



# City Council

**Date:** November 15, 2021  
**To:** City Council  
**Through:** Christopher J. Brady, City Manager  
**From:** Jeff McVay, Manager of Downtown Transformation  
Angelica Guevara, Downtown Transformation Project Manager  
**Subject:** **Starpoint at Dobson Station (District 3)**  
**Approving and authorizing the City Manager to enter into a Development Agreement, A Government Property Lease Excise Tax (GPLET) Lease Agreement, and a Perpetual Easement Agreement for the development of 6.08± acres of privately-owned property located at 139 North Dobson Road, north of the northeast corner of West Main Street and North Dobson Road.**

## **Purpose and Recommendation**

Consider the proposed Development Agreement, a Government Property Lease Excise Tax (GPLET) Lease, and a Perpetual Easement Agreement. The three agreements would allow the redevelopment of 6.08± acres of privately-owned real property in west Mesa. The proposed agreements will facilitate the construction of a four-story multi-family building, totaling 277,000± square feet (SF), with approximately 245 market rate residential apartments with resort-style amenities (Exhibit A) (the “Project”). A Perpetual Easement Agreement will provide public access from Dobson Road through two central thoroughfares to the Valley Metro Park and Ride and Sycamore Station Transit Station. The developer will also provide a perpetual access easement benefitting Mesa Public Schools and will facilitate the elimination of an existing property lease at no cost to Mesa Public Schools. The proposed development will create market-rate multi-family housing, create jobs, increase revenues to the City, and reduce slum and blight conditions within the West Redevelopment Area and the City’s single Central Business District. Staff recommends approval of the proposed Development Agreement, the GPLET, and the Perpetual Easement Agreement.

## **Background**

The City was approached by the developer (Dobson Properties Sub-Fund, LLC) requesting a GPLET to help facilitate the redevelopment of the underutilized parking area, located north of the northeast corner of West Main Street and North Dobson Road, totaling 6.08± acres. The property was originally developed into a parking lot serving Tri-City Mall in 1968. In the 1980’s through the 1990’s, the mall declined due to increased competition from other new malls. Eventually, the anchor stores closed, and

Tri-City Mall was demolished in 1999. At the same time, the current in-line retail stores anchored by the Safeway grocery store were built on the adjacent parcel. With close proximity to the Sycamore Station light rail stop, a bus transit station, and services and amenities the proposed market-rate multifamily, transit-oriented development is an appropriate redevelopment of the property.

Earlier this year, Council approved changes to the zoning, which has allowed this project to receive planning and zoning approval. The developer is currently preparing construction drawings to submit to the City for permit review by the end of the month.

## **Discussion**

The following provides a summary of the primary deal points for the Development Agreement, the GPLET, and the Perpetual Easement Agreement:

### **Minimum Project Requirements:**

1. The Project includes the construction of the following minimum improvements:
  - a. A 277,000 sf, four-story multi-family development with 245 market rate units consisting of:
    - i. 25 studio units
    - ii. 127 one-bedroom units
    - iii. 93 two-bedroom units
  - b. On-site amenities consisting of:
    - i. Fitness center
    - ii. Community room
    - iii. Co-op for residents offering co-working space and a coffee bar
    - iv. Resident package delivery and receiving
    - v. Dog run and pet washing station
    - vi. Bike storage area
    - vii. A pool, spa, cabanas, hammocks, and game court
    - viii. Covered parking for a minimum of 50% of resident parking
    - ix. 10 electric car charging stations to serve 20 vehicles, expandable to 20 electric car charging stations that serve 40 vehicles. In addition, a
    - x. 220-amp electric outlet capable of charging an electric vehicle will be provided within each garage (45).
  - c. Quality unit amenities including:
    - i. Private deck, balcony, or patio in at least 50% of the units
    - ii. Higher-end finishes,
    - iii. Energy efficient fixtures, and high-speed internet.
  - d. Exterior high-quality design including:
    - i. three high quality and durable exterior building materials
    - ii. windows with Low-E glazing
    - iii. Cool roof
    - iv. Sign to incorporate neon

- v. Pedestrian areas with specialty paving materials
  - vi. Minimum of 36" box size trees to be planted along public streets.
- e. Project will be designed to comply with green/sustainable building rating method, such as WELL Building, Fitwel, LEED, or Green Globes.

**Terms of Development Agreement:**

**Developer Obligations:**

1. Construct the Project as provided in the minimum Project requirements (outlined above).
2. Public Improvements:
  - a. Perpetual access easement benefitting Mesa Public Schools which provides a north-south access route for school buses, student drop-off and pick up for Webster Elementary School and Webster Recreation Center.
    - i. Developer will either purchase the adjacent southern parcel of narrow land that exists on the south side of Webster Elementary School to transfer to the school district or will design and install improvements adjacent to the school's southern property line that will permit MPS to save on the current costs associated with using the existing drive aisle.
  - b. Thoroughfare Easement providing public vehicular access through the Project via two east-west drive aisles connecting Dobson Rd to Valley Metro's Park and Ride Facility and Mesa's Transit Station. The easement will also provide additional access route for emergency personnel, solid waste, and recycling services.
  - c. Installation and maintenance of enhanced streetscape for Dobson Road
  - d. Design, installation, and maintenance of two public art installations within the project. Artist selection to be coordinated with the Mesa Arts Center for:
  - e. A "Hero's Refrigerator" with beverages for first responders including police, fire fighters, and emergency medical technicians.
  - f. City use of the community room two times per year free of charge.
3. Relocate existing utility infrastructure as needed to allow development of the building as proposed.
4. Use of City sewer, water, solid waste, and recycling services.

**City Obligations:**

1. If certain obligations of developer are met, enter into a GPLET Lease (described below).
2. Provide a customized plan review schedule.

The Government Property Lease Excise Tax (GPLET) statutes (A.R.S. §§ 42-6201 *et seq.*) allow, following completion of construction, the developer to convey the property and improvements to the City, and the City to then lease the property and private improvements back to the developer in accordance with the GPLET lease agreement. Located within Mesa's West Redevelopment Area and Central Business District, the Project is eligible for

abatement of property taxes during the 8-year GPLET lease term.

In compliance with the GPLET statute A.R.S. § 42-6209, the City obtained a professional analysis of the economic and fiscal benefit of the Project, attached as Exhibit B. The analysis confirms that the proposed Project meets the statutory requirements for approval of a GPLET lease with an eight year property tax abatement: 1) the property is located within the City's single, designated Central Business District and is entirely located within a slum or blighted area (Mesa's West Redevelopment Area), 2) the Project will increase the value of the land by greater than 100%, and 3) the Project is projected to generate greater revenues to the state, county, and city (**\$3.9 Million**) than the property taxes abated (**\$2.3 Million**). The analysis further projects that during the abatement period, the project will generate **\$574,000** in direct revenues to the City, **\$2.6 Million** in indirect economic benefit, and directly and indirectly support **512 jobs**.

A primary concern with GPLET projects is the reduction in school district property taxes. To address this concern, the City negotiated an "in-lieu" payment by the developer to the school districts (Mesa Public Schools, Maricopa Community Colleges, and East Valley Institute of Technology). The in-lieu payment is equal to the school district tax revenues that the 6.08± acres would generate, as vacant property, over the course of the abatement period. After the first year, a five percent escalator was added to each year to account for typical property value increases. In total, the in-lieu payments equal **\$210,889**. In further compliance with the GPLET statutes, the City provided notice to the impacted taxing authorities at least 60 days in advance of Council's consideration of the lease and development agreement, and provided the independent economic benefit analysis to the impacted taxing authorities at least 30 days in advance of Council consideration.

