

SITE DATA

PROJECT: LONGBOW 202 SHELL BUILDING
ADDRESS: 5818 E. MCDOWELL ROAD, MESA, AZ 85215
GOVERNING MUNICIPALITY: CITY OF MESA
APN: 141-41-017A
LONGBOW BUSINESS PARK: LOTS 3 AND 4, LONGBOW BUSINESS PARK, LOT 6 REPLAT ACCORDING TO BOOD 1055 OF MAPS PAGE 8, MCR.
APPLICABLE CODES: 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL MECHANICAL CODE, 2018 INTERNATIONAL PLUMBING CODE, 2017 NATIONAL ELECTRICAL CODE, 2018 INTERNATIONAL FIRE CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, 2010 ADA GUIDELINES, CITY OF MESA AMENDMENTS
PROJECT DESCRIPTION: DEVELOPMENT OF VACANT LAND FOR A SINGLE INDUSTRIAL SHELL BUILDING. BUILDING WILL ATTAIN CERTIFICATE OF COMPLETION.
CURRENT ZONING: LI
REQUIRED ZONING: LONGBOW BUSINESS PARK
USE RESTRICTIONS: LONGBOW BUSINESS PARK
SITE AREA: GROSS SITE = 300,166 SF (6.9 ACRES), NET SITE = 288,166 SF (6.6 ACRES)
MAXIMUM LOT COVERAGE: 98,296 SF / 288,166 SF = 34%, 211,014 SF / 288,166 SF = 73.2%
TOTAL LANDSCAPE AREA: 77,152 S.F. (26.8% OF SITE AREA), (25.7% OF THE GROSS SITE AREA)
BUILDING SETBACK: NORTH 0', EAST 0', SOUTH 30', WEST 30'. **PROV.:** 73'-6 1/2", 142'-4", 86'-0 1/2", 57'-6". **LANDSCAPE SETBACK:** NORTH 15', EAST 0', SOUTH 20', WEST 15' & 20'.
OCCUPANCY(IES): PROPOSED: B AND S
BUILDING HEIGHT: ALLOWED: 40'-0", ACTUAL: 40'-0"
BUILDING AREA: BUILDING FOOTPRINT 98,296 SF
CONSTRUCTION TYPE(S): TYPE III-B / FIRE SPRINKLER (PER IBC AND NFPA 13)
PARKING CALCULATIONS: PER MESA ZONING "SHELL CALCULATION"

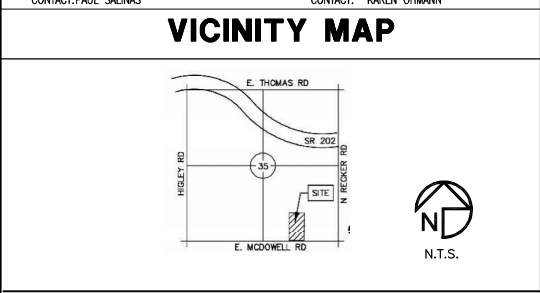
SHELL	24,114 SF (25%)	1 SP / 375 SF	64
	74,182 SF (75%)	1 SP / 500 SF	148
TOTAL SPACES REQUIRED			212

TOTAL NUMBER OF SPACES PROVIDED:

STANDARD PARKING SPACES:	137
ACCESSIBLE PARKING PROVIDED:	6
TOTAL SPACES PROVIDED	143

FUTURE EV SPACES: 1 ADA/5 STANDARD
LOADING SPACES: 15
BICYCLE SPACES (REQ'D/PROV'D): 14/14

PROJECT TEAM
OWNER: WETTA VENTURES, 3104 E. CAMELBACK RD, #957, PHOENIX, AZ 85016, PHONE: 480-290-1502, FAX: , E-MAIL: pw@wettaventures.com, CONTACT: PAUL SALINAS
ARCHITECT: DEUTSCH ARCH. GROUP, 4600 E. INDIAN SCHOOL RD., PHOENIX, AZ 85016, PHONE: 602-840-2929, FAX: , E-MAIL: kohmann@2929.com, CONTACT: KAREN OHMANN



CITY TRACKING NUMBERS

PROJECT NO:	25154.00
DRAWN BY:	JM/KO
CHECKED BY:	KO
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ERRC SURVEY
 THIS FACILITY MUST BE TESTED BY A THIRD PARTY ENTITY INDICATING THIS FACILITY IS CAPABLE OF RADIO TRANSMITTING EMERGENCY RADIO TRANSMISSIONS ANYWHERE WITHIN THIS FACILITY. IF THE FACILITY DOES NOT MEET THE PHOENIX FIRE CODE, THEN THE FACILITY WILL NEED TO BE EQUIPPED WITH AN EMERGENCY RADIO COMMUNICATION SYSTEM.

DRB 24-00961
 ZON 24-00962

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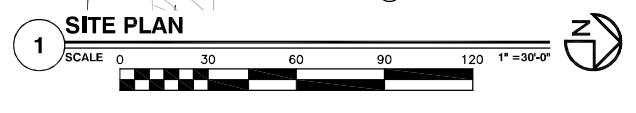
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SITE PLAN

