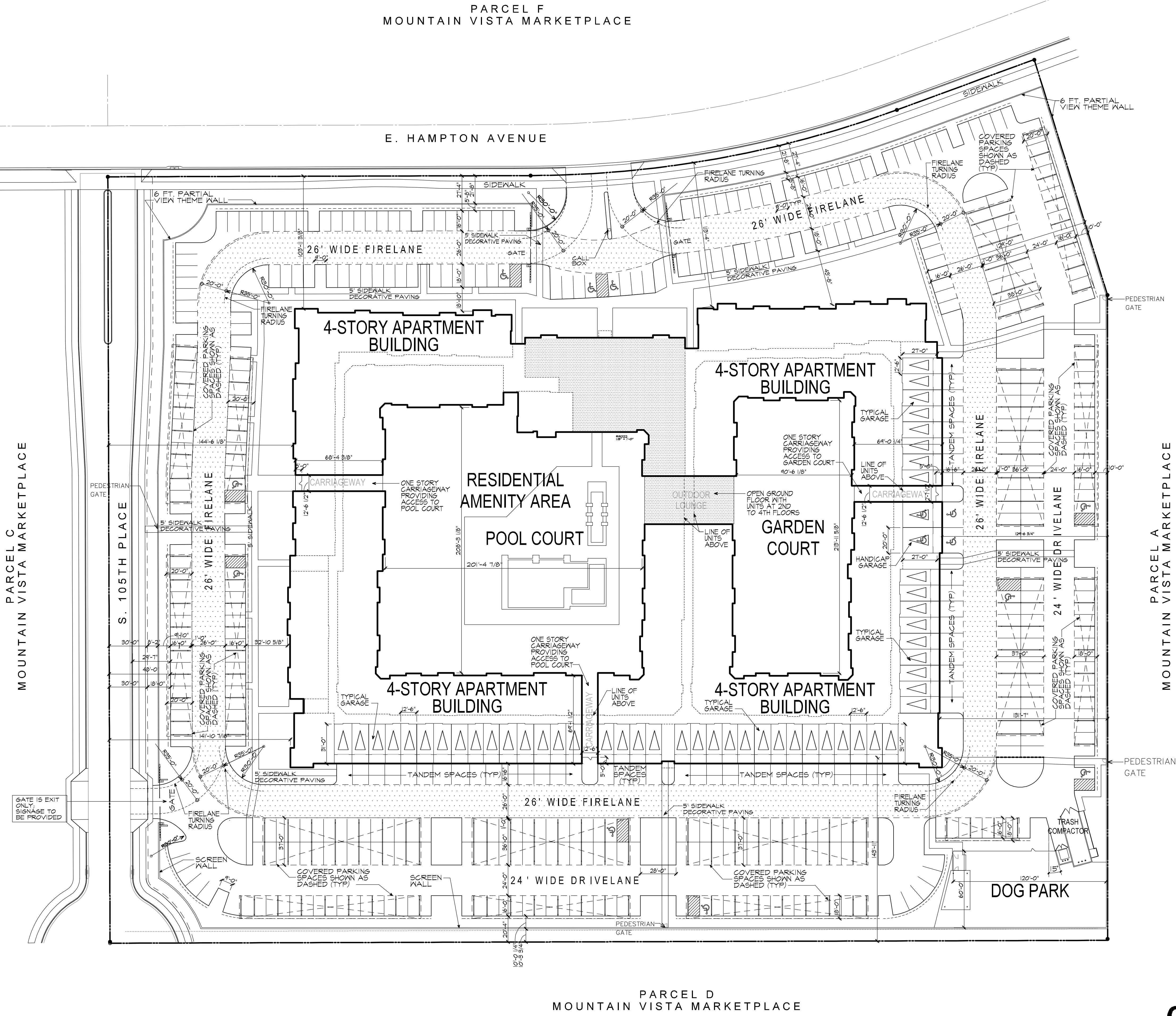


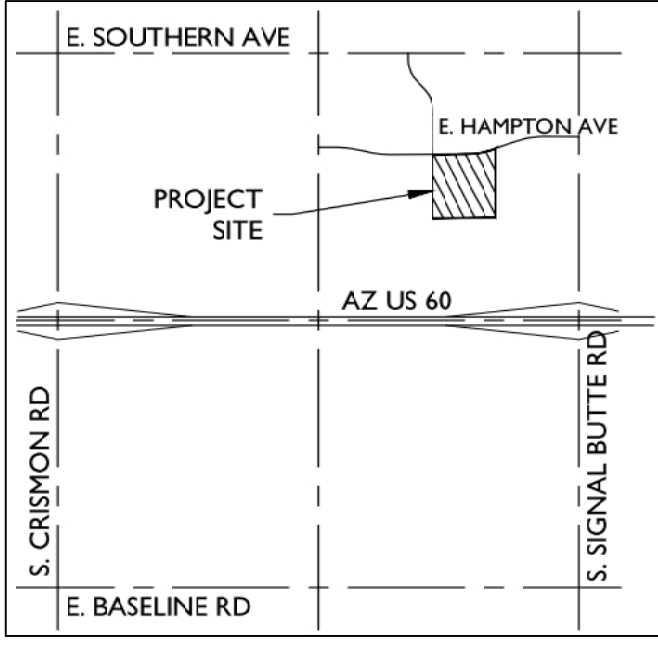
PLOT DATE: 4/23/2020 5:01 TIME: 4:04 PM PATH NAME: H:\19000\19022 Talos Signal Butte\DDA\19022 Site Plan_QTY RESPONSE.dwg



MASTER DEVELOPER
BELA FLOR
1635 N. GREENFIELD RD. STE 115
MESA, AZ 85205
PHONE: (480) 953-7236
CONTACT: HJUD HASSELL
hjud@belaflo.com

CONSULTANT
EFS GROUP, INC.
1180 N ALMA SCHOOL RD, STE 120
MESA, AZ 85201
PHONE: (480) 509-2250
CONTACT: BRIAN NICHOLLS, PE
brian.nicholls@efsgroupinc.com

PARCEL DEVELOPER
TALOS HOLDINGS, LLC
7474 E. PRINCESS DR. STE 17
SCOTTSDALE, AZ 85255
PHONE: (602) 492-1121
CONTACT: JOHN MCWILLIAMS JR.
talosholdingllc@aol.com



ARCHITECT
WOMACK+HAMPTON ARCHITECTS, LLC
4811 OAK LAWN AVENUE, STE 50
DALLAS, TEXAS 75214
PHONE: (214) 252-9000
CONTACT: CRAIG LEWIS
craig@womackhampton.com

LANDSCAPE ARCHITECT
NORRIS DESIGN
418 NORTH TOOLE AVENUE
TUCSON, AZ 85710
PHONE: (520) 622-4565
CONTACT: JOSH ORTH
jorth@norris-design.com

BUILDING SUMMARY		
BUILDING COVERAGE (ALLOWABLE)	65% MAXIMUM	
BUILDING COVERAGE (PROVIDED)	24.1%	
NUMBER OF STORIES	4 STORIES	
BUILDING HEIGHT	60 FT MAXIMUM	
RESIDENTIAL AMENITY AREAS PROVIDED:		
LEASING, CLUB, BUSINESS, CONFERENCE, FITNESS, MAIL		
NUMBER OF UNITS	345	
AVERAGE UNIT SIZE	434 SQ. FT.	
UNIT PROGRAM		
UNIT TYPE	NO. OF UNITS	PERCENTAGE
E1 - EFFICIENCY	14	4.06%
E2 - EFFICIENCY	8	2.32%
EFFICIENCY SUBTOTAL	22	6.38%
A1 - 1 BEDROOM / 1 BATH	44	12.75%
A2 - 1 BEDROOM / 1 BATH	37	10.72%
A3 - 1 BEDROOM / 1 BATH	4	1.16%
1 BEDROOM UNIT SUBTOTAL	135	39.13%
B1 - 2 BEDROOMS / 2 BATHS	130	37.68%
B2 - 2 BEDROOMS / 2 BATHS	12	3.48%
B3 - 2 BEDROOMS / 2 BATHS	30	8.70%
2 BEDROOM UNIT SUBTOTAL	172	49.86%
C1 - 3 BEDROOMS / 2 BATHS	16	4.64%
3 BEDROOM UNIT SUBTOTAL	16	4.64%
TOTAL (APPROXIMATED)	345	(100%)

PROJECT DATA		
A.P.N.	PORTIONS OF 220-81-180; 181; 183	
EXISTING GENERAL PLAN	MIXED USE ACTIVITY DISTRICT	
EXISTING ZONING	LIMITED COMMERCIAL PAD (LC PAD)	
CURRENT LAND USE	VACANT / UNDEVELOPED	
REQUESTED ZONING	RM-S-PAD	
GROSS AREA	174,175 ACRES	
NET AREA	174,175 ACRES	
GROSS DENSITY	29.41 DU/AC	
NET DENSITY	31.11 DU/AC	
GROSS FLOOR AREA	462,485 SF	
FLOOR AREA RATIO	0.96	
OPEN SPACE	REQUIRED	PROVIDED
120 SF PER UNIT X 345 UNITS	41,400 SF	112,492 SF
OPEN SPACE PER TYPE:		
COMMON OPEN SPACE:		11,944 SF
PRIVATE OPEN SPACE:	28,300 SF	34,433 SF
COVERED PRIVATE OPEN SPACE:	20,700 SF	30,653 SF
(MIN 50% OF REQUIRED OPEN SPACE)		
PRIVATE OPEN SPACE PER UNIT:	REQUIRED	PROVIDED
STUDIO UNIT	60 SF MIN.	62 SF
ONE BEDROOM UNIT	60 SF MIN.	75 SF
TWO BEDROOM UNIT	100 SF MIN.	102 SF
THREE BEDROOM UNIT	120 SF MIN.	120 SF
TOTAL PRIVATE OPEN SPACE SIZE	REQUIRED	PROVIDED
MIN. BALCONY WIDTH X DEPTH	6' X 8'	6' X 10' PROVIDED
MIN. PATIO WIDTH X DEPTH	10' X 10'	10' X 10' PROVIDED

PARKING SUMMARY		
(SEE PARKING ANALYSIS PRODUCED BY SOUTHWEST TRAFFIC ENGINEERS)		
PARKING PROVIDED		
SURFACE PARKING	170 SPACES	
TUCK-UNDER GARAGE PARKING	52 SPACES	
TANDEM PARKING	52 SPACES	
CARPOR	243 SPACES	
TOTAL	567 SPACES	
PARKING RATIO PROVIDED (WITH TANDEM)	1.64 SPACES PER UNIT	
PARKING RATIO PROVIDED (WITHOUT TANDEM)	1.44 SPACES PER UNIT	
COVERED PARKING RATIO PROVIDED	1 SPACE PER UNIT	
HANDICAPPED SPACES (2% OF PARKING PROVIDED)		
SURFACE PARKING	4 SPACES	
TUCK-UNDER GARAGE PARKING	2 SPACES	
TANDEM PARKING	2 SPACES	
CARPOR	6 SPACES	
TOTAL	14 SPACES	
BIKE PARKING REQUIRED	1 BIKE SPACE PER 10 PARKING SPACES	
BIKE PARKING PROVIDED	1 BIKE SPACE PER 10 PARKING SPACES	

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF LAURENCE F. LAPOMARDA JR. ARIZONA REGISTRATION #68075 AND IS CONSIDERED TO BE

INCOMPLETE

Copyright: ©2019 by Womack+Hampton Architects, LLC. All rights reserved. The arrangements depicted herein are the sole property of WHA, LLC and may not be reproduced in any form without written permission.