### **Key Compliance Dates**

- Obtain Zoning Clearance by November 30, 2021.
- Commence construction on or before March 31, 2022.
- Complete construction on or before June 30, 2024.

### **Fiscal Impact:**

During the term of the GPLET Lease, the developer will pay to the City \$10,000 a year in rent and a \$5,000 buy-back fee, both of which cover the City's cost to administer the GPLET.

The project is estimated to generate **\$3.9 Million** in construction sales tax, of which **\$574,000** would go to the City of Mesa. On-going sales tax revenues from rents and taxable sales are estimated at **\$82,000** to the City over the eight-year lease period. At year nine, the estimated secondary property tax revenue is **\$31,045** a year. In addition, City water, wastewater, and solid waste will gain 245 new residential accounts.

### **Coordinated With**

The agreement terms were coordinated with the City Manager's Office, City Attorney's Office, and the Development Services Department.



## **Alternatives**

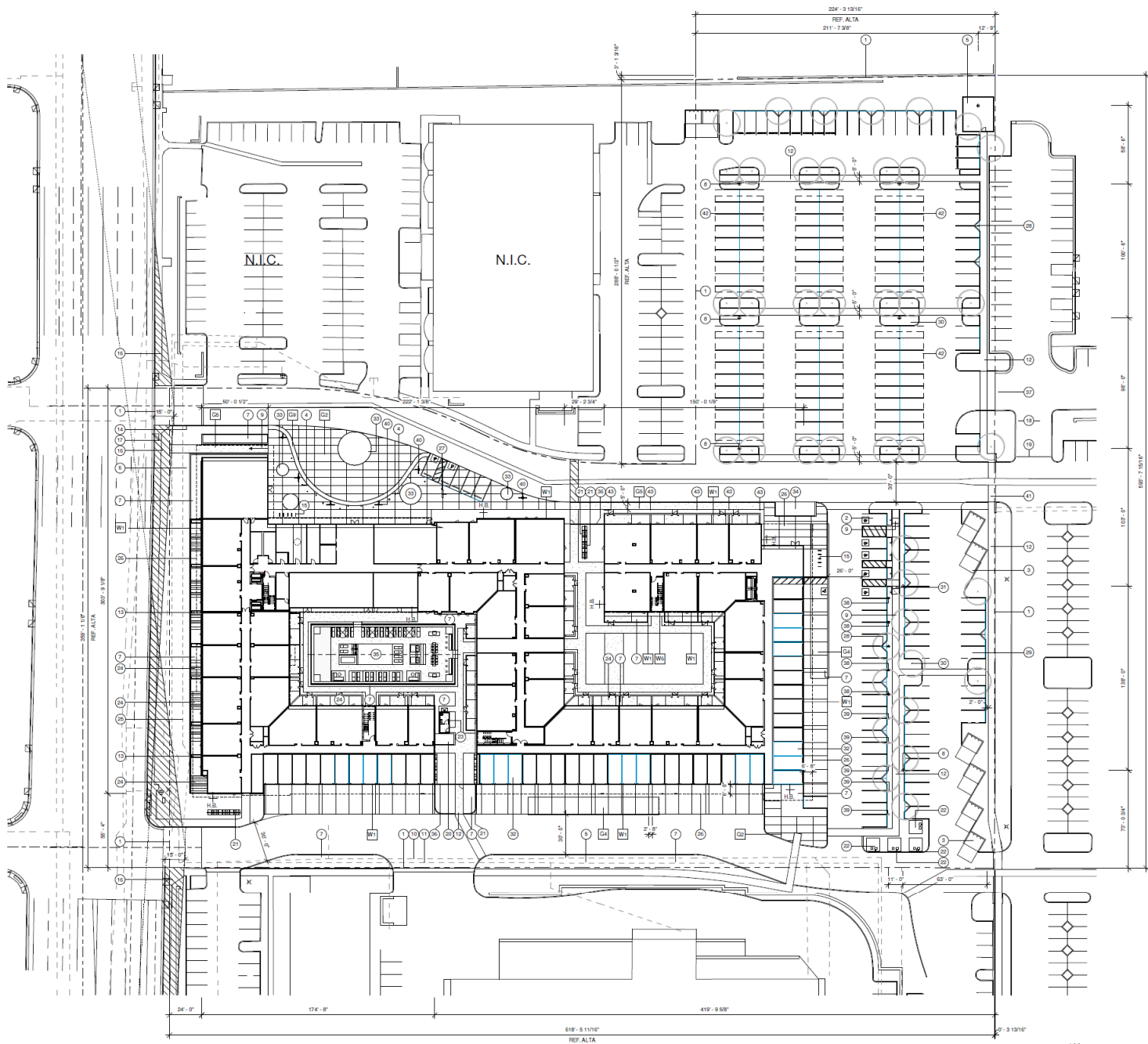
Modify terms to the proposed Development Agreement, GPLET Lease, or Perpetual Easement Agreement.

Denial of the proposed agreements.

## **Attachments**

**Exhibit A: Project Site Plan, Exterior Elevations, and Landscape Improvements**

**Exhibit B: Economic Benefit Analysis**



**Keynotes:**

- 1 PROPERTY LINE (REFERENCE A.L.T.A. SURVEY, 11.02.2020, SUPERIOR SURVEYING SERVICES, INC.)
- 2 ADA MIN ACCESSIBLE STALL
- 3 DOUBLE WIDE TRASH ENCLOSURE PER DTL, M-42.02.1
- 4 SAFETY ISLAND, REF. SITE DETAIL A.1.11
- 5 COOKING AREA
- 6 PROJECT SIGNAGE, NOT A PARK OF ZONING CLEARANCE
- 7 LANDSCAPE AREA
- 8 SITE POLE LIGHTING, LITHONIA D SERIES DUAL HEAD, 18" O' A.F.F., REF. SITE DETAIL A.1.1
- 9 ADA ACCESSIBLE SLOPING SIDEWALK (MAXIMUM SLOPE 1:20)
- 10 EXISTING SEWER UTILITY TO REMAIN, REF. CIVIL DWGS
- 11 EXISTING ELECTRICAL UTILITY TO REMAIN, REF. CIVIL DWGS
- 12 5" O' C.I.P. CONCRETE SIDEWALK PER CITY OF MESA FORM BASED CODE
- 13 TRAMP DIVISION / PIRACY PLANTER
- 14 CATCH BASIN, REF. CIVIL DWGS
- 15 EXTERIOR BOTTLE BRACK, TYPE X-1
- 16 SITE VISIBILITY TRIANGLE PER ASHITO GREEN BOOK, DESIGN SPEED: 45 MPH, SIGHT DISTANCE: 250'
- 17 50% SHALL BE CLEAR OF FENCES, WALLS, LANDSCAPING, AND ANY OTHER OBSTRUCTION BETWEEN 2'-6" AND 8'-0" PER MESA ENGINEERING + DESIGN STANDARDS SECTION
- 18 REMOVE CURB AND PROVIDE EMERGENCY VEHICULAR ACCESS, OFF-SITE EMERGENCY VEHICLE ACCESS GATE, OFF-SITE, REFERENCE SITE DEVELOPMENT AGREEMENT
- 19 12' X 18' POOL EQUIPMENT AREA
- 20 EXTERIOR WALL MOUNTED SES + METERS, REF. ELECTRICAL DWGS DETAIL 7.2
- 21 POOL SHOWER, RESTROOM, CHANGING AREA
- 22 PRIVATE RESIDENTIAL, OUTDOOR SPACE, PATIO
- 23 SEASMENT, REF. CIVIL DWGS + A.L.T.A. SURVEY
- 24 BUILDING EXCHANGING, ASCENDING
- 25 ADA PARKING SIGNAGE
- 26 HALF LANDSCAPE BARRAND
- 27 8' X 18' STANDARD PARKING STALL
- 28 SURFACE PARKING LANDSCAPE ISLAND
- 29 ADA COMPLIANT TRUNCATED DORIES PER CITY OF MESA APPROVED PRODUCTS LIST DATED 02.27.13
- 30 TUCK UNDER PARKING GARAGE - SINGLE VEHICLE
- 31 CURBLESS LANDSCAPE AREA
- 32 30' X 10' LOADING AREA
- 33 POOL DECK + AMENITIES, NIC
- 34 KEYED COURTYARD SECURITY GATE WITH PANIC HARDWARE
- 35 WEBSTER ELEMENTARY ROSS AND ACCESS
- 36 DUAL POST MOUNTED EVICS, TYPE G-1
- 37 FUTURE DUAL POST MOUNTED EVICS, TYPE G-1
- 38 SITE ENTRY LIGHTING, TYPE E-12
- 39 PEDESTRIAN PATH, NO CURB PARKING CANOPY
- 40 PATH LIGHTING, REF. LANDSCAPE DWGS.