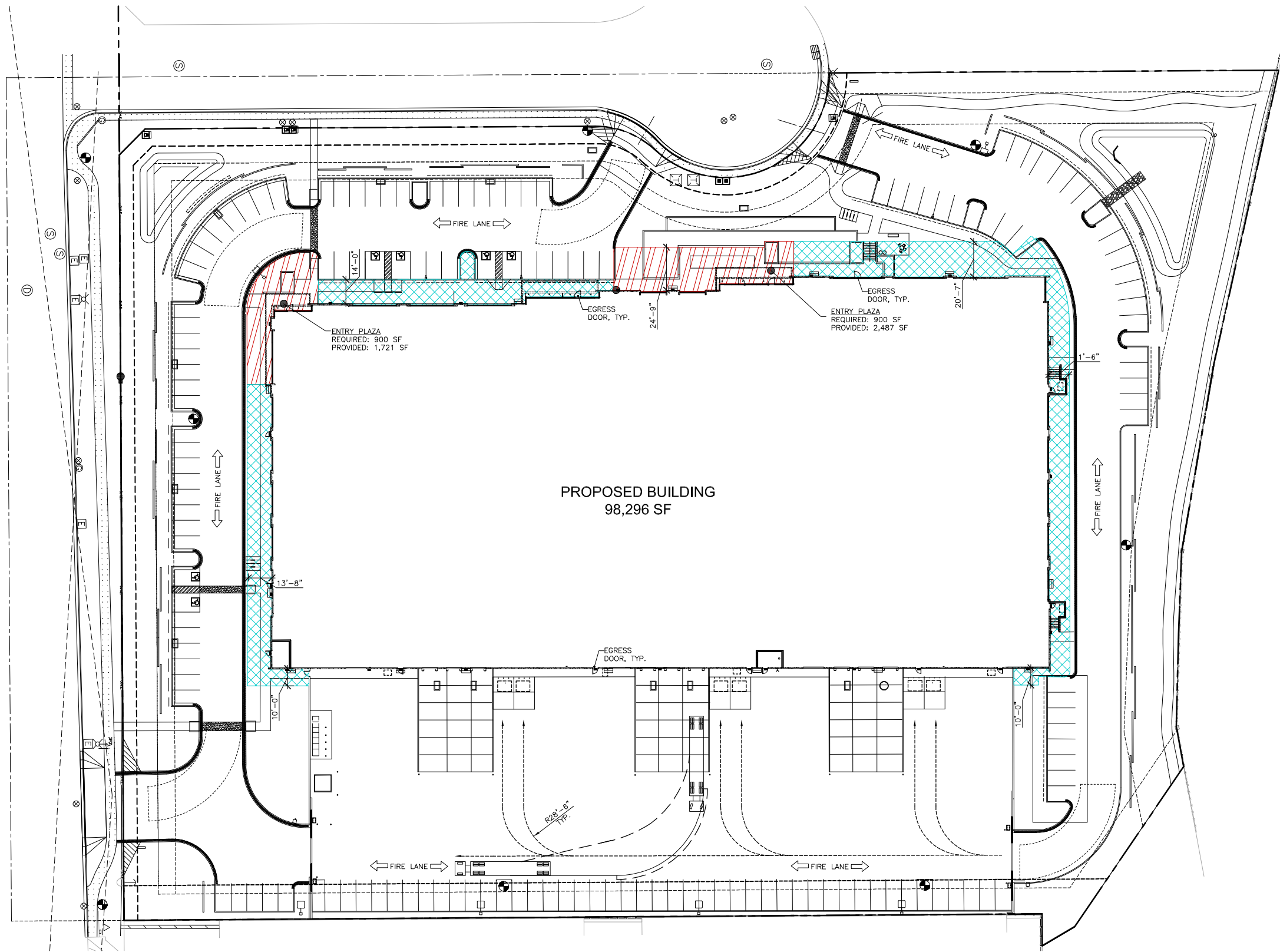


LEGEND

	FIRE LANE DIRECTION		ELECTRIC VEHICLE PARKING STALL
	FIRE LANE TURNING RADIUS		KNOX BOX PER COP FIRE DEPARTMENT STANDARDS, MOUNTED 5-1/2 TO 6 FEET ABOVE GRADE
	ACCESSIBLE PATH TO PUBLIC WAY		
	FIRE HYDRANT		
	PROVIDE FIRE LANE MARKINGS AND RED PAINTED CURB PER MESA FIRE CODE 503.9.2		

KEYNOTES

- FIRE RISER LOCATION
- HOUSE ELECTRICAL ROOM WITH ROOF ACCESS
- SES LOCATION WITH BOLLARD PROTECTION
- UTILITY TRANSFORMER WITH BOLLARD PROTECTION
- TERRACED CMU PLANTERS
- EXISTING ROW CONCRETE SIDE WALK
- 8" MIN MASONRY SCREEN WALL
- ACCESSIBLE PARKING WITH AISLE AND ACCESSIBLE RAMP
- EXTERIOR AREA FOR ASSISTED RESCUE
- CMU PLANTER WITH SEAT WALL
- 6" CONCRETE CURB
- PARKING SCREEN WALL, 3'-4" AFF
- BIKE PARKING
- CONCRETE SIDEWALK WITH EXPOSED AGGREGATE
- PROPOSED SIGNAGE-SEPARATE PERMIT
- MANUAL SLIDING GATES. PROVIDE CONDUIT ROUGH-IN TO HOUSE ELECTRICAL ROOM FOR FUTURE GATE MOTOR AND ACCESS PEDESTAL
- EXPOSED AGGREGATE AT CROSSWALK
- KNOX BOX PER FIRE DEPARTMENT STANDARDS
- EMPLOYEE AMENITY AREA
- FIRE DEPARTMENT CONNECTION
- EXISTING STREETLIGHT TO REMAIN
- FUTURE GATE ACCESS PEDESTAL
- ACCESSIBLE PATH TO THE PUBLIC WAY
- CONCRETE PAVING PER CIVIL
- EXISTING FIRE HYDRANT
- SIGHT DISTANCE LINE
- ACCESSIBLE RAMP
- PARKING OVERHANG
- POLE-MOUNTED LIGHT FIXTURE, 25'-0" MAX HEIGHT
- TRUCK WELL WITH CONCRETE GUARDRAILS, 42" AFF
- DOUBLE BIN REFUSE PAD
- NEW CONCRETE SIDEWALK AND DRIVE PER CIVIL
- SOLID WASTE VEHICLE PATH
- 6" X 5" HIGH PIPE BOLLARD - PAINTED SAFETY YELLOW
- EXISTING ELECTRICAL CABINET TO REMAIN
- ELECTRONICALLY MONITORED FIRE LINE BACKFLOW PREVENTER PER CIVIL
- MULTI-USE TRAIL PER LONGBOW DESIGN GUIDELINES AND CC&R'S. COMPACTED DECOMPOSED GRANITE WITH STEEL PLATE EDGER. TIE INTO EXISTING TRAIL AT NORTH AND SOUTH
- PROVIDE ROUGH-IN FOR FUTURE ELECTRIC VEHICLE CHARGERS. STUB CONDUITS UP AT INTERIOR FACE OF NEAREST EXTERIOR WALL
- ACCESSIBLE PATH TO MULTI-USE TRAIL COMPACTED DECOMPOSED GRANITE WITH STEEL PLATE EDGER PER LONGBOW DESIGN GUIDELINES AND CC&R'S
- BACKFLOW PREVENTER-SEE CIVIL
- EXISTING WATER VALVE BOX
- 12'-0" CLEAR OF LANDSCAPE MATERIAL. PROVIDE DECOMPOSED GRANITE WITH STEEL PLATE EDGER PER LONGBOW DESIGN GUIDELINES AND CC&R'S.
- EXISTING POWER POLE TO REMAIN
- CATCH BASIN PER CIVIL
- RIP-RAP PER CIVIL
- EXISTING GOLF COURSE FENCE TO REMAIN
- HEADWALL WITH GUARDRAIL PER CIVIL
- RETENTION AREA
- MITERED PIPE END AT RETENTION BASIN SLOPE. COORDINATE TIE-IN TO GOLF COURSE STORM DRAIN SYSTEM WITH GOLF COURSE SUPERINTENDENT. RESTORE ALL CONDITIONS OF LANDSCAPE, CART PATH, AND TURF TO EXISTING PRIOR TO CONNECTION.?

