



August 12, 2024

Planning Division
City of Mesa
55 N. Center St.
Mesa, AZ 85211

RE: Extra Space Storage, 4450 E Southern Ave. Mesa, AZ
Parcel: 140-51-721 (Existing mini storage / RV storage) 311,416 S.F. (7.15AC)

Dear Staff,

Please accept this narrative for a proposed free standing mini storage building (Bldg. 'E') to replace a portion of on-site R.V. storage at the existing mini storage complex located at 4550 E. Southern Ave., (NE corner of Greenfield Rd. and Southern Ave.) This site has been a mini-storage and RV storage facility since 1986.

Per 2016 zoning case BA16-050, the existing zoning of this parcel is RS-6/PAD & LC. This request includes a proposed land division to create two parcels which will better accommodate current site RV storage & mini storage uses.

The first parcel to be 'LC/PAD', CUP, will include the existing mini storage and manager's buildings, and incorporate the new matching mini storage "Bldg. E".

The second parcel will comprise the remaining land, currently zoned 'RS-6, PAD', which will remain RV storage and storm water retention basin.

Since its inception as a part of the Sunland Village planned area subdivision, this property was originally allocated to provide RV storage for the residents of Sunland Village. As the property has matured, the nature of the onsite architecture has developed into a progression of regular, predictable, and understated forms, to lend this use to quietly blend into the existing residential fabric of the neighborhood. The conversion from existing RV storage to mini storage has continued to enhance the neighborhood by providing a more flexible type of (single story) storage while simultaneously removing the less appealing type of storage (i.e. recreation vehicles), from sight. This solution meets the intent of a Planned Area Overlay, in that it further organizes the two types of onsite storage in a comprehensive and thoughtful way while minimizing any effect on the neighborhood. The new mini storage building (Bldg. 'E') is planned as a single story (+/-25,000 SF) metal building to match the existing buildings, 'B', 'C', & 'D', in both style and construction. Buildings 'B' and 'C' were constructed in 2017, and building 'D' in 2022.

With respect to MZO Section 11-6-3, (size, massing, roof articulation, materials, etc.) alternative compliance is requested to match previously reviewed, approved, & constructed buildings onsite. It has been demonstrated (by 2017's P&Z & DRB board discussions along with neighbor's input via those CPPs) that this form of storage is more desirable to the existing RV storage with respect to reduced traffic & associated noise levels and the aesthetic difference between a clean single story building, verses open vehicular storage. By matching the existing mini storage buildings as closely as possible, the proposed project (accepting previously borne out findings) is aesthetically more complementary to the site by avoiding an irregularity in form, better fits into the context of the area by retaining a modest stature, improves the overall architectural appeal of the area via the conversion of storage types from exposed to enclosed, and meets the design objectives as described in the City's General Plan by adding to a clean, well-maintained physical facility which further limits potential of blight via

transitory open storage. Buildings 'B', 'C', & 'D', and proposed building 'E' are air conditioned and have fully automatic fire sprinkler systems.

This project decreases open RV storage and increases available interior mini storage services to neighborhood. By matching existing architecture, general development standards applied in 2017 and continued here will provide equal quality and further the inconspicuous nature on site while simultaneously avoiding an anomalous condition which would draw attention to this site. The resulting effect onsite converts open RV storage into a far more unassuming, quieter use on site. The overall modest aesthetic of this building will be reinforced through the addition of screen walls to hide A/C units, and by ensuring the portal walls (each side of overhead doors) mimic the tilt panel look seen on building 'A'. Portal walls of buildings 'B', 'C', & 'D' mimic concrete tilt-up portal walls of Bldg. 'A'

Further improvements shall be made to ensure screening from Southern Ave., and adjacent residential properties. This includes:

- Screening of existing open wrought iron fence with perforated metal panels over existing steel frames at a portion of existing site walls.*
- Existing wood fencing to be replaced with CMU fence walls as shown on site plan.*
- Existing gate to remain at Flower Circle to receive perforated metal panel screening to match main entry gates. Other gates at Flower Circle to be replaced with CMU fence wall to match existing.*
- All units on east sides of buildings shall be screened to 12" above units.*
- Fire riser equipment to be painted to match building main color.*

Accommodation of the proposed building will require only minor reconfiguration of existing onsite drainage, converting existing asphalt paved area to new roofed building area. A vehicular cross access easement can be established between LC/PAD zoning and the existing RS-6/PAD zoning.

Parking reduction of one space less than required is requested to avoid unnecessary constriction of limited existing space at entry. No additional parking is needed as existing spaces are ample for this business. No additional spaces have been identified by owner as needed to function.

All existing on site landscaping has been reviewed and approved under zoning regulations adopted at times of development. With respect to what will be the new 'Parcel 1', all existing mature plant material, in existing perimeter landscape buffers, shall be protected and maintained during construction.

Existing ingress/egress for the site shall remain from the main entrance at Southern Avenue. Secondary Fire Dept. access will remain at the existing gate at Flower Circle.

During review, staff has indicated that a 'PAD' overlay be pursued to accommodate differences between current zoning standards for an 'LC' zone and onsite conditions that have developed under previous years' adopted zoning ordinances. This overlay will allow for the project to exist as a further continuation of existing enclosed mini storage (vs exposed RV storage) without creating an anomalous building onsite that would disrupt circulation and potentially create confusion navigating the site.

These standards, and proposed overlay standards, are itemized as follows:

Base Zone vs PAD Overlay Comparison Table

	'LC' Zone Requirement	Proposed 'PAD' Standard
(PRS-Site Plan #2) Lot Coverage- Sec. 11-6-3.A: Development Standards	80%	90.5% (Existing paved area to become building footprint)
(PRS-Fencing #2) Front Yard Fence Wall- Sec. 11-30-4(B)(1) Fences	Front yard wall 3.5' High max.	Existing 8' high front masonry fence wall to remain
(ZON-#10-3) Trash and Refuse Collection Areas-	Solid waste enclosure shall not be located in	Existing solid waste enclosure to remain in existing landscape