**System Notes:**

- Walls:**
- W1 (UL 1209) 1-HOUR EXT. WALL, 2x6 WOOD STUD @ 16" O.C., R-30 BATT INSULATION IN CAVITY, 9/8" TYPE-X GWB INT. (BOTH SIDES), WATERPROOFING MEMBRANE TYPE TX, STUCCO (BOTH SIDES).
  - W2 (UL 1209) 1-HOUR EXT. WALL, 2x6 WOOD STUD @ 16" O.C., R-30 BATT INSULATION IN CAVITY, 9/8" TYPE-X GWB INT. (BOTH SIDES), MIRRORRED INT.
  - W3 (UL 1209) 1-HOUR FIRE RATING, 2x6 WOOD STUD @ 16" O.C., 9/8" TYPE-X GWB (BOTH SIDES)
  - W4 (UL 1209) 1-HOUR FIRE RATING, 9/8" TYPE-X GWB EXT., 2x6 WOOD STUD @ 16" O.C., 3/4" AIR GAP, (2) LAYERS OF 1" TYPE-X GWB, 3/4" AIR GAP, 2x6 WOOD STUD WALL @ 16" O.C., 9/8" TYPE-X GWB INT.
  - W5 (UL 1209) 1-HOUR FIRE PARTITION, TENANT SEPARATION, 2x6 WOOD STUD @ 16" O.C., STAGGERED, BATT INSULATION, 9/8" TYPE-X GWB INT., 9/8" TYPE-X GWB INT. (BOTH SIDES)
  - W6 (UL 1209) 1-HOUR SHaft ENCLOSURE, #1 NOMINAL CMU WALL TYPE B-1, 2x6 WOOD STUD @ 16" O.C., BATT INSULATION IN CAVITY, 9/8" TYPE-X GWB INT.
  - W7 (UL 1209) 2-HOUR SHaft ENCLOSURE, #1 NOMINAL CMU WALL TYPE B-1
  - W8 (UL 1209) SHaft ENCLOSURE, (2) LAYERS OF TYPE-X GWB + METAL CH STUDS @ 34" O.C., 1" SHaft LINER GWB INT.
  - W9 (INT) RESTROOM PLUMBING WALL, 1/2" STUCCO CAVITY, 2x6 WOOD STUD @ 16" O.C., STAGGERED, 9/8" TYPE-X GWB (BOTH SIDES)
  - W10 1-HOUR FIRE RATING, 2x6 WOOD STUD @ 16" O.C., 9/8" TYPE-X GWB INT., (2) LAYERS 9/8" TYPE-X GWB (HALLWAY)
  - W11 (UL 1209) 1-HOUR FIRE RATING, 2x6 WOOD STUD @ 16" O.C., 9/8" TYPE-X GWB (BOTH SIDES)
  - W12 SITE WALL, 8" C.I.P. CONCRETE WALL TYPE A-X
  - W13 SITE WALL, 2x6 WOOD STUD @ 16" O.C., 3/4" FRAMING, 5/8" EXT. GIBB SIDE, WATERPROOFING MEMBRANE TYPE TX, STUCCO (BOTH SIDES)
  - W14 BATH WALL, 2x6 WOOD STUD @ 16" O.C., 3/4" FRAMING, 5/8" EXT. GIBB SIDE, WATERPROOFING MEMBRANE TYPE TX, STUCCO (BOTH SIDES), WATERPROOFING MEMBRANE TYPE TX, STUCCO (BOTH SIDES), ANCHORED TOP TO 4" C.I.P. CONCRETE STEM WALL, FOOTING FOUNDATION WALL - C.I.P. CONCRETE STEM WALL
  - W15 2x6 WOOD STUD @ 16" O.C., 9/8" GWB (BOTH SIDES)
  - W16 EX. BALCONY WALL, 2x6 WOOD STUD, GWB (BOTH SIDES), STUCCO (BOTH SIDES), WRAP ENDS
  - W17 1-HOUR FIRE RATING, 2x6 WOOD STUD @ 16" O.C., 9/8" TYPE-X GWB INT., (2) LAYERS 9/8" TYPE-X GWB (HALLWAY)
- Floors:**
- F1 8" POST TENSIONED CONCRETE SLAB ON GRADE, REF. STRUCTURAL DWGS
  - F2 8" C.I.P. SCORED CONCRETE HANDICAPED SLAB ON GRADE, TYPE A-X
  - F3 (UL 1209) 1-HOUR FIRE RATING, CEILING/FLOOR ASSEMBLY, 5/16" 58, 9/8" C.I.P. CONCRETE, 1/2" AIR SPACE, 9/8" ACCUSTIC MAT, TYPE TX, 2x6 WOOD STUD @ 16" O.C., 1/2" WOOD JOIST, 1/2" AIR SPACE, 9/8" ACCUSTIC MAT, TYPE TX, 2x6 WOOD STUD @ 16" O.C., PERPENDICULAR
  - F4 4" ASHALT DRIVEWAY, REF. CIVIL DWGS
  - F5 INTEGRAL COLOR, SCORED C.I.P. CONCRETE SIDEWALK
  - F6 SYNTHETIC GRASS TYPE X-1, OVER COMPACTED FILL
  - F7 INTERIOR COLOR RATIO HANDICAP
  - F8 POOL DECK
  - F9 ADA COMPLIANT TRUNCATED DORIES

**Sheet Notes:**

UNLESS NOTED OTHERWISE, ALL FLOOR PLAN DIMENSIONS ARE MEASURED FROM OUTSIDE FACE OF MASONRY, CONCRETE OR METAL FRAME, I.N.O. CENTERLINE OF WINDOWS AND DOORS AT METAL FRAME, CENTERLINE OF COLUMN.

G.W.B. PANELS ARE SCHEDULED AND NOTED. ALL EXPOSED INTERIOR GYP. BD. TO BE SANDED AND TAPED.

ALL MASONRY DIMENSIONS ARE NOMINAL.

REFER TO EXTERIOR ELEVATIONS AND SYSTEMS + FINISH SCHEDULE FOR FINISHES.

ALL BUILDING MATERIALS INTENDED TO REMAIN EXPOSED SHALL BE FREE FROM MARKINGS, UNSIGHTLY FLECKINGS OR OTHER FLAWS. COORDINATE WITH ARCHITECT.