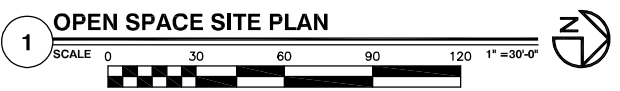


LEGEND

- FOUNDATION AREA
11,290 SF REQUIRED
15,150 SF PROVIDED
- ENTRY AREA
1,800 SF REQUIRED
4,201 SF PROVIDED
- PUBLIC WORKS VEHICLE PATH

LEGEND

- FIRE LANE DIRECTION
- FIRE LANE TURNING RADIUS
- ACCESSIBLE PATH TO PUBLIC WAY
- FIRE HYDRANT
- PROVIDE FIRE LANE PAINTED CURBS PER MESA FIRE CODE 503.9.2
- ELECTRIC VEHICLE PARKING STALL



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REGISTERED ARCHITECT
66385
KAREN
OHMANN
08/11/2018
Expires 6/30/27

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OPEN SPACE SITE PLAN

AS-100.1

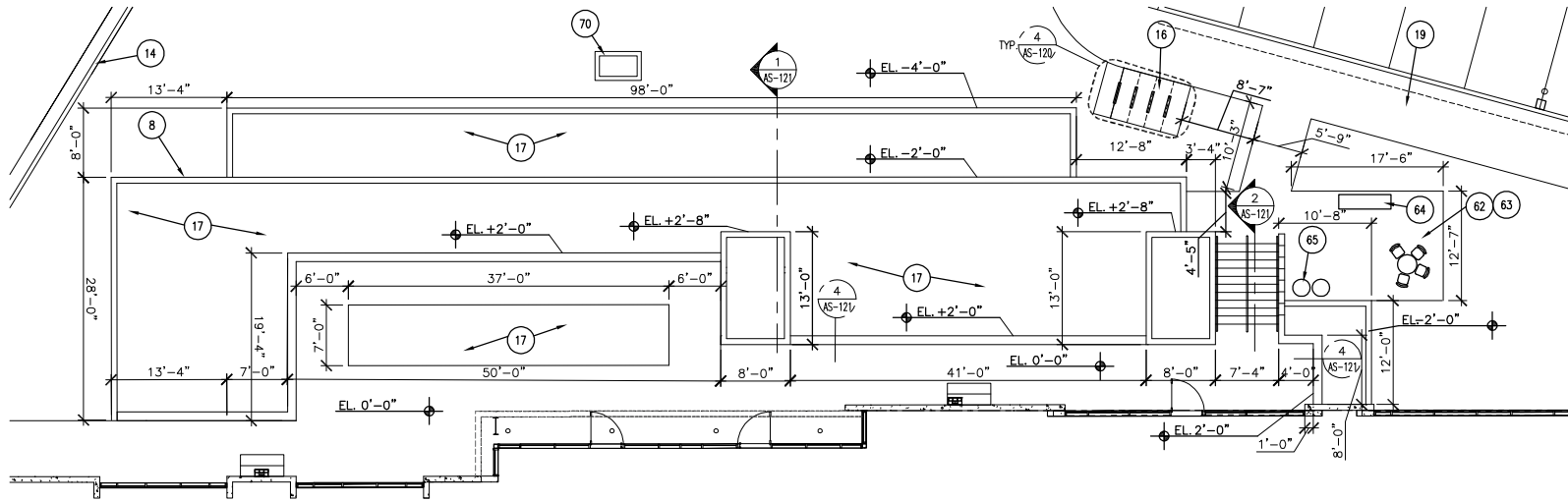
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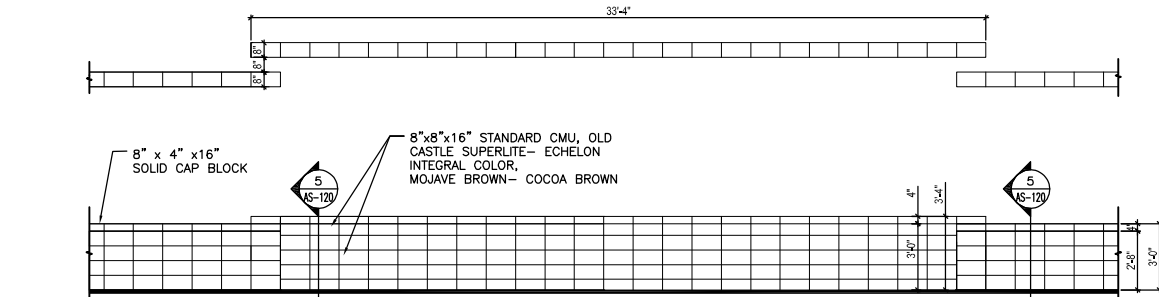
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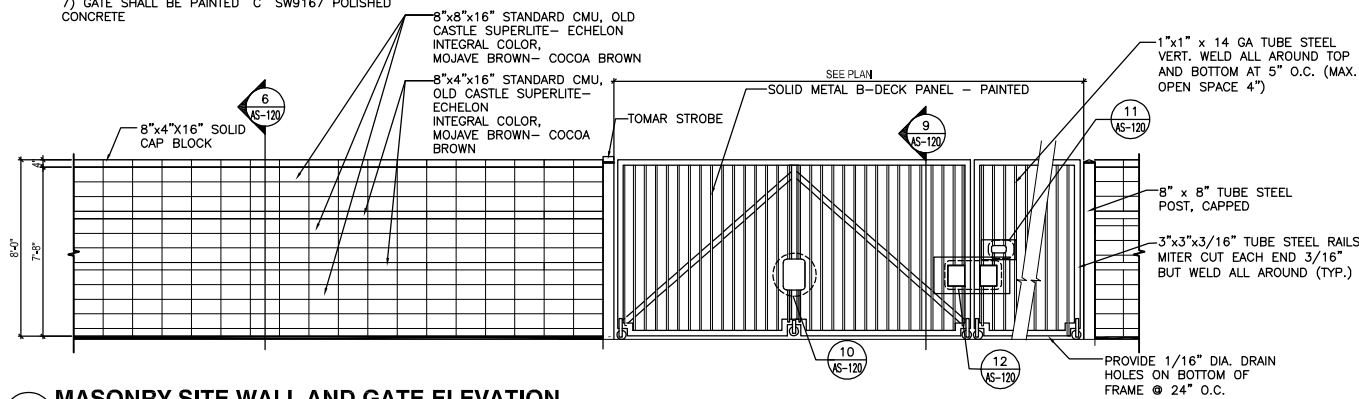


1 PLAN AT ENTRY
SCALE 0 10 20 40 80 1" = 10'-0"

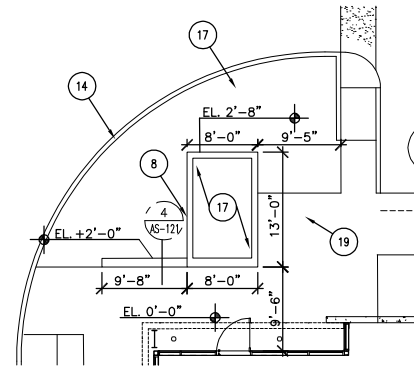


2 MASONRY PARKING SCREEN WALL
SCALE 0 4 8 12 16 1/4" = 1'-0"

- NOTE:
(PERTAINS TO ALL TUBE STEEL FENCING)
- 1) ALL WELDED STEEL CONSTR. (WELD ALL AROUND).
 - 2) GRIND SMOOTH ALL WELDS, BURRS, ETC.
 - 3) CLOSE ALL TUBES
 - 4) PRIME AND PAINT TO MATCH PROJECT
 - 5) TROWEL FINISH AND TOOL EDGES AT EXPOSED CONC. FOOTING
 - 6) DIAGONAL BRACING MAY BE REQUIRED BASED ON CLEAR SPAN
 - 7) GATE SHALL BE PAINTED "C" SW9167 POLISHED CONCRETE