Sec. 11-30-12-Enclosure Location	landscape area	area
(ZON-#11-1-Parking) Parking- Sec. 11-30-9(H) Screening	Parking shall be screened with wall 32" to 40" high	No screen wall existing; mature landscaping to remain undisturbed.
(ZON-#11-3-Parking) Parking- Sec. 11-32-4(A) Parking Setback	Parking shall be 50' set back from property line	Existing H/C parking is 36'-10"- to remain Remaining parking is 65'-0"
(ZON-#11-5-Parking) Parking- Table 11-32-3(A) Parking Required	4 spaces plus 2 for manager's quarters	5 existing striped spaces- to remain- (many parking areas inside existing site)
(ZON-#14-4a-Landscaping)	15' landscape yard on property line at R/W	No existing landscape setback
(ZON-#14-7-Landscaping) Sec. 11-33-4(B) Landscape Islands	8' x 15' landscaped parking islands at end of each row	Existing absent and/or non-conforming islands to remain
Sec. 11-33-4(D) Landscape Islands	One tree & three shrubs for every 15' of island	Existing absent and/or non-conforming islands to remain
(ZON-#14-9-Landscaping) 11-33-5(B) Landscape Area in Foundation Base- At Storage Bldgs	Landscape area equal to 25% length of bldg.	No existing landscape areas at existing storage bldgs.
(ZON-#14-10-Landscaping) 11-33-5(1) Landscape Area in Foundation Base- At Office Bldg	15' foundation base landscaping at walls with public entrance	Existing 4' mature foundation base landscaping to remain

(PRS-Landscaping #10) Landscaping- At Storage Bldgs Foundation Base along Exterior Walls 11-33-5(A)(2)	5' wide foundation base	Match existing buildings on site- No foundation base adjacent to drive aisles.
(PRS-Landscaping #14) Landscaping- At Office Bldg Landscape Area in Foundation Base 11-33-5(B)	(1) tree per 50 linear feet or less of exterior wall- (10% 36" box -all other 24" box)	Existing mature landscaping to remain.
Landscaping- Perimeter Landscaping- Southern Ave ROW MZO Table 11-33-3.A.4	1 tree and 6 shrubs per 25 linear feet of street frontage	Existing mature landscaping to remain.
Landscaping- Perimeter Landscaping- Adjacent to Single Family 11-33-3(B)(1)	25' landscape yard	No yard available on east & North property lines- existing drive aisles- to remain
Landscaping- Perimeter Landscaping- Adjacent to Single Family 11-33-3(B)(1)	Landscape yard to be decomposed granite	No yard available on east & North property lines- existing drive aisles- to remain
Landscaping- Perimeter Landscaping- Adjacent to Non-Single Family 11-33-3(B)(2)	15' landscape yard	No yard available on west property line- existing drive aisles- to remain
Landscaping- Perimeter Landscaping- Adjacent to Non-Single Family 11-33-3(B)(2)	Landscape yard to be decomposed granite	No yard available on west property line- existing drive aisles- to remain

Alternative Compliance Request Table

(PRS-Elevations #5) Site Planning and Design Standards Sec. 11-6-3(B)(2)	Roof Articulation	**Request Alternate Compliance** iv. The proposed alternative is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and/or meets or exceeds the design objectives as described in the City's General Plan. <i>Proposed building to match existing buildings B, C, & D, on site</i>
(PRS-Elevations #6) Site Planning and Design Standards 11-6-3(B)(5)	a. Pre-engineered metal buildings are not allowed in the commercial and	**Request Alternate Compliance** iv. The proposed alternative is

<p>(PRS-Elevations #6) Site Planning and Design Standards 11-6-3(B)(5)</p>	<p>mixed-use districts.</p>	<p>aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and/or meets or exceeds the design objectives as described in the City's General Plan.</p> <p><i>Proposed building to match existing buildings B, C, & D, on site</i></p>
<p>(PRS-Elevations #6) Site Planning and Design Standards 11-6-3(B)(5)</p>	<p>c. To reduce the apparent massing and scale of buildings, facades shall incorporate at least three (3) different and distinct materials.</p>	<p>**Request Alternate Compliance** iv. The proposed alternative is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and/or meets or exceeds the design objectives as described in the City's General Plan.</p> <p><i>Proposed building to match existing buildings B, C, & D, on site</i></p>

<p>(PRS-Elevations #6) Site Planning and Design Standards 11-6-3(B)(5)</p>	<p>d. No more than fifty percent (50%) of the total facade may be covered with one (1) single material.</p>	<p>**Request Alternate Compliance** iv. The proposed alternative is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and/or meets or exceeds the design objectives as described in the City's General Plan.</p> <p><i>Proposed building to match existing buildings B, C, & D, on site</i></p>
<p>(PRS-Elevations #6) Site Planning and Design Standards 11-6-3(B)(5)</p>	<p>h. All Side Architecture. Architectural detailing on facades may vary depending on visibility and orientation; however, all publicly visible facades shall provide equivalent architectural detailing commensurate with the main façade.</p>	<p>**Request Alternate Compliance** iv. The proposed alternative is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and/or meets or exceeds the design objectives as described in the City's General Plan.</p> <p><i>Proposed building to match existing buildings B, C, & D, on site</i></p>
<p>Site Planning and Design Standards 11-6-3(B)(5)</p>	<p>a. Base and Top Treatments. All facades shall have a recognizable “base” and “top”.</p>	<p>**Request Alternate Compliance** iv. The proposed alternative is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and/or meets or exceeds the design objectives as described in the City's General Plan.</p> <p><i>Proposed building to match existing buildings B, C, & D, on site</i></p>

Council Use Permit

The current zoning ordinance requires a CUP for a mini storage use in a LC zone.

Stipulations for compliance with CUP requirements are as follows:

A CUP shall only be granted if the approved body determines that the project conforms to all the following criteria in Section 11-70-6(D) of the MZO and listed below:

- a. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies:
Response: *This proposed project will better improve underdeveloped and underutilized areas of the site with matching mini storage units which will further provide this service to serve the surrounding residential trade area with minimal disturbance.*

- b. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;
Response: *As an extension of the current use of the property, this project will further establish the current business as a stable presence in the neighborhood and create an extension of well-established services available to local residents.*

