

4 ENLARGED PLAN AT COMM. AREA
SCALE: 1/16"=1'-0"
FUTURE (TO BE DONE UNDER SEPARATE PERMIT)

3 ELEVATION AT INFILL WALL
SCALE: 1/8"=1'-0"

2 ENLARGED PLAN AT EXST'G ENTRANCE
SCALE: 1/8"=1'-0"

1 OVERALL SITE PLAN
SCALE: 1"=60'

PALM HARBOR ESTATES
320 E. MCKELLIPS ROAD
MESA, AZ 85201

taylor:fraccasse architecture

revisions:
 ▲ CITY COMMENTS 012523
 ▲ CITY COMMENTS 031123
 ▲ CITY COMMENTS 032323
 ▲ CITY COMMENTS 042023
 ▲ CITY COMMENTS 051023

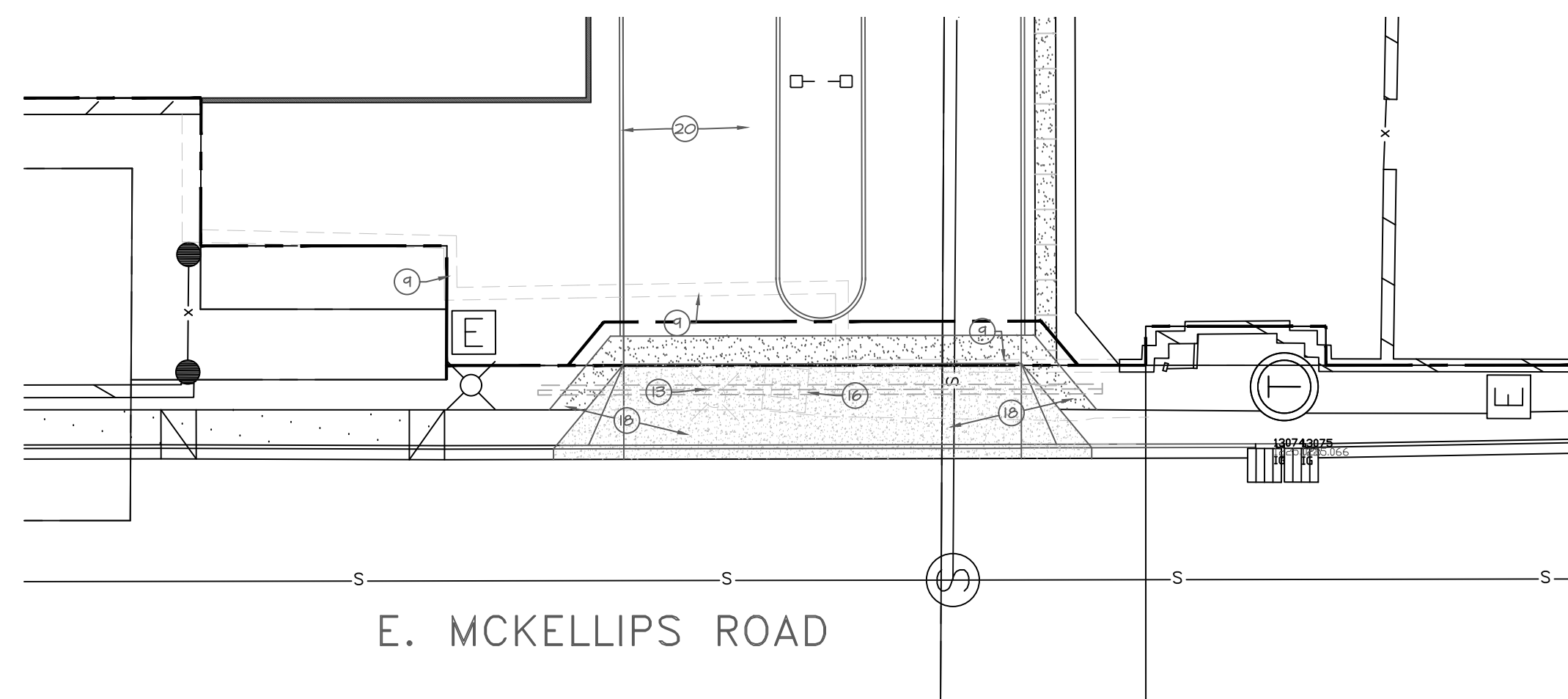
ISSUE DATE: 11.08.22
 JOB NUMBER: 22-002
 SCALE: AS NOTED
 DRAWN: BF
 CHECKED: BF
 TITLE: SITE PLAN, NOTES

ISSUED FOR PERMIT

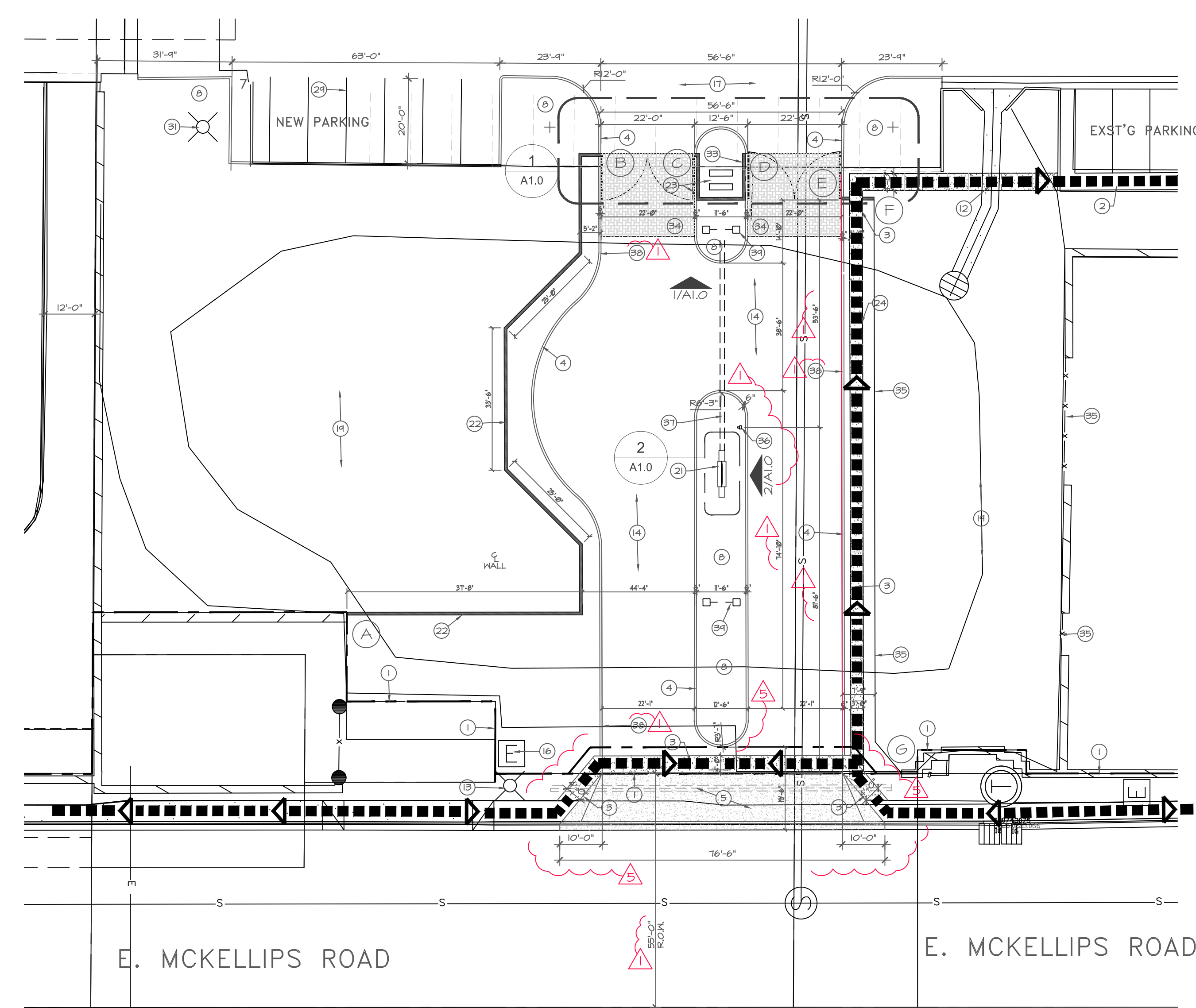
SP-1

MESA CONSTRUCTION NOTES

- COMPLY WITH ALL PROVISIONS AND REQUIREMENTS OF MESA BUILDING CODE (MBC) CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION. MESA FIRE CODE (MFC) CHAPTER 33 - FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION AND MFC 34 FOR ITEMS NOT SPECIFICALLY ADDRESSED BY MFC CHAPTER 33.
- SPRINKLER ACCESS ROADS ARE ESSENTIAL DURING CONSTRUCTION TO ALLOW EMERGENCY RESPONSE TO THE SITE FOR BOTH FIRE AND MEDICAL EMERGENCIES. ACCESS ROADS SHALL BE IN PLACE PRIOR TO THE START OF VERTICAL CONSTRUCTION. IT IS IMPORTANT TO DEVELOP ACCESS ROADS AT AN EARLY STAGE OF CONSTRUCTION TO ALLOW FOR FIRE DEPARTMENT ACCESS TO THE SITE IN THE CASE OF FIRE OR INJURY.
- REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION SHALL COMPLY WITH MESA FIRE AND MEDICAL DEPARTMENT STANDARD DETAIL PFD 3301. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE OF ALL-WEATHER DRIVING SURFACE GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPROVED LOADS OF FIRE APPARATUS (80000 LBS., 24,000 LBS. FRONT AXLE, 84,000 LBS. REAR AXLE) WHEN ROADS ARE LIFT.
- THE ACCESS ROAD SHALL EXTEND TO WITHIN 200 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE JOBSITE WHERE ANY PERSON(S) SHALL BE WORKING FOR A MINIMUM OF FOUR (4) CONTINUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS" IN RED LETTERS SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD.
- ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD.
- THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS PER THE MFC SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.
- WATER SUPPLY FOR FIRE PROTECTION, AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF MFC APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONSTRUCTION OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1000 GPM AT 20 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.
- IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF THE WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS ALWAYS AVAILABLE WHEN THE WORK IS COMPLETE. DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE AND THE VALVES ARE OPEN.