3 MASONRY SITE WALL AND GATE ELEVATION
SCALE 0 4 8 12 16 1/4" = 1'-0"



4 PLANTER PLAN
SCALE 0 10 20 40 80 1" = 10'-0"

KEYNOTES

- 8. TERRACED CMU PLANTERS
- 14. 6" CONCRETE CURB
- 16. BIKE PARKING
- 17. LANDSCAPE AREA
- 19. EXPOSED AGGREGATE SIDE WALK
- 62. AMENITY AREA - SEE LANDSCAPE FOR SITE FURNISHINGS- TABLES, AND UMBRELLAS
- 63. CONCRETE PATIO
- 64. BENCH
- 65. TRASH + RECYCLING BINS
- 70. PROPOSED CATCH BASIN



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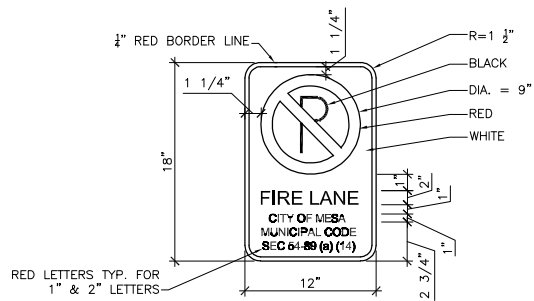
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ENLARGED SITE PLANS AND ELEVATIONS

AS-103

STAMP BOX

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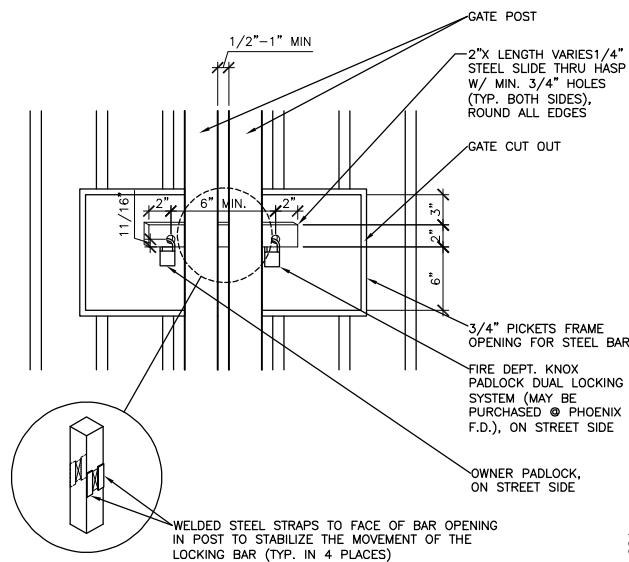
- FIRE LANE SIGNS SHALL BE INSTALLED AS REQUIRED BY FIRE PREVENTION.
 - SIGNS SHALL BE ONE EIGHT (1/8) OF AN INCH FLAT ALUMINUM SHEET, TWELVE (12) INCHES WIDE, AND EIGHTEEN (18) INCHES LONG.
 - THEY SHALL BE MOUNTED ON A STURDY METAL ONE AND THREE-QUARTER (1-3/4) INCH SQUARE TUBE POSTS. SEE DETAIL 4-22 FOR SIGN POST INSTALLATION DETAIL. HEIGHT OF SIGN SHALL CONFORM TO MUTCD STANDARDS.
 - SIGNS SHALL BE MOUNTED PERPENDICULAR TO THE ROAD SO THAT THEY ARE VISIBLE FROM THE DIRECTION OF TRAVEL.
 - THE SIGN SHALL READ AS FOLLOWS:
FIRE LANE
CITY OF MESA
MUNICIPAL CODE
SEC 64-89 (a) (1-4)
- SIGNS SHALL BE PROVIDED BY AND MAINTAINED BY THE PROPERTY OWNER/OCCUPANT, INCLUDING SIGNS ON PRIVATE PROPERTY.
- AFTER REQUIRED SIGNS ARE INSTALLED, TRAFFIC ENGINEERING WILL INSPECT AND APPROVE ALL SIGNS

10 FIRE LANE SIGN SCALE: 1 1/2" = 1'-0"

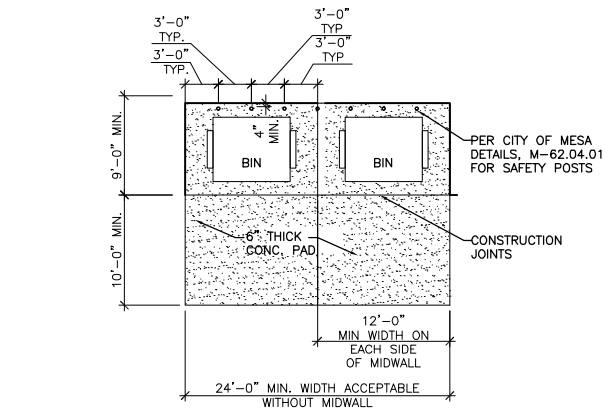


- THE SIGN PLATE SHALL BE A MINIMUM OF 4"x8" AND WITH A THICKNESS OF .80 ALUMINUM CONSTRUCTION AND ROUND CORNERS.
- THE SIGN FACE SHALL HAVE A RED REFLECTIVE BACKGROUND USING 3M SCOTCHLITE SIGN FACE NUMBER R7-32 OR EQUIVALENT, WITH WHITE SCREEN PRINTED LETTERING USING HANDEL GOTHIC CAPITAL LETTERS 1-1/4" X 1/4" STROKE.
- HOLES PUNCHED PER CUSTOMER REQUEST.
- MOUNT (2) SIGNS BACK TO BACK WITHIN 12" OF F.D. SWITCH/PADLOCK.

