

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MESA, MARICOPA COUNTY, ARIZONA, EXTINGUISHING A PUBLIC UTILITY EASEMENT IN DOCUMENT NO. 1989-253013 AND A PORTION OF A PUBLIC UTILITY EASEMENT IN DOCUMENT NO. 1983-085123, RECORDS OF MARICOPA COUNTY, ARIZONA, EACH LOCATED AT 222 EAST JAVELINA AVENUE.

WHEREAS, the City Council has determined that the following public utility easements, (collectively, the “Public Utility Easements”) are no longer needed: (A) the 20-foot public utility easement recorded in Document No. 1989-253013, records of Maricopa County, Arizona, located at 222 East Javelina Avenue, as hereafter described; and (B) that portion of the 8-Foot Public Utility Easement recorded in Document No. 1983-085123, records of Maricopa County, Arizona, located at 222 East Javelina Avenue, as hereafter described.

WHEREAS, Mesa City Code 9-10-2 permits the City Council to extinguish easements no longer needed by the City upon application and payment of the application fee.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MESA, MARICOPA COUNTY, ARIZONA, AS FOLLOWS:

Section 1: All rights of the City of Mesa in and to the following described Public Utility Easements, as more fully described and depicted in **Exhibit “A”** and described in **Exhibit B**, are extinguished:

PLEASE REFER TO THE LEGAL DESCRIPTION AND DEPICTION ON **EXHIBIT “A”** AND THE LEGAL DESCRIPTION ON **EXHIBIT B** ATTACHED HERETO AND MADE A PART HEREOF.

PASSED AND ADOPTED by the City Council of the City of Mesa, Maricopa County, Arizona, this 8th day of July, 2020.

APPROVED:

Mayor

ATTEST:

City Clerk

{00358558.1}

EXHIBIT "A"
LEGAL DESCRIPTION
FOR
ABANDONMENT OF PUBLIC UTILITY EASEMENT

A PARCEL OF LAND SITUATED IN A PART OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AND BEING A PORTION OF PARCEL #1 AS DESCRIBED IN DOCUMENT 83-85123, MARICOPA COUNTY RECORDS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 34, FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 34, BEARS NORTH 00 DEGREES 03 MINUTES 28 SECONDS WEST, A DISTANCE OF 2638.64 FEET;

THENCE UPON AND WITH THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 34, NORTH 00 DEGREES 03 MINUTES 28 SECONDS WEST, A DISTANCE OF 1239.54 FEET;

THENCE DEPARTING SAID SECTION LINE, SOUTH 89 DEGREES 56 MINUTES 32 SECONDS WEST, A DISTANCE OF 117.63 FEET TO THE INTERSECTION OF MESA DRIVE AND COURY AVENUE;

THENCE UPON AND WITH THE CENTERLINE OF COURY AVENUE, NORTH 63 DEGREES 18 MINUTES 29 SECOND WEST, A DISTANCE OF 76.32 FEET TO A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 195.86 FEET;

THENCE CONTINUING ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 27 DEGREES 00 MINUTES 26 SECONDS, AN ARC LENGTH OF 92.32 FEET;

THENCE SOUTH 89 DEGREES 41 MINUTES 05 SECONDS WEST, A DISTANCE OF 1035.21 FEET;

THENCE DEPARTING SAID CENTERLINE, SOUTH 00 DEGREES 18 MINUTES 55 SECONDS EAST, A DISTANCE OF 27.91 FEET, TO POINT ON THE SOUTH RIGHT OF WAY LINE OF COURY AVENUE AS DESCRIBED IN DOCUMENT 85-0483206, MARICOPA COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE SOUTH 00 DEGREES 25 MINUTES 43 SECONDS EAST, A DISTANCE OF 155.00 FEET;

THENCE SOUTH 89 DEGREES 41 MINUTES 05 SECONDS WEST, A DISTANCE OF 42.69 FEET, TO A POINT ON A LINE LYING 292.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THAT PARCEL DESCRIBED IN AFORMENTIONED DOCUMENT 83-85123;

THENCE NORTH 00 DEGREES 25 MINUTES 43 SECONDS WEST, A DISTANCE OF 8.00 FEET;