Project No. 19022

Drawn By: MARCH 27, 2020

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte

Mesa, Arizona

TALOS HOLDINGS

SCOTTSDALE 17401 N. 19TH AVENUE, SUITE 100

Womack+Hampton

ARCHITECTS, L.L.C.

4311 Oak Lawn Ave, Suite 50
Dallas, Texas 75219

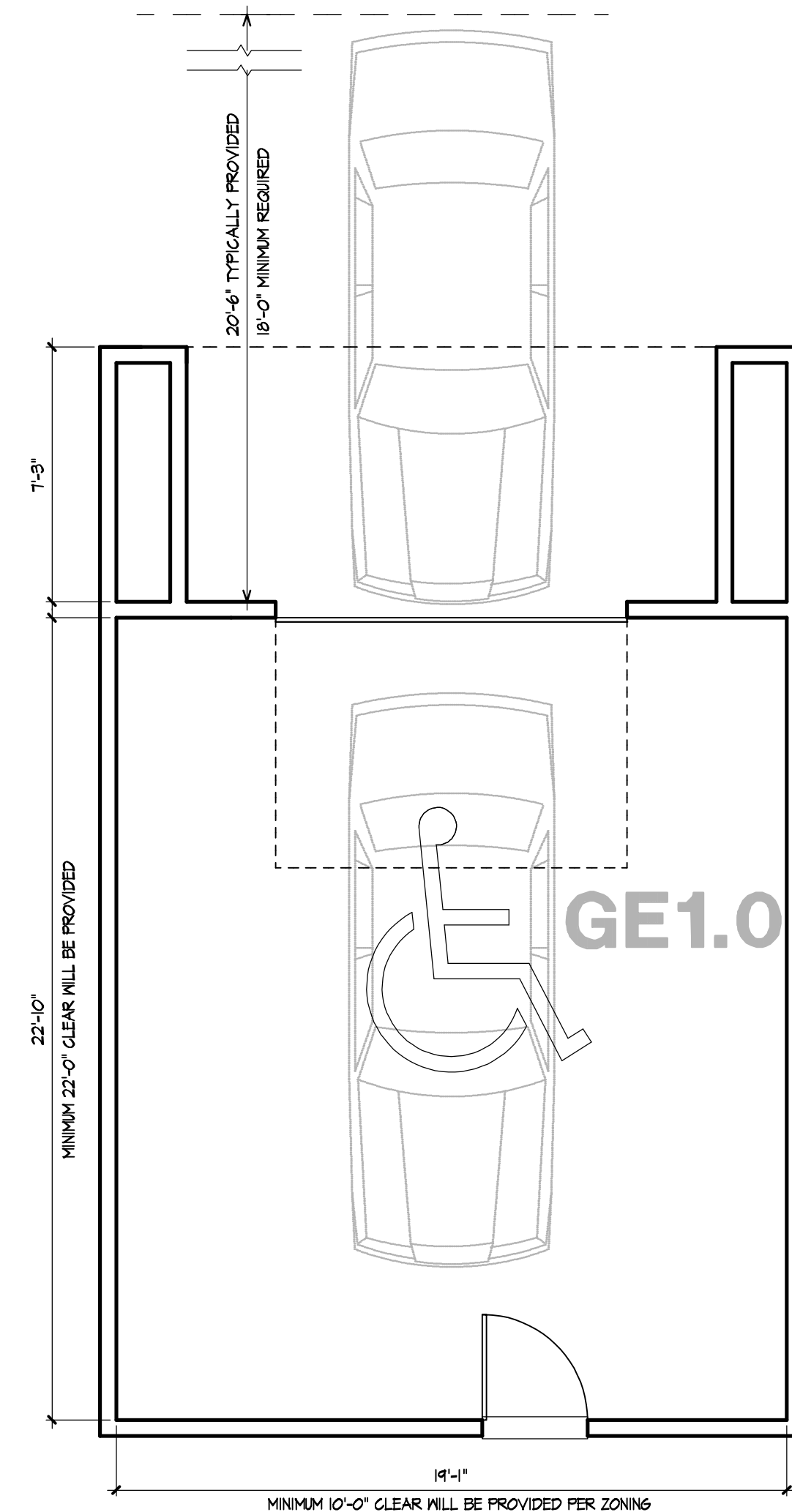
Phone: (214) 252-9000
Fax: (214) 252-9000

Sheet Number:

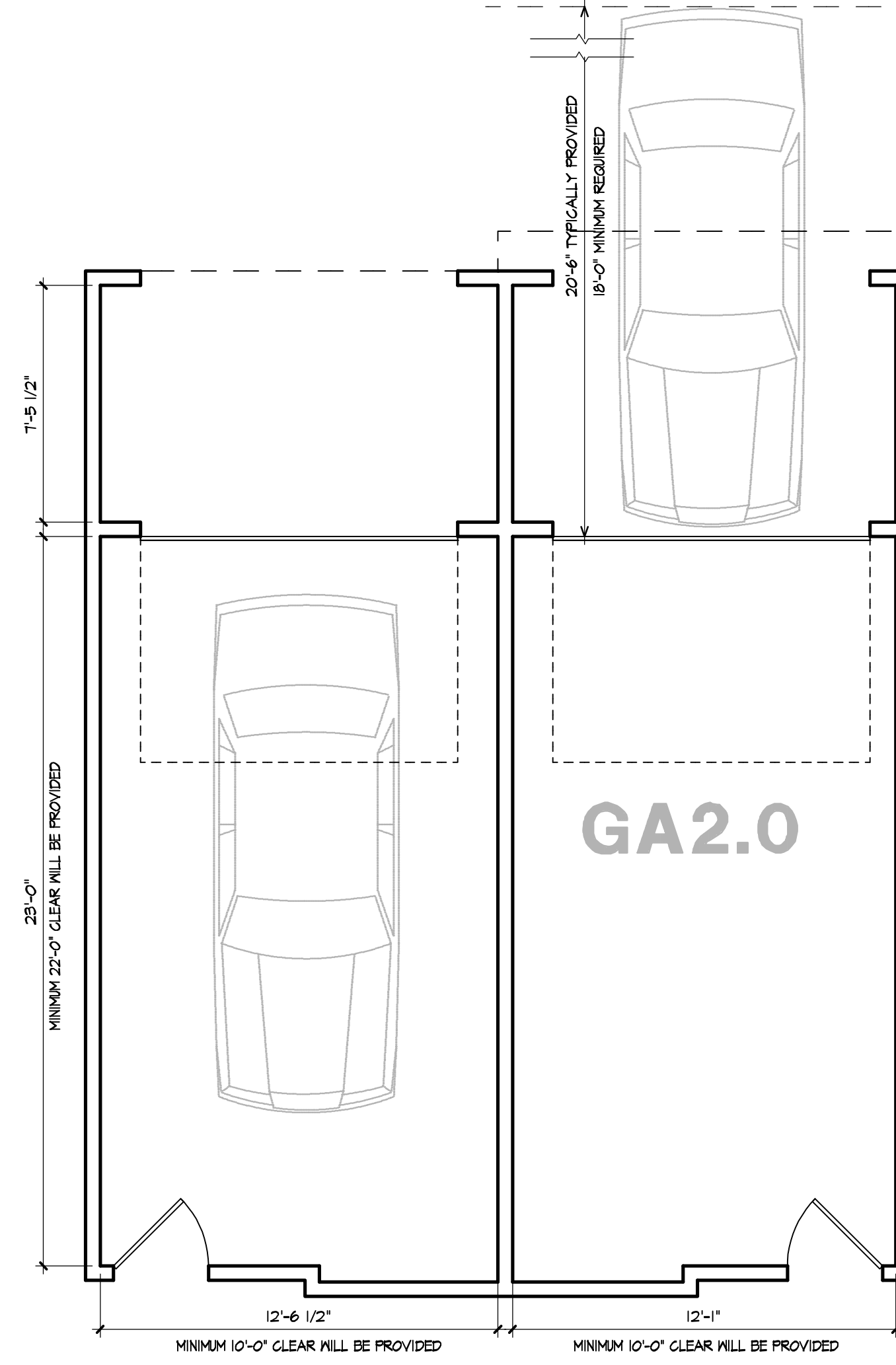
A1.0

SITE PLAN

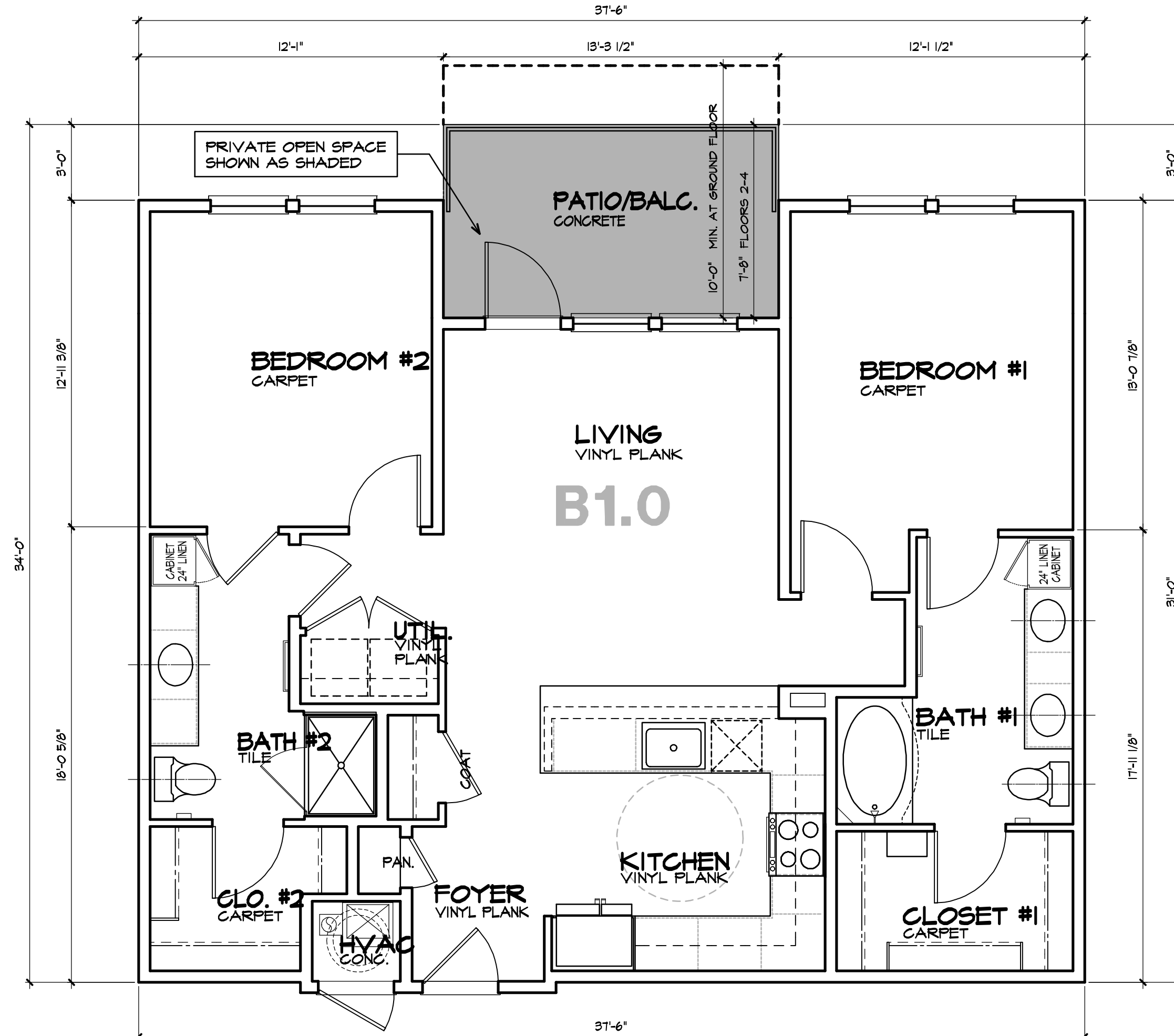
PLOT DATE: 3/6/2020 PLOT TIME: 2:27 PM PATH NAME: H:\19000\19022 Talos Signal Butte\DDA\Unit Plans_2020_02_10 GARAGE UPDATE.dwg