11 FIRE DEPARTMENT ACCESS SIGN SCALE: NTS

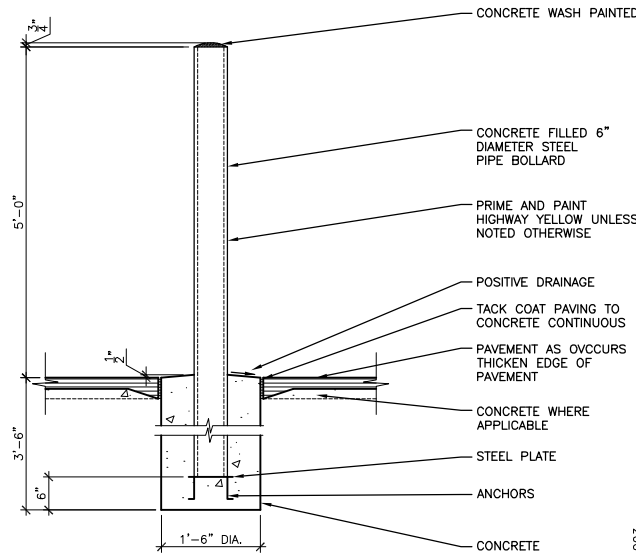


12 DUAL LOCK HASP DETAIL FOR MANUAL GATES SCALE: 1-1/2" = 1'-0"

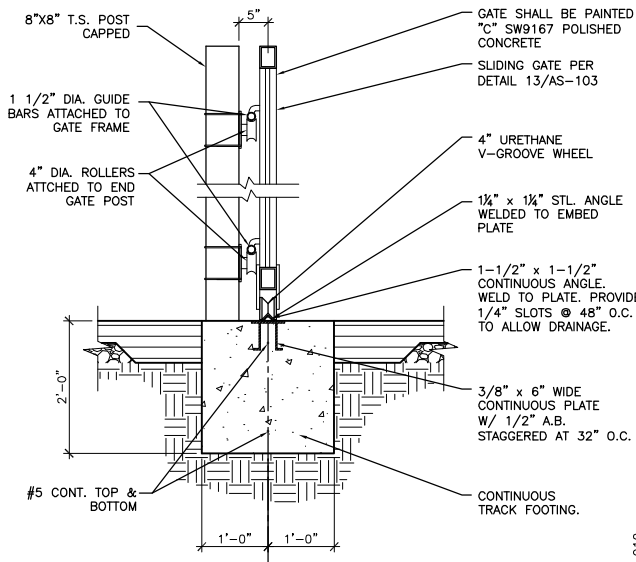


NOTE:
1. REFER TO CITY OF MESA DETAIL M-62.2 FOR ADDITIONAL NOTES

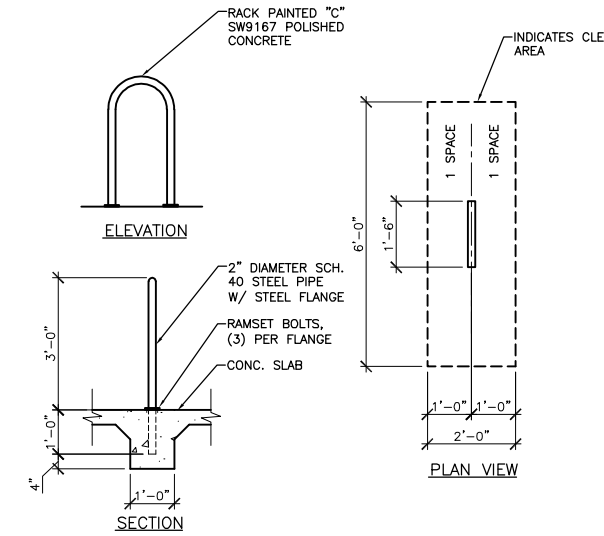
7 DOUBLE -WIDE BIN ENCLOSURE SCALE: 1/8" = 1'-0"



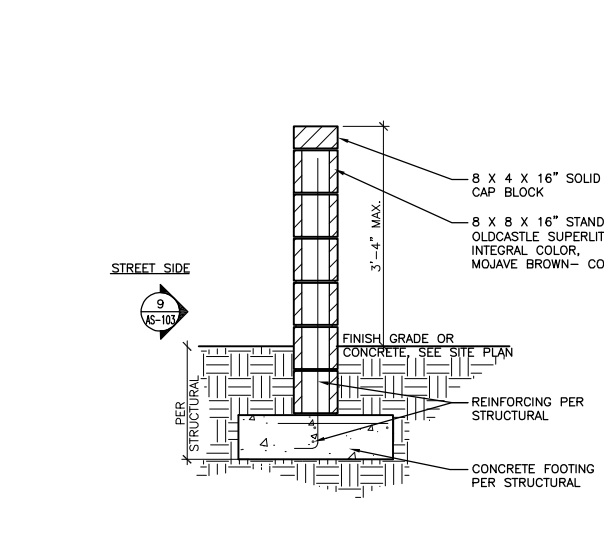
8 6" DIAMETER PIPE BOLLARD SCALE: 3/4" = 1'-0"



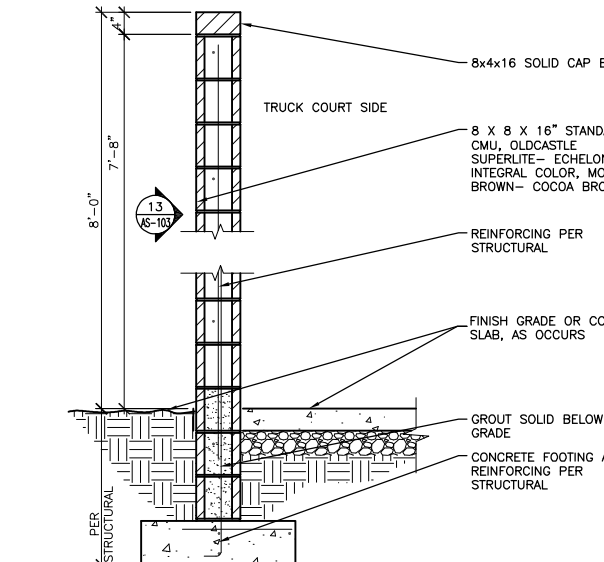
9 SECTION AT SLIDING GATE AND TRACK SCALE: 3/4" = 1'-0"



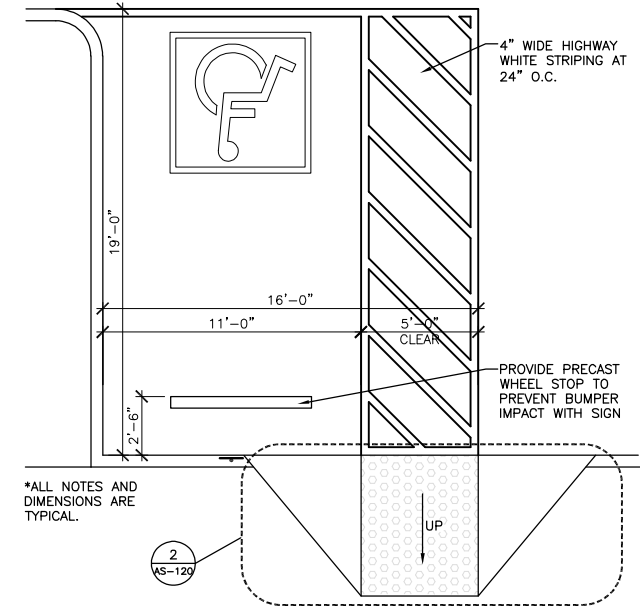
4 BICYCLE RACK DETAIL SCALE: 1/2" = 1'-0"



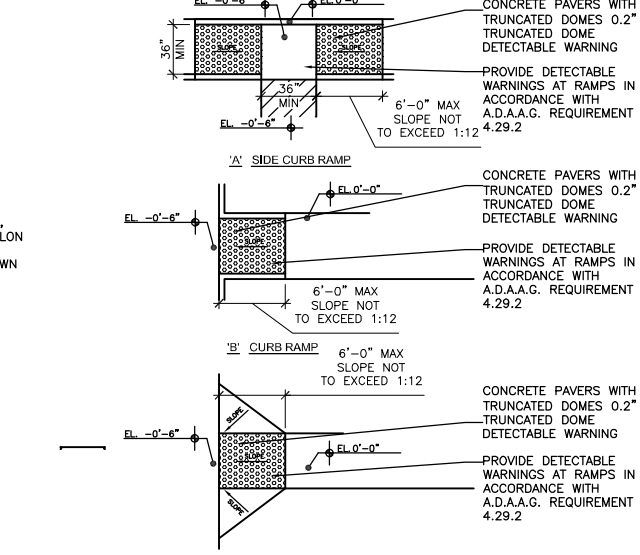
5 SECTION AT PARKING SCREEN WALL SCALE: 3/4" = 1'-0"