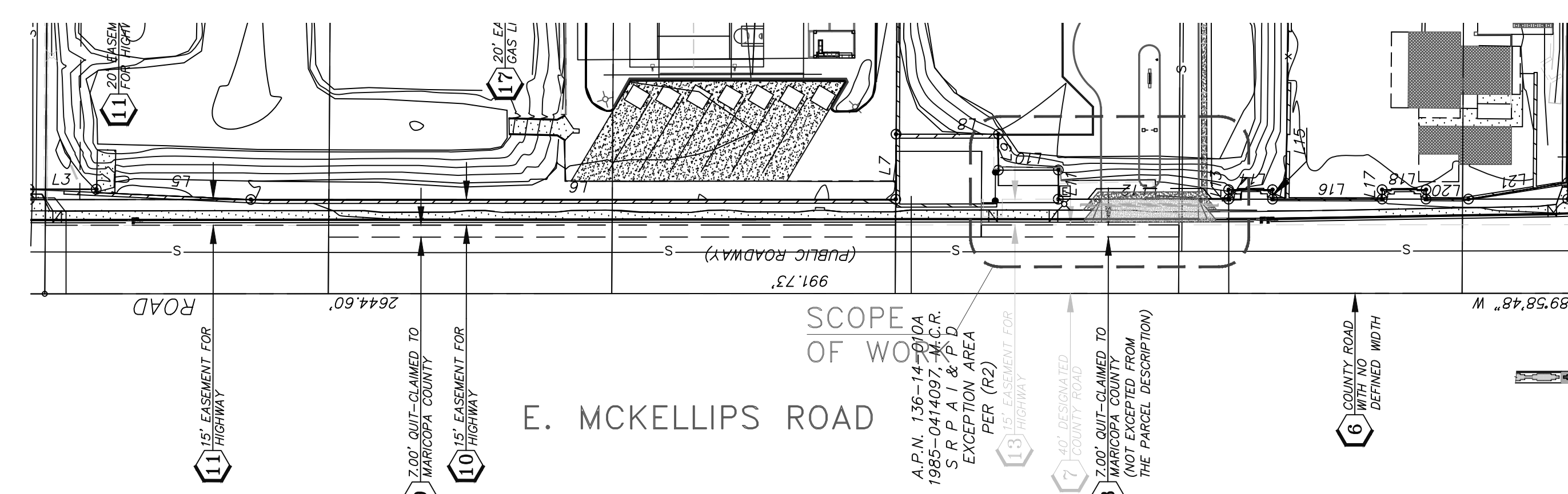


3 DEMO SITE PLAN - NEW ENTRY
SCALE: 1"=20"
SCALE: 1"=20"
NORTH

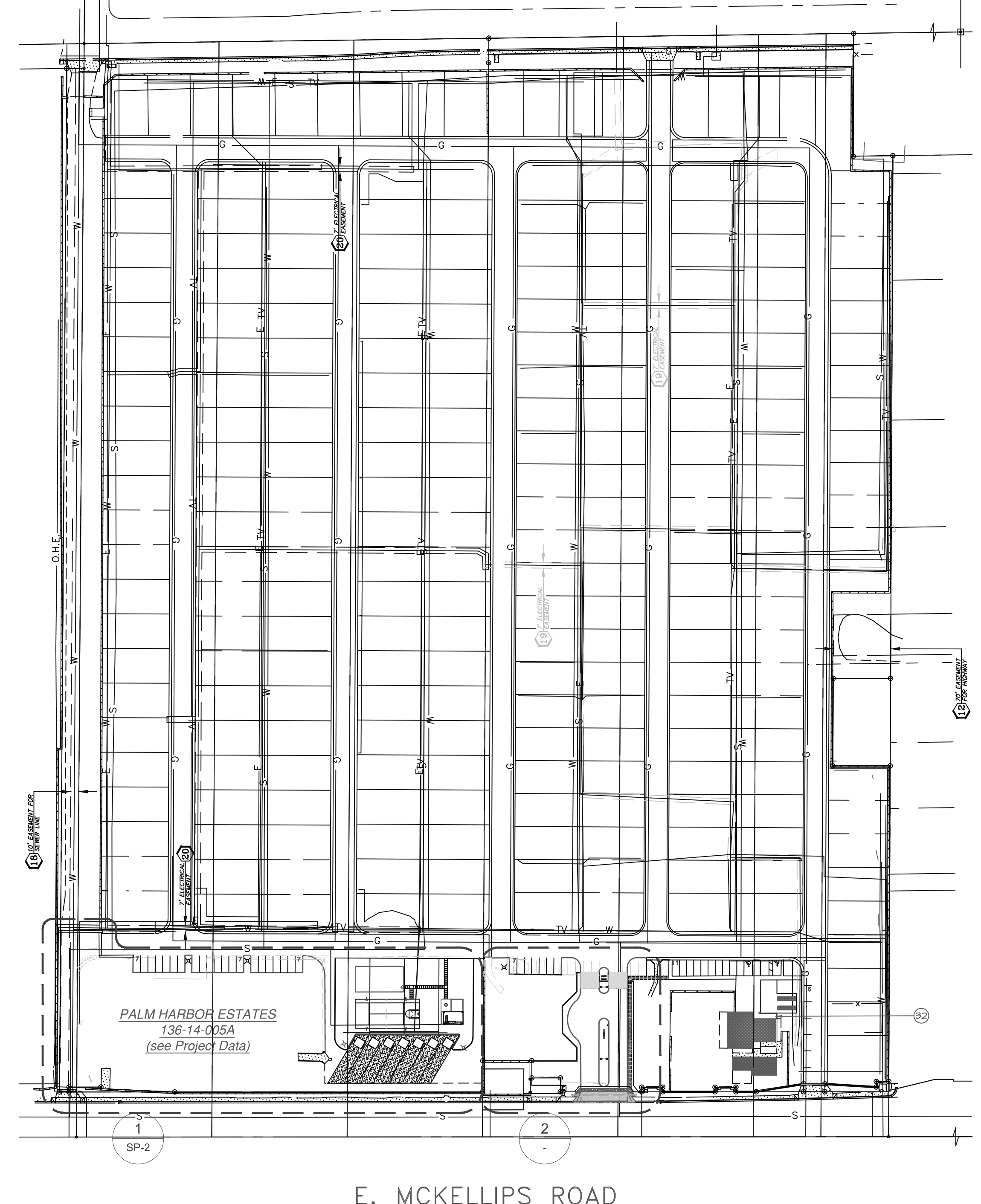


2 ENLARGED SITE PLAN
SCALE: 1"=20"
SCALE: 1"=20"
NORTH

NOTE: GC TO COORDINATE WITH OWNER ON SECURITY CAMERA LOCATIONS TO ENSURE ALL PROVISIONS ARE INCLUDED FOR THIS SCOPE OF WORK.



1 OVERALL SITE REFERENCE PLAN
SCALE: 1"=100"
SCALE: 1"=100"
NORTH



VICINITY MAP
SCALE: 1"=100"
NORTH

SITE PLAN NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- THIS PROJECT IS LOCATED IN THE CITY OF MESA WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
- ANY LIGHTING WILL BE PLACED 50 AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- RETENTION IS REQUIRED, 50% DRAIN TO STREET.

SITE FENCE LEGEND

- 182'-4" LF OF 6'-0" H. CMU SITE FENCE W/STUCCO FINISH FROM (A) TO (B)
- 32'-0" LF OF 8'-0" H. CMU SITE FENCE W/STUCCO FINISH FROM (C) TO (D)
- 5'-0" LF OF 6'-0" H. CMU SITE FENCE W/STUCCO FINISH FROM (E) TO (F)
- 137'-8" LF OF 6'-0" H. BLACK IRON PICKET FENCE FROM (F) TO (G)

KEY NOTES

- PROPERTY LINE.
- EXIST'S SIDEWALK TO REMAIN.
- 4" T. CONCRETE SIDEWALK OVER 4" COMPACTED A.B.C., NATURAL GRAY, WIDTH AS SHOWN, CONTROL JOINTS @ 5'-0" O.C., EXPANSION JOINTS @ 20'-0" O.C. (PER ICC A111), SECTION 403.3, AT SIDEWALKS, ACCESSIBLE ROUTE SLOPE COMPLIANCE OF 5% MAXIMUM RUNNING SLOPES AND A MAXIMUM OF 2% FOR CROSS SLOPES).
- CONCRETE CURBS, REFER TO CIVIL DRAWINGS FOR MORE INFO.
- 5" T. CONCRETE APRON OVER 4" COMPACTED A.B.C., NATURAL GRAY.
- ACCESSIBILITY RAMP PER DETAIL 3/C02 (PER ICC A111), SECTION 405 FOR AT SIDEWALK RAMP & SECTION 406 FOR AT CURB RAMP).
- FIRE TRUCK APPARATUS TURNING RADIUS (35 FT INSIDE/55 FT OUTSIDE).
- PROV'D NATIVE XERISCAPE LANDSCAPING. REFER TO LANDSCAPE PLANS.
- DEMO PORTION OF EXIST'S MASONRY SITE FENCE WALL AS SHOWN FOR NEW ENTRY.
- EXIST'S RETENTION LOCATION TO REMAIN.
- NOT USED.
- PROV'D PAVES UNDER SIDEWALK FOR EXIST'S DRAINAGE TO RETENTION.
- RELOCATED EXIST'S LIGHT POLE FROM DEMOLITION.
- PAVERS OVER HEAVY DUTY SAND BED.
- DISSIMILAR PATTERN PAVERS AT ADA PEDESTRIAN WALK PATH.
- REMOVE AND RELOCATE EXIST'S ELECTRICAL GEAR-AS PER PROPOSED PLAN.
- EXISTING PARKING LOT AND SPACES TO BE REMOVED FOR NEW INGRESS/EGRESS.
- EXISTING SIDEWALK AND LANDSCAPE TO BE REMOVED FOR NEW INGRESS/EGRESS.
- EXISTING RETENTION AREA TO REMAIN.
- EXISTING RETENTION TO BE ADJUSTED/RAISED FOR NEW INGRESS/EGRESS.
- MONUMENT SIGNAGE WALL, "PALM HARBOR ESTATES", PROV'D POWER, SIGNAGE TO BE SEPARATE PERMIT.
- 6'-0" H. CMU MASONRY W/STUCCO FINISH PROPERTY FENCE WALL. MATCH EXIST'S. REFER TO DETAIL 5/A2.0
- PROVIDE OPTICAL SENSING DEVICE MOTORIZED GATES AND EXIT PAD, PER DETAIL. (NOTE THIS GATE WILL AGT AS FIRE DEPARTMENT ACCESS FOR THE SITE).
- 6'-0" H. BLACK IRON ORNAMENTAL GATE FOR SITE ACCESS FROM ACCESSION ON PATH OF TRAVEL.
- DEMO EXISTING TRASH ENCLOSURE AND CONCRETE APPROACH PAD IN ITS ENTIRETY, PREP FOR NEW PATCH BACK AND ASPHALT AS REQ'D.
- 6'-0" H. MASONRY PROPERTY FENCE WALL. MATCH EXIST'S.
- 6" T. CONCRETE SLAB OVER 4" COMPACTED A.B.C., NATURAL GRAY, FLUSH/SLOPE WITH ASPHALT WHEN CURB NOT SHOWN. REFER TO STRUCTURAL DRAWINGS FOR MORE INFO.
- TRASH CONTAINERS ON CONCRETE SLAB, W/ (4) BOLLARDS PER CONTAINER. REFER TO ENLARGED DETAILS 1 TOTAL.
- 4" WIDE WHITE PAVEMENT MARKINGS, TYP.
- EXISTING PARKING LOT LIGHT POLE TO REMAIN, REPAIR AND RELAMP AS NECESSARY.
- NEW PARKING LOT LIGHT POLE, AT GATES, LIGHTS TO BE ATTACHED TO PALM.
- EXISTING ELECTRICAL PANEL LOCATION.
- PROV'D HOSE BIBS WITH KEYED VALVE, GC TO LOCATE CLOSEST WATER SUPPLY AND UTILIZE.
- PAVERS OVER SUB-BED, REFER TO CIVIL ENGINEERING FOR MORE INFO.
- 6'-0" H. BLACK IRON PICKET FENCE, REFER TO DESIGN DOCUMENT, (GC TO REPLACE SECTIONS OF EXIST'S METAL FENCE AT WEST POOL WALL, V.I.F.).
- GOOSENECK IN-GROUND PEDESTAL KEYPAD POST BY PREMIER SECURITY SYSTEMS OR EQUAL, PROV'D CONDUIT AND COORDINATE WITH OWNER ON FINAL KEYPAD SELECTION.
- PROV'D (2) ADDTL. 2" PIPE SLEEVES FOR OWNER FUTURE USE. COORD WITH PALM HARBOR ON EXACT PATH OF TRAVEL.
- FIRE ACCESS LANES LESS THAN 20 FEET WIDE SHALL HAVE NO PARKING ON EITHER SIDE OF THE ROAD PER MESA FIRE CODE 503.4.2. PER MESA FIRE DETAIL 503.3, PROV'D WHITE AND YELLOW MARKINGS IN ALL AREAS APPLICABLE TO MFC 503.4.2. PROV'D PAINTED CURB AND SIGNAGE PER DETAIL 1/A2.0.
- NEW LIGHT PACKS, TO BE ATTACHED TO PALM TREES.