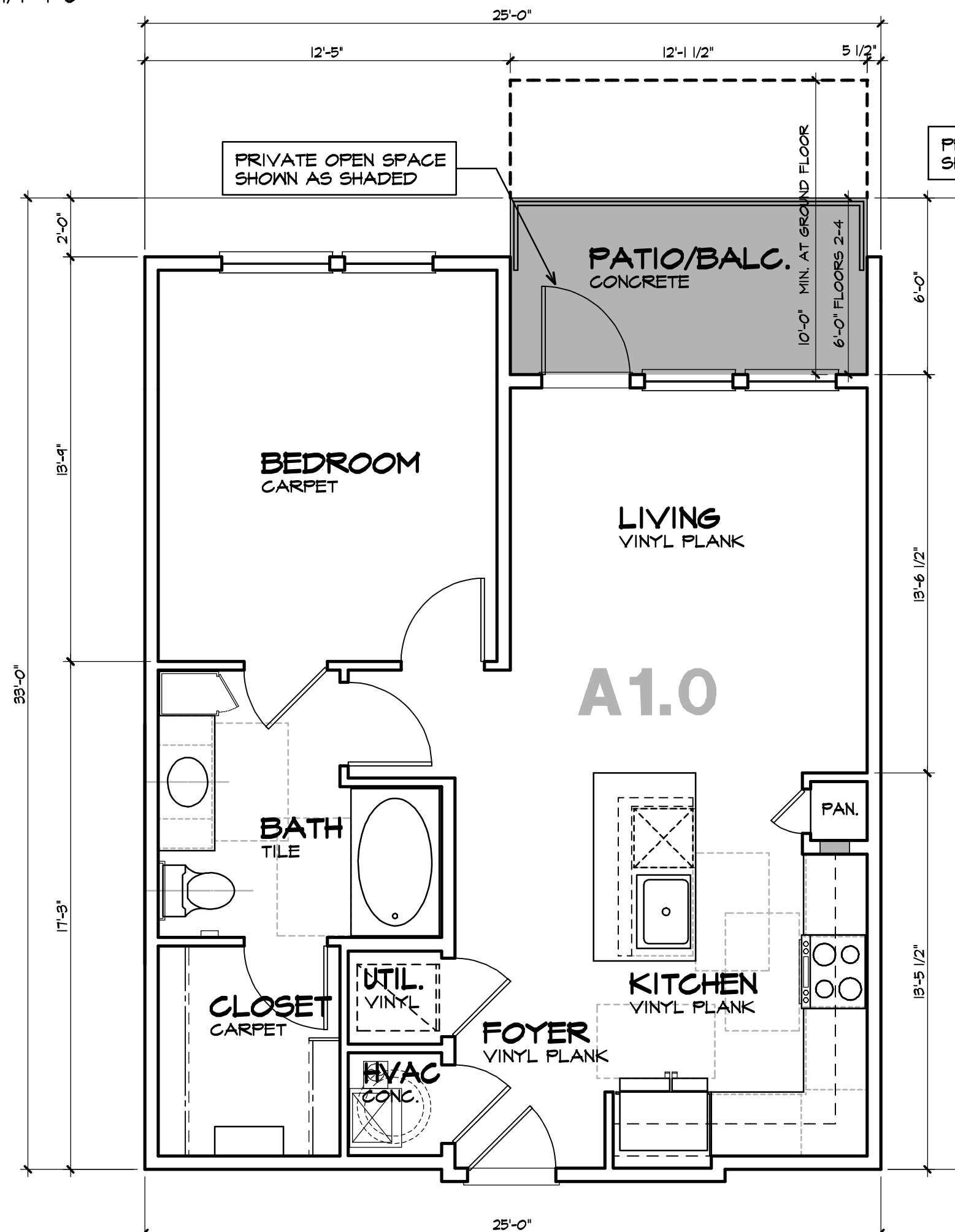
06 TYPICAL HC GARAGE ENCLOSED = 495 S.F.
GARAGE SHOWN IS BELOW E1.0 UNIT SCALE: 1/4"=1'-0"



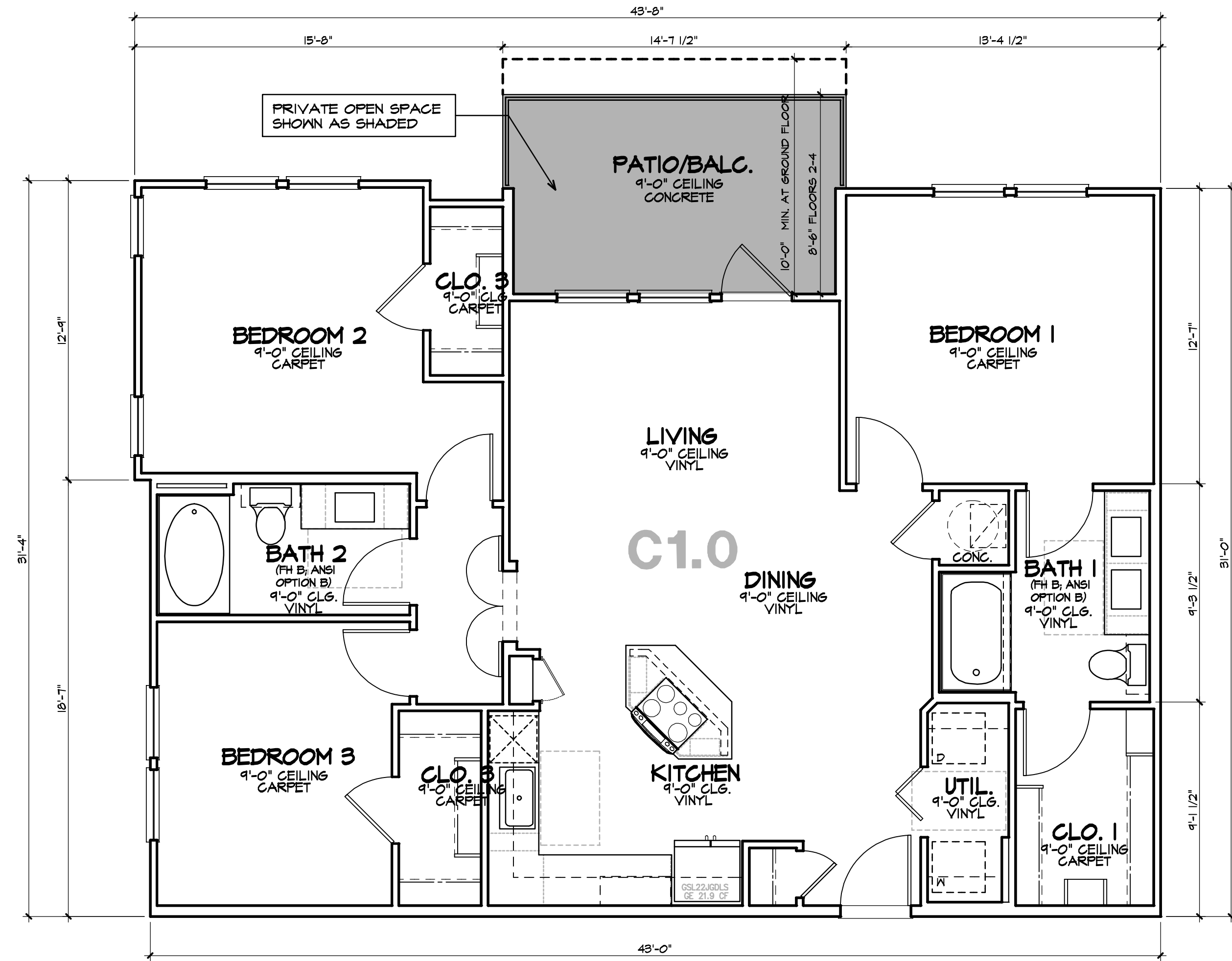
05 TYPICAL GARAGE
GARAGE SHOWN IS BELOW A2 UNIT SCALE: 1/4"=1'-0"



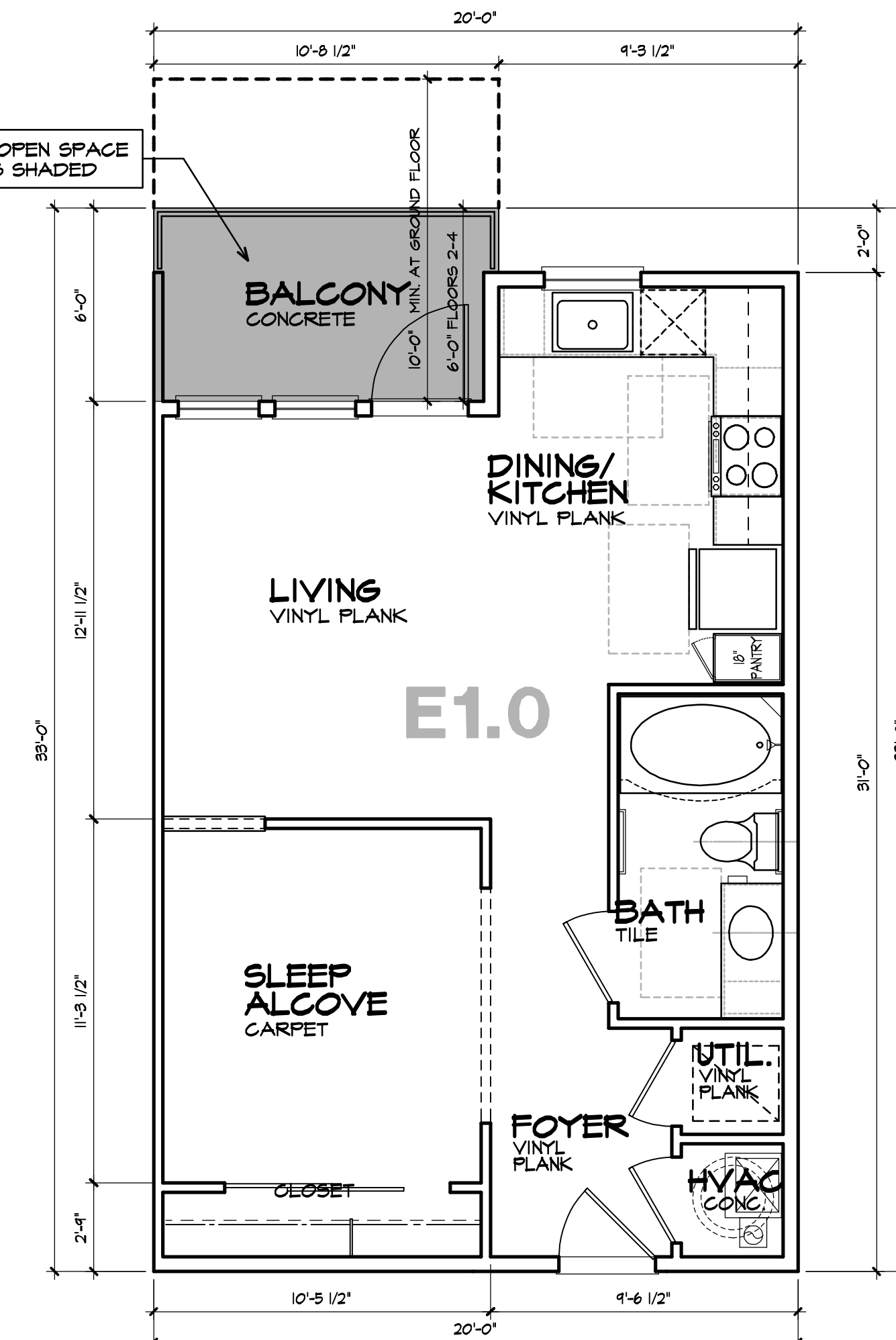
03 TWO BEDROOM UNIT
2 BEDROOM / 2 BATH
HVAC = 1,105 S.F.
BALC. = 102 S.F.
SCALE: 1/4"=1'-0"