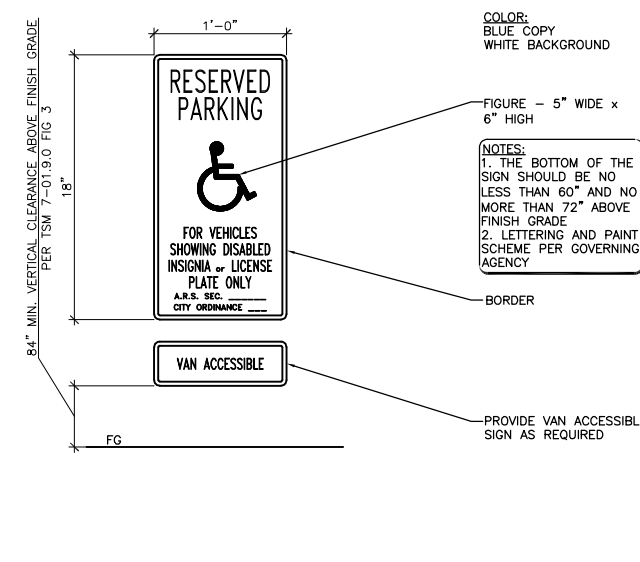
6 SECTION AT CMU SCREEN WALL SCALE: 3/4" = 1'-0"