PROJECT DATA	
OWNER:	PALM HARBOR ESTATES, LLC
PROJECT ADDRESS:	320 E. MCKELLIPS RD
PARCEL NUMBER:	136-14-005A
ZONING:	RH-4
GROSS SITE AREA:	1,280.98 SF
REQUIRED BUILDING SETBACKS:	
FRONT:	20'-0"
REAR:	20'-0"
SIDES:	8'-0"
BUILDING HEIGHT REQUIREMENTS:	
ALLOWABLE:	30'-0"
PROVIDED:	30'-0"
PARKING REQUIRED:	
OFFICE:	1,500/300 = 5
1 PER 5 HOMES (VISITOR):	243/5 = 48
TOTAL:	53 SPACES
H.G. SPACES REQ'D:	2 SPACES
AMENDED PARKING:	
EXIST'S REGULAR SPACES:	= 26 SPACES
REMOVED REGULAR SPACES:	= (15 SPACES)
NEW REGULAR SPACES:	= 35 SPACES
TOTAL PARKING PROVIDED:	45 SPACES
H.G. SPACES:	= 2 SPACES
REQUIRED LANDSCAPE SETBACKS:	
FRONT:	10'-0"
SIDES:	4'-0"
REAR:	20'-0"
OPEN SPACE REQ'D:	
100 SF PER (1) MANUF. HOME - 246 X 100 =	24,600 SF
OPEN SPACE (PROV'D):	2,500 SF
ENCLOSED (COMMUNITY CENTER):	11,360 SF
EXISTING POOL AND BBQ AT COMMUNITY CENTER:	11,471 SF
OPEN CURB, POOL, BBQ, SPORT CT, DOG PARK:	25,331 SF
TOTAL:	25,331 SF

LEGAL DESCRIPTION	
<p>Parcel 1, 2, 3, 4, 5, 6, 7, and 8 of the Special Warranty Deed recorded in recording number 2021-1002267, records of Maricopa County, Arizona, being located in a portion of the Southeast quarter of Section 3, Township 1 North, Range 5 East of the Gila and Salt River Bases and Meridian, Maricopa County, Arizona, said parcels being more particularly described as follows:</p> <p>COMMENCING at the Southeast corner of said Section 3, said point being marked with a brass cap in a handhole, said point also being North 89 degrees 58 minutes 48 seconds East 2644.60 feet from the South quarter corner of said Section 3, said point being marked with a brass cap in a handhole;</p> <p>Thence along the South line of the Southeast quarter of said Section 3, South 89 degrees 58 minutes 48 seconds West 330.51 feet to the Southeast corner of the West half of the East half of the Southeast quarter of said Section 3;</p> <p>Thence along the East line of the West half of the East half of the Southeast quarter of the Southeast quarter of said Section 3, North 00 degrees 15 minutes 20 seconds East 61.42 feet to a point on the Northerly Right-of-Way line of McKellips Road, said point being the POINT OF BEGINNING;</p> <p>Thence along said Northerly Right-of-Way, North 30 degrees 00 minutes 00 seconds West 15.21 feet;</p> <p>Thence South 00 degrees 00 minutes 00 seconds East 6.65 feet;</p> <p>Thence North 86 degrees 35 minutes 02 seconds West 62.32 feet;</p> <p>Thence South 00 degrees 01 minutes 12 seconds East 9.54 feet to a point on a line 55.00 feet North of and parallel with the South line of said Section 3;</p> <p>Thence along said parallel line, South 89 degrees 58 minutes 48 seconds West 25.88 feet;</p> <p>Thence North 00 degrees 01 minutes 12 seconds East 9.54 feet;</p> <p>Thence South 80 degrees 32 minutes 33 seconds West 58.68 feet to a point on a line 55.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line and continuing along said Right-of-Way, South 89 degrees 58 minutes 48 seconds West 24.74 feet;</p> <p>Thence North 00 degrees 00 minutes 00 seconds West 5.50 feet;</p> <p>Thence North 30 degrees 00 minutes 00 seconds West 25.60 feet;</p> <p>Thence South 00 degrees 00 minutes 00 seconds West 5.51 feet to a point on a line 55.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line and continuing along said Right-of-Way, South 89 degrees 58 minutes 48 seconds West 63.30 feet;</p> <p>Thence North 00 degrees 00 minutes 00 seconds East 5.53 feet;</p>	<p>Thence North 30 degrees 00 minutes 00 seconds West 25.60 feet;</p> <p>Thence South 00 degrees 00 minutes 00 seconds East 5.54 feet to a point on a line 55.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line and continuing along said Right-of-Way, South 89 degrees 58 minutes 48 seconds West 93.35 feet to a point on a line 1315.0 feet West of and parallel with the East line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, North 00 degrees 12 minutes 20 seconds East 11.20 feet to a point on a line 72.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, South 89 degrees 58 minutes 48 seconds West 35.00 feet to a point on a line 76.50 feet West of and parallel with the East line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, North 00 degrees 12 minutes 20 seconds East 21.00 feet to a point on a line 93.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, South 89 degrees 58 minutes 48 seconds West 93.73 feet to a point on the East line of the West half of the East half of the Southeast quarter of said Section 3;</p> <p>Thence along last said East line, South 00 degrees 19 minutes 51 seconds West 38.00 feet to a point on a line 55.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3, also being the Northerly Right-of-Way of McKellips Road;</p> <p>Thence along said parallel line and along said Northerly Right-of-Way, South 89 degrees 58 minutes 48 seconds West 316.01 feet;</p> <p>Thence North 01 degrees 28 minutes 41 seconds West 90.21 feet;</p> <p>Thence North 00 degrees 06 minutes 43 seconds East 2.00 feet;</p> <p>Thence North 89 degrees 57 minutes 45 seconds West 39.00 feet;</p> <p>Thence South 00 degrees 01 minutes 12 seconds East 6.04 feet to a point on a line 55.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line and continuing along said Northerly Right-of-Way, South 89 degrees 58 minutes 48 seconds West 11.61 feet to a point on a line 210.0 feet West of and parallel with the West line of the Southeast quarter of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, North 00 degrees 24 minutes 25 seconds East 125.38 feet to a point on a line 30.00 feet South of and parallel with the North line of the Southeast quarter of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, North 89 degrees 14 minutes 15 seconds East 21.00 feet to a point on the West line of the Southeast quarter of the Southeast quarter of said Section 3;</p> <p>Thence along said West line, North 00 degrees 24 minutes 25 seconds East 30.01 feet to the Northwest corner of the Southeast quarter of the Southeast quarter of said Section 3;</p> <p>Thence along the North line of the Southeast quarter of the Southeast quarter of said Section 3, North 89 degrees 14 minutes 15 seconds East 93.73 feet to a point on a line 378.00 feet West of and parallel with the East line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, South 00 degrees 12 minutes 20 seconds West 150.00 feet to a point on a line 150.00 feet South of and parallel with the North line of the Southeast quarter of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, North 89 degrees 14 minutes 15 seconds East 48.48 feet to a point on the East line of the West half of the East half of the Southeast quarter of the Southeast quarter of said Section 3;</p> <p>Thence along last said East line, South 00 degrees 15 minutes 20 seconds West 638.42 feet to a point on a line 56.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, South 89 degrees 58 minutes 48 seconds West 10.00 feet to a point on a line 70.00 feet West of and parallel last said East line;</p> <p>Thence along said parallel line, South 00 degrees 15 minutes 20 seconds West 107.00 feet to a point on a line 453.00 feet North of and parallel with the South line of the Southeast quarter of said Section 3;</p> <p>Thence along said parallel line, North 89 degrees 58 minutes 48 seconds East 70.00 feet to a point on last said East line;</p> <p>Thence along last said East line, South 00 degrees 15 minutes 20 seconds West 385.59 feet to the POINT OF BEGINNING.</p> <p>Comprising 29.47 acres or 1,280.98 square feet, subject to all easements of record.</p>

REVISIONS		
NO.	DATE	DESCRIPTION
1	02/23/23	CITY COMMENTS
2	03/17/23	CITY COMMENTS
3	03/23/23	CITY COMMENTS
4	04/20/23	CITY COMMENTS
5	05/10/23	CITY COMMENTS

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Phoenix, Arizona 85044
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ARCHITECTURE • PLANNING
INTERIORS • RESEARCH • DESIGN

Expires 12-31-24

PALM HARBOR ESTATES
320 E. MCKELLIPS ROAD
MESA, AZ 85201

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PALM HARBOR ESTATES

A0.1

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MESA CONSTRUCTION NOTES

1. COMPLY WITH ALL PROVISIONS AND REQUIREMENTS OF MESA BUILDING CODE (MBC) CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION, MESA FIRE CODE (MFC) CHAPTERS 33 - FIRE SAFETY DURING CONSTRUCTION, AND DEMOLITION, AND NFPA 241 FOR ITEMS NOT SPECIFICALLY ADDRESSED BY MFC CHAPTER 33.

2. REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION SHALL COMPLY WITH MESA FIRE AND MEDICAL DEPARTMENT STANDARD DETAIL PFD 3302. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE OF ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE PROPOSED LOADS OF FIRE APPARATUS (18,000 LBS. / 34,000 LBS. FRONT AXLE, 54,000 LBS. REAR AXLE) WHEN ROADS ARE SET.

3. THE ACCESS ROAD SHALL EXTEND TO WITHIN 2000 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE JOBSITE WHERE ANY PERSON(S) SHALL BE WORKING FOR A MINIMUM OF FOUR (4) CONTINUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS" IN RED LETTERS SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD.

4. ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD.

5. THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS FOR THE PFD SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.

6. WATER SUPPLY FOR FIRE PROTECTION: AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF MFC APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1500 GPM AT 20 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 300 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.

7. IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF THE WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS ALWAYS AVAILABLE. WHEN THE WORK IS COMPLETE, DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE, AND THE VALVES ARE OPEN.