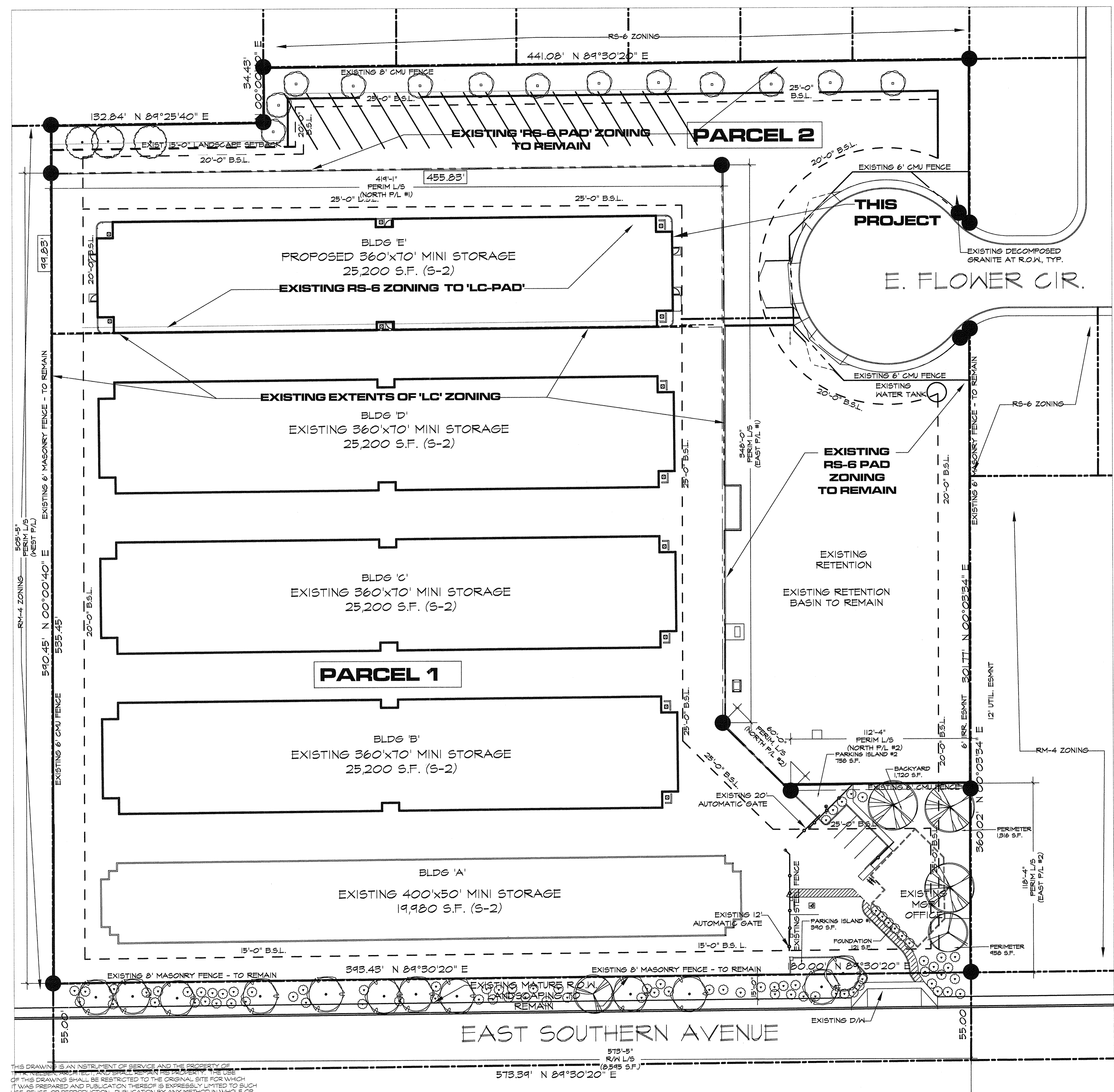
- c. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City;
Response: *This project shall have no unfavorable effects on neighboring properties. The replacement of existing paved outdoor RV storage area with new matching mini storage building will further improve the property while removing a portion of the site's less favorable outdoor storage type and continue to allow existing RV storage along the North property line which has existed since 1986.*

- d. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.
Response: *All required infrastructure exists readily available onsite and is as close as nearest adjacent building.*

Please feel free to contact me with any questions at 480-797-7548.