1 UNIVERSAL ACCESSIBLE PARKING SPACE SCALE: 1/4" = 1'-0"



2 TYP. ACCESSIBLE CURB RAMPS - ON SITE SCALE: 1/8" = 1'-0"



3 ACCESSIBLE PARKING SIGN SCALE: 1 1/2" = 1'-0"



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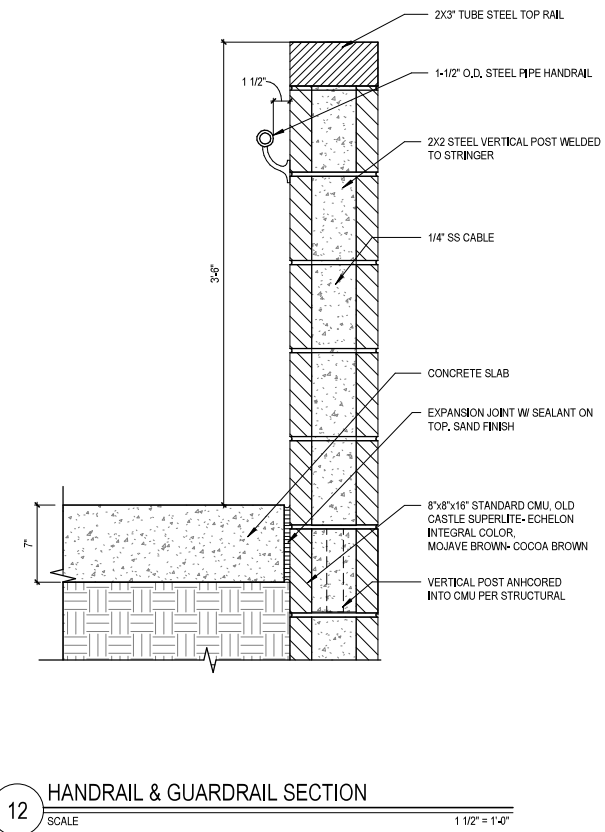
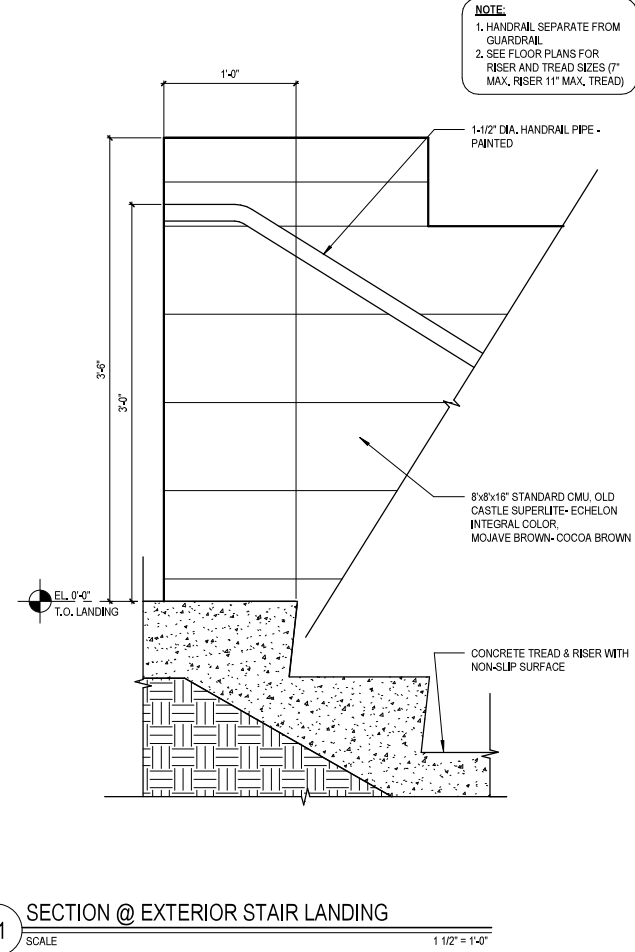
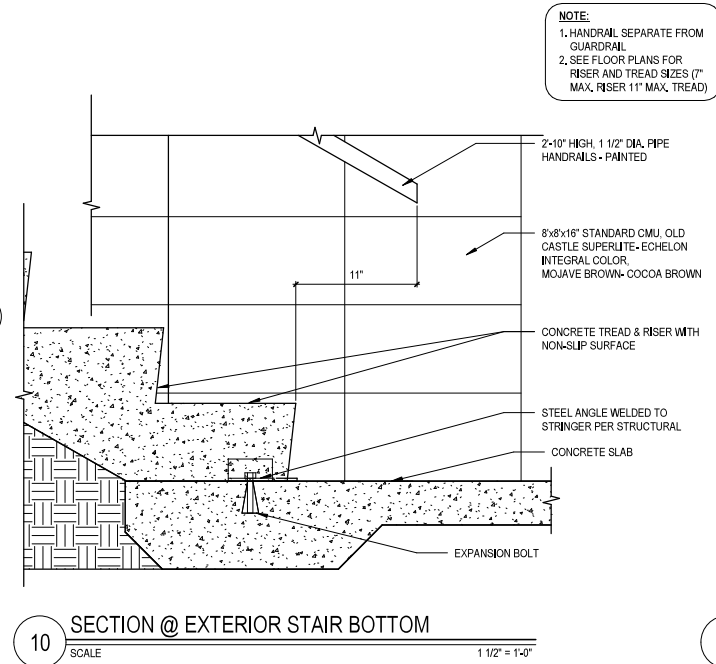
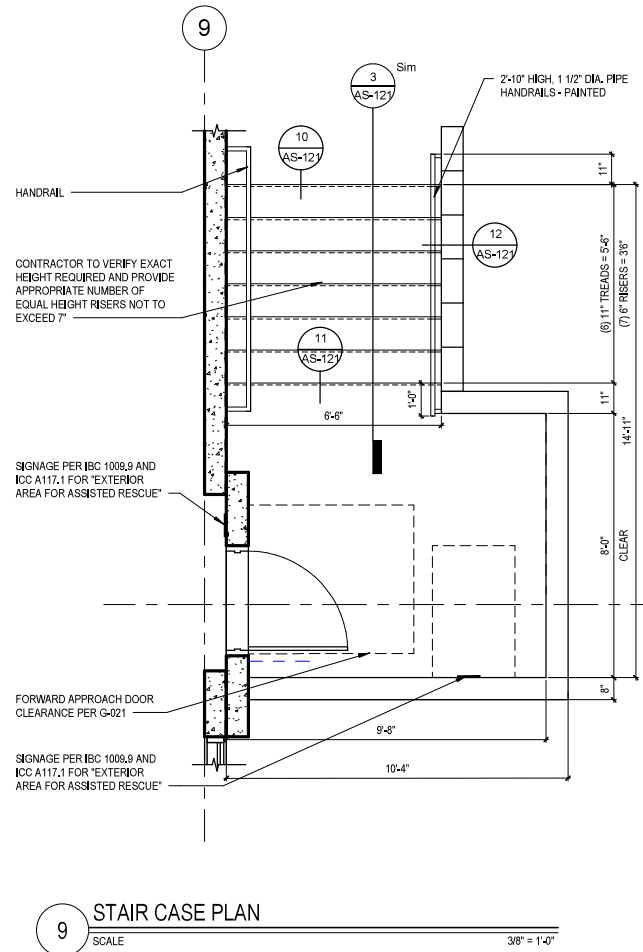
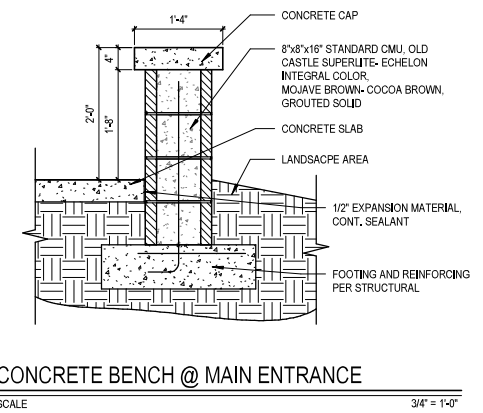
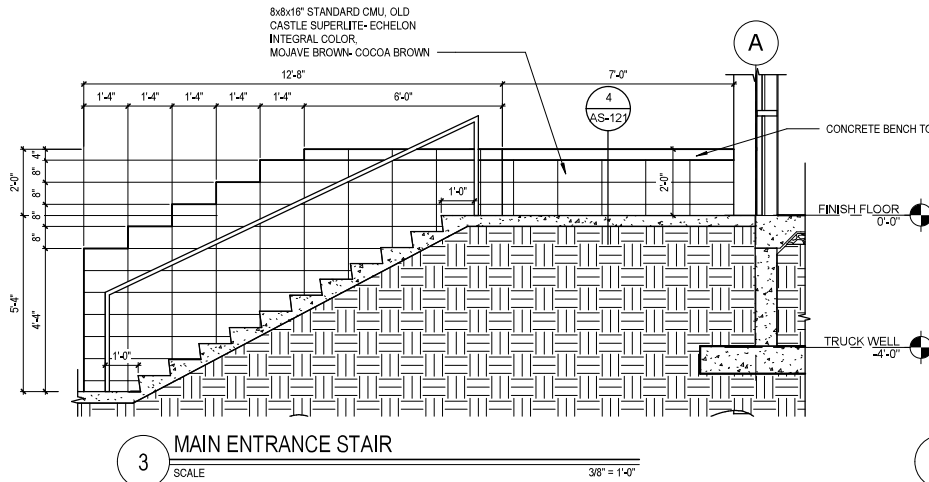
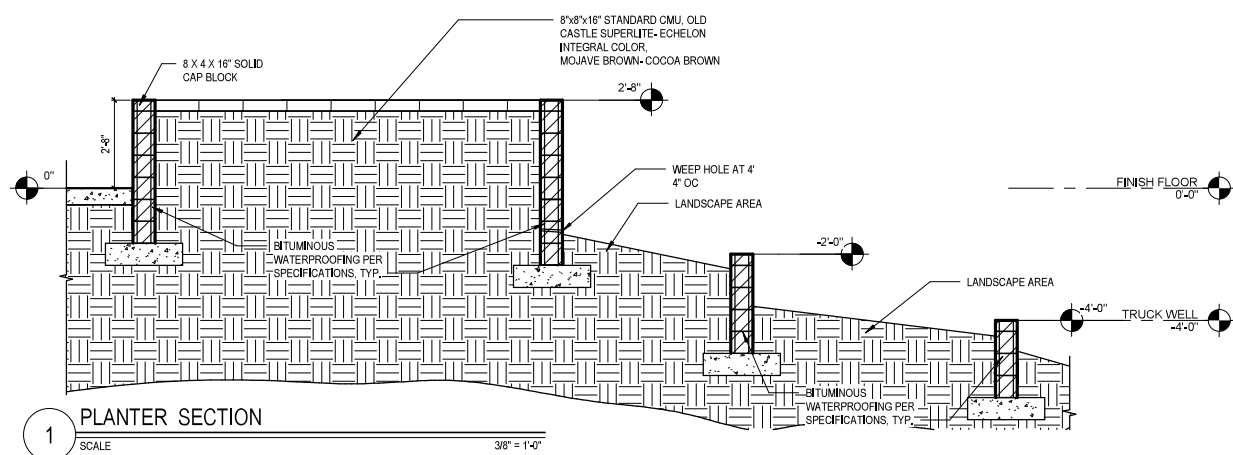
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SITE DETAILS

AS-120

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NOTE:
 1. HANDRAIL SEPARATE FROM GUARDRAIL
 2. SEE FLOOR PLANS FOR RISER AND TREAD SIZES (7" MAX. RISER 11" MAX. TREAD)

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 2. SEE FLOOR PLANS FOR RISER AND TREAD SIZES (7" MAX. RISER 11" MAX. TREAD)