ELEVATION HEIGHTS REFERENCE DISTANCE ABOVE OR BELOW FINISH FLOOR ELEVATION

FFES: 0'-0" (15'-0" (USGS) REF: CIVIL DWGS.

NOTE: TEMPERED GLASS LOCATIONS FOR TEMPERED GLAZING LOCATIONS REFERENCE DOOR & WINDOW SCHEDULE AND ELEVATIONS.

ALL SITE AND BUILDING ACCESSIBILITY SHALL COMPLY AND BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 AMERICANS WITH DISABILITIES ACT STANDARDS AND ITS AMENDMENTS PER THE UNITED STATES ACCESS BOARD - THE ADA STANDARDS AND ALL APPLICABLE STATE AND LOCAL REQUIREMENTS MUST BE SATISFIED. WHERE THERE IS A DIFFERENCE, THE STANDARD THAT PROVIDES GREATER ACCESSIBILITY MUST BE FOLLOWED. REFERENCE TO SHEET 030 GENERAL ACCESSIBILITY FOR TYPICAL ADA DETAILS.

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139 North Dobson Road  
Mesa, Arizona 85201

Not For Construction

CONCEPT DESIGN  
 ZONING SCHEDULE  
 DESIGN DEVELOPMENT  
 PERMITTING + CONSTRUCTION  
 RECORD DRAWINGS

**1 Site Plan - First Floor Plan**

Scale: 1/8" = 1'-0"



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- SCHEMATIC DESIGN
- ZONING CLEARANCE
- DESIGN DEVELOPMENT
- PERMITTING - CONSTRUCTION
- RECORD DRAWINGS

Project No. 20003

Plan Check No. \_\_\_\_\_

Design Review No. \_\_\_\_\_

Checked By PK

Drawn By YY + SA

Date 09.01.21

Title

**Building Perspectives**

Sheet No. **ZC A5.1**



CIRCLE WEST ARCHITECTS 02021

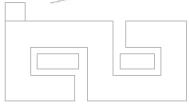


Key Plan

West Building Perspective  
Scale: NTS

A5.1 <

- KEYNOTES:
1. CANTILEVERED BALCONIES
  2. INSET BALCONIES
  3. BUILDING OVERHANG
  4. EVCS
  5. PARKING SHADE STRUCTURE
  6. METAL PANEL ACCENT

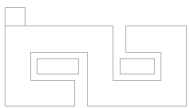


Key Plan

1 North Building Perspective

Scale: NTS

- KEYNOTES:
1. CANTILEVERED BALCONIES
  2. STUDIO LOFT
  3. BUILDING OVERHANG
  4. EVCS
  5. PARKING SHADE STRUCTURE
  6. METAL PANEL ACCENT



Key Plan

2 East Building Perspective

Scale: NTS

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Title

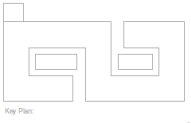
Building Perspectives

Sheet No. ZC A5.2





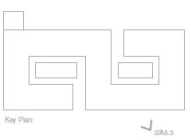
- KEYNOTES:
1. RECESSED WINDOWS
  2. FIXED METAL LOUVERS
  3. 2 SIDED BENT METAL SHROULDS
  4. DEEP OVERHANG AT UNIT LIVING ROOM WINDOWS
  5. BUILDING OVERHANG
  6. RECESSED GARAGED DOOR
  7. PARKING SPACE STRUCTURE
  8. METAL PANEL ACCENT



1 South Building Perspective  
Scale: NTS



- KEYNOTES:
1. 2 SIDED BENT METAL SHROULDS
  2. DEEP OVERHANG AT UNIT LIVING ROOM WINDOWS
  3. BUILDING OVERHANG
  4. RECESSED GARAGED DOOR
  5. PARKING SPACE STRUCTURE
  6. METAL PANEL ACCENT
  7. BUILDING REVEAL



2 South Building Perspective  
Scale: NTS

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Project No. 20003  
Plan Check No. \_\_\_\_\_  
Design Review No. \_\_\_\_\_  
Checked By: PK  
Drawn By: YY + SA  
Date: 09.01.21  
Title: Building Perspectives



- KEYNOTES:
1. S SIDED BENT METAL SHROUDS
  2. DEEP OVERHANG AT UNIT LIVING ROOM WINDOWS
  3. BUILDING OVERHANG
  4. RECESSED GARAGED DOOR
  5. PARKING SHADE STRUCTURE
  6. METAL PANEL ACCENT
  7. BUILDING REVEAL

1 South Building Perspective  
Scale: NTS



- KEYNOTES:
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2 South Building Perspective  
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Building Perspectives