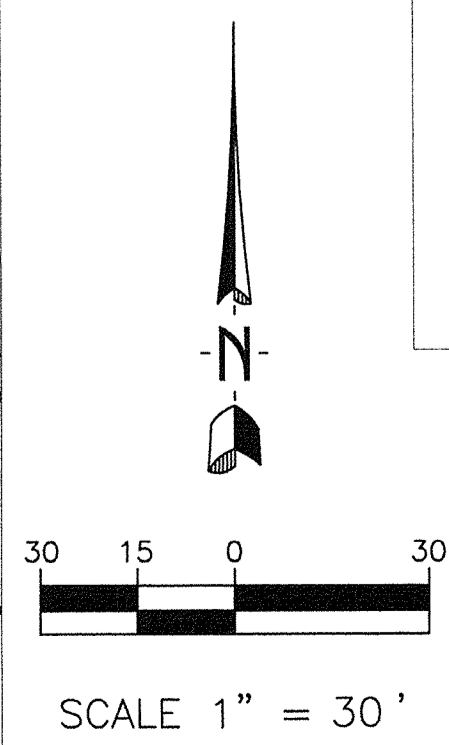
Sincerely,

Tim Nielsen
Architect



Landscape Data

Site Area (Net) - Parcel 1: 23,146 S.F. (0.5306 Acres)		
Landscape Area - Parcel 1: 22,070 S.F.		
Required Open Space: (5 S.F./1000 S.F. Floor Area) 125,001 S.F. / 5 = 24,600 S.F. Live Plant Area Required - 12,300 S.F.		
Landscape Coverage: Existing Available Landscape Area: 22,070 S.F. Existing Live Plant Area Provided (Parcel 1 only): 1175 S.F. Evergreen: 1x100 S.F. = 100 S.F. Shade Tree: 3x50 S.F. = 150 S.F. Shrub (Lg): 1x50 S.F. = 50 S.F. Shrub (M): 5x25 S.F. = 125 S.F. Shrub (Sm): 5x10 S.F. = 50 S.F. Landscape Coverage: 3.5%		
Plant Quantities:		
Right of Way - Existing - Off Site Southern Ave. Frontage (575 L.F.) 1 tree per 25 L.F. 6 shrubs per 25 L.F.	Required	Provided
	23 trees	15 trees
	138 shrubs	64 shrubs
BLDG Foundation - Mgr's Office Foundation Planting (106 L.F.) 1 tree per 50 L.F. of ext. wall 10% of trees to be 36" box	Required	Provided
	2 trees	2 trees
	1 tree	existing mature
BLDG Foundation - Building 'E' Foundation Planting (140 L.F.) 1 tree per 50 L.F. of ext. wall 10% of trees to be 36" box	Required	Provided
	3 trees	None - drive aisle to match existing
	1 tree	---
Perimeter North Property Line 1 - 419 L.F. 25' yard req'd w/ 4 trees per 100 L.F. 20 shrubs per 100 L.F.	Required	Provided
	17 trees	None - (existing drive aisle)
	84 shrubs	None - (existing drive aisle)
North Property Line 2 - 112 L.F. 25' yard req'd w/ 4 trees per 100 L.F. 20 shrubs per 100 L.F.	Required	Provided
	7 trees	2 existing to remain
	35 shrubs	2 shrubs
East Property Line 1 - 548 L.F. 25' yard req'd w/ 4 trees per 100 L.F. 20 shrubs per 100 L.F.	Required	Provided
	14 trees	None - (existing drive aisle)
	70 shrubs	None - (existing drive aisle)
East Property Line 2 - 118 L.F. 15' yard req'd w/ 4 trees per 100 L.F. 24 shrubs per 100 L.F.	Required	Provided
	5 trees	2 trees
	24 shrubs	4 shrubs
West Property Line - 505 L.F. 15' yard req'd w/ 3 trees per 100 L.F. 20 shrubs per 100 L.F.	Required	Provided
	16 trees	None - (existing drive aisle)
	101 shrubs	None - (existing drive aisle)
Parking Lot Parking Islands 1 tree per 15' parking islands 3 shrubs per 15' parking islands	Required	Provided
	4 trees	1 existing to remain
	4 trees	0 trees
	12 shrubs	3 shrubs
Tree Sizes:		
Right of Way (29 Total) 36" box (25% Min.) 24" box (50% Min.)	Required	Provided
	8 trees	Existing Mature
	15 trees	
Perimeter (4 Total) 36" box (25% Min.) 24" box (50% Min.)	Required	Provided
	1 tree	Existing Mature
	2 trees	
Parking Lot (3 Total) 36" box (10% Min.) 24" box (all others req'd)	Required	Provided
	1 tree	0 trees
	2 trees	



EXISTING LANDSCAPE PLAN

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GRADING AND DRAINAGE PLAN
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 27,
TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE G.&S.R.B.&M.,
MARICOPA COUNTY, ARIZONA

DEMOLITION NOTE

SEE ARCHITECT'S PLANS FOR ITEMS TO BE REMOVED

CONSTRUCTION NOTES

- 1 2" AC ON 6" ABC.
- 2 CONCRETE VALLEY GUTTER PER MAG 240 (MODIFIED TO 2' WIDE).
- 3 SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT IN KIND (2" AC OVER 6" ABC MIN).
- 4 6" VERTICAL CURB & GUTTER PER MAG 220-1 TYPE A.
- 5 CHAIN LINK FENCE PER ARCHITECT'S PLANS.
- 6 20' ROLLING GATE PER ARCHITECT'S PLANS.
- 7 2' CURB OPENING WITH 120 SF OF 8" THICK RIPRAP (D50=4") TO BOTTOM OF BASIN.
- 8 "U" SHAPED HEADWALL PER MAG 501 WITH SAFETY RAILING PER C.O.M. DTL M-65 WITH 25 SF OF 8" THICK RIPRAP (D50=4").
- 9 RETROFIT EXISTING DRIVEWAY PER C.O.M. DTL M-40.03.
- 10 4" EXTRUDED CURB.

STORM DRAIN NOTES

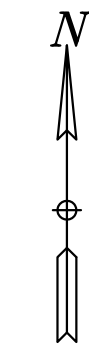
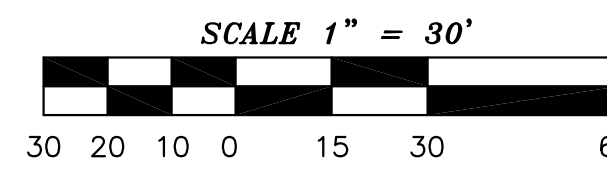
- 1 125' LONG, 10' DIA. (3"x1" CORRUGATIONS, GALVANIZED, 16 GAUGE) UNDERGROUND RETENTION TANK (INV=80.0 NORTH AND INV=79.5 SOUTH.) INSTALL 1/4" SOLID STEEL PLATE AT EACH END (WELDED). ALL JOINTS IN UNDERGROUND PIPE SHALL BE WATER TIGHT MANUFACTURED JOINTS. UNDERGROUND RETENTION STORAGE TANK SYSTEM TO BE INSTALLED PER MAG SPEC 621.
- 2 ACCESS MANHOLE DRAIN PER DETAIL #1 SHEET 4.
- 3 12" STORM DRAIN.
- 4 18" STORM DRAIN.
- 5 CATCH BASIN PER MAG STD DTL 535.
- 6 SUMP PUMP PER DETAIL SHEET 4. PUMP DESIGNED FOR 28 GPM @ 16' OF HEAD.
- 7 2" SCH 80 PVC FROM SUMP PUMP TO CATCH BASIN. CONNECT PVC TO CATCH BASIN. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES ALONG PATH PRIOR TO CONSTRUCTION.

RETENTION CALCULATIONS

OFFSITE AREA DRAINAGE TO EXISTING RETENTION BASIN = 375100 SF
 ONSITE DRAINAGE AREA = 311457 SF
 C(OFFSITE) = 0.85
 C(ONSITE) = 0.90
 PRECIPITATION AMOUNT = 2.15" (0.18")
 VOLUME REQUIRED = (375100(0.85) + 311457(0.90)) * 0.18" = 107846 CF
 ABOVE GROUND UNDERGROUND
 VOLUME PROVIDED = (34032 SF + 21968 SF)*3.5' + 130' * 78.54 SF = 108210 CF
 RETENTION TO BE BLEED OFF TO EXISTING CATCH BASIN ON SOUTHERN AVENUE

LEGEND

- TC TOP OF CURB
- C CONCRETE
- G GUTTER
- GR GRADE
- INV INVERT
- LF LINEAR FEET
- P PAVEMENT
- EX EXISTING
- SY SQUARE YARDS
- ◆ GRADE BREAK