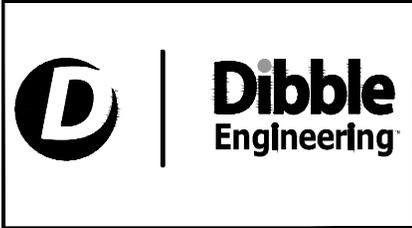
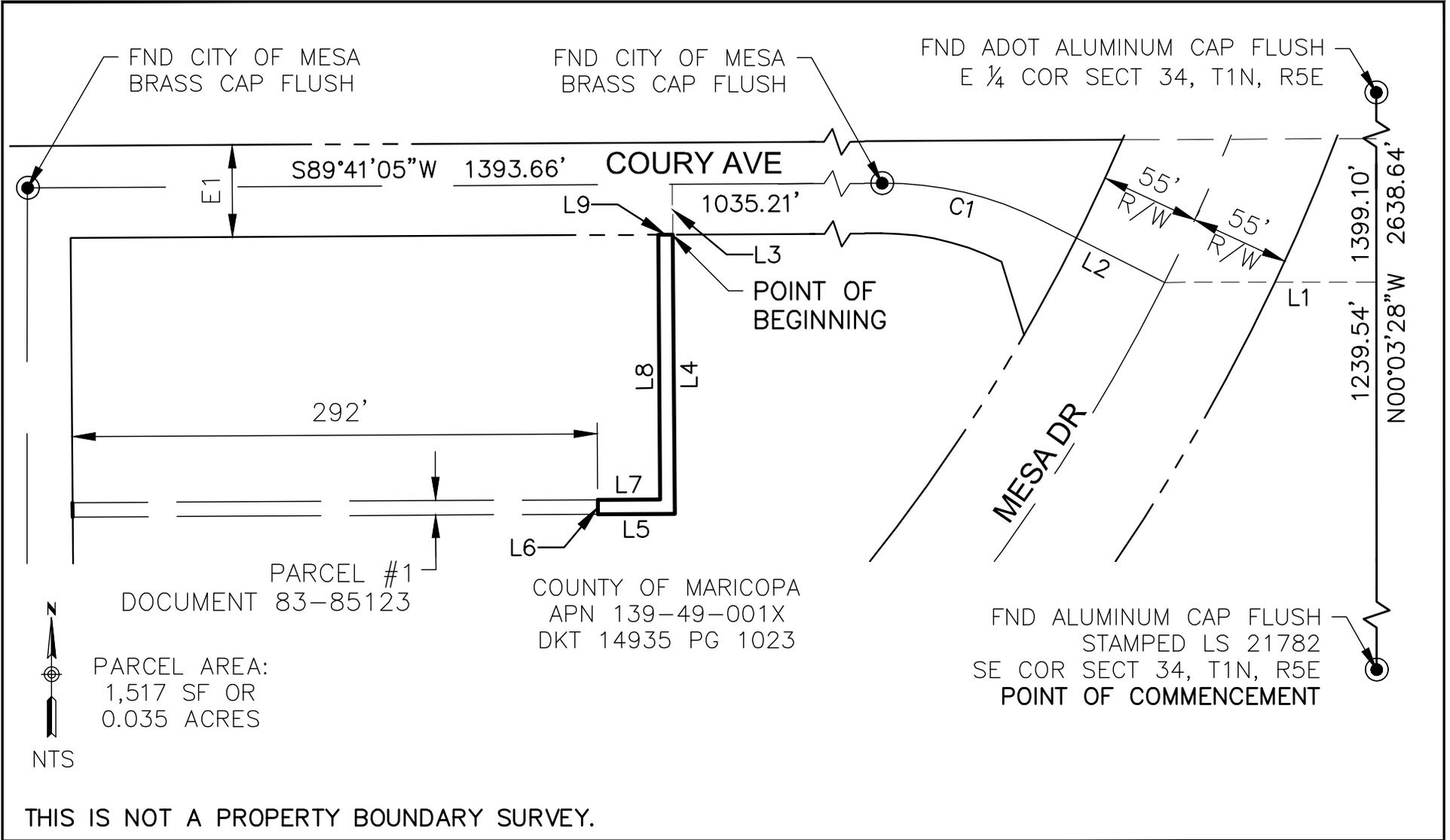
THENCE NORTH 89 DEGREES 41 MINUTES 05 SECONDS EAST, A DISTANCE OF 34.67 FEET;