02 ONE BEDROOM UNIT
1 BEDROOM / 1 BATH
HVAC = 729 S.F.
BALC. = 75 S.F.
SCALE: 1/4"=1'-0"



04 THREE BEDROOM UNIT
3 BEDROOM / 2 BATH
HVAC = 1,282 S.F.
BALC. = 120 S.F.
SCALE: 1/4"=1'-0"



01 EFFICIENCY UNIT
STUDIO / 1 BATH
HVAC = 579 S.F.
BALC. = 62 S.F.
SCALE: 1/4"=1'-0"

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF LAURENCE F. LAPOMARDA JR. ARIZONA REGISTRATION #68075 AND IS CONSIDERED TO BE **INCOMPLETE**

Copyright: ©2019 by Womack+Hampton Architects, L.L.C. All rights reserved. The arrangements depicted herein are the sole property of WHA, L.L.C. and may not be reproduced in any form without written permission.

Project No. 19022
Drawn By: MARCH 6, 2020
ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte

Mesa, Arizona



SCOTTSDALE 112 FOREST WOODS ATLANTA

Womack+Hampton
ARCHITECTS, L.L.C.

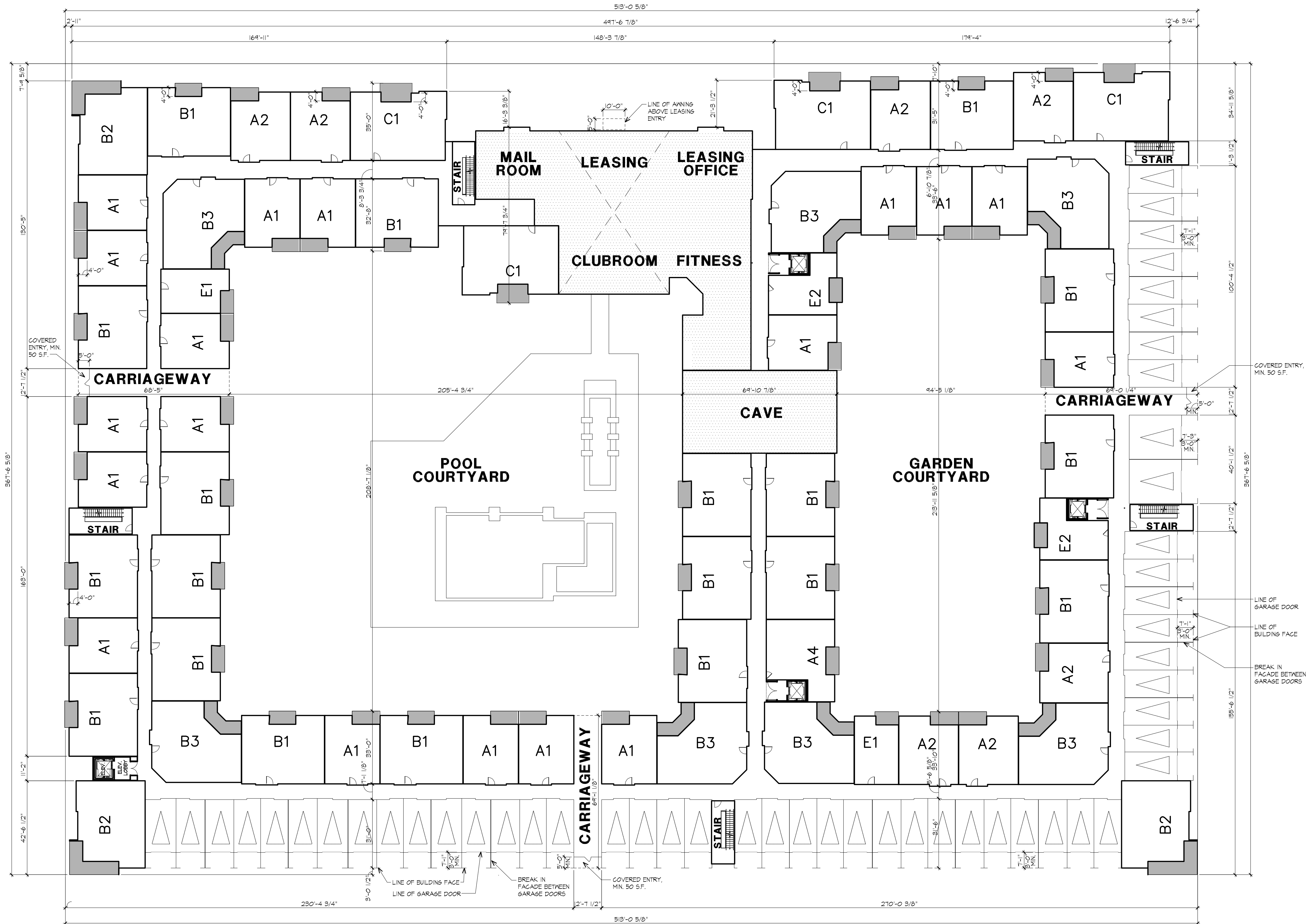
4331 Oak Lawn Ave., Suite 50
Dallas, Texas 75219
Phone: (214) 252-8000
Fax: (214) 252-8000



Sheet Number:

A1.1
PLANS

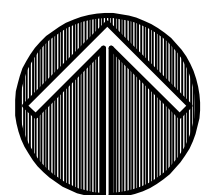
PLOT DATE: 4/23/2020 5:01 PM PATH NAME: H:\19000\19022 Talos Signal Bldg\DDA\19022 Site Plan_QTY RESPONSE.dwg



01 TYPICAL BUILDING LEVEL



SCALE: 1/20



THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF LAURENCE F. LAPOMARDA JR. ARIZONA REGISTRATION #68075 AND IS CONSIDERED TO BE INCOMPLETE

Copyright: ©2019 by Womack+Hampton Architects, L.L.C. All rights reserved. The arrangements depicted herein are the sole property of WHA, L.L.C. and may not be reproduced in any form without written permission.

Project No. 19022

Drawn By: MARCH 21, 2020 ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

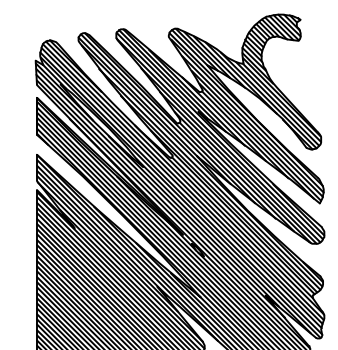
Talos Signal Butte

Mesa, Arizona



TALOS HOLDINGS
BAY AREA, MIAMI, LOS ANGELES, SCOTTSDALE, FORT WORTH, ATLANTA

Womack+Hampton
ARCHITECTS, L.L.C.



Sheet Number:

A1.2
TYPICAL
BLDG PLAN



02 NORTH EAST CORNER
SCALE: 3/32" = 1'-0"



01 NORTH WEST ELEVATION
SCALE: 3/32" = 1'-0"

THIS DRAWING HAS BEEN
PREPARED UNDER THE DIRECT
SUPERVISION OF
LAURENCE F. LAPOMARDA JR
ARIZONA REGISTRATION #68075
AND IS CONSIDERED TO BE

INCOMPLETE

THIS DRAWING MAY NOT BE
USED FOR REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION WITHOUT
THE ARCHITECT'S OFFICIAL SEAL.

Copyright:
©2019 by Womack+Hampton
Architects, L.L.C. All rights reserved.
The arrangements depicted herein
are the sole property of WHA, L.L.C.
and may not be reproduced in any
form without written permission.

Project No.
19022

Drawn By:
MARCH 27, 2020

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte

Mesa, Arizona

TALOS
HOLDINGS

BETTER LIFE. BETTER LIVING

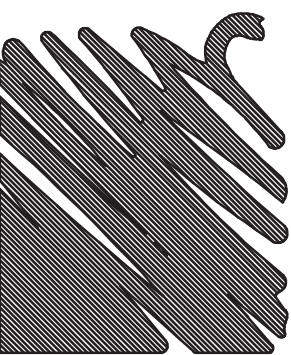
SCOTTSDALE | FORT WORTH | ATLANTA

Womack+Hampton

ARCHITECTS, L.L.C.

4311 Oak Lawn Ave., Suite 50
Dallas, Texas 75219

Phone: (214) 552-9000
Fax: (214) 552-9080



Sheet Number:

A2.4
COLOR
RENDERINGS

PLOT DATE: 3/19/2020 PLOT TIME: 10:24 AM PLOT NAME: H:\18000\18022 Talos Signal Butte.dwg REF: 01/2022 24-0518-0000 - ELEVATIONS.dwg



MATERIAL CHART

- 1 STUCCO
- 2 PREFINISHED CEMENTITIOUS SIDING
MANUFACTURER : WOODTONE
STAIN COLOR : OLD CHERRY
- 3 DECORATIVE CMU; GROUND FACE
MANUFACTURER : TRENWYTH
COLOR : BUFF
- 4 METAL RAILING
- 5 METAL PANEL
MANUFACTURER : OMEGA LITE
PANEL COLOR : SILVER METALLIC

COLOR CHART

- PAINT**
- SW 0045 ANTIQUARIAN BROWN STUCCO
 - SW 6258 TRICORN BLACK METAL RAILINGS, CANOPIES
 - SW 7020 BLACK FOX STUCCO
 - SW 0038 LIBRARY PEWTER STUCCO
 - SW 6186 DRIED THYME STUCCO
 - SW 7013 IVORY LACE STUCCO
- PREMANUFACTURED MATERIALS**
- WOODTONE STAIN COLOR : OLD CHERRY
 - DECORATIVE MASONRY BUFF
 - METAL PANEL SILVER METALLIC

ARCHITECTURAL STYLE : WARM MODERN

MATERIAL CALCULATIONS

	NORTH	SOUTH	EAST	WEST
TOTAL WALL AREA	22,924 S.F.	22,850 S.F.	16,771 S.F.	16,304 S.F.
PRIMARY MATERIAL: STUCCO	12,556 S.F.	12,582 S.F.	8,561 S.F.	7,545 S.F.
SECONDARY MATERIALS	10,368 S.F.	10,268 S.F.	8,210 S.F.	8,759 S.F.
PRIMARY MATERIAL: STUCCO %	54.77%	55.06%	51.05%	46.28%
SECONDARY MATERIALS %	45.23%	44.94%	48.95%	53.72%

*SECONDARY MATERIALS INCLUDE:
PREFINISHED CEMENTITIOUS SIDING,
DECORATIVE CMU, METAL PANELS,
DOORS, AND WINDOWS

THIS DRAWING HAS BEEN
PREPARED UNDER THE DIRECT
SUPERVISION OF
LAURENCE F. LAPOMARDA JR.
ARIZONA REGISTRATION #68075
AND IS CONSIDERED TO BE
INCOMPLETE

Copyright:
©2019 by Womack+Hampton
Architects, L.L.C. All rights reserved.
The arrangements depicted herein
are the sole property of WHA, L.L.C.
and may not be reproduced in any
form without written permission.