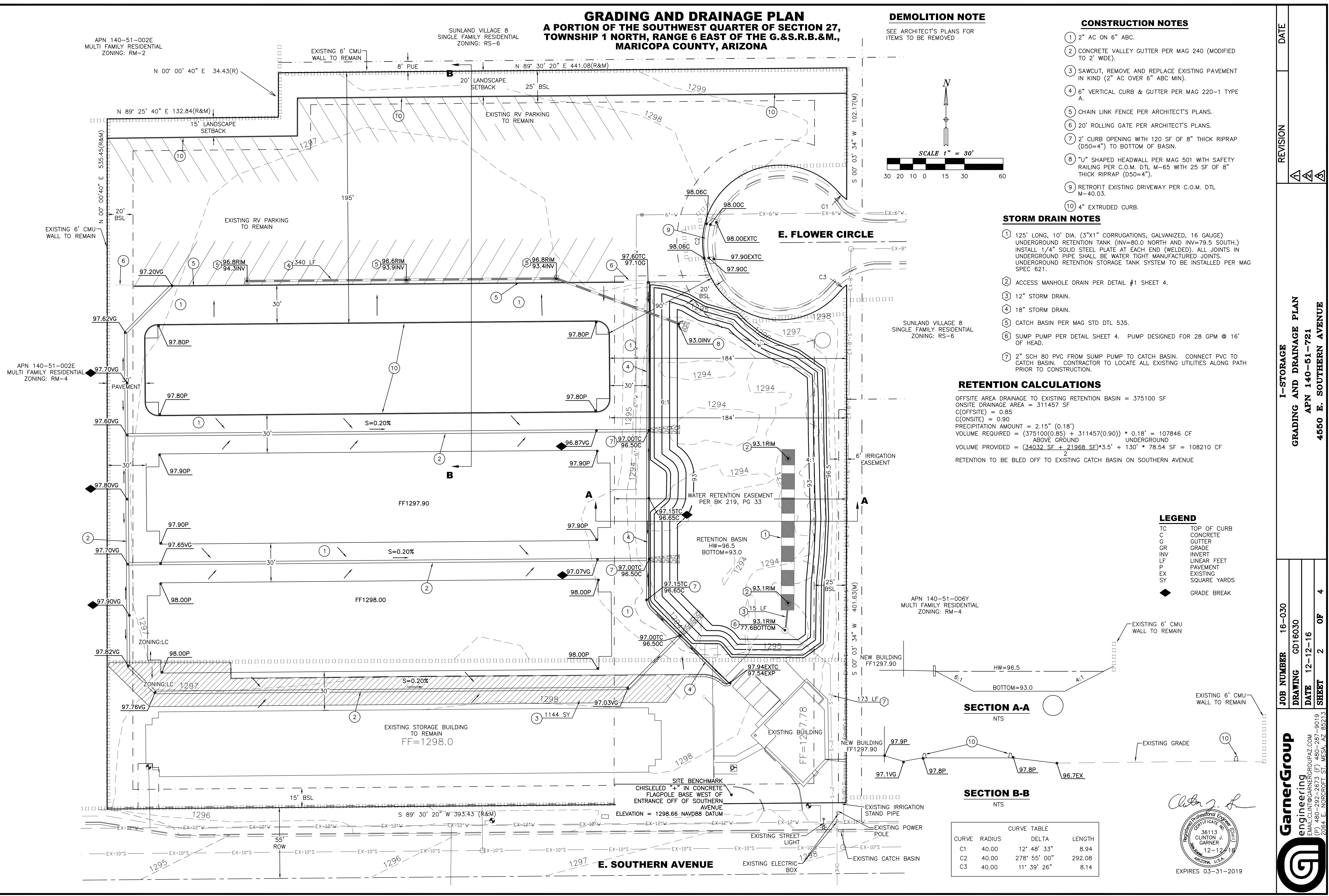
APN 140-51-002E
MULTI FAMILY RESIDENTIAL
ZONING: RM-2

SUNLAND VILLAGE 8
SINGLE FAMILY RESIDENTIAL
ZONING: RS-6

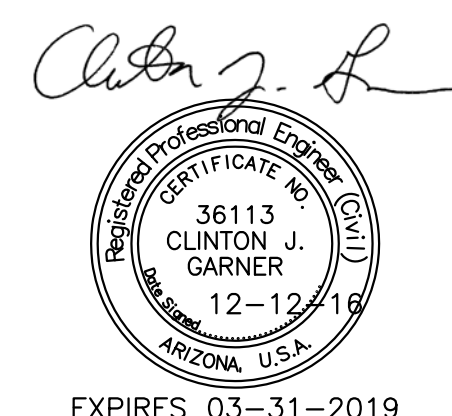
SUNLAND VILLAGE 8
SINGLE FAMILY RESIDENTIAL
ZONING: RS-6

APN 140-51-006Y
MULTI FAMILY RESIDENTIAL
ZONING: RM-4

APN 140-51-002E
MULTI FAMILY RESIDENTIAL
ZONING: RM-4



CURVE TABLE			
CURVE	RADIUS	DELTA	LENGTH
C1	40.00	12' 48" 33"	8.94
C2	40.00	278' 55" 00"	292.08
C3	40.00	11' 39" 26"	8.14



EXPIRES 03-31-2019

I-STORAGE
GRADING AND DRAINAGE PLAN
 APN 140-51-721
 4550 E. SOUTHERN AVENUE

JOB NUMBER 16-030
 DRAWING GD16030
 DATE 12-12-16
 SHEET 2 OF 4

GarnerGroup
 engineering
 EMAIL: CLINT@GARNERGROUP.COM
 (P) 480-292-2673 (F) 480-287-9019
 2064 E. NORGRÖTT ST., MESA, AZ 85213