THENCE NORTH 00 DEGREES 25 MINUTES 43 SECONDS WEST, A DISTANCE OF 147.00 FEET TO THE AFOREMENTIONED SOUTH RIGHT OF WAY LINE;

THENCE ALONG AND WITH SAID SOUTH RIGHT OF WAY LINE, NORTH 89 DEGREES 41 MINUTES 05 SECONDS EAST, A DISTANCE OF 8.00 FEET TO THE POINT OF BEGINNING AND CONTAINING A COMPUTED AREA OF 1517 SQUARE FEET OR 0.035 ACRES OF LAND, MORE OF LESS.



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Dibble Engineering
Project No 1019009

EXHIBIT "A"
 ABANDONMENT OF PUE
 APN 139-49-001X
 A PART OF SE 1/4 SECTION 34, T1N, R5E, GILA & SALT
 RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

DATE: APR 2020
 DRN: ACC CHK: BAR

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EASEMENT DATA TABLE		
EASEMENT	WIDTH	DESCRIPTION
E1	51.16'	ROW PER DOC 85-0483206, MCR

CURVE DATA TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	92.32'	195.86'	27°00'26"

LINE DATA TABLE		
LINE	BEARING	DISTANCE
L1	S89°56'32"W	117.63'
L2	N63°18'29"W	76.32'
L3	S00°18'55"E	27.91'
L4	S00°25'43"E	155.00'
L5	S89°41'05"W	42.67'
L6	N00°25'43"W	8.00'
L7	N89°41'05"E	34.67'
L8	N00°25'43"W	147.00'
L9	N89°41'05"E	8.00'

THIS IS NOT A PROPERTY BOUNDARY SURVEY.