Sheet No. ZC\_A5.4

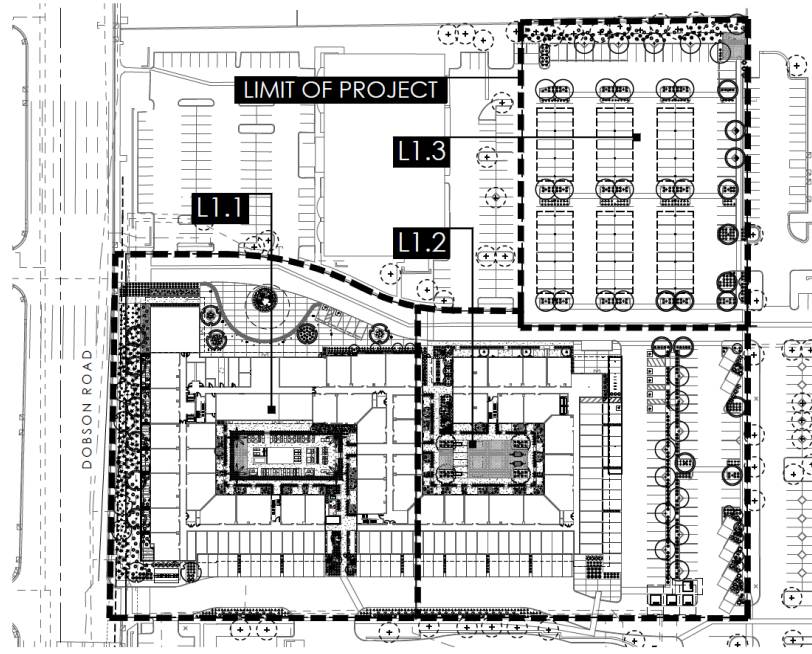
# MESA RESIDENTIAL

139 NORTH DOBSON ROAD | MESA | AZ

## PRELIMINARY LANDSCAPE + IRRIGATION PLAN

### GENERAL NOTES:

- ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE TOP DRESSING. ALL GRANITE IS TO BE 2" DEPTH, COLOR AS SPECIFIED, TYP.
- NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND CONFORMING TO LOCAL AGENCY'S APPROVED PLANT LIST.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO DELIVERY TO SITE. ONE WEEK MINIMUM NOTICE.
- LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO PURCHASE. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS ON SITE PRIOR TO PROJECT START-UP.
- REFER TO PLANTING DETAILS. BACKFILL: NATIVE SOILS FREE OF CONTAMINATION AND ROCKS OVER 3 INCHES IN DIAMETER.
- COMPLETE ALL TRENCHING, LANDSCAPE GRADING, BERMING AND SWALES PRIOR TO START OF PLANTING.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES MADE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., AT HIS EXPENSE.
- ANY PLANT MATERIAL NOT SHOWN TO REMAIN ON PLAN IS TO BE REMOVED.
- ADJUST ALL NEW LANDSCAPING AS NECESSARY TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY SITE WORK BEING EXECUTED.
- QUANTITIES ON PLAN ARE PROVIDED FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
- LANDSCAPE ARCHITECT / OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
- NOTE: SURFACE-FERTILIZE PLANTS AS PART OF COMMON-AREA MAINTENANCE CONTRACT.
- APPLY A SOLUTION OF "SUPERTHRIVE" COMBINED WITH LIQUID CHELATED IRON SUPPLEMENT AS PLANT IS BEING WATERED IN AT THE FOLLOWING RATES:  
-BASIC MIX: 1/4 TSP. (TEASPOON) SUPERTHRIVE AND 1 TSP. IRON SUPPLEMENT PER GAL. OF WATER.  
-TREES: APPLY 4 GALLONS OF BASIC MIX.  
-SHRUBS AND SUCCULENTS 1 GAL. AND 5 GAL.; APPLY 1 GALLON OF BASIC MIX.  
-SHRUBS AND SUCCULENTS 15 GAL.; APPLY 2 GALLONS OF BASIC MIX.
- REMOVE NURSERY PROVIDED STAKING AND TAPING FROM ALL PLANTS, IF APPLICABLE. STAKE NURSERY GROWN TREES AS DETAILED.
- WATER SUPPLY MUST BE OPERATIONAL PRIOR TO PLANT INSTALLATION.
- PRUNE DEAD OR DAMAGED BRANCHES AFTER PLANTING. PRUNE TREES OF LIVING BRANCHES, ONLY IF DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER, AFTER PLANTING.
- BEFORE PLANTING, STAKE OR FLAG THE LOCATION OF ALL PLANTS OR PLACE CONTAINERS UP TO 15 GAL. AT LOCATIONS SHOWN ON PLAN AND ARRANGE TO HAVE THE LANDSCAPE ARCHITECT REVIEW AND APPROVE THE LOCATIONS. LANDSCAPE ARCHITECT MAY REVISE LOCATIONS ONCE BEFORE PLANTING.
- REMOVE ALL WEED GROWTH FROM AREAS TO BE LANDSCAPED. IF WEED CONTROL IS NEEDED, USE CAREFULLY APPLIED CONTACT HERBICIDE, "ROUND-UP" OR EQUAL. APPLY BY HAND SPRAYER TO AVOID DAMAGE TO NEW PLANTS.
- ALL BOLDERS ARE TO BE GRANITE "SURFACE SELECT", SIZE PER PLAN. ALL BOLDERS ARE TO BE BURIED 1/3 IN SOIL.
- ALL SWALE CHANNELS ARE TO HAVE 6" - 8" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL DOWNSPOUTS / SCUPPERS ARE TO HAVE 3"x3", 3" - 6" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
- ALL TURF IS TO BE MID-RUN "HYBRID" VARIETY.
- ALL HEADER IS TO BE CAST IN PLACE CONCRETE, COLOR TO BE SELECTED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE HEADER INSTALLATION WITH GRADING CONTRACTOR. ANY LOCATIONS WHERE RIP-RAP SWALES ARE ADJACENT TO TURF AREAS, HEADER IS TO HAVE A DRAINAGE OUTLET (TURN-DOWN) FOR THE WIDTH OF THE RIP-RAP AREA, TYP.
- CONTRACTOR TO ENSURE THAT SLEEVING FOR IRRIGATION GOES UNDER EVERY DRIVEWAY (INCLUDING E-LOTS).
- ALL LANDSCAPING AND STRUCTURES CONSTRUCTED FROM THIS PLAN HAVE BEEN DESIGNED WITHIN STANDARD CITY REQUIREMENTS AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER / HOA TO MAKE NECESSARY REPAIRS DUE TO VANDALISM / THEFT / OR NEGLIGENCE. DEVELOPER / HOA DOES NOT HOLD (YOUNG DESIGN GROUP, LLC) RESPONSIBLE FOR ANY DAMAGES INCURRED AS SUCH.
- JUTE NETTING TO BE INSTALLED ON ALL SLOPES GREATER THAN 4:1 WITH 100% LIVE PLANT COVER.
- WARRANTY ALL PLANT MATERIAL TO BE IN HEALTHY GROWTH FOR THE PERIODS OF: TREES: 365 DAYS SHRUBS, VINES AND GROUNDCOVERS: 90 DAYS, STARTING AT DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL NOT SHOWING HEALTHY GROWTH WITHIN 10 WORKING DAYS OF NOTIFICATION BY OWNER.
- YDG DOES NOT WARRANT AVAILABILITY OF SPECIES OR SIZES OF PLANTS LISTED. "AVAILABLE" SHALL MEAN AVAILABLE IN A WHOLESALE NURSERY IN ARIZONA OR CALIFORNIA. NOTIFY OWNER AND YDG OF NON-AVAILABILITY OR ISSUANCE OF SUBSTITUTION BY YDG.
- CITY APPROVAL OF THESE PLANS SHALL SIGNIFY AND CONFIRM OWNERS' CAREFUL REVIEW AND APPROVAL OF THESE PLANS, INCLUDING PLANT SPECIES AND SIZES LISTED. OWNER SHALL OBTAIN UNLIFT PLANT COSTS, INSTALLED & GUARANTEED.
- TYPICAL MINIMUM SETBACKS FROM EDGE OF WALKS, DRIVES AND BUILDINGS: TREES: 4 FT.; SHRUBS: 3 FT.; GROUNDCOVER: 2 FT. (UNLESS NOTED OTHERWISE IN GEOTECH / SOILS REPORT WHICH SHALL GOVERN IN LIEU OF SETBACKS RECOMMENDED HEREIN / CONTRACTOR TO ADJUST OR ELIMINATE PLANTS TO COMPLY WITH GEOTECH RECOMMENDATIONS AS NEEDED)
- AREAS IN SIGHT TRIANGLES SHALL HAVE NO OBSTRUCTION GREATER THAN 2 FT. HT. AND TREES SHALL HAVE CANOPY HIGHER THAN 7 FT. AT TIME OF PLANTING.
- NOTE THAT NURSERY-GROWN TREES MUST HAVE TRUNK DIAMETER IN PROPORTION TO HEIGHT, AND THAT CONTRACTOR MUST INSPECT EACH TREE FOR ROOT-BINDING AND OTHER GROWTH DEFECTS, AND REMOVE DEFECTIVE PLANTS FROM THE SITE.
- TREES TO MEET LOCAL JURISDICTIONS ZONING SIZE REQUIREMENTS AT THE TIME OF PLANTING. TREES THAT DO NOT MEET MIN. REQUIREMENTS SHALL BE REPLACED IN KIND WITH TREE THAT MEETS REQUIREMENTS.
- ANY DISTURBED AREAS AREAS NOT INITIALLY BUILT UPON WILL NEED A COUNTY / CITY APPROVED DUST CONTROL MATERIAL INSTALLED.
- TREES THAT ARE PLANTED AS 24" BOX MUST HAVE 2" CALIPER AFTER FIRST YEAR OF GROWTH.