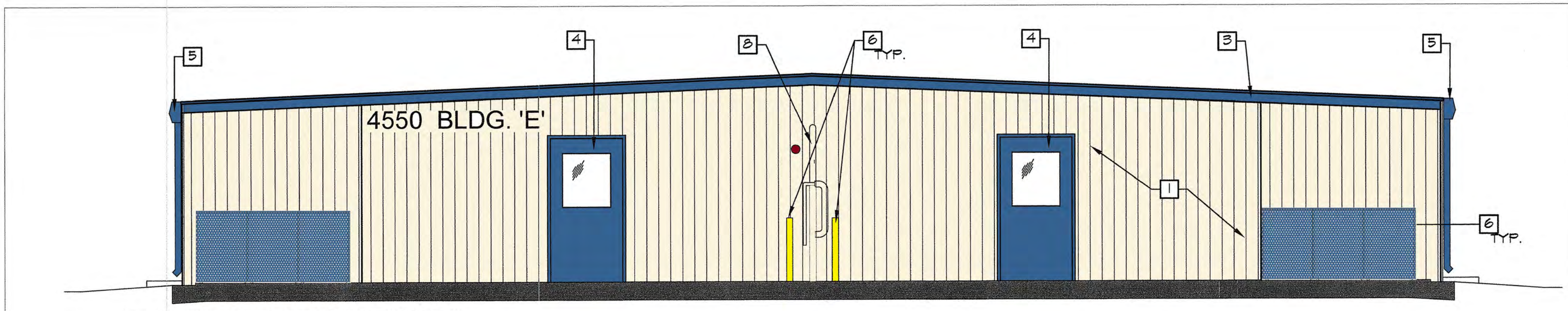
REVISION

A
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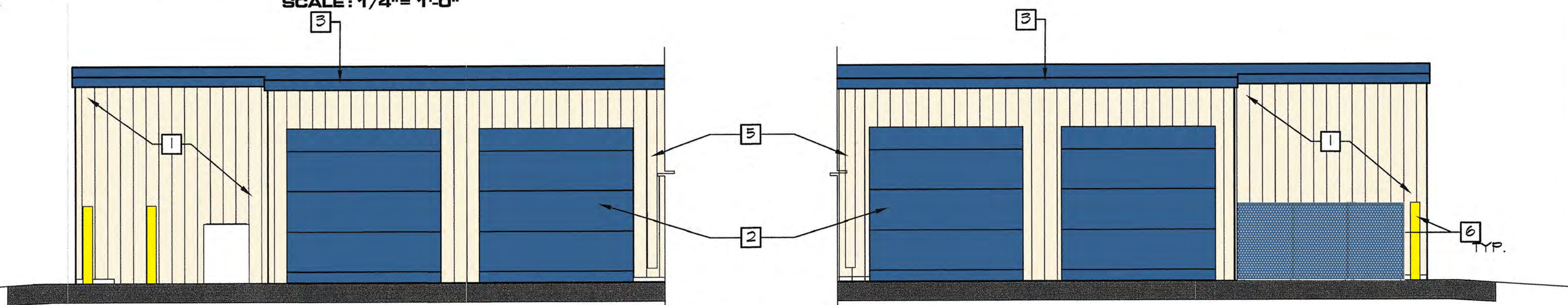
DATE



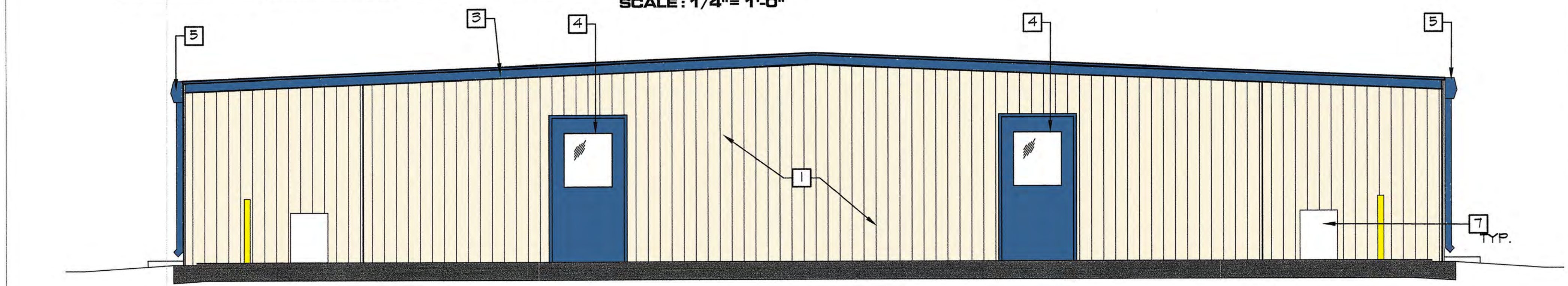
OVERALL ELEVATION
SCALE: N.T.S



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH/SOUTH ELEVATIONS (TYP.)
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

KEYNOTES

1. Pre-fabricated & pre-finished steel siding.
2. Pre-finished overhead doors and hollow metal frames.
3. Pre-finished roof trim.
4. Hollow metal egress doors and frames.
5. Pre-finished gutter & downspout.
6. 4" Steel (conc. filled) pipe bollard.
7. Ground mounted HVAC unit.
8. Fire Riser apparatus.

Color Selections (To Match Existing)

Component	Color
Wall Panels	Ash Gray
Door Trim (Head/Jamb Trim)	Ash Gray
Doors	McElroy Metal-Regal Blue
Roof Panels, Eave Trim, Gutters, Ridge Cap	McElroy Metal-Regal Blue
Downspout	McElroy Metal-Regal Blue

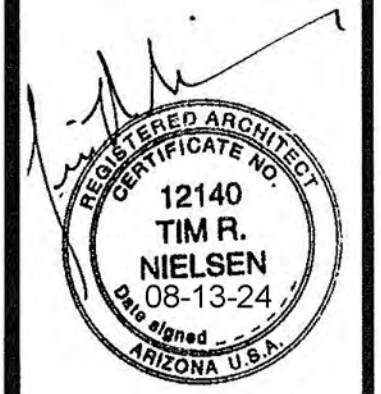


ELEVATIONS



FARNWORTH CONSTRUCTION CO.
4447 E. Broadway Rd., Suite 109
Mesa, Arizona 85206

NEW BLDG. 'E' FOR:
EXTRA SPACE STORAGE
4550 EAST SOUTHERN AVE.
MESA, ARIZONA



Job #: xx-000000

Date: 11-29-2023

Rev:

A3.0

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B

FACP



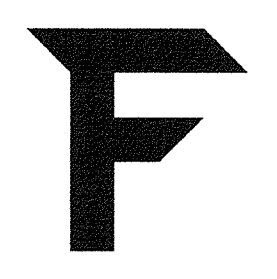






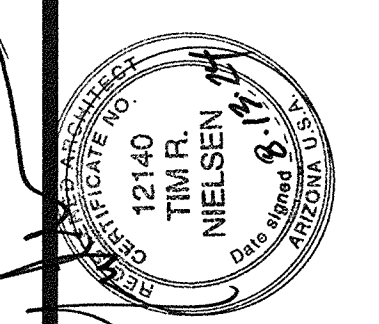
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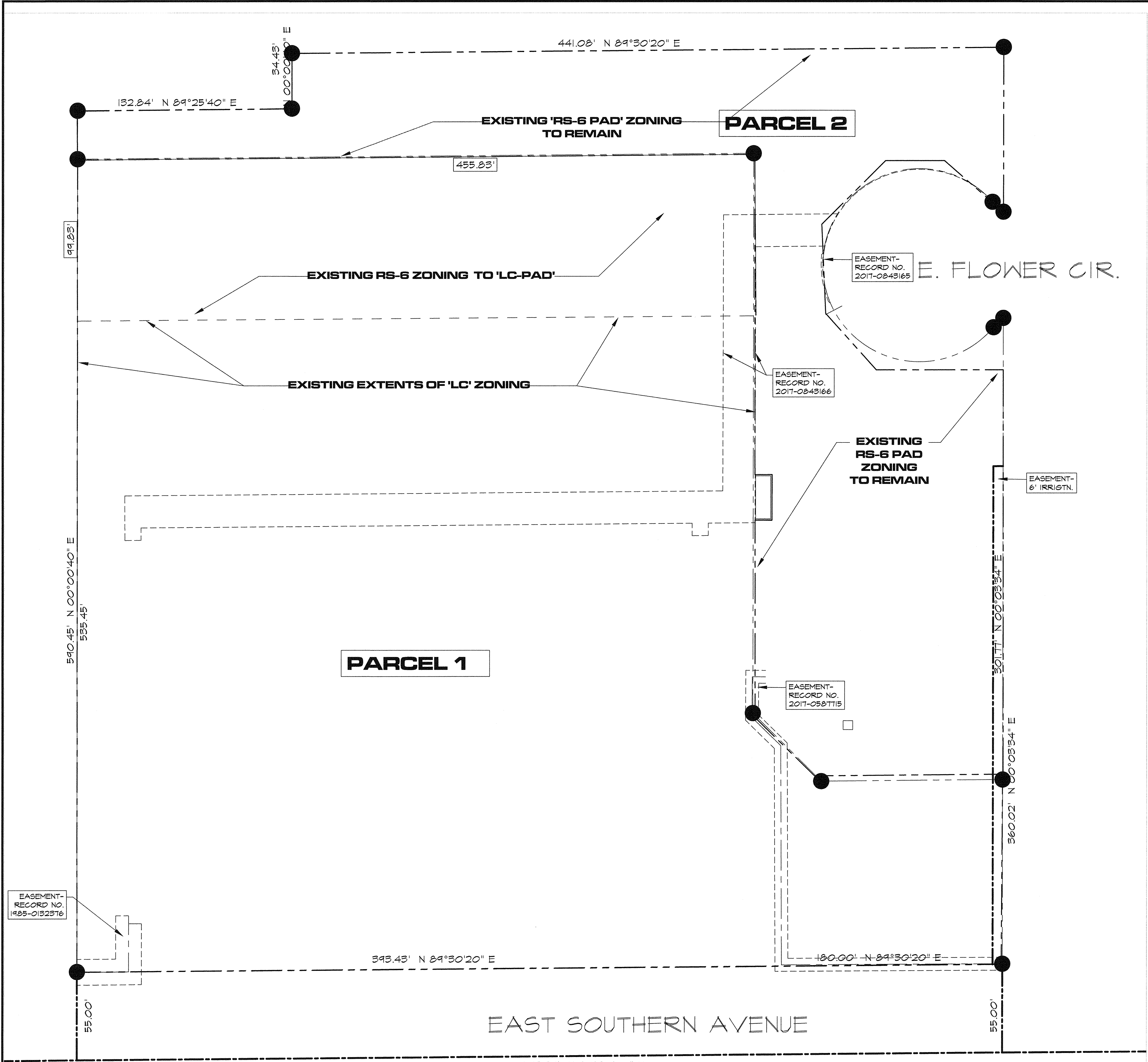
FARNSWORTH CONSTRUCTION CO.
 4447 E. Broadway Rd., Suite 109
 Mesa, Arizona 85206

NEW BLDG. 'E' FOR:
EXTRA SPACE STORAGE
 4550 EAST SOUTHERN AVE.
 MESA, ARIZONA

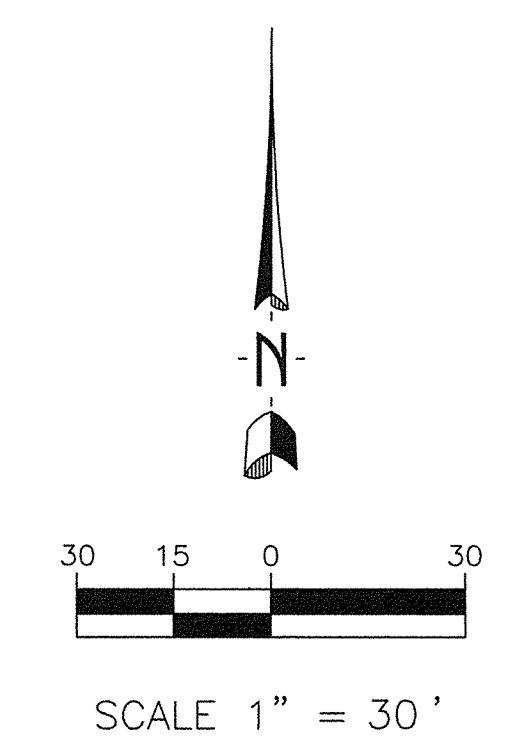
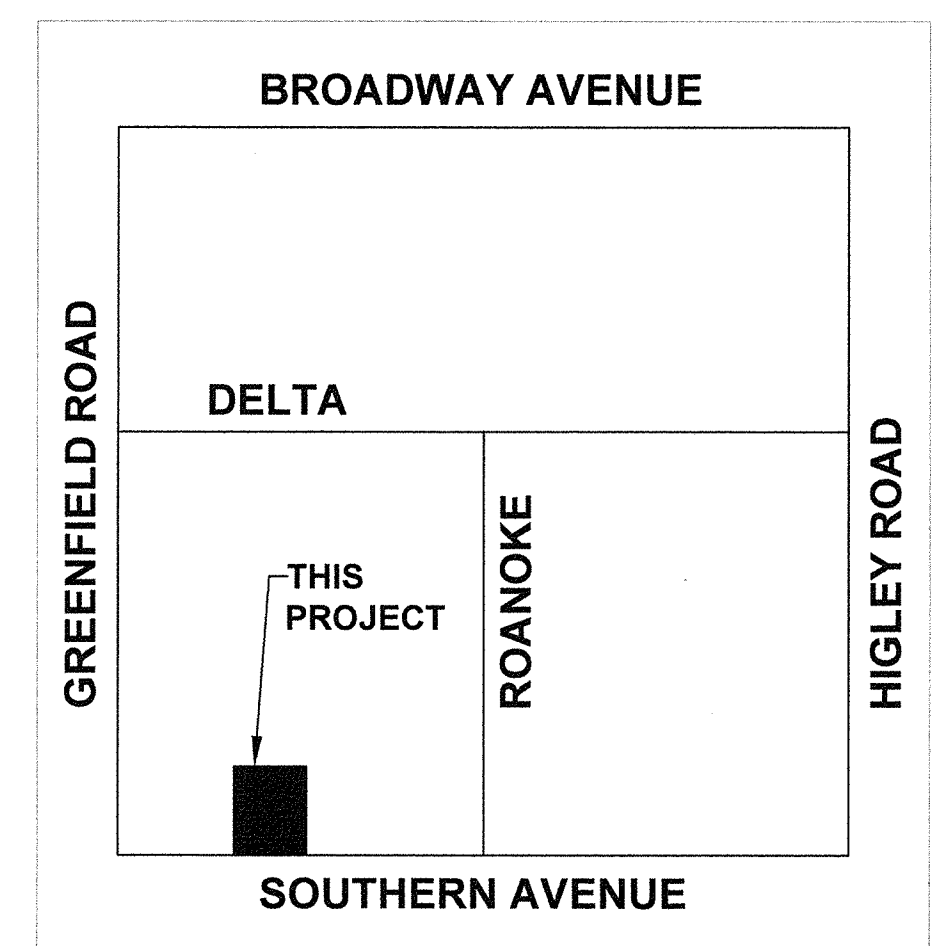