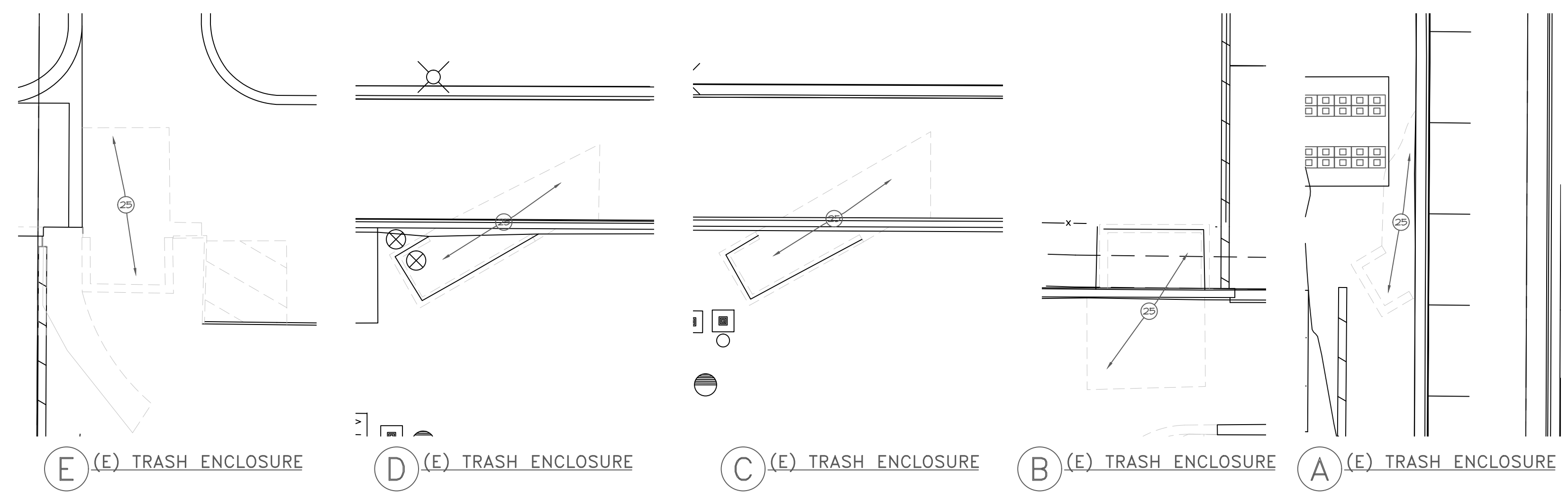
KEY NOTES

- 1 PROPERTY LINE.
- 2 EXIST'G SIDEWALK TO REMAIN.
- 3 4" T. CONCRETE SIDEWALK OVER 4" COMPACTED A.B.C., NATURAL GRAY, WIDTH AS SHOWN, CONTROL JOINTS @ 5'-0" O.C., EXPANSION JOINTS @ 20'-0" O.C. (PER ICC A111), SECTION 403.3, AT SIDEWALKS, ACCESSIBLE ROUTE SLOPE COMPLIANCE OF 5% MAXIMUM RUNNING SLOPES AND A MAXIMUM OF 2% FOR CROSS SLOPES).
- 4 CONCRETE CURBING, REFER TO CIVIL DRAWINGS FOR MORE INFO.
- 5 5" T. CONCRETE APRON OVER 4" COMPACTED A.B.C., NATURAL GRAY.
- 6 ACCESSIBILITY RAMP PER DETAIL 3/CO2 (PER ICC A111), SECTION 405 FOR AT SIDEWALK RAMP; # SECTION 406 FOR AT CURB RAMP(S).
- 7 FIRE TRUCK APPARATUS TURNING RADIUS (35 FT INSIDE/55 FT OUTSIDE).
- 8 PROVID' NATIVE XERISCAPE LANDSCAPING, REFER TO LANDSCAPE PLANS.
- 9 DEMO PORTION OF EXIST'G MASONRY SITE FENCE WALL AS SHOWN FOR NEW ENTRY.
- 10 EXIST'G RETENTION LOCATION TO REMAIN.
- 11 NOT USED.
- 12 PROVID' PASS UNDER SIDEWALK FOR EXIST'G DRAINAGE TO RETENTION.
- 13 RELOCATED EXIST'G LIGHT POLE FROM DEMOLITION.
- 14 PAVERS OVER HEAVY DUTY SAND BED.
- 15 DISSIMILAR PATTERN PAVERS AT ADA PEDESTRIAN WALK PATH.
- 16 REMOVE AND RELOCATE EXIST'G ELECTRICAL GEAR-AS PER PROPOSED PLAN.
- 17 EXISTING PARKING LOT AND SPACES TO BE REMOVED FOR NEW INGRESS/EGRESS.
- 18 EXISTING SIDEWALK AND LANDSCAPE TO BE REMOVED FOR NEW INGRESS/EGRESS.
- 19 EXISTING RETENTION AREA TO REMAIN.
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- 21 MONUMENT SIGNAGE WALL, "PALM HARBOR ESTATES", PROVID' POWER, SIGNAGE TO BE SEPARATE PERMIT.
- 22 6'-0" H. CMU MASONRY W/ STUCCO FINISH PROPERTY FENCE WALL. MATCH EXIST'G. REFER TO DETAIL 5/A2.0
- 23 PROVIDE OPTICAL SENSING DEVICE MOTORIZED GATES AND EXIT PAD, PER DETAIL. (NOTE THIS GATE WALL ACT AS FIRE DEPARTMENT ACCESS FOR THE SITE).
- 24 6'-0" H. BLACK IRON ORNAMENTAL GATE FOR SITE ACCESS FROM ACCESSIBLE PATH OF TRAVEL.
- 25 DEMO EXISTING TRASH ENCLOSURE AND CONCRETE APPROACH PAD IN ITS ENTIRETY, PREP FOR NEW PATCH BACK AND ASPHALT AS REQ'D.

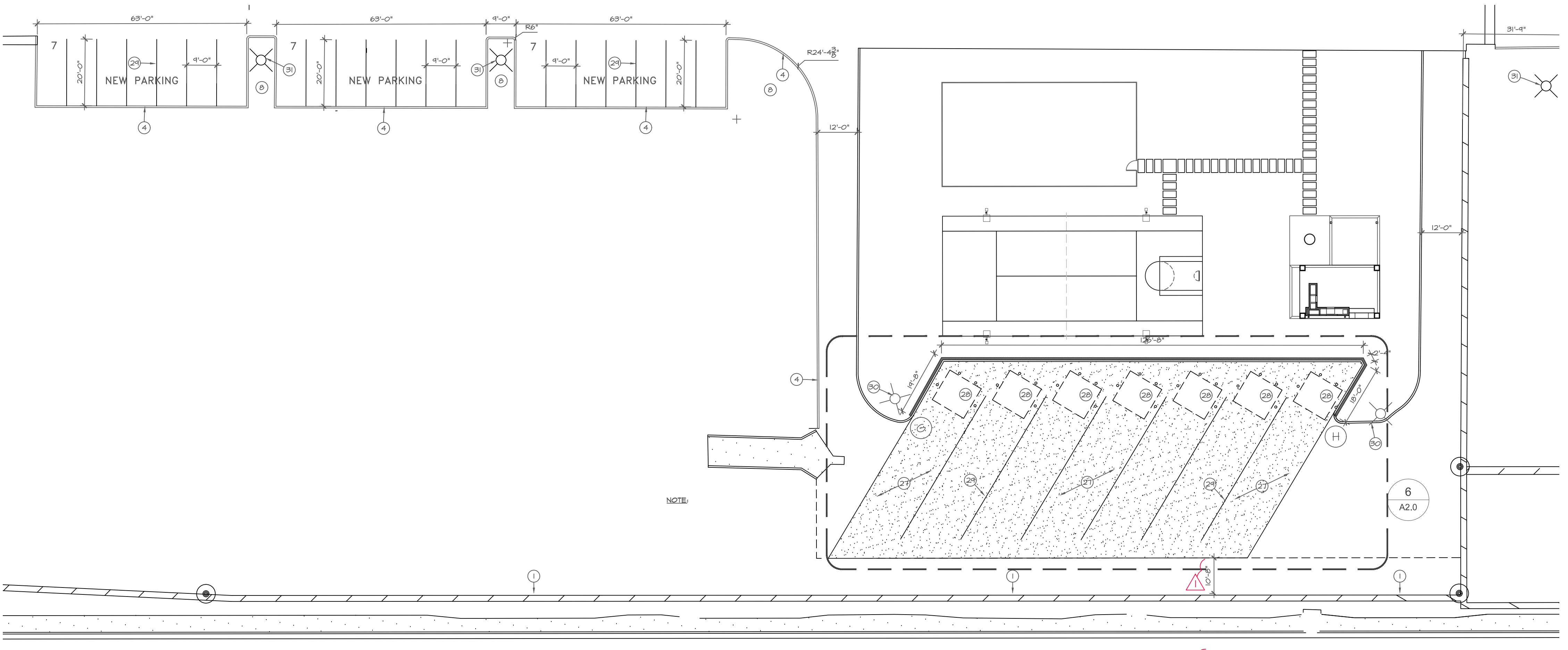
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- 27 6" T. CONCRETE SLAB OVER 4" COMPACTED A.B.C., NATURAL GRAY, FLUSH/SLOPE WITH ASPHALT WHEN CURBS NOT SHOWN. REFER TO STRUCTURAL DRAWINGS FOR MORE INFO.
- 28 TRASH CONTAINERS ON CONCRETE SLAB, W/ (4) BOLLARDS PER CONTAINER, REFER TO ENLARGED DETAILS. 1 TOTAL.
- 29 4' WIDE WHITE PAVEMENT MARKINGS, TYP.
- 30 EXISTING PARKING LOT LIGHT POLE TO REMAIN, REPAIR AND RELAMP AS NECESSARY.
- 31 NEW PARKING LOT LIGHT POLE, AT GATES, LIGHTS TO BE ATTACHED TO PALM.
- 32 EXISTING ELECTRICAL PANEL LOCATION.
- 33 PROVID' HOSE BIBS WITH KEYED VALVE, GC TO LOCATE CLOSEST WATER SUPPLY AND UTILIZE.
- 34 PAVERS OVER SUB-BED, REFER TO CIVIL ENGINEERING FOR MORE INFO.
- 35 6'-0" H. BLACK IRON PICKET FENCE, REFER TO DESIGN DOCUMENT. GC TO REPLAC SECTIONS OF EXIST'G METAL FENCE AT WEST POOL WALL, V.I.F.).
- 36 GOOSENECK IN-GROUND PEDESTAL KEYPAD POST BY PREMIER SECURITY SYSTEMS OR EQUAL, PROVID' CONDUIT AND COORDINATE WITH OWNER ON FINAL KEYPAD SELECTION.
- 37 PROVID' (2) ADJTL. 2" PIPE SLEEVES FOR OWNER FUTURE USE- COORD WITH PALM HARBOR ON EXACT LOCATIONS.
- 38 FIRE ACCESS LANES LESS THAN 20 FEET WIDE SHALL HAVE NO PARKING ON EITHER SIDE OF THE ROAD PER MESA FIRE CODE 503.4.2. PER MESA FIRE DETAIL 503.3, PROVIDE FIRE LANE MARKINGS IN ALL AREAS APPLICABLE TO MFC 503.4.2. PAINTED CURBS AND SIGNAGE PER DETAIL 1/A2.0.
- 39 NEW LIGHT PACKS, TO BE ATTACHED TO PALM TREES.

SITE FENCE LEGEND

111'-0" LF OF 6'-0" H. CMU SITE FENCE W/STUCCO FINISH FROM	(A) TO (B)
32'-0" LF OF 8'-0" H. CMU SITE FENCE W/STUCCO FINISH FROM	(C) TO (D)
5'-0" LF OF 6'-0" H. CMU SITE FENCE W/STUCCO FINISH FROM	(E) TO (F)
46'-0" LF OF 6'-0" H. BLACK IRON PICKET FENCE FROM	(F) TO (G)

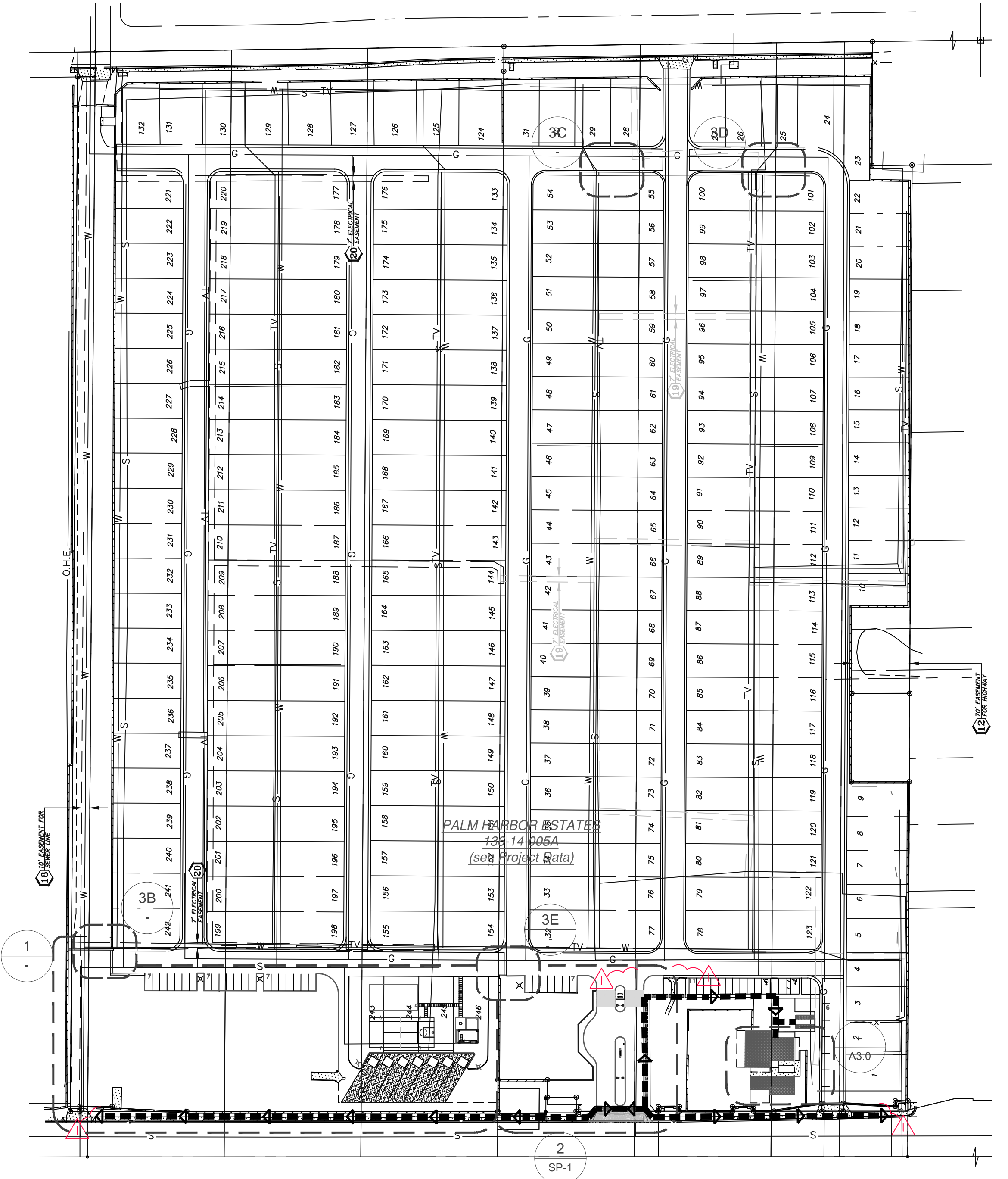


3 DEMO SITE PLAN
SCALE: 1"=20"
NORTH



NOTE: CENTRAL TRASH/DUMPSTER LOCATION WILL HAVE A COORDINATING TRASH COLLECTION AND DISPOSAL CONCIERGE SERVICE AS PROVID' BY OWNER