Project No.
14022

Drawn By:
MARCH 23, 2020
ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte

Mesa, Arizona



17700 N. CENTRAL EXPRESSWAY, SUITE 100, DALLAS, TEXAS 75244

Womack+Hampton
ARCHITECTS, L.L.C.

4301 Oak Lawn Ave., Suite 500
Dallas, Texas 75244
Phone: (214) 252-5000
Fax: (214) 252-5000



Sheet Number:

A2.0
COLOR
ELEVATIONS



PLOT DATE: 3/19/2020 PLOT TIME: 10:25 AM PLOT NAME: H:\19000\19022 Talos Signal Butte\REFS\19022_24x36TBLCK - ELEVATIONS.dwg



MATERIAL CHART	
1	STUCCO
2	PREFINISHED CEMENTITIOUS SIDING MANUFACTURER : WOODTONE STAIN COLOR : OLD CHERRY
3	DECORATIVE CMU; GROUND FACE MANUFACTURER : TRENWYTH COLOR : BUFF
4	METAL RAILING
5	METAL PANEL MANUFACTURER : OMEGA LITE PANEL COLOR : SILVER METALLIC

COLOR CHART	
PAINT	SW 0045 ANTIQUARIAN BROWN STUCCO
	SW 6258 TRICORN BLACK METAL RAILINGS, CANOPIES
	SW 7020 BLACK FOX STUCCO
	SW 0038 LIBRARY PEWTER STUCCO
	SW 6186 DRIED THYME STUCCO
	SW 7013 IVORY LACE STUCCO
PREMANUFACTURED MATERIALS	WOODTONE STAIN COLOR : OLD CHERRY
	DECORATIVE MASONRY BUFF
	METAL PANEL SILVER METALLIC

ARCHITECTURAL STYLE : WARM MODERN				
MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
TOTAL WALL AREA	22,924 S.F.	22,850 S.F.	16,771 S.F.	16,304 S.F.
PRIMARY MATERIAL: STUCCO	12,556 S.F.	12,582 S.F.	8,561 S.F.	7,545 S.F.
SECONDARY MATERIALS	10,368 S.F.	10,268 S.F.	8,210 S.F.	8,759 S.F.
PRIMARY MATERIAL: STUCCO %	54.77%	55.06%	51.05%	46.28%
SECONDARY MATERIALS %	45.23%	44.94%	48.95%	53.72%
*SECONDARY MATERIALS INCLUDE: PREFINISHED CEMENTITIOUS SIDING, DECORATIVE CMU, METAL PANELS, DOORS, AND WINDOWS				

THIS DRAWING HAS BEEN
PREPARED UNDER THE DIRECT
SUPERVISION OF
LAURENCE F. LAPOMARDA JR
ARIZONA REGISTRATION #68075
AND IS CONSIDERED TO BE
INCOMPLETE

Copyright:
©2019 by Womack+Hampton
Architects, L.L.C. All rights reserved.
The arrangements depicted herein
are the sole property of WHA, L.L.C.
and may not be reproduced in any
form without written permission.

Project No.
19022

Drawn By:
MARCH 23, 2020
ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte
Mesa, Arizona
TALOS HOLDINGS
Better Life, Better Living
SCOTTSDALE | FORT WORTH | ATLANTA

Womack+Hampton
ARCHITECTS, L.L.C.
4311 Oak Lawn Ave., Suite 50
Dallas, Texas 75205
Phone: 214.232.8000
Fax: 214.232.8000



Sheet Number:

A2.2
COLOR
ELEVATIONS

PLOT DATE: 3/18/2020, PLOT TIME: 10:25 AM, PLOT NAME: H:\18000\18022 Talos Signal Butte\WORKS\18022_24x36BLOCK - ELEVATIONS.dwg



MATERIAL CHART	
1	STUCCO
2	PREFINISHED CEMENTITIOUS SIDING MANUFACTURER : WOODTONE STAIN COLOR : OLD CHERRY
3	DECORATIVE CMU; GROUND FACE MANUFACTURER : TRENWYTH COLOR : BUFF
4	METAL RAILING
5	METAL PANEL MANUFACTURER : OMEGA LITE PANEL COLOR : SILVER METALLIC

COLOR CHART	
PAINT	SW 0045 ANTIQUARIAN BROWN STUCCO
	SW 6258 TRICORN BLACK METAL RAILINGS, CANOPIES
	SW 7020 BLACK FOX STUCCO
	SW 0038 LIBRARY PEWTER STUCCO
	SW 6186 DRIED THYME STUCCO
	SW 7013 IVORY LACE STUCCO
PREMANUFACTURED MATERIALS	WOODTONE STAIN COLOR : OLD CHERRY
	DECORATIVE MASONRY BUFF
	METAL PANEL SILVER METALLIC

ARCHITECTURAL STYLE : WARM MODERN				
MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
TOTAL WALL AREA	22,924 S.F.	22,850 S.F.	16,771 S.F.	16,304 S.F.
PRIMARY MATERIAL: STUCCO	12,556 S.F.	12,582 S.F.	8,561 S.F.	7,545 S.F.
SECONDARY MATERIALS	10,368 S.F.	10,268 S.F.	8,210 S.F.	8,759 S.F.
PRIMARY MATERIAL: STUCCO %	54.77%	55.06%	51.05%	46.28%
SECONDARY MATERIALS %	45.23%	44.94%	48.95%	53.72%
*SECONDARY MATERIALS INCLUDE: PREFINISHED CEMENTITIOUS SIDING, DECORATIVE CMU, METAL PANELS, DOORS, AND WINDOWS				

THIS DRAWING HAS BEEN
PREPARED UNDER THE DIRECT
SUPERVISION OF
LAURENCE F. LAPOMARDA JR.
ARIZONA REGISTRATION #88075
AND IS CONSIDERED TO BE
INCOMPLETE

Copyright:
©2019 by Womack+Hampton
Architects, L.L.C. All rights reserved.
The arrangements depicted herein
are the sole property of WHA, L.L.C.
and may not be reproduced in any
form without written permission.

Project No.
19022

Drawn By:
MARCH 23, 2020
ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte
Mesa, Arizona
TALOS HOLDINGS
Better Life. Better Living
SCOTTSDALE 1 - FORT WORTH 1 - ATLANTA

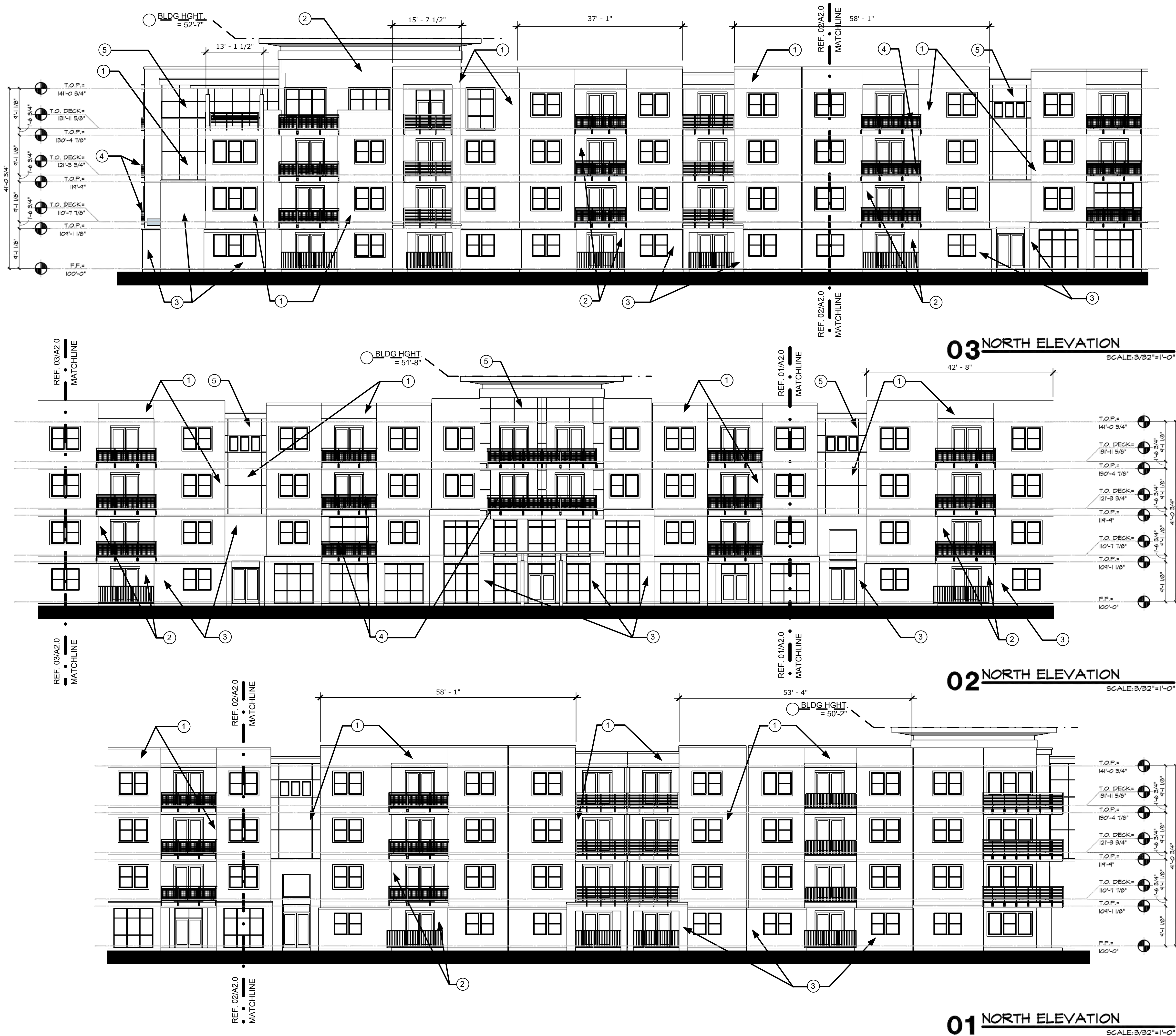
Womack+Hampton
ARCHITECTS, L.L.C.
4311 Oak Lawn Ave., Suite 50
Dallas, Texas 75219
Phone: (214) 252-5000
Fax: (214) 252-5050



Sheet Number:

A2.3
COLOR
ELEVATIONS

PLOT DATE: 4/23/2020 PLOT TIME: 5:07 PM PATH NAME: H:\B000\19022 Talos Signal Butte\REFS\19022_24x36TBLOCK - ELEVATIONS.dwg



MATERIAL CHART

- 1 STUCCO
- 2 PREFINISHED CEMENTITIOUS SIDING
MANUFACTURER : WOODTONE
STAIN COLOR : OLD CHERRY
- 3 DECORATIVE CMU; GROUND FACE
MANUFACTURER : TRENWYTH
COLOR : BUFF
- 4 METAL RAILING
- 5 METAL PANEL
MANUFACTURER : OMEGA LITE
PANEL COLOR : SILVER METALLIC