### OVERALL SITE PLAN

NOT TO SCALE

### CITY OF MESA NOTES

- REQUIRED TREES SHALL BE A MINIMUM SIZE AS SPECIFIED IN THE ARIZONA NURSERY ASSOCIATION "RECOMMENDED TREE SPECIFICATIONS" LATEST EDITION (11-33-2)(B)(2)
- ALL LANDSCAPE MATERIAL INSTALLED SHALL BE MAINTAINED BY OWNER / LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, 11-33-3(I)(2)(3)
- ALL TREES AND SHRUBS LOCATED IN THE LINE-OF-SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3'-2" AND SHOW LINE OF SIGHT ON LANDSCAPE PLAN.
- REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY AND USE, STRUCTURE, VEHICLE OR FEATURE NOT A PART OF THE LANDSCAPING DESIGN, 11-33-3(A)
- BACKFLOW PREVENTERS 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE MATERIAL LOCATED WITHIN A 6' RADIUS OF THE BACKFLOW PREVENTERS. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET AND PAINTED GREEN. (THE POLICE DEPARTMENTS CRIME PREVENTION DIVISION HAS REQUESTED THE CHANGE TO GREEN TO DISCOURAGE THEFT.) [PAGE 30]

### NATIVE PLANT INFORMATION

EXISTING TREES ARE LOCATED THROUGHOUT THE PROPERTY IN SEVERAL PARKING ISLANDS AND ALONG THE DOBSON ROAD FRONTAGE. TREE CONDITION VARIES FROM POOR TO GOOD CONDITION. THIS SITE DOES NOT FALL WITHIN THE CITY'S DESERT UPLANDS AREA AND DOES NOT REQUIRE A NATIVE PLANT PRESERVATION PLAN.

### MISC. NOTES

- EXISTING 69 KV POWER LINES ARE LOCATED AT THE DOBSON ROAD FRONTAGE ONLY.
- A MINIMUM OF 3' CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS WHERE NOTHING WILL BE PLANTED OR WILL GROW.

### MAINTENANCE NOTES

UPON COMPLETION OF LANDSCAPE IMPROVEMENTS, MAINTENANCE CONTRACTOR IS TO PROVIDE A "NATURAL" MAINTENANCE PROGRAM TO ALL PERIMETER LANDSCAPE AREAS INCLUDING STREET FRONTAGES AND RETENTION BASIN AREAS. ALL INTERIOR COURTYARD AND MAIN DRIVE LANDSCAPE AREAS ARE TO BE MAINTAINED IN A "FORMAL" MANNER. ALL AREAS ARE TO BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES OF THE LANDSCAPE INDUSTRY.

### LANDSCAPE CALCULATIONS

LOCATION	REQUIRED TREES / SHRUBS	PROVIDED TREES / SHRUBS	COMPLIES
DOBSON ROAD FRONTAGE	1 TREE + 6 SHRUBS / 25' L.F. (+/-)280' = 11 TREES / 66 SHRUBS	11 TREES / 101 SHRUBS	YES
NORTH PERIMETER SETBACK	3 TREES + 20 SHRUBS / 100' L.F. (+/-)225' = 7 TREES / 45 SHRUBS	10 TREES / 48 SHRUBS	YES

NOTE: ALL TREE SPECIFIED ON PLANS ARE MINIMUM 24" BOX SIZE AND EXCEED CITY OF MESA MINIMUMS FOR BOX SIZE QUANTITIES (SEE PLANT SCHEDULE FOR SPECIES AND SIZE INFORMATION)

### PROJECT TEAM

#### OWNER / DEVELOPER:

STARPOINT PROPERTIES  
433 NORTH CAMDEN DRIVE  
BEVERLY HILLS, CA 90210

#### ARCHITECT:

CIRCLE WEST ARCHITECTS  
4148 NORTH ARCADIA DRIVE  
PHOENIX, AZ 85018  
PH: (480) 609-1000  
CONTACT: PETER KOULOPOULOS  
peter@circlewest.net

#### LANDSCAPE ARCHITECT:

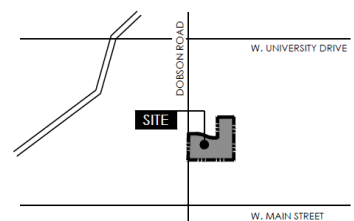
YOUNG DESIGN GROUP  
7234 EAST SHOEMAN LN.  
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SCOTTSDALE, AZ 85251  
PH: (480) 257-3312  
CONTACT: JOE YOUNG  
jyoung@youngdg.com

#### CIVIL ENGINEER:

KBEL ENGINEERING  
1355 NORTH 86TH PLACE  
MESA, AZ 85207  
PH: (602) 980-8246  
CONTACT: KELLY BELL  
kbell@kbelleng.com

### VICINITY MAP

NOT TO SCALE



### SHEET INDEX

SHEET #	PAGE #	DESCRIPTION
1	L0.1	COVER SHEET + NOTES
2-4	L1.1 THRU L1.3	PRELIMINARY LANDSCAPE PLAN
5	L2.1	LANDSCAPE CHARACTER EXHIBIT

### PLAN APPROVAL

DATE	07/14/21
JOB NO.	2102
DRAWN BY	YDG
CHECKED BY	JMY
REVISIONS:	DATE:
CITY	03/19/21
OWNER	08/18/21
SUBMITTED FOR:	

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Landscape Architecture  
& Land Planning  
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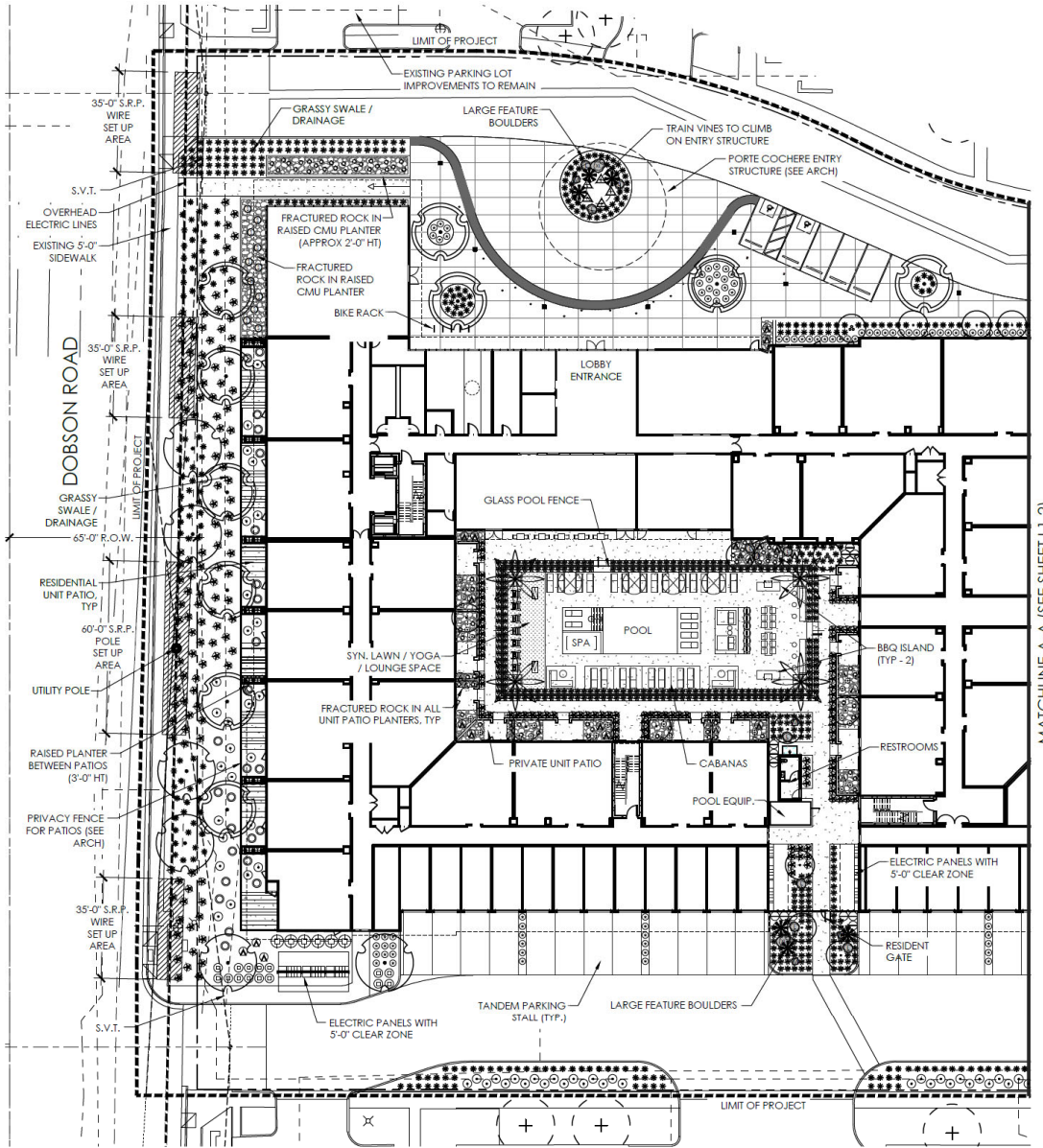
DESIGN REVIEW