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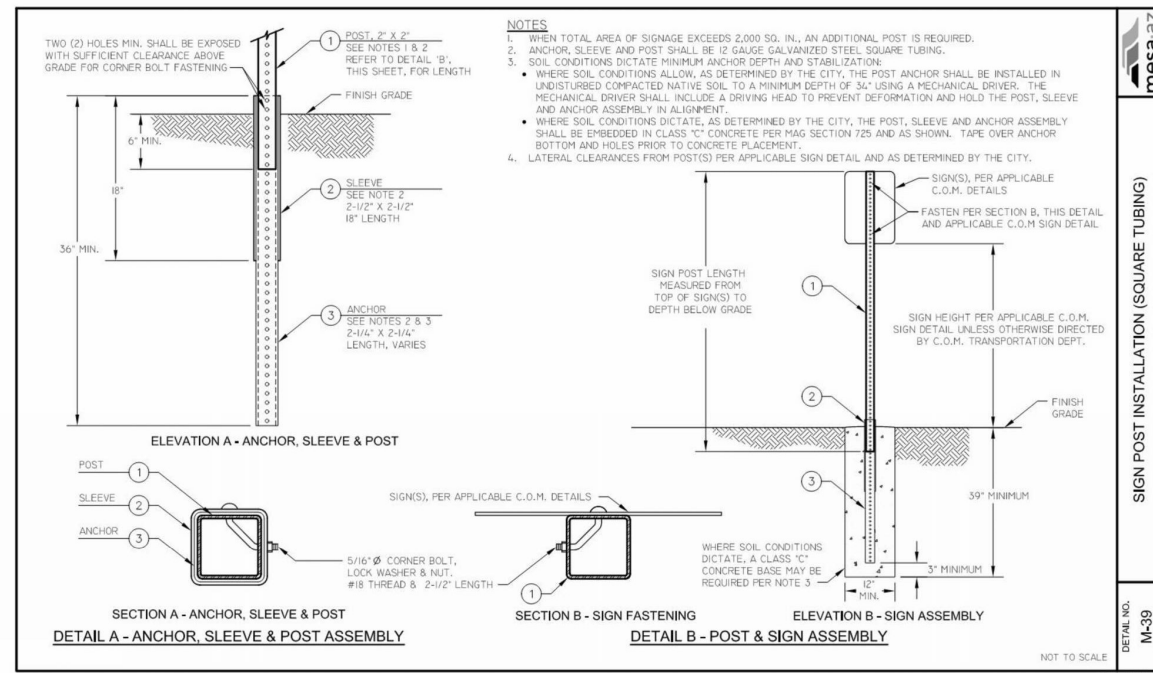
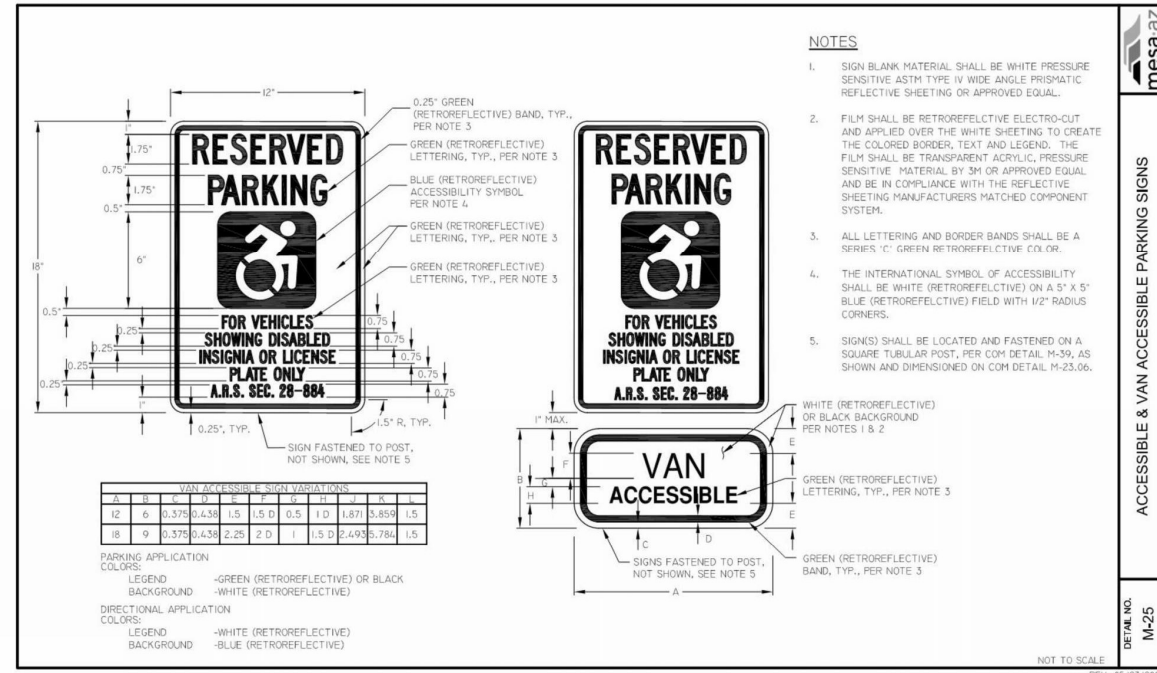
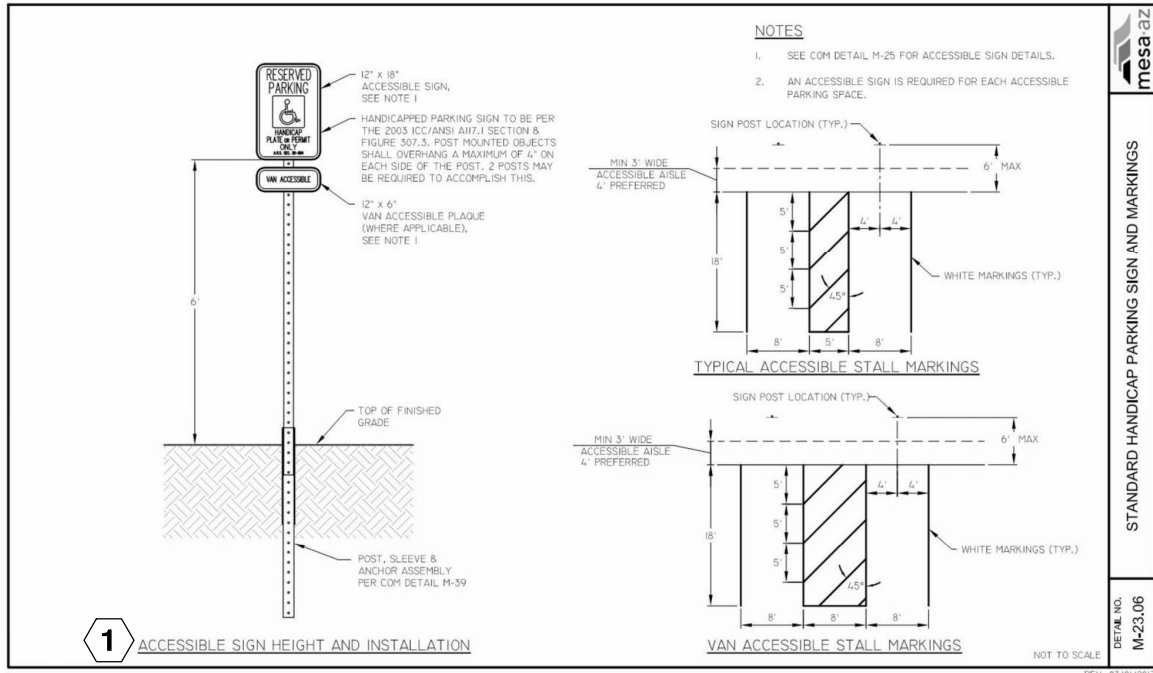
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SITE DETAILS

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CITY OF
STANDARD NOTES
AND DETAILS

AS-130

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