COLOR CHART

- PAINT
- SW 0045 ANTIQUARIAN BROWN
STUCCO
 - SW 6258 TRICORN BLACK
METAL RAILINGS, CANOPIES
 - SW 7020 BLACK FOX
STUCCO
 - SW 0038 LIBRARY PEWTER
STUCCO
 - SW 6186 DRIED THYME
STUCCO
 - SW 7013 IVORY LACE
STUCCO
- PREMANUFACTURED MATERIALS
- WOODTONE
STAIN COLOR : OLD CHERRY
 - DECORATIVE MASONRY
BUFF
 - METAL PANEL
SILVER METALLIC

ARCHITECTURAL STYLE :
WARM MODERN

MATERIAL CALCULATIONS

	NORTH	SOUTH	EAST	WEST
TOTAL WALL AREA	22,924 S.F.	22,850 S.F.	16,771 S.F.	16,304 S.F.
PRIMARY MATERIAL: STUCCO	12,556 S.F.	12,582 S.F.	8,561 S.F.	7,545 S.F.
SECONDARY MATERIALS	10,368 S.F.	10,268 S.F.	8,210 S.F.	8,759 S.F.
PRIMARY MATERIAL: STUCCO %	54.77%	55.06%	51.05%	46.28%
SECONDARY MATERIALS %	45.23%	44.94%	48.95%	53.72%

*SECONDARY MATERIALS INCLUDE
PREFINISHED CEMENTITIOUS SIDING,
DECORATIVE CMU, METAL PANELS,
DOORS, AND WINDOWS

THIS DRAWING HAS BEEN
PREPARED UNDER THE DIRECT
SUPERVISION OF
LAURENCE F. LAPOMARDA JR
ARIZONA REGISTRATION #68075
AND IS CONSIDERED TO BE
INCOMPLETE

Copyright:
©2019 by Womack+Hampton
Architects, L.L.C. All rights reserved.
The arrangements depicted herein
are the sole property of WHA, L.L.C.
and may not be reproduced in any
form without written permission.

Project No.
19022
Drawn By:
MARCH 23, 2020
ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte
Mesa, Arizona
TALOS HOLDINGS
Water, Life, Better Living
SCOTTSDALE | FORT WORTH | ATLANTA

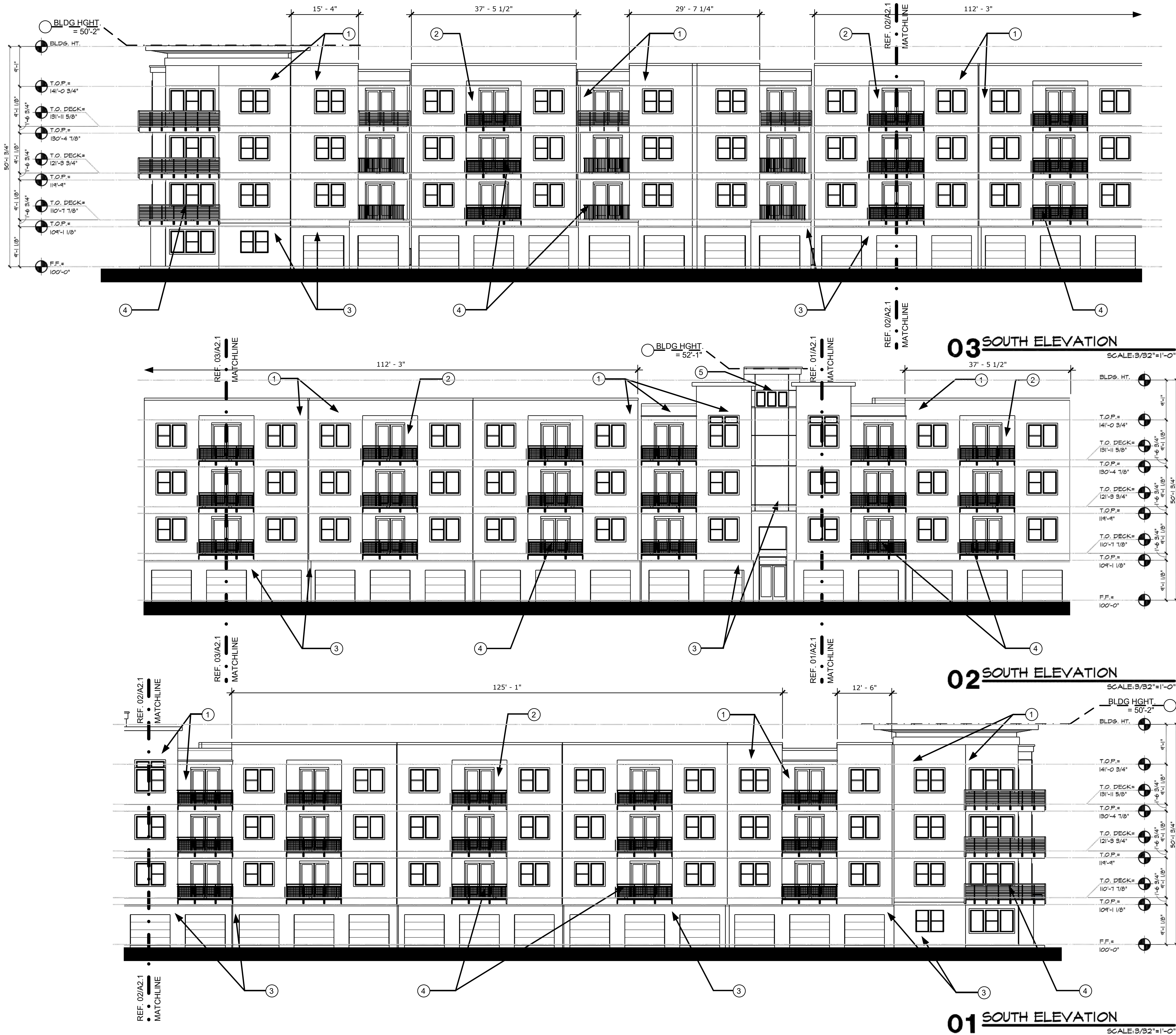
Womack+Hampton
ARCHITECTS, L.L.C.
4301 Oak Lawn Ave., Suite 50
Dallas, Texas 75219
Phone: (214) 252-9500
Fax: (214) 252-9550



Sheet Number:

A3.0
ELEVATIONS

PLOT DATE: 4/23/2020 PLOT TIME: 5:07 PM PATH NAME: H:\PROJECTS\19022_24\367BLOCK - ELEVATIONS.dwg



MATERIAL CHART	
1	STUCCO
2	PREFINISHED CEMENTITIOUS SIDING MANUFACTURER : WOODTONE STAIN COLOR : OLD CHERRY
3	DECORATIVE CMU; GROUND FACE MANUFACTURER : TRENWYTH COLOR : BUFF
4	METAL RAILING
5	METAL PANEL MANUFACTURER : OMEGA LITE PANEL COLOR : SILVER METALLIC

COLOR CHART	
PAINT	SW 0045 ANTIQUARIAN BROWN STUCCO
	SW 6258 TRICORN BLACK METAL RAILINGS, CANOPIES
	SW 7020 BLACK FOX STUCCO
	SW 0038 LIBRARY PEWTER STUCCO
	SW 6186 DRIED THYME STUCCO
PREMANUFACTURED MATERIALS	SW 7013 IVORY LACE STUCCO
	WOODTONE STAIN COLOR : OLD CHERRY
	DECORATIVE MASONRY BUFF
	METAL PANEL SILVER METALLIC

ARCHITECTURAL STYLE :		WARM MODERN			
MATERIAL CALCULATIONS		NORTH	SOUTH	EAST	WEST
TOTAL WALL AREA		22,924 S.F.	22,850 S.F.	16,771 S.F.	16,304 S.F.
PRIMARY MATERIAL: STUCCO		12,556 S.F.	12,582 S.F.	8,561 S.F.	7,545 S.F.
SECONDARY MATERIALS		10,368 S.F.	10,268 S.F.	8,210 S.F.	8,759 S.F.
PRIMARY MATERIAL: STUCCO %		54.77%	55.06%	51.05%	46.28%
SECONDARY MATERIALS %		45.23%	44.94%	48.95%	53.72%
*SECONDARY MATERIALS INCLUDE PREFINISHED CEMENTITIOUS SIDING, DECORATIVE CMU, METAL PANELS, DOORS, AND WINDOWS					

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF LAURENCE F. LAFOMBARDA JR. ARIZONA REGISTRATION #68075 AND IS CONSIDERED TO BE **INCOMPLETE**

Copyright: ©2019 by Womack+Hampton Architects, L.L.C. All rights reserved. The arrangements depicted herein are the sole property of WHA, L.L.C. and may not be reproduced in any form without written permission.
Project No. 19022
Drawn By: MARCH 23, 2020
ISSUE FOR PERMIT:
ISSUE FOR CONSTRUCTION:

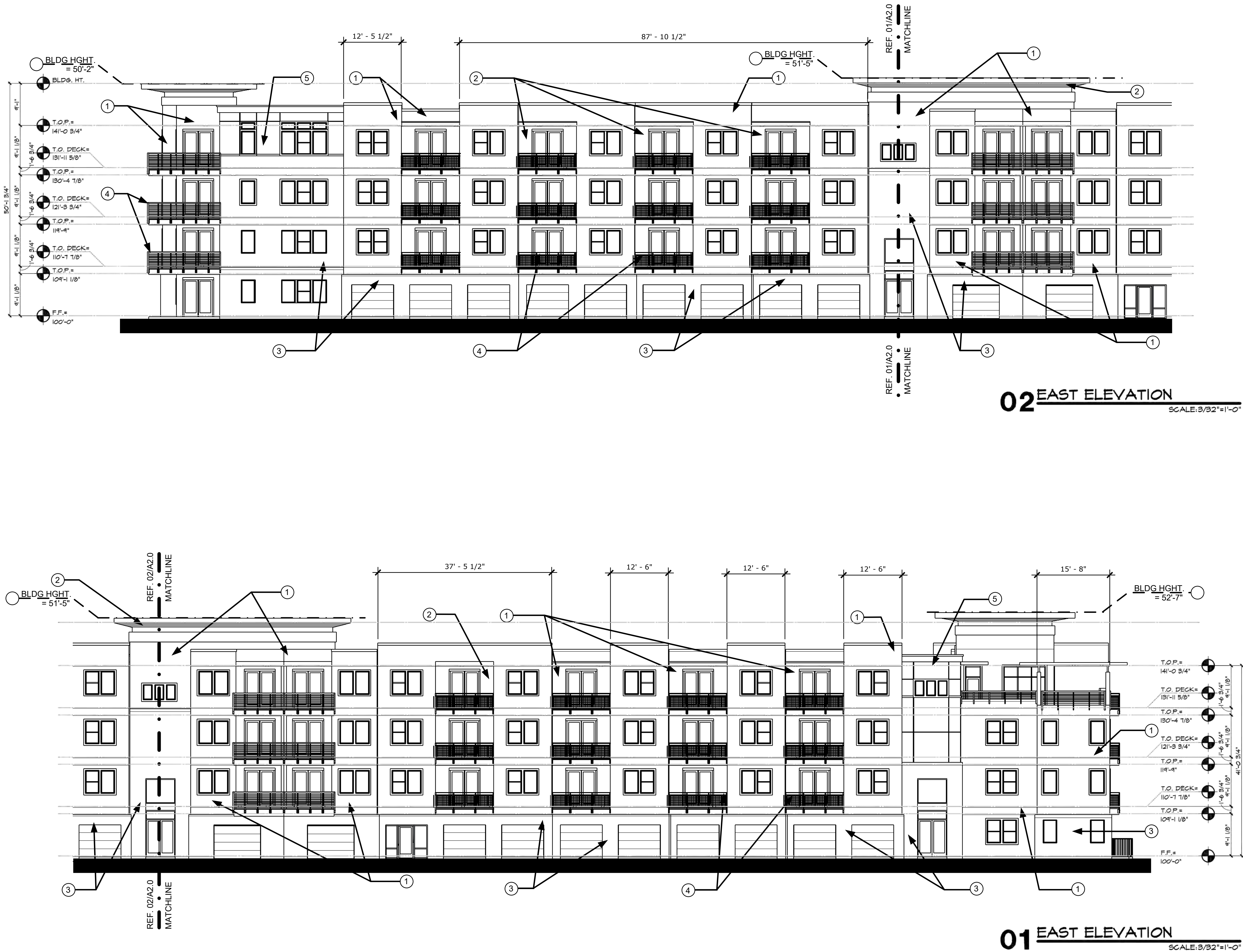
Revisions:

Talos Signal Butte
Mesa, Arizona
TALOS HOLDINGS
Talent, Life, Better Living
SCOTTSDALE I. FOSTER WATER ATLANTA

Womack+Hampton
ARCHITECTS, L.L.C.
4311 Oak Lawn Ave. Suite 50
Dallas, Texas 75246
Phone: (214) 252-9800
Fax: (214) 252-9860

Sheet Number:
A3.1
ELEVATIONS

PLOT DATE: 4/23/2020 PLOT TIME: 5:07 PM PATHNAME: H:\PROJECTS\19022 Talos Signal Butte\REFS\19022_24x36TBlock - ELEVATIONS.dwg



MATERIAL CHART	
①	STUCCO
②	PREFINISHED CEMENTITIOUS SIDING MANUFACTURER : WOODTONE STAIN COLOR : OLD CHERRY
③	DECORATIVE CMU; GROUND FACE MANUFACTURER : TRENWYTH COLOR : BUFF
④	METAL RAILING
⑤	METAL PANEL MANUFACTURER : OMEGA LITE PANEL COLOR : SILVER METALLIC

COLOR CHART	
PAINT	SW 0045 ANTIQUARIAN BROWN STUCCO
	SW 6258 TRICORN BLACK METAL RAILINGS, CANOPIES
	SW 7020 BLACK FOX STUCCO
	SW 0038 LIBRARY PEWTER STUCCO
	SW 6186 DRIED THYME STUCCO
	SW 7013 IVORY LACE STUCCO
PREMANUFACTURED MATERIALS	WOODTONE STAIN COLOR : OLD CHERRY
	DECORATIVE MASONRY BUFF
	METAL PANEL SILVER METALLIC

ARCHITECTURAL STYLE :		MATERIAL CALCULATIONS			
WARM MODERN		NORTH	SOUTH	EAST	WEST
TOTAL WALL AREA		22,924 S.F.	22,850 S.F.	16,771 S.F.	16,304 S.F.
PRIMARY MATERIAL: STUCCO		12,556 S.F.	12,582 S.F.	8,561 S.F.	7,545 S.F.
SECONDARY MATERIALS		10,368 S.F.	10,268 S.F.	8,210 S.F.	8,759 S.F.
PRIMARY MATERIAL: STUCCO %		54.77%	55.06%	51.05%	46.28%
SECONDARY MATERIALS %		45.23%	44.94%	48.95%	53.72%
*SECONDARY MATERIALS INCLUDE PREFINISHED CEMENTITIOUS SIDING, DECORATIVE CMU, METAL PANELS, DOORS, AND WINDOWS					

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF LAURENCE F. LAPOMARDA JR ARIZONA REGISTRATION #68075 AND IS CONSIDERED TO BE

INCOMPLETE

THIS DRAWING MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION WITHOUT THE ARCHITECT'S OFFICIAL SEAL.

Copyright:
©2019 by Womack+Hampton Architects, L.L.C. All rights reserved. The arrangements depicted herein are the sole property of WHA, L.L.C. and may not be reproduced in any form without written permission.

Project No.
19022

Drawn By:
MARCH 29, 2020

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte
Mesa, Arizona

TALOS HOLDINGS
Better Life. Better Living

SCOTTSDALE 1 FOOT WATER 1 ATLANTA

Womack+Hampton
ARCHITECTS, L.L.C.

491 Oak Lawn Ave., Suite 50
Dallas, Texas 75226
Phone: 214.252.8800
Fax: 214.252.8080



Sheet Number:

A3.2
ELEVATIONS

PLOT DATE: 4/23/2020 PLOT TIME: 5:07 PM PATHNAME: H:\190000\190222 Talos Signal Butte\REFS\190222_24x36TBLOCK - ELEVATIONS.dwg



MATERIAL CHART	
1	STUCCO
2	PREFINISHED CEMENTITIOUS SIDING MANUFACTURER : WOODTONE STAIN COLOR : OLD CHERRY
3	DECORATIVE CMU; GROUND FACE MANUFACTURER : TRENWYTH COLOR : BUFF
4	METAL RAILING
5	METAL PANEL MANUFACTURER : OMEGA LITE PANEL COLOR : SILVER METALLIC

COLOR CHART	
PAINT	SW 0045 ANTIQUARIAN BROWN STUCCO
	SW 6258 TRICORN BLACK METAL RAILINGS, CANOPIES
	SW 7020 BLACK FOX STUCCO
	SW 0038 LIBRARY PEWTER STUCCO
	SW 6186 DRIED THYME STUCCO
	SW 7013 IVORY LACE STUCCO
PREMANUFACTURED MATERIALS	WOODTONE STAIN COLOR : OLD CHERRY
	DECORATIVE MASONRY BUFF
	METAL PANEL SILVER METALLIC

ARCHITECTURAL STYLE :		WARM MODERN			
MATERIAL CALCULATIONS		NORTH	SOUTH	EAST	WEST
TOTAL WALL AREA		22,924 S.F.	22,850 S.F.	16,771 S.F.	16,304 S.F.
PRIMARY MATERIAL: STUCCO		12,556 S.F.	12,582 S.F.	8,561 S.F.	7,545 S.F.
SECONDARY MATERIALS		10,368 S.F.	10,268 S.F.	8,210 S.F.	8,759 S.F.
PRIMARY MATERIAL: STUCCO %		54.77%	55.06%	51.05%	46.28%
SECONDARY MATERIALS %		45.23%	44.94%	48.95%	53.72%
*SECONDARY MATERIALS INCLUDE PREFINISHED CEMENTITIOUS SIDING, DECORATIVE CMU, METAL PANELS, DOORS, AND WINDOWS					

THIS DRAWING HAS BEEN PREPARED UNDER THE DIRECT SUPERVISION OF LAURENCE F. LAPOMARDA JR ARIZONA REGISTRATION #68075 AND IS CONSIDERED TO BE

INCOMPLETE

Copyright: ©2019 by Womack+Hampton Architects, L.L.C. All rights reserved. The arrangements depicted herein are the sole property of WHA, L.L.C. and may not be reproduced in any form without written permission.

Project No. 19022

Drawn By: MARCH 23, 2020

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

Talos Signal Butte
Mesa, Arizona

TALOS HOLDINGS
Better Life. Better Living

SCOTTSDALE | FORT WORTH | ATLANTA

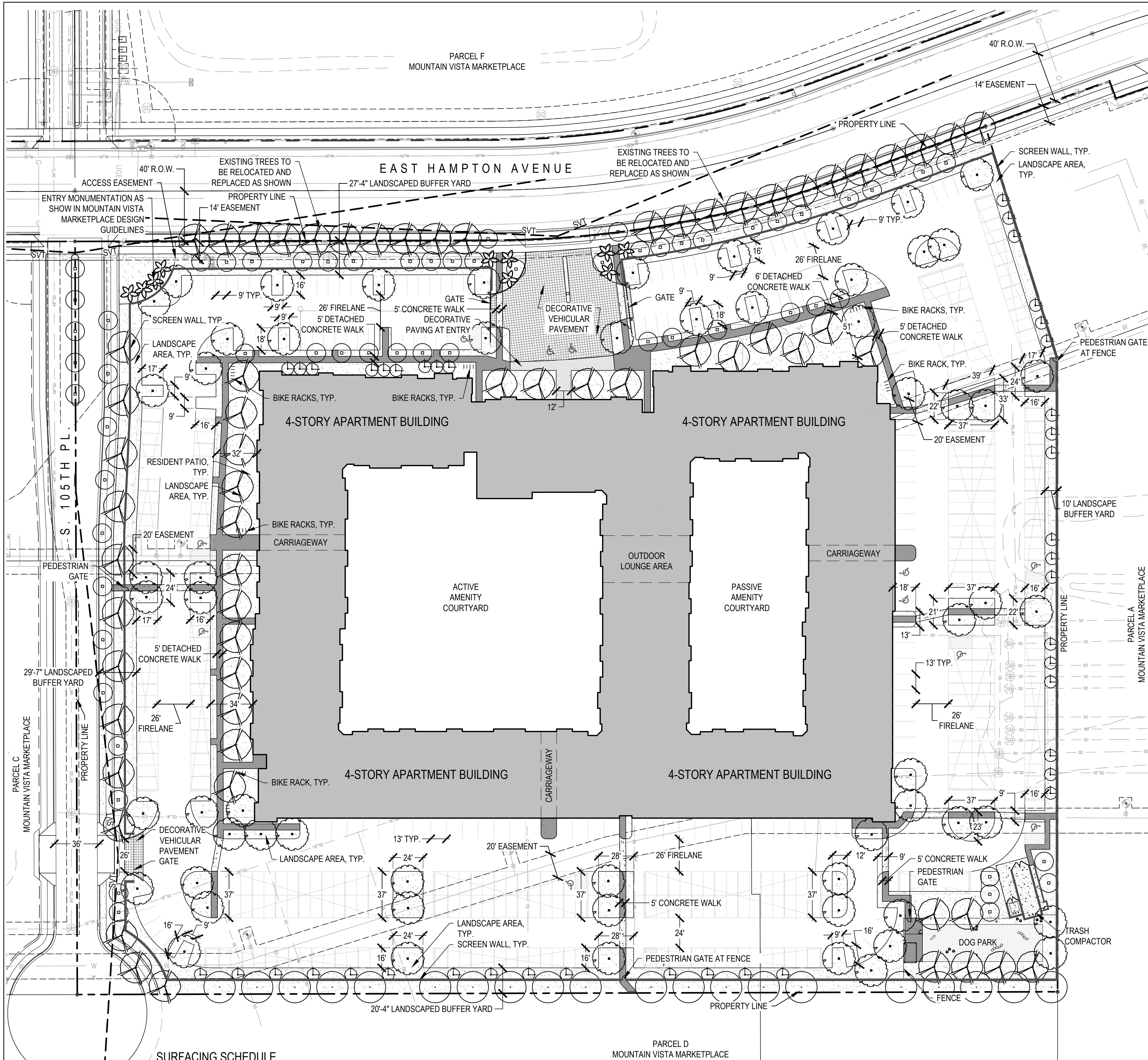
Womack+Hampton
ARCHITECTS, L.L.C.