2 ENLARGED SITE PLAN
SCALE: 1"=20"
NORTH



1 OVERALL SITE PLAN
SCALE: 1"=100"
NORTH

PALM HARBOR ESTATES
320 E. MCKELLIPS ROAD
MESA, AZ 85201

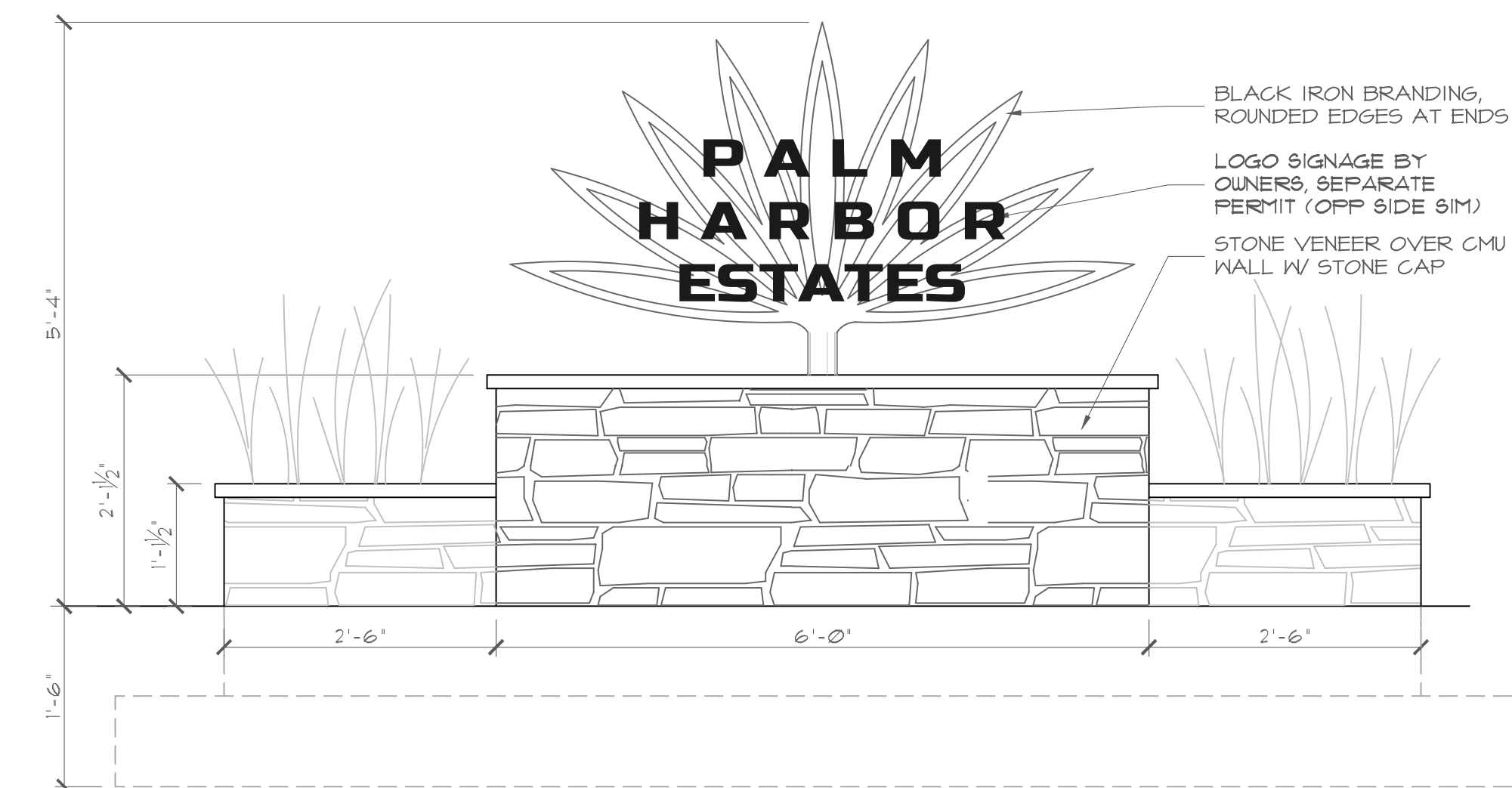


revisions:

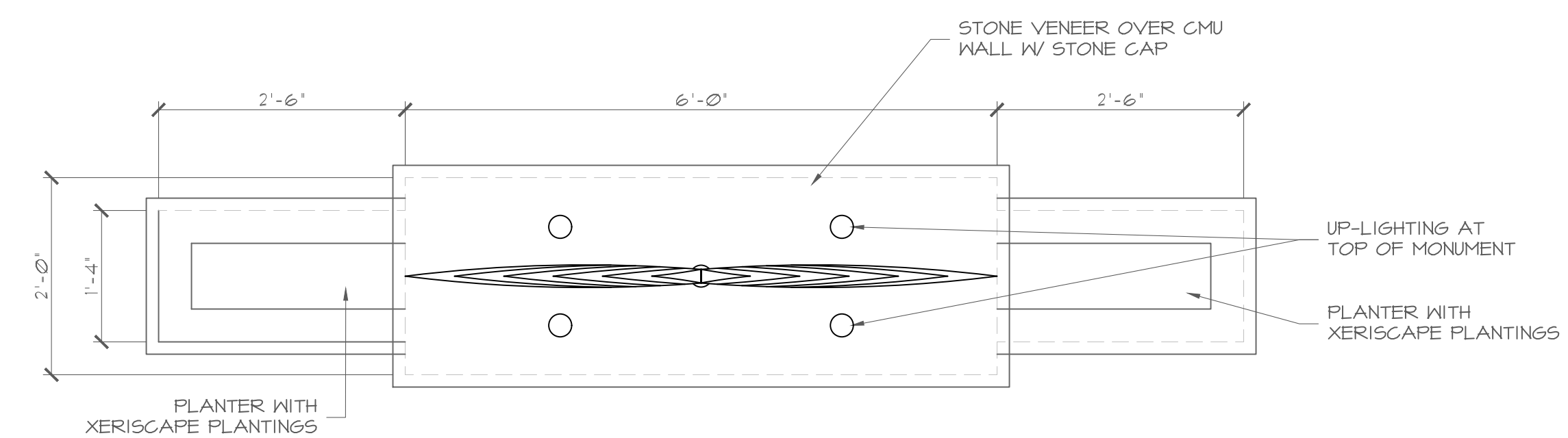
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▲	CITY COMMENTS	031723
▲	CITY COMMENTS	032323
▲	CITY COMMENTS	042023
▲	CITY COMMENTS	051023

ISSUE DATE:	11.08.22
JOB NUMBER:	22-002
SCALE:	AS NOTED
DRAWN:	BF
CHECKED:	BF
TITLE:	SITE PLAN, NOTES

A0.2

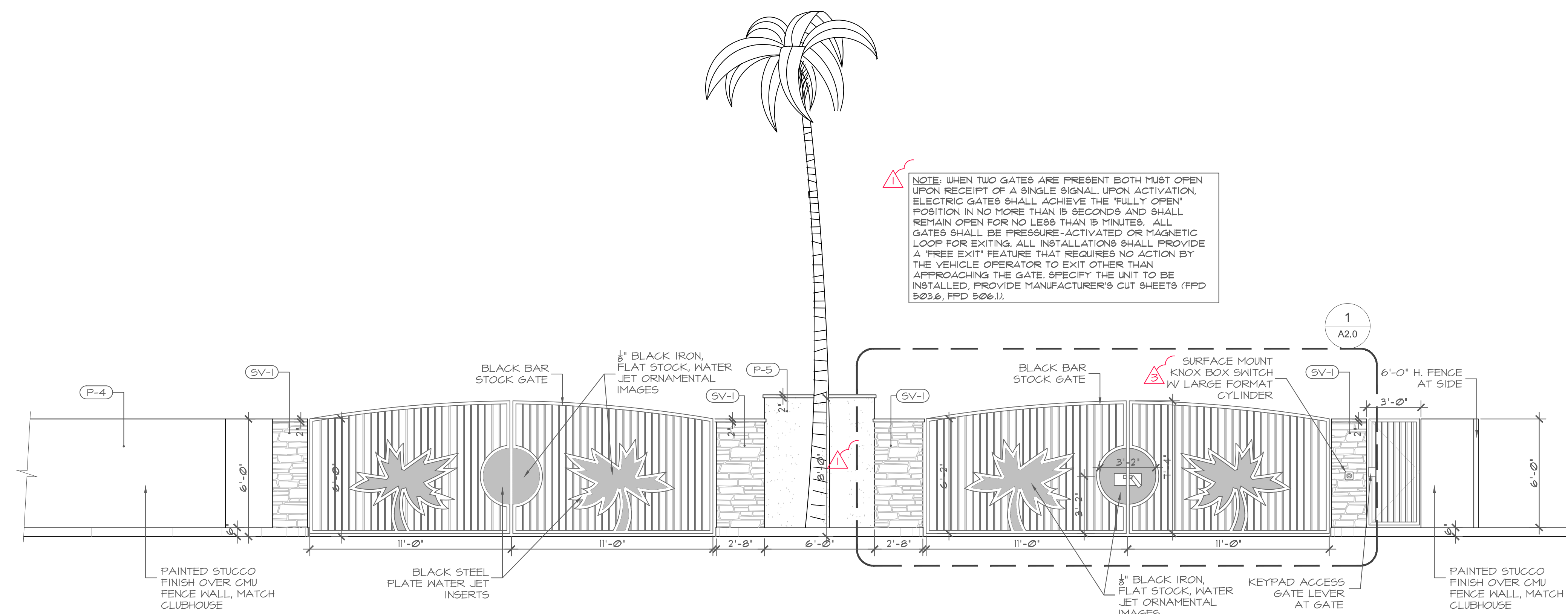


3 ELEVATION AT MONUMENT WALL
SCALE: 3/8"=1'-0"



2 PLAN AT MONUMENT WALL
SCALE: 3/8"=1'-0"

FINISH LEGEND	
NOTE: ALL FINISHES TO BE APPROVED BY OWNER PRIOR TO ORDERING	
(SV-1)	STONE VENEER: MFR: MSI STYLE: SIERRA BLUE LEDGER PANEL COLOR: NATURAL QUARTZITE NOTE: CMU WALL VENEER
(P-4)	EXTERIOR PAINT "FIELD": MFR: SHERWIN WILLIAMS STYLE: FLAT FINISH COLOR: SOFTER TAN, #SW 6141
(P-5)	EXTERIOR PAINT "ACCENT": MFR: SHERWIN WILLIAMS STYLE: FLAT FINISH COLOR: THATCH BROWN, #SW 6145
(P-6)	EXTERIOR PAINT "ACCENT": MFR: SHERWIN WILLIAMS STYLE: FLAT FINISH COLOR: REST ASSURED, #SW 9061
(P-7)	EXTERIOR PAINT "ACCENT": MFR: SHERWIN WILLIAMS STYLE: FLAT FINISH COLOR: SILKEN PEACOCK, #SW 9054