SHEET NO.

L0.1

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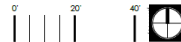


### PLANT SCHEDULE

EXISTING TREES (VARIOUS SPECIES)	SIZE / REMARKS	QTY.
ACACIA WILLARDIANA PALO BLANCO	36" BOX / STANDARD TRUNK	36
QUERCUS VIRGINIANA LIVE OAK	24" / 36" BOX / STANDARD TRUNK	32 / 14
CERCIDIMUM PRAECOX PALO BREA	36" BOX / 48" BOX / MULTI-TRUNK	6 / 10
EUCALYPTUS PAPUANA GHOST GUM	36" BOX / SINGLE TRUNK	4
PISTACIA LENTISCUS MASTIC TREE	36" BOX / LOW BREAK	8
PHOENIX DACTYLIFERA DATE PALM	16' TO BASE OF PINEAPPLE / DIAMOND CUT	4
<b>SHRUBS</b>		
DODONAEA VISCOSA HOPSEED BUSH	5 GAL	42
JUSTICIA SPICIGERA MEXICAN HONEYSUCKLE	5 GAL	16
LEUCOPHYLLUM CANDIDUM THUNDER CLOUD SAGE	5 GAL	40
LEUCOPHYLLUM LAEVIGATUM CHIHUAHUAN SAGE	5 GAL	102
OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE	5 GAL	448
RUELLIA BRITTONIANA BRITISH RUELLIA	5 GAL	33
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AGAVE WEBERI WEBER'S AGAVE	5 GAL	9
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BOUTELLOIA GRACILIS BLUE GRAMA	1 GAL	542
PACHYCERUS MARGINATUS MEXICAN FENCE POST	MIN 3-5 ARMS EA.	59
<b>GROUNDCOVER</b>		
EREMOPHILA GLABRA 'MIGNEW GOLD' OUTBACK SUNRISE EMU	1 GAL	52
<b>INERT MATERIALS</b>		
SYNTHETIC TURF SOUTHWEST GREENS OR EQUAL	ROLLS	PER PLAN
D.G. DECOMPOSED GRANITE 'ROSE' (ROCK PROS USA)	1/2" SCREENED 2" MIN DEPTH	ALL LUS AREAS
FRACTURED NATIVE ROCK 'ROSE' (ROCK PROS USA)	1" SCREENED	PER PLAN
GRANITE BOULDERS SURFACE SELECT	3' / 4' / 5' DIA	6 / 14 / 4

## PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0"



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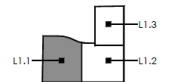
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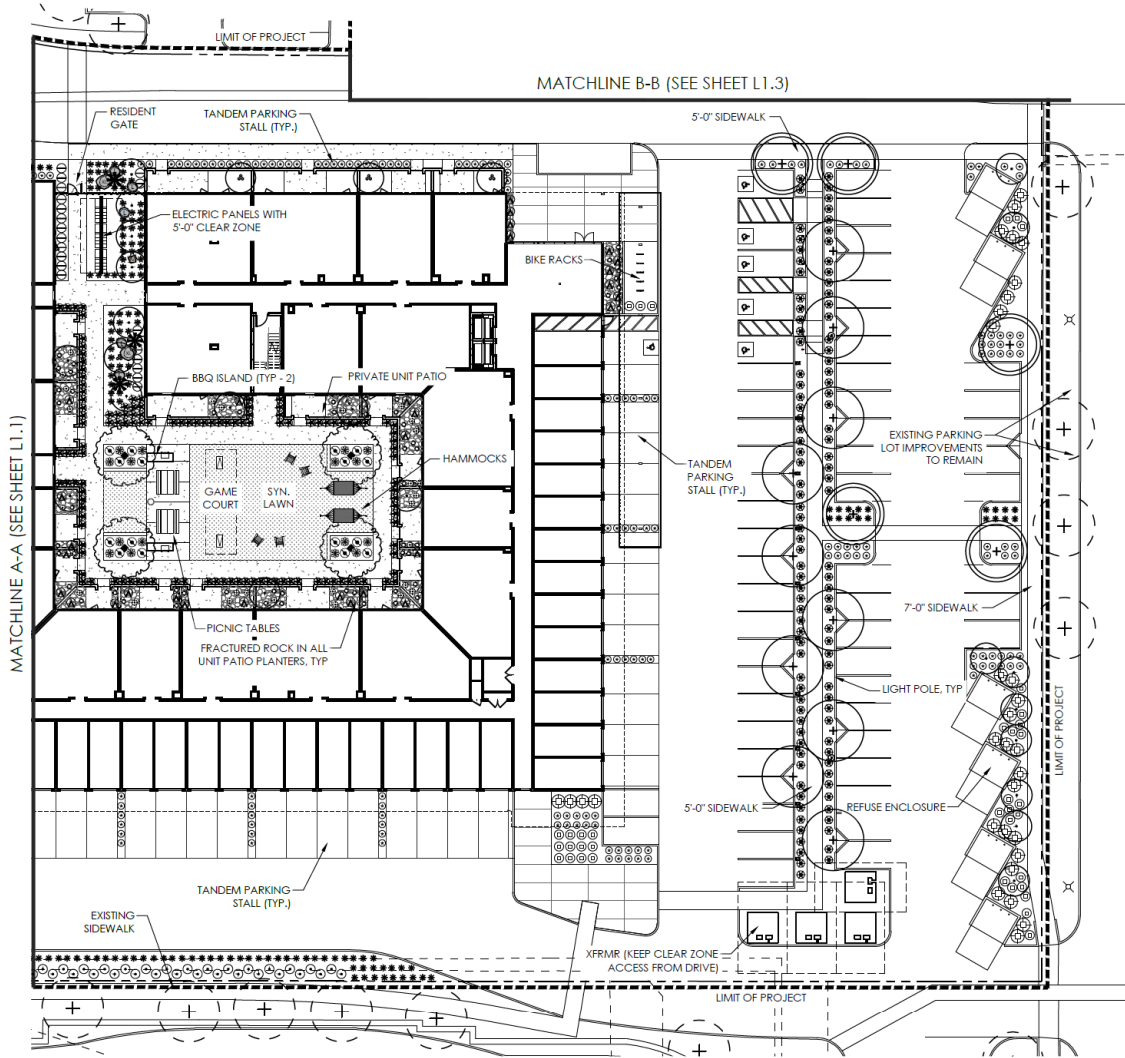
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REVISIONS	DATE
CITY	03/19/21
OWNER	08/18/21