4311 Oak Lawn Ave., Suite 50
Dallas, Texas 75206
Phone: 214.252.9000
Fax: 214.252.9999



Sheet Number:

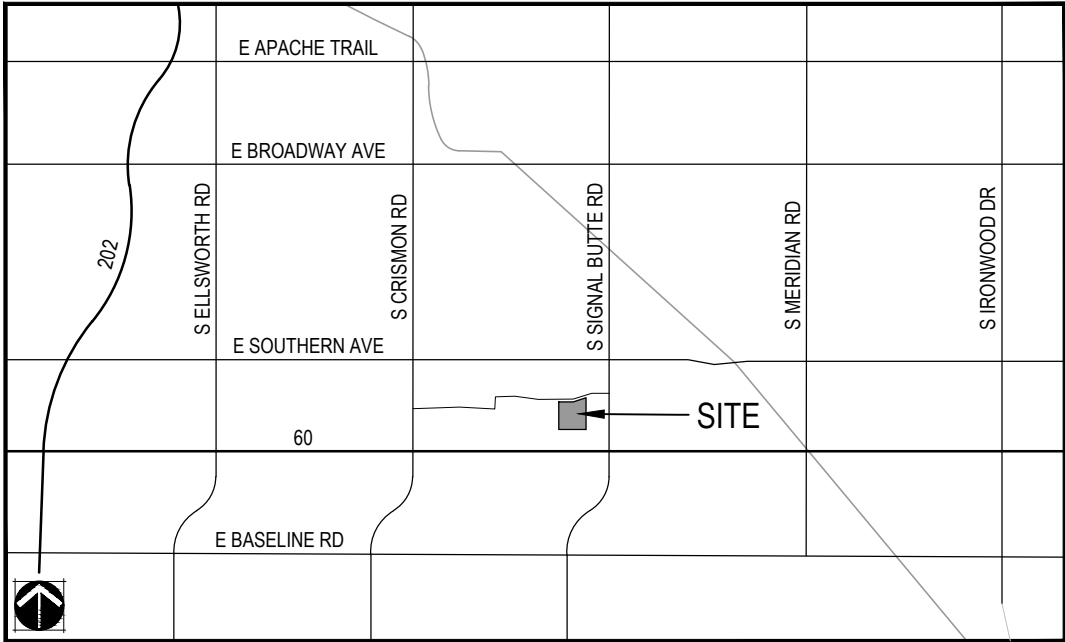
A3.3
ELEVATIONS



TALOS SIGNAL BUTTE

CONCEPTUAL SITE PLAN

VICINITY MAP



PROJECT TEAM

OWNER
TALOS HOLDINGS, LLC
7979 EAST PRINCESS DRIVE, SUITE 17
SCOTTSDALE, AZ 85255
CONTACT: JACQUES BAZINET
PHONE: (801) 898-8778
EMAIL: JACQUES@TALOSHLDINGSLLC.COM

ARCHITECT
WOMACK + HAMPTON ARCHITECTS, LLC
4311 OAK LAWN AVENUE, SUITE 50
DALLAS, TX 75219
CONTACT: CRAIG LEWIS
PHONE: (214) 252-9000
EMAIL: CRAIG@WOMACKHAMPTON.COM

ENGINEER
EPS GROUP, INC
1130 NORTH ALMA SCHOOL ROAD
MESA, AZ 85201
CONTACT: BRIAN NICHOLLS
PHONE: (480) 355-1537
EMAIL: BRIAN.NICHOLLS@EPSGROUPINC.COM

LANDSCAPE ARCHITECT
NORRIS DESIGN
418 NORTH TOOLE AVENUE
TUCSON, AZ 85701
CONTACT: JOSH ORTH
PHONE: (520) 622-9565
EMAIL: JORTH@NORRIS-DESIGN.COM

LANDSCAPE CALCULATIONS

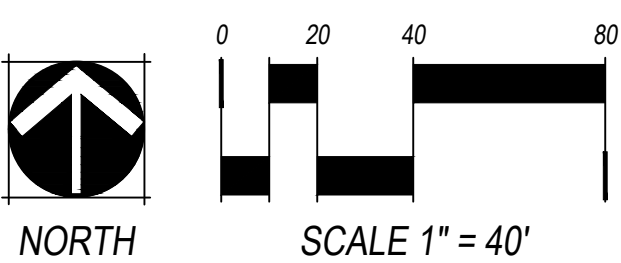
EAST HAMPTON AVENUE :	REQUIRED	PROVIDED
TREES - 1 PER 25 L.F. (597 L.F.):	24 TREES	24 TREES
SHRUBS - 4 PER 25 L.F. (597 L.F.):	96 SHRUBS	100 SHRUBS
SOUTH 105TH PLACE:	REQUIRED	PROVIDED
TREES - 1 PER 25 L.F. (535 L.F.):	22 TREES	23 TREES
SHRUBS - 4 PER 25 L.F. (535 L.F.):	84 SHRUBS	96 SHRUBS
PARKING LOT:	REQUIRED	PROVIDED
TREES IN PARKING LOT -	71 TREES	163 TREES
1 PER 8 SPACES (567 SPACES):	425 SHRUBS	430 SHRUBS
SHRUBS IN PARKING LOT -	37 TREES	51 TREES
6 SHRUBS PER 8 SPACES (567 SPACES):	99 SHRUBS	132 SHRUBS
TREES IN PARKING ISLAND -		
1 PER ISLAND (33 ISLANDS):		
SHRUBS IN PARKING ISLAND -		
3 PER ISLAND (33 ISLANDS):		
FOUNDATION BASE:	REQUIRED	PROVIDED
TREES - 1 PER 50 L.F. EXTERIOR WALL (1,935 L.F. EXTERIOR WALL):	39 TREES	39 TREES
ADJACENT NON-SINGLE RESIDENCE	REQUIRED	PROVIDED
LANDSCAPING (SOUTH BOUNDARY):	21 TREES	21 TREES
TREES - 3 PER 100 L.F. (714 L.F.):	142 SHRUBS	142 SHRUBS
SHRUBS - 20 PER 100 L.F. (714 L.F.):		

PLANT SCHEDULE

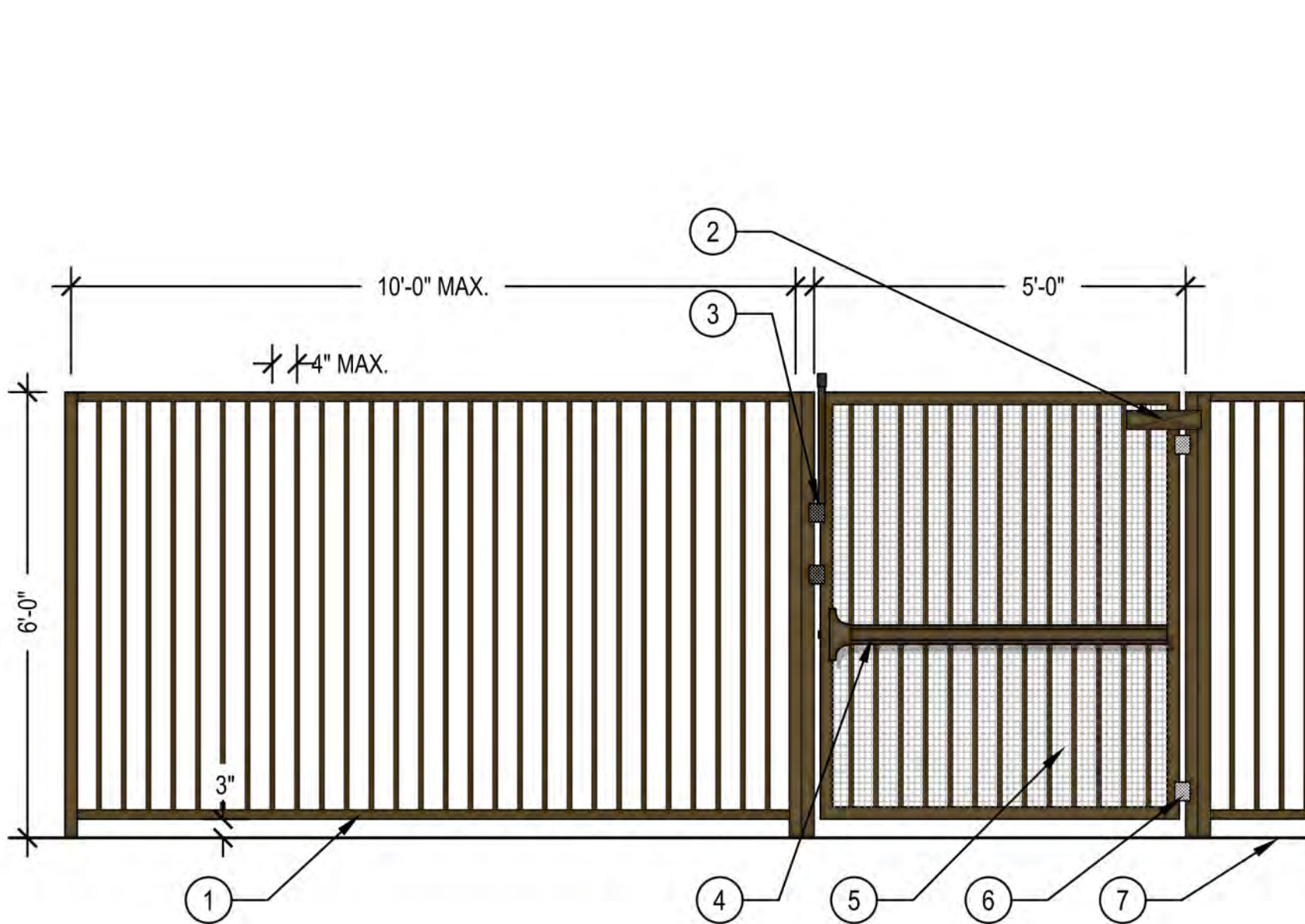
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE BRANCHING	CALIPER HT & W	QTY
TREES				
	Existing Tree Relocated from E. Hampton Ave.	--	N/A	20
	Phoenix dactylifera Date Palm - Male	SINGLE	20" TRUNK	10
	Chilopsis linearis 'Bubba' Bubba Desert Willow	24" BOX MULTI	5' X 3' 1" CAL MIN	60
	Parkinsonia x 'Desert Museum' Desert Museum Palo Verde	36" BOX MULTI	8' X 5' 1.75" CAL MIN	63
	Prosopis x Phoenix Thornless Mesquite	24" BOX MULTI	5' X 6' 1.25" CAL MIN	62
	Sophora secundiflora Texas Mountain Laurel	24" BOX MULTI	3' X 3' .75" CAL MIN	41
ACCENTS				
	Aloe barbadensis Medicinal Aloe	5 GAL		-
	Aloe x 'Blue Elf' Blue Elf Aloe	5 GAL		-
SHRUBS				
	Bougainvillea 'La Jolla' 'La Jolla' Bougainvillea	5 GAL		--
	Hesperaloe parviflora Brakelights	5 GAL		--
	Justicia californica Chuparosa	5 GAL		--
	Muhlenbergia capillaris 'Regal Mist' Muhly	5 GAL		--
	Muhlenbergia rigens Deer Grass	5 GAL		--
	Muhlenbergia rigens 'Nashville' Nashville Muhly	5 GAL		--
	Portulacaria afra Elephant Food	5 GAL		--
	Rosemarinus officinalis 'Tuscan Blue' Tuscan Blue Rosemary	5 GAL		--
	Ruellia peninsularis Ruellia	5 GAL		--
GROUNDCOVERS / VINES				
	Convolvulus cneorum Bush Morning Glory	5 GAL		--
	Lantana x 'Dallas Red' Dallas Red Lantana	1 GAL		--
	Lantana x 'New Gold' New Gold Lantana	1 GAL		--
	Bougainvillea Vine Bougainvillea Species	15 GAL STAKED		--

SURFACING SCHEDULE