1 ELEVATION AT ENTRY/EXIT GATES
SCALE: 1"=100"

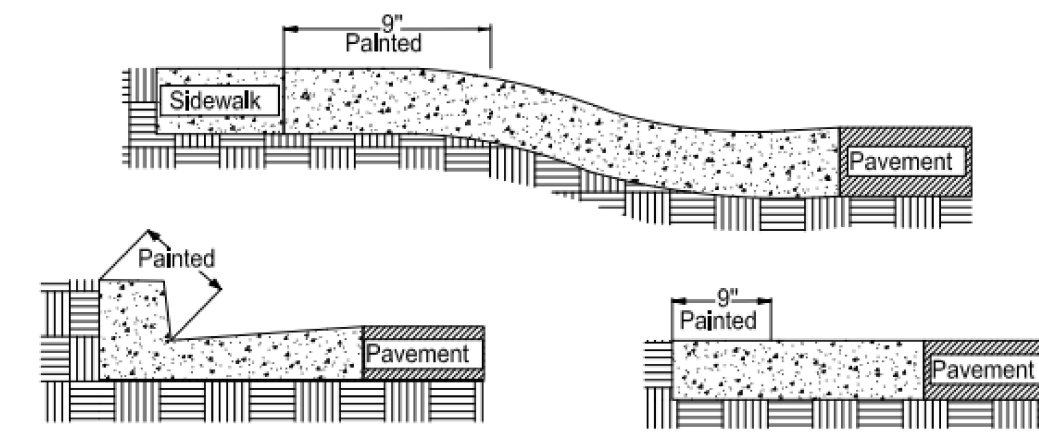
CURBS (ALL NEW FIRE LANES OR IF OLD SIGNAGE IS REMOVED)

- Curbs shall be painted red (Pervo Brand Paint #7004 or equivalent) with white letters "FIRE LANE - NO PARKING" every 50 ft
- Letters shall be 3" with 3/8 stroke
- Lettering must be on top of the surface of the curb
- Where there are no curbs, a 9" band of red paint shall be placed at the edge of the driving surface. The white lettering shall be placed on the red band as stated above
- Additional markings may be required by the Fire Marshal

NOTES

- Paint shall not be supplied by the City
- Signs and posts shall not be supplied by the City
- Paint and Signs shall be "reflective"
- Markings and Signs are to be maintained by the property owner
- Paint shall be specified for concrete use

** Marking types shall be per Fire Marshal approval.

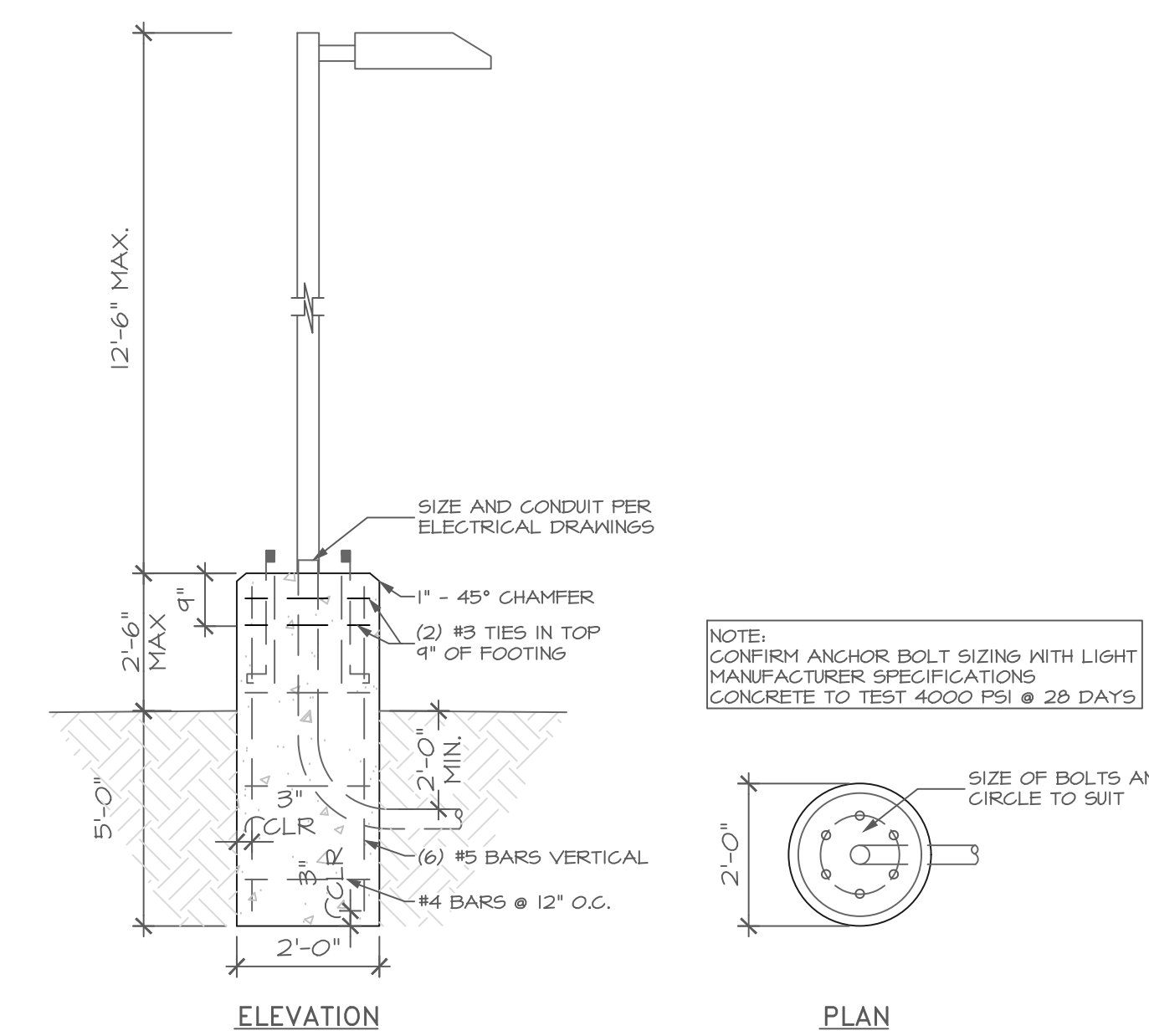
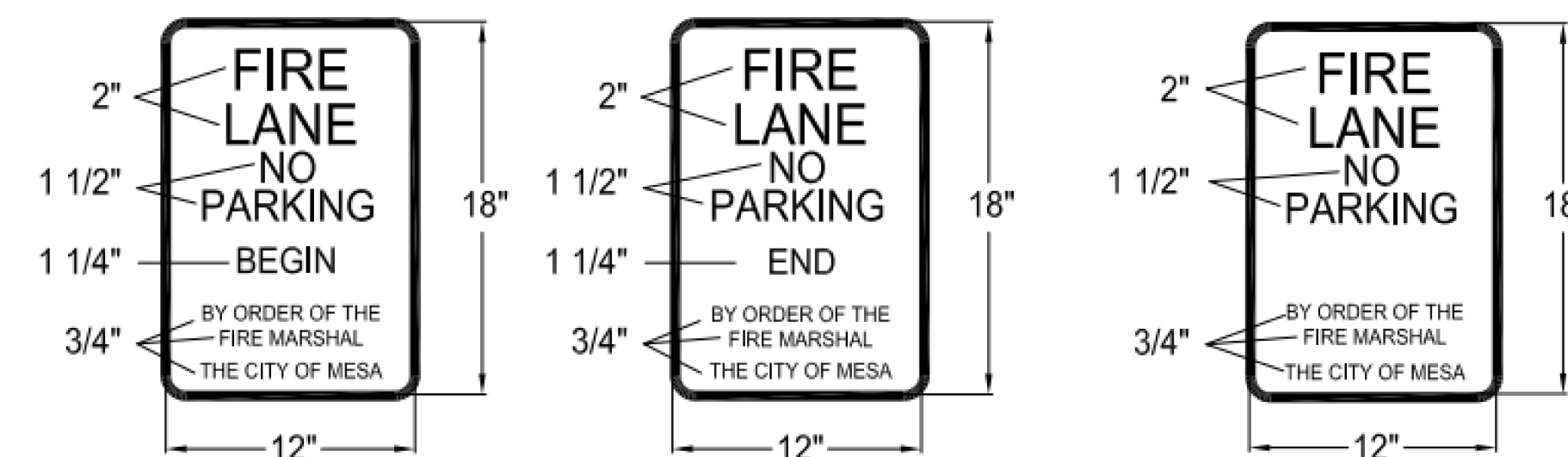


7 FIRE LANE MARKING & SIGNAGE

SCALE: N.T.S.

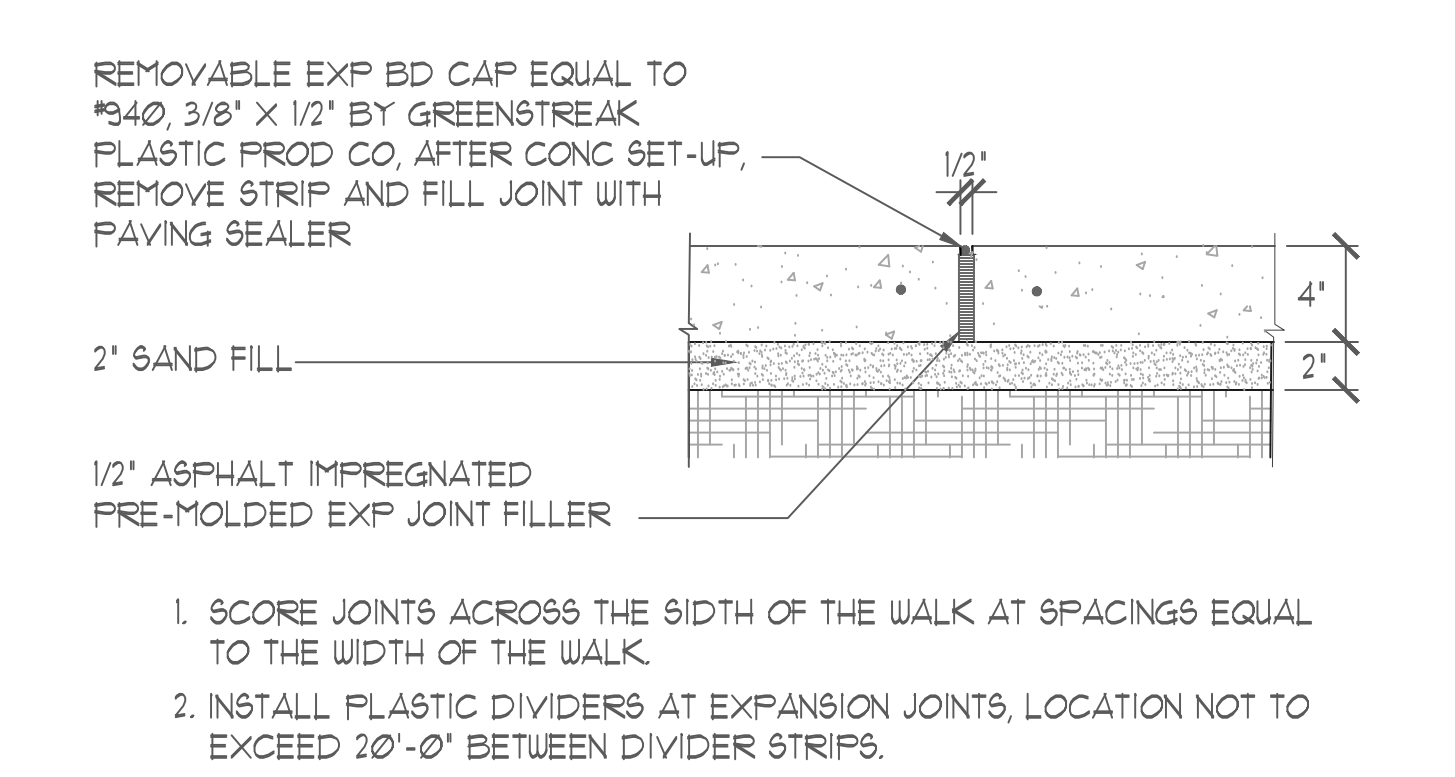
SIGNS (EXISTING SIGN REPLACEMENT ONLY)

