVATION = 1211.62 FEET (CITY OF MESA DATUM)

### LEGEND

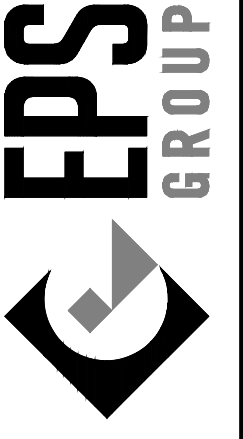
- SEWER LINE
- SEWER MANHOLE
- WATER LINE
- FIRE LINE
- ⊕ FIRE HYDRANT
- ⊗ WATER VALVE
- WATER METER



21-1375 - Residences at Dobson Road & Cubs Way

Apr 18, 2023 4:01pm S:\Projects\2021\21-1375\Civil\Preliminary\_Prelim Utility\_21-1375 - PU01.dwg ngabbert

1130 N Alma School Road  
Suite 120  
Mesa, AZ 85201  
T: 480.503.2250 | F: 480.503.2258  
www.epsgruoinc.com



Residences at Dobson Road & Cubs Way  
City of Mesa, Arizona  
Preliminary Utility Plan

Project:

Revisions:

Call at least two full working days before any begin excavation.

**ARIZONA**  
Professional Engineer Seal

Designer: NAG  
Drawn by: EPS



Job No.  
**21-1375**  
PU01  
Sheet No.  
**1**  
of 1