### DESIGN REVIEW

SHEET NO.  
**L1.1**  
2 OF 5







MATCHLINE A-A (SEE SHEET L1.1)

MATCHLINE B-B (SEE SHEET L1.3)

# PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0"

## PLANT SCHEDULE

EXISTING TREES		SIZE / REMARKS	QTY.
(+)	EXISTING TREE (VARIOUS SPECIES)	TO REMAIN IN PLACE	PER PLAN
TREES		SIZE / REMARKS	QTY.
(•)	ACACIA WILLARDIANA PALO BLANCO	36" BOX / STANDARD TRUNK	36
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(•)	PHOENIX DACTYLIFERA DATE PALM	16" TO BASE OF PINEAPPLE / DIAMOND CUT	4
SHRUBS			
(•)	DODONEA VISCOSA HOPSEED BUSH	5 GAL	42
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(•)	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	5 GAL	102
(•)	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE	5 GAL	448
(•)	RUELLIA BRITTONIANA BRITISH RUELLIA	5 GAL	33
ACCENTS / VINES			
(*)	AGAVE WEBERI WEBER'S AGAVE	5 GAL	9
(•)	AGAVE V. REGINAE 'COMPACTA' COMPACT QUEEN VICTORIA AGAVE	5 GAL	47
(•)	ALOE BARBADENSIS MEDICINAL ALOE	5 GAL	16
(•)	ASCLEPIUS SUBULATA LADY SLIPPER	5 GAL	6
(Δ)	CAMPISIS RADICANS TRUMPET CREEPER	15 GAL / TRAIN TO STRUCTURE	5
(•)	CARNEGIA GIGANTEA SAGUARO SPEAR	5' / 6' / 7' MIX	11
(•)	ECHINOCACTUS GRUSONII GOLDEN BARREL	12" DIA	124
(*)	HESPERALOE PERPA 'BRAKELIGHTS' BRAKELIGHTS HESPERALOE	5 GAL	410
(*)	MUHLENBERGIA CAPILLARIS REGAL MIST DEER GRASS	5 GAL	167
(*)	MUHLENBERGIA RIGIDA 'NASHVILLE' PURPLE MUHLY	1 GAL	347
(*)	BOUTELOUA GRACILIS BLUE GRAMA	1 GAL	542
(*)	PACHY CERUS MARGINATUS MEXICAN FENCE POST	MIN 3-5 ARMS EA.	59
GROUND COVER			
(•)	EREMOPHILA GLABRA 'MIGNEW GOLD' OUTBACK SUNRISE EMU	1 GAL	52
INERT MATERIALS			
(•)	SYNTHETIC TURF SOUTHWEST GREENS OR EQUAL	ROLLS	PER PLAN
(D.G.)	DECOMPOSED GRANITE 'ROSE' (ROCK PROS USA)	1/2" SCREENED 2" MIN DEPTH	ALL US AREAS
(•)	FRACTURED NATIVE ROCK 'ROSE' (ROCK PROS USA)	1" SCREENED	PER PLAN
(•)	GRANITE BOULDERS SURFACE SELECT	3' / 4' / 5' DIA	6 / 14 / 4

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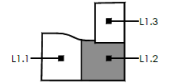
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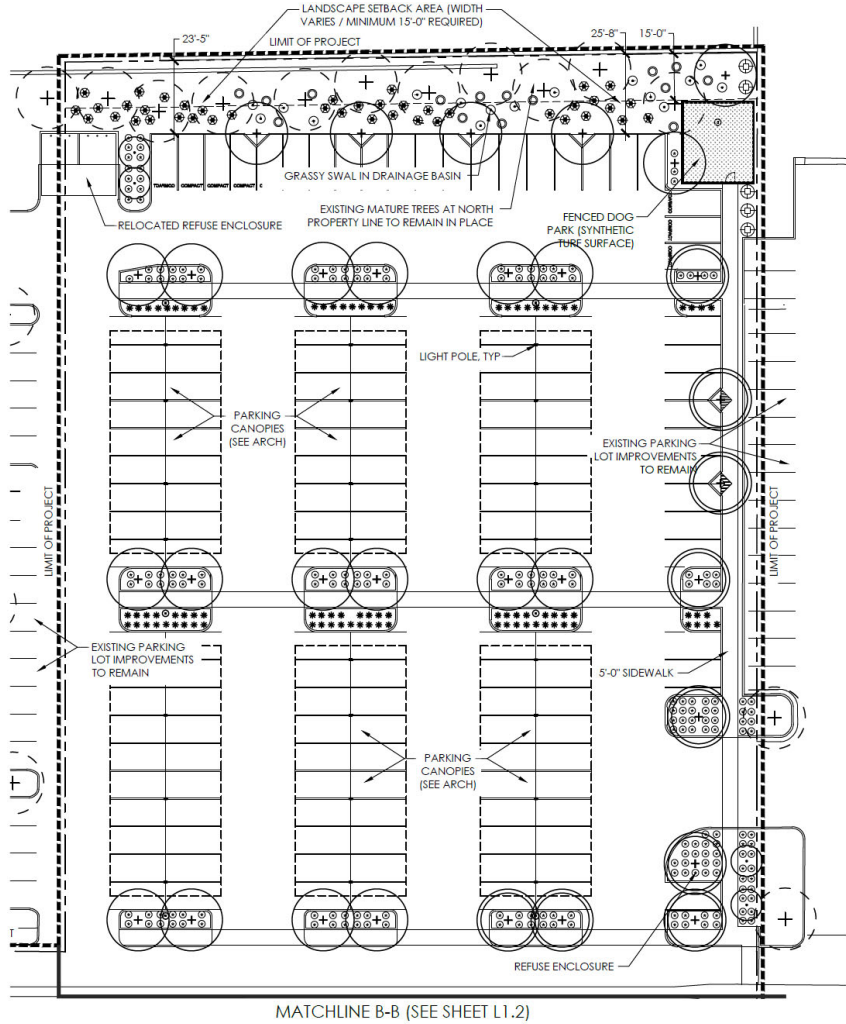
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SUBMITTED FOR:	

## DESIGN REVIEW

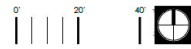
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**L1.2**  
 3 OF 5





# PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0"



## PLANT SCHEDULE

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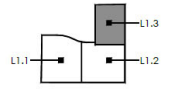


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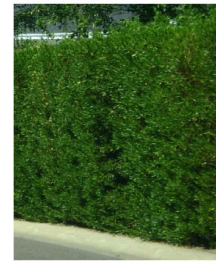
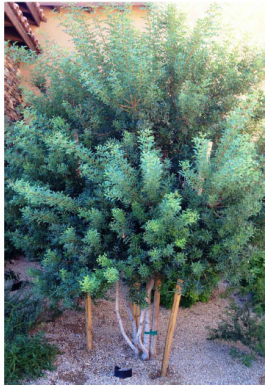
## DESIGN REVIEW



SHEET NO.  
**L1.3**  
4 OF 5



# LANDSCAPE CHARACTER



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Landscape Architecture  
& Land Planning  
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MESA RESIDENTIAL  
139 NORTH DOBSON ROAD | MESA | AZ | 85000

DATE:	07/14/21
JOB NO:	2102
DRAWN BY:	YDG
CHECKED BY:	JMY
REVISION(S):	DATE
CITY	03/19/21
OWNER	08/06/21

SUBMITTED FOR:  
DESIGN  
REVIEW

SHEET NO.  
**L2.1**  
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