Job #: xx-000000
 Date: 1-25-2024
 Rev: 3-15-2024
 5-17-2024
 8-12-2024

A0.1



Vicinity Map



LOT SPLIT PLAN

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Citizen Participation Plan for: Extra Space Storage – Building ‘E’

Date: December 5, 2023

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of an application for Extra Space Storage. This site is located at 4550 East Southern Ave., east of the Northeast corner of Greenfield Road and Southern Ave., and is an application for a Re-zone and Council Use Permit to allow the conversion of existing RV storage area to expand the existing mini storage use on site. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Tim Nielsen
4447 E. Broadway Rd., Suite 109
Mesa, Arizona 85206
(480) 797-7548
email: trn.arch@gmail.com

Pre-application Meeting: The pre-application meeting with City of Mesa planning staff was held on November 23, 2021. Staff reviewed the application and recommended that adjacent residents, and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
 - ☐ All property owners within 500' of the project.
2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan and invitation to contact applicant via phone and/or email to discuss the project, ask questions, and state concerns. A list will be kept of all communications, and any comments will be given to the City of Mesa Planner assigned to this project.
3. Presentations will be made to groups of citizens or neighborhood associations upon request.

Schedule:

Pre-application meeting – November 23, 2021
Application Submittal – December 5, 2023
Submittal of Citizen Participation Report and Notification materials – TBD
Planning and Zoning Board Hearing – TBD
City Council Hearing - TBD

Citizen Participation Report For Extra Space Storage- Bldg. 'E' Case # ZON23-00994

Date of Report: October 10, 2024

Overview: This report provides results of the implementation of the Citizen Participation Plan for **Extra Space Storage, Bldg 'E'**. This site is located at **4550 E. Southern Ave., (within the 4400 to 4600 blocks of East Southern Avenue (north side) and within the 4500 block of East Flower Circle (west side))**, and is an application for a **Rezone from Single Residence-6 with a Planned Area Development overlay (RS-6-PAD) and Limited Commercial (LC) to Limited Commercial with a Planned Area Development overlay (LC-PAD), Council Use Permit, and Major Site Plan Modification. This request will allow for the expansion of a mini storage facility.** This report provides evidence that citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

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Notification Correspondence and Telephone Calls:

1. The DRB notification letter and exhibits were mailed out the week of 9/23/24 to all parcels within 500' of the project and all registered neighborhoods within ½ mile including site plan, landscape plan, and building elevations/rendering, where citizens were invited to discuss the applicant's proposal
2. The P&Z notification letter and exhibits were mailed out the week of 10/8/24 to all parcels within 1000' of the project and all registered neighborhoods within ½ mile including site plan, landscape plan, and building elevations/rendering, where citizens were invited to discuss the applicant's proposal [comments and other feedback are as follows];
3. Phone calls pertaining to letters mailed/ meeting from:
Phone calls received as of the date of this report are summarized below.

Results:

There are +/- 500 contacts on the contact list as of the date of this Citizen Participation Report (see attached)

1. Summary of citizens' concerns, issues and problems:

- Helen Lewis (602-266-2994)
 - ~Called to inform us that their company no longer owns the McDonalds on the S.E. corner of Southern Ave and Greenfield Rd; It has been sold a couple of times since they've owned it. I checked the County Assessor's website and the new owner's address hasn't been updated.
- Gail Graves (480-894-1918)
 - ~Lives in Greenfield Glen, called wondering if we were going to do anything with the Circle K on the N.E. corner of Southern and Greenfield. When I described "where and what" our project was... she was in support.
- Jim Turnbull (480-353-1691)
 - ~He lives off Flower Circle. He was calling on behalf of some of his neighbors. He was verifying that the scope of work was going to be an additional mini storage building. He was wondering if this was going to increase traffic. I told him the gate controls on Flower Circle can have "controlled access" only for residents of Sunland Village to minimize traffic. He seemed to be satisfied with that answer. He appreciated my timely call back.
- Catherine Possley (480-347-7906)
 - ~ Lives adjacent to the North property line. Questioned the height of existing fence.

2. How citizens' concerns, issues, and problems, were addressed:

- Confirm with Owner that any vehicles moving through the existing gate at Flower Circle is limited to residents of Sunland Village. This is typically accomplished via gate code.
- Field verified fence wall heights on North property line.

If you have any questions, please feel free to contact me at 480-797-7548 to discuss.

Regards,

Tim Nielsen
Farnsworth Construction Co.