- 2" Letters are 5/8" wide
- 1-1/2" Letters are 1/2" wide
- 1-1/4" Letters are 3/8" wide
- All letters are red with white background
- The signs shall be mounted on a post per M.A.G. Detail #131
- The bottom of the sign shall be 7" above grade
- Signs shall be posted facing normal directions of traffic
- Intermediate signs to be posted at change of direction



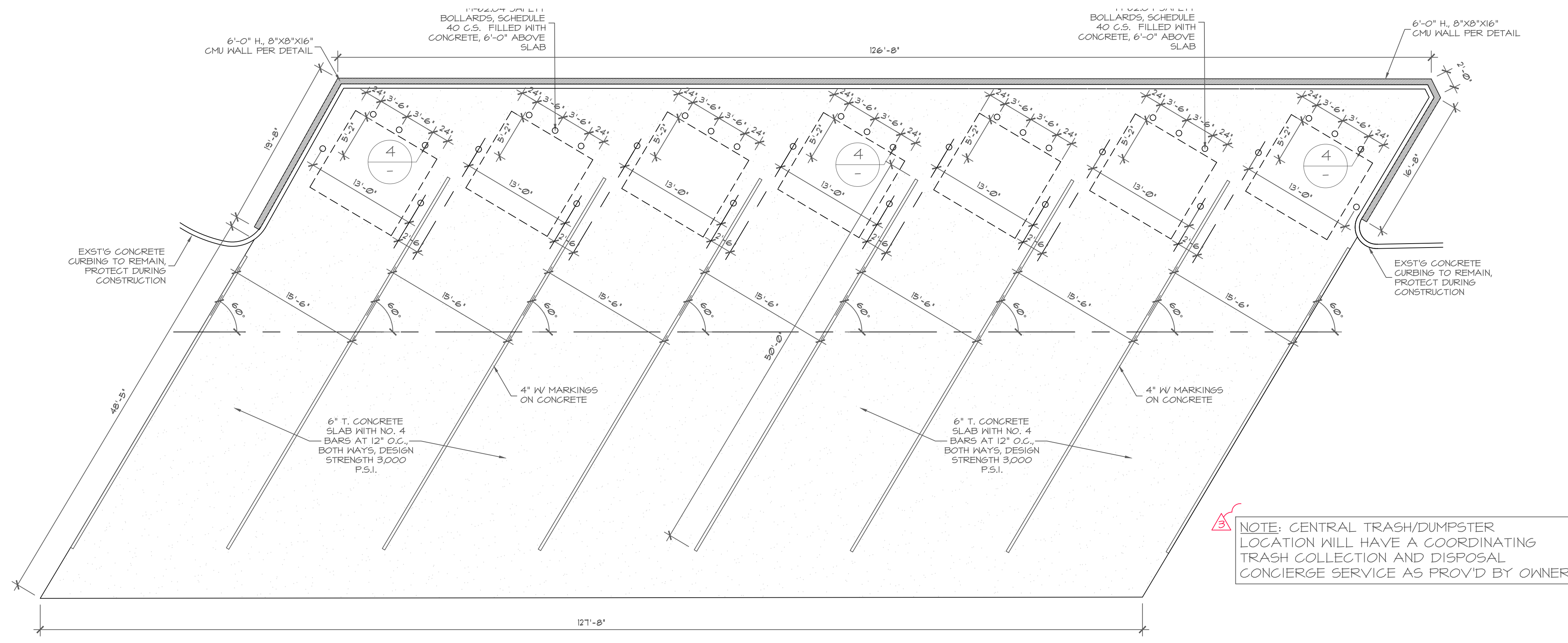
3 LIGHT POLE BASE DETAIL

SCALE: N.T.S.



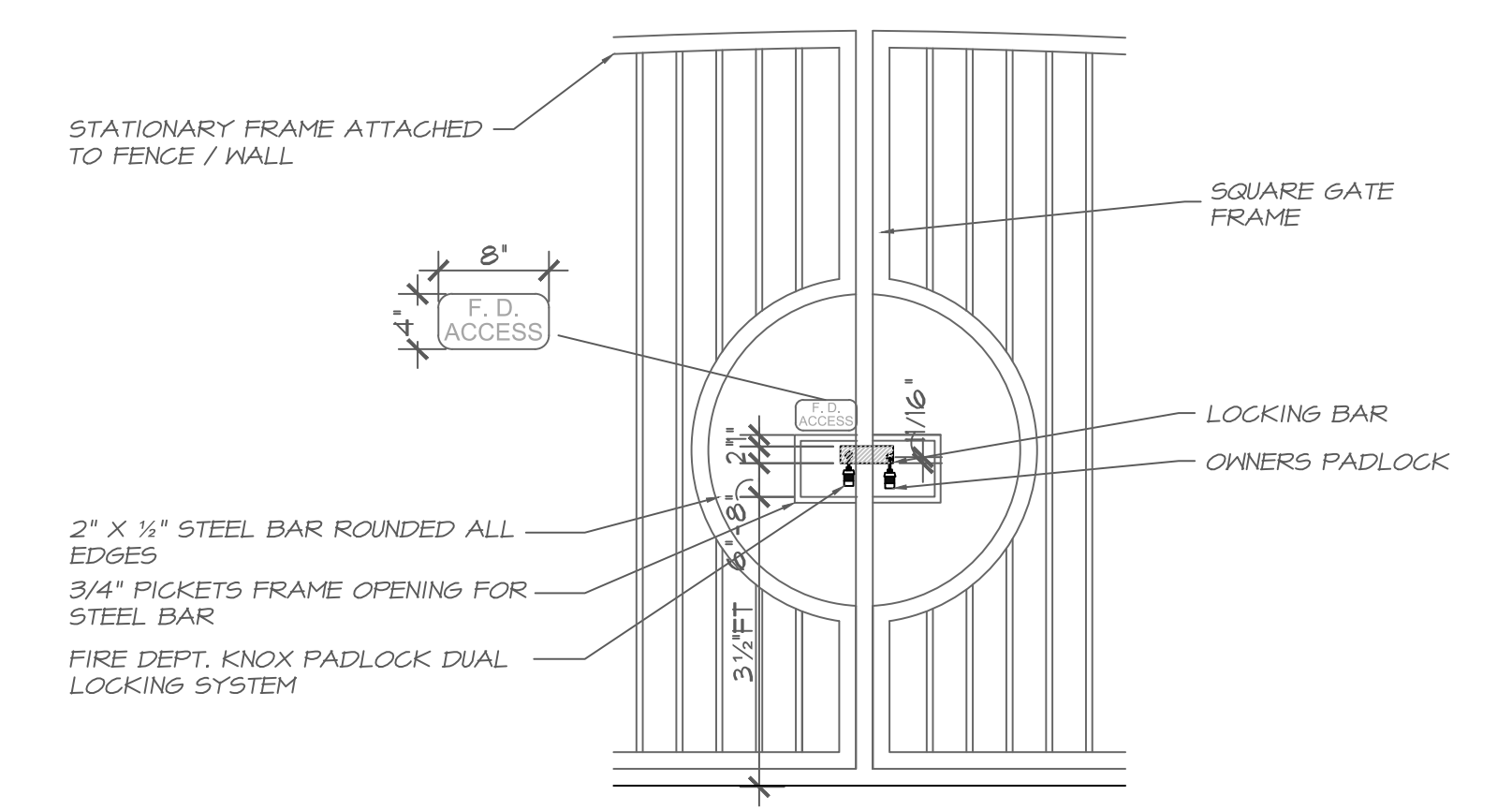
2 SIDEWALK DETAIL

SCALE: 1 1/2"=1'-0"

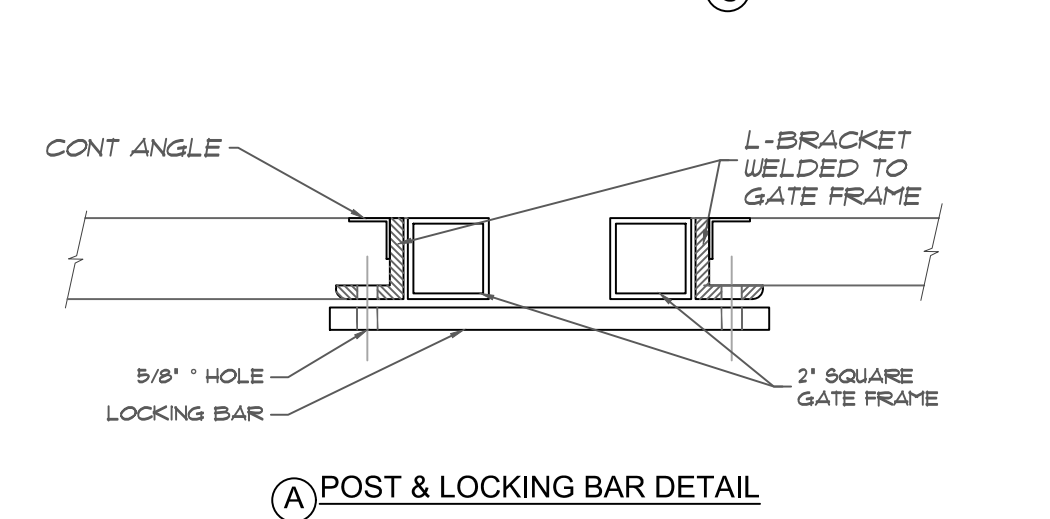


6 PLAN AT TRASH CONTAINERS

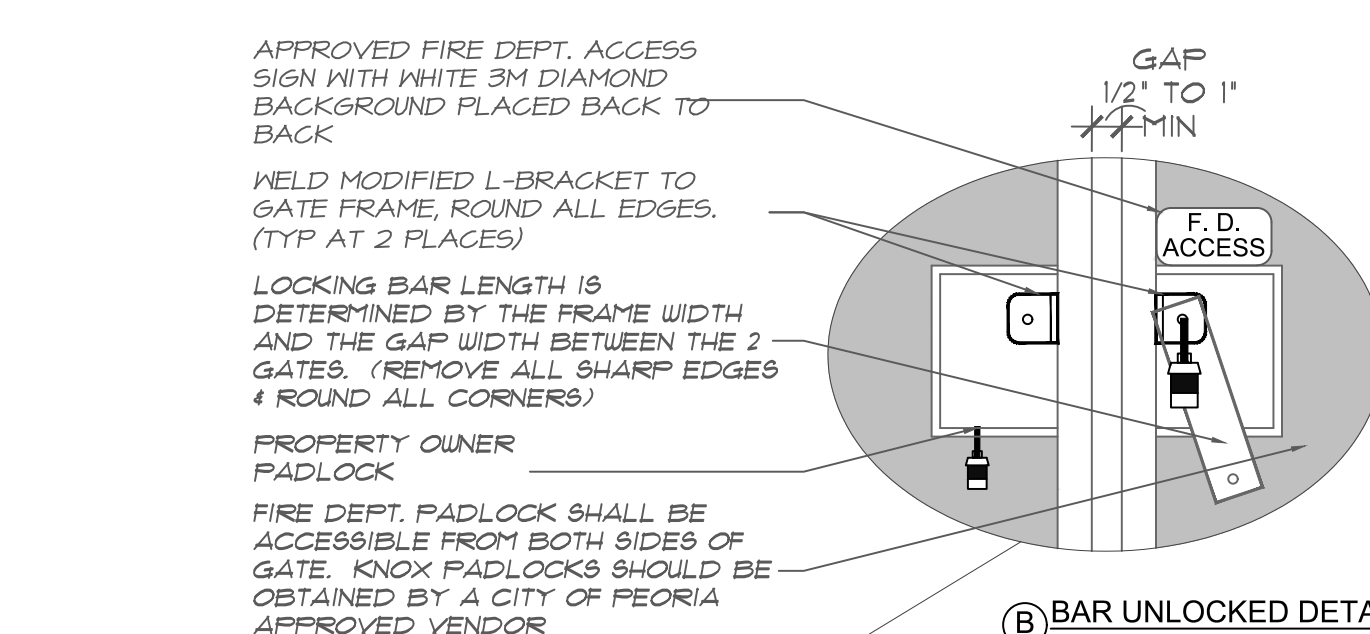
SCALE: 1/8"=1'-0"