**Dibble
Engineering**

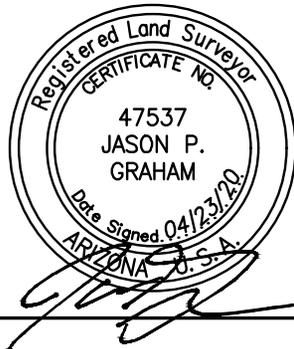


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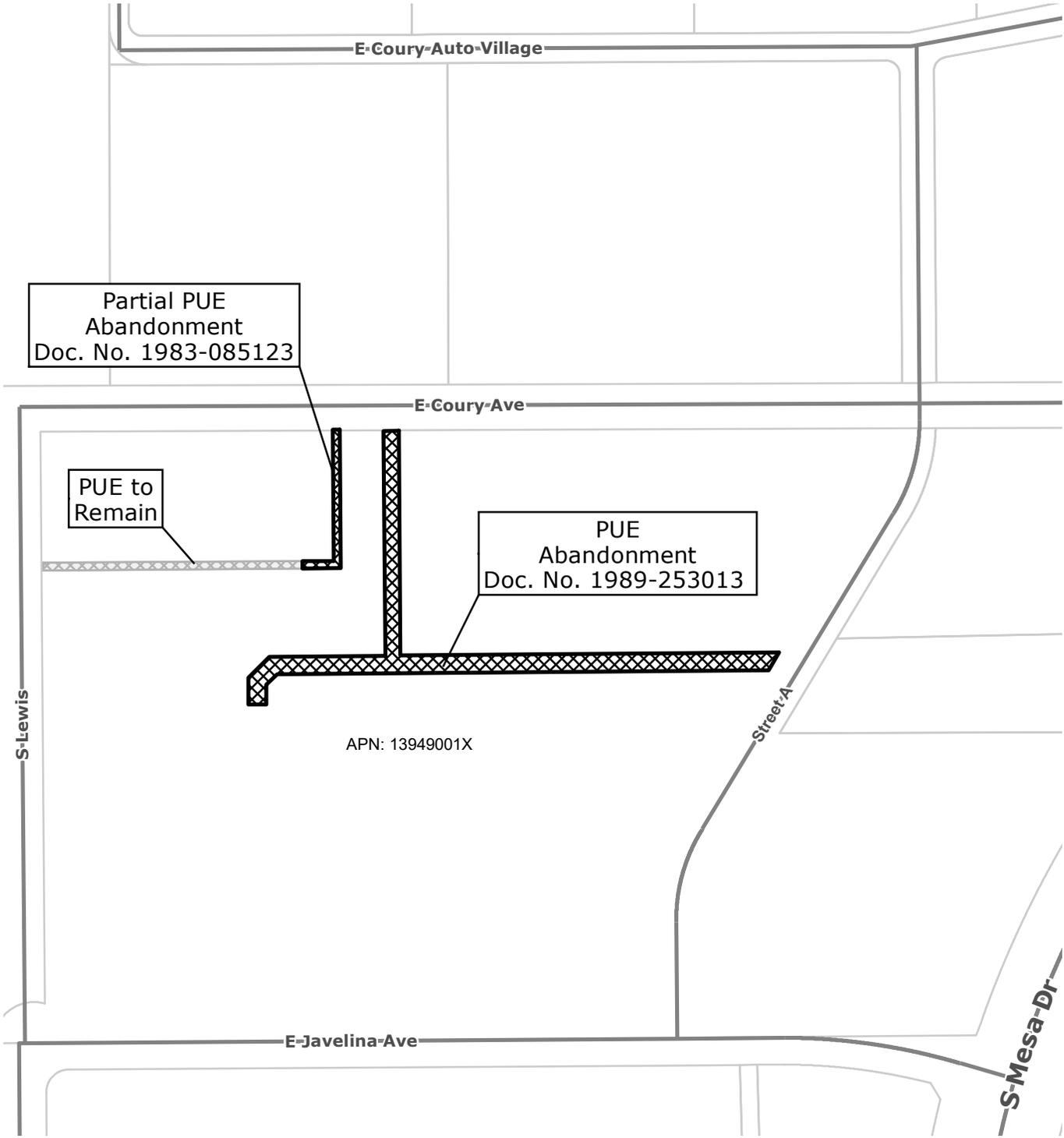
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EXHIBIT B
LEGAL DESCRIPTION
MCR 1989-253013

A public utility easement, established for the purpose of providing ingress and egress for maintenance purposes, said easement to be 20 feet in width for its entire length.

Said easement is a portion of the Southeast quarter of Section 34, Township 1 North, Range 5 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

Beginning at the Southeast corner of Section 34: thence North 88° 57' 30" West along the South line of the Southeast quarter of Section 34 a distance of 1072.58 feet; thence North 01° 02' 30" East a distance of 586.34 feet; thence South 88° 57' 30" East a distance of 6.50 feet; thence North 01° 02' 30" East a distance of 712.94 feet; thence South 88° 50' 42" East a distance of 421.75 feet; thence South 01° 09' 18" East a distance of 28.08 feet to the True Point of Beginning; thence South 01° 02' 30" West along the East line of the Northerly leg of said easement a distance of 252.0 feet; thence South 88° 57' 30" East along the Northerly line of the Easterly leg of said easement a distance of 424.0 feet; thence South 32° 38' 30" West along the Westerly right-of-way of "A" Street a distance of 23.48 feet; thence North 88° 57' 30" West along the south line of the Easterly and Westerly legs of said easement a distance of 550 feet; thence South 46° 02' 30" West a distance of 17.0 feet; thence South 01° 02' 30" West a distance of 22.0 feet; thence North 88° 57' 30" West a distance of 20.00 feet; thence North 01° 02' 30" East a distance of 30.0 feet; thence North 46° 02' 30" East a distance of 33.0 feet; thence South 88° 57' 30" East along the North line of the Westerly leg of said easement a distance of 130.0 feet; thence North 01° 02' 30" East along the West line of the Northerly leg of said easement a distance of 252.0 feet; thence South 88° 50' 42" East along the South right-of-way line of Coury Avenue a distance of 20.0 feet, to the True Point of Beginning.



222 E Javelina
PUE Abandonment

 MCA Parcels