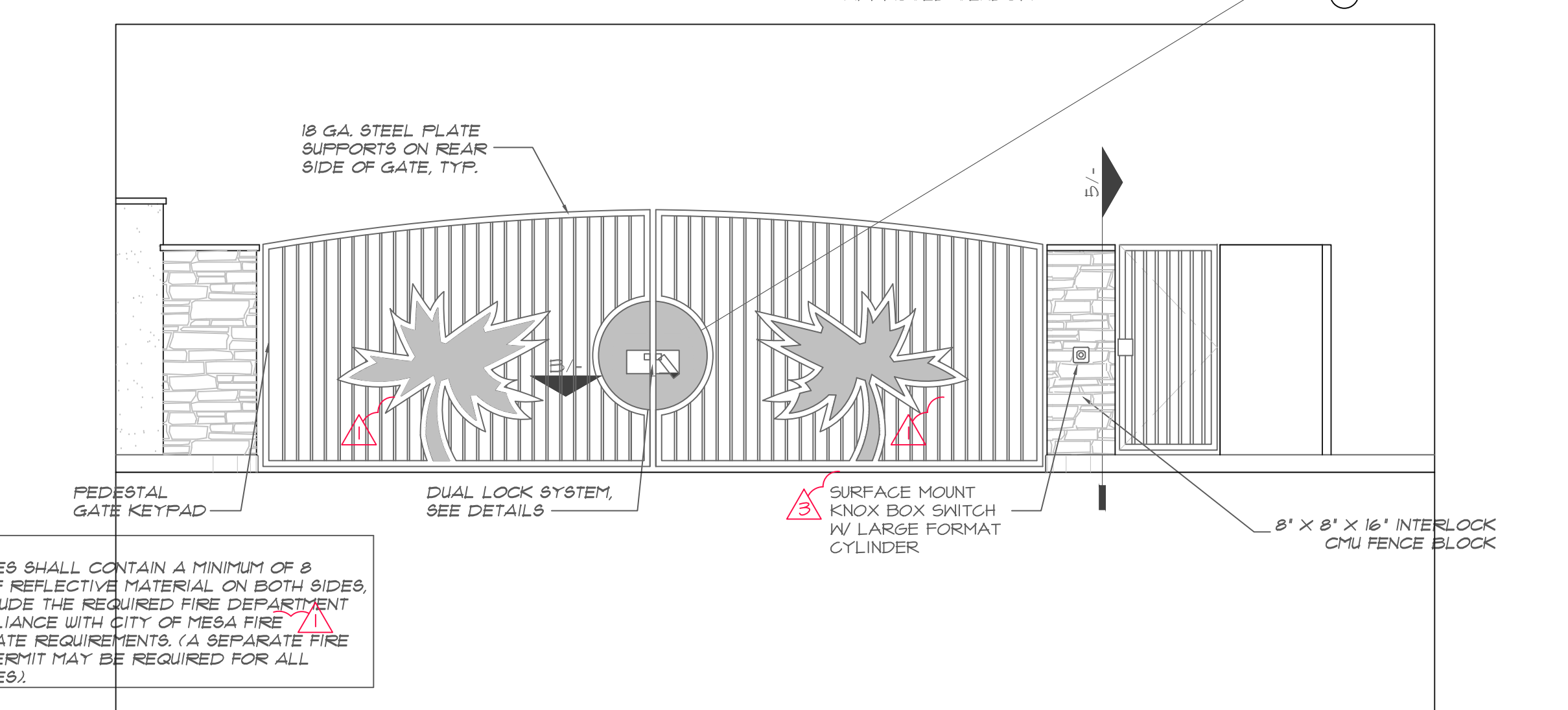
(C) ELEVATION DETAIL



(A) POST & LOCKING BAR DETAIL

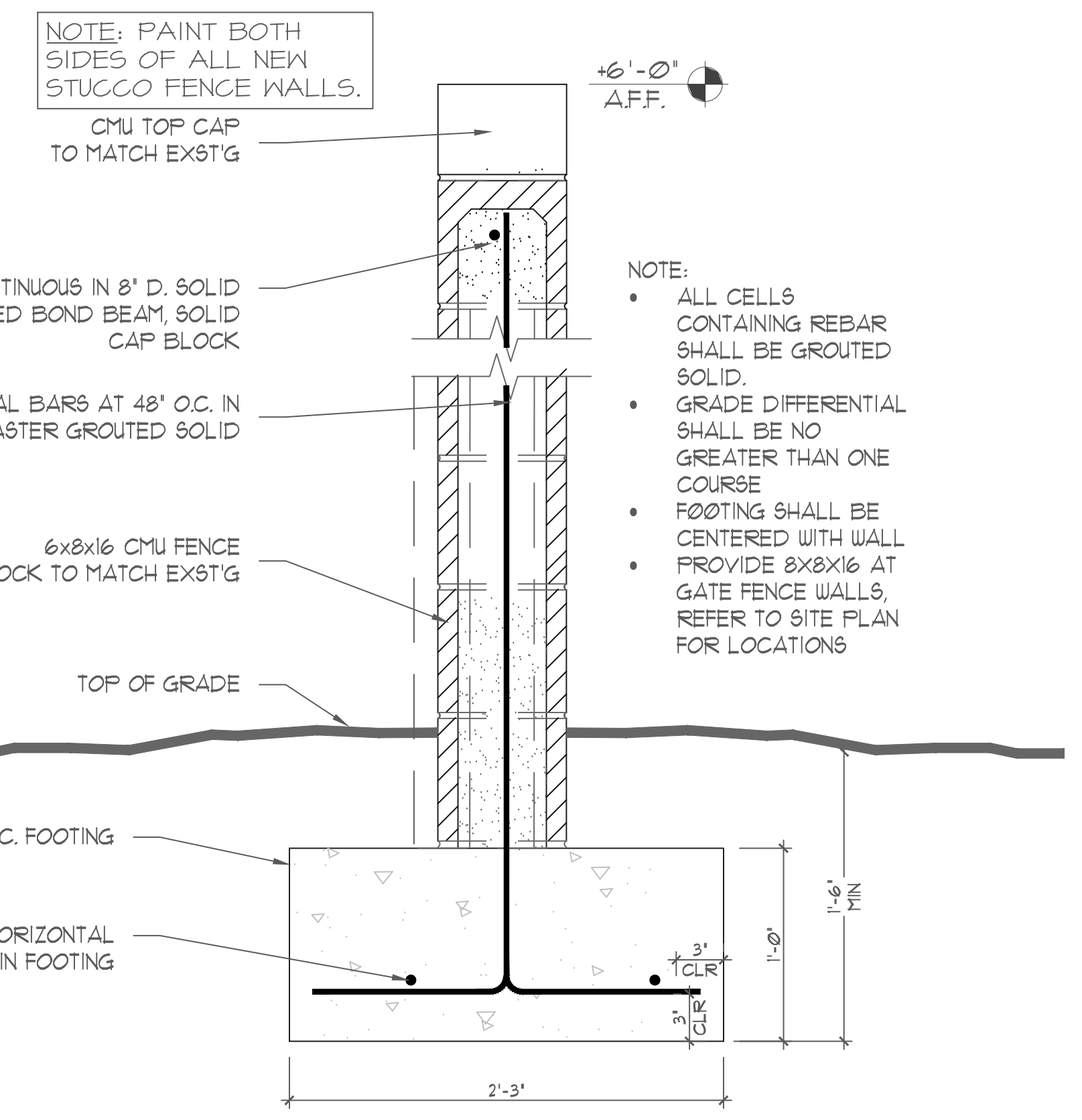


(B) BAR UNLOCKED DETAIL



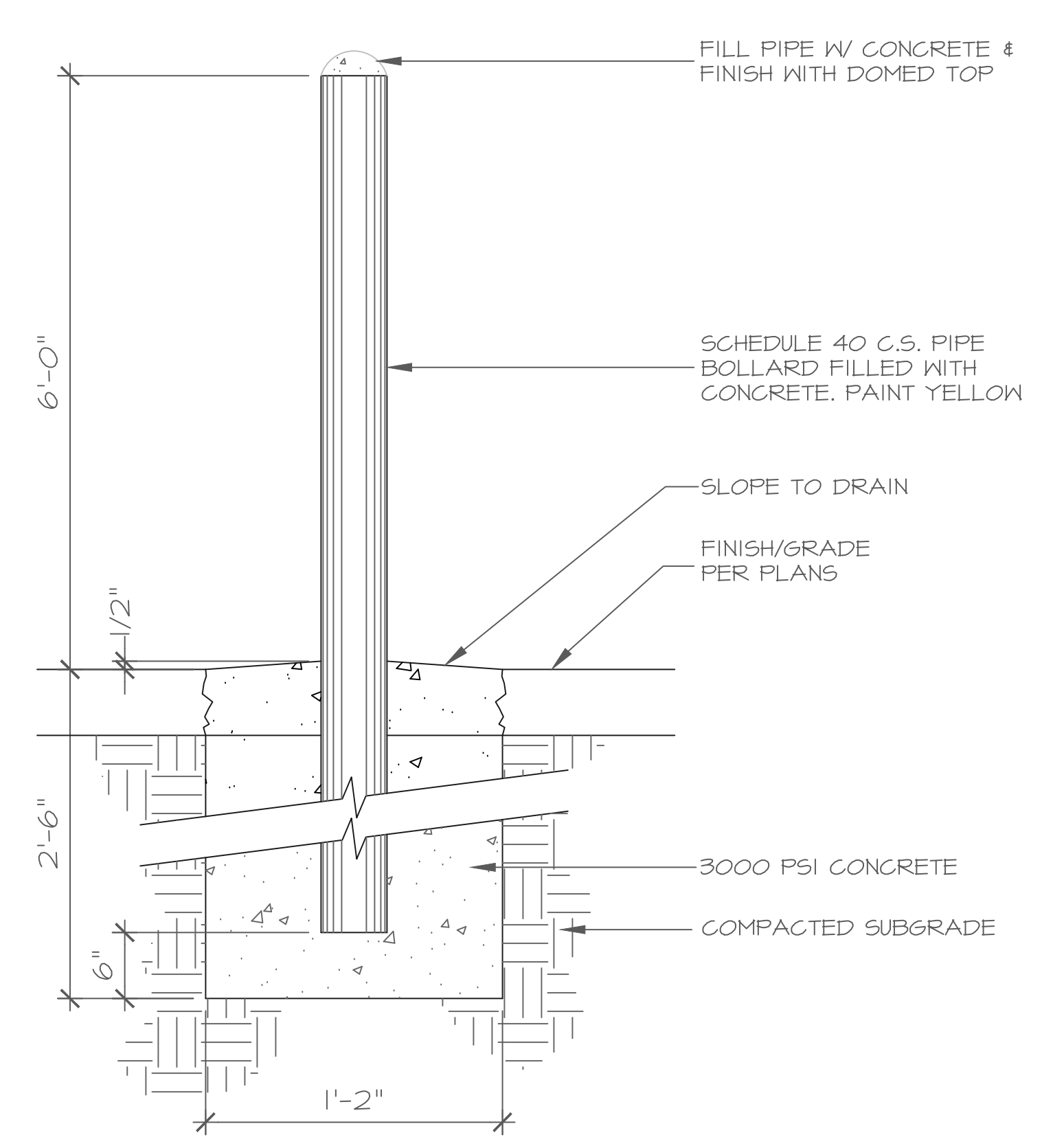
1 VEHICLE GATE ELEVATION

SCALE: N.T.S.



5 MASONRY FENCE DETAIL

SCALE: 1 1/2"=1'-0"



4 DETAIL AT PIPE BOLLARD

SCALE: 1 1/2"=1'-0"

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 MESA, AZ 85201
 taylor:fraccasse architecture
 PALM HARBOR ESTATES
 REVISIONS:
 CITY COMMENTS 012523
 CITY COMMENTS 031123
 CITY COMMENTS 032323
 ISSUE DATE: 11.08.22
 JOB NUMBER: 22-002
 SCALE: AS NOTED
 DRAWN: BF
 CHECKED: BF
 TITLE: ELEVATIONS, DETAILS
 A2-0
 ISSUED FOR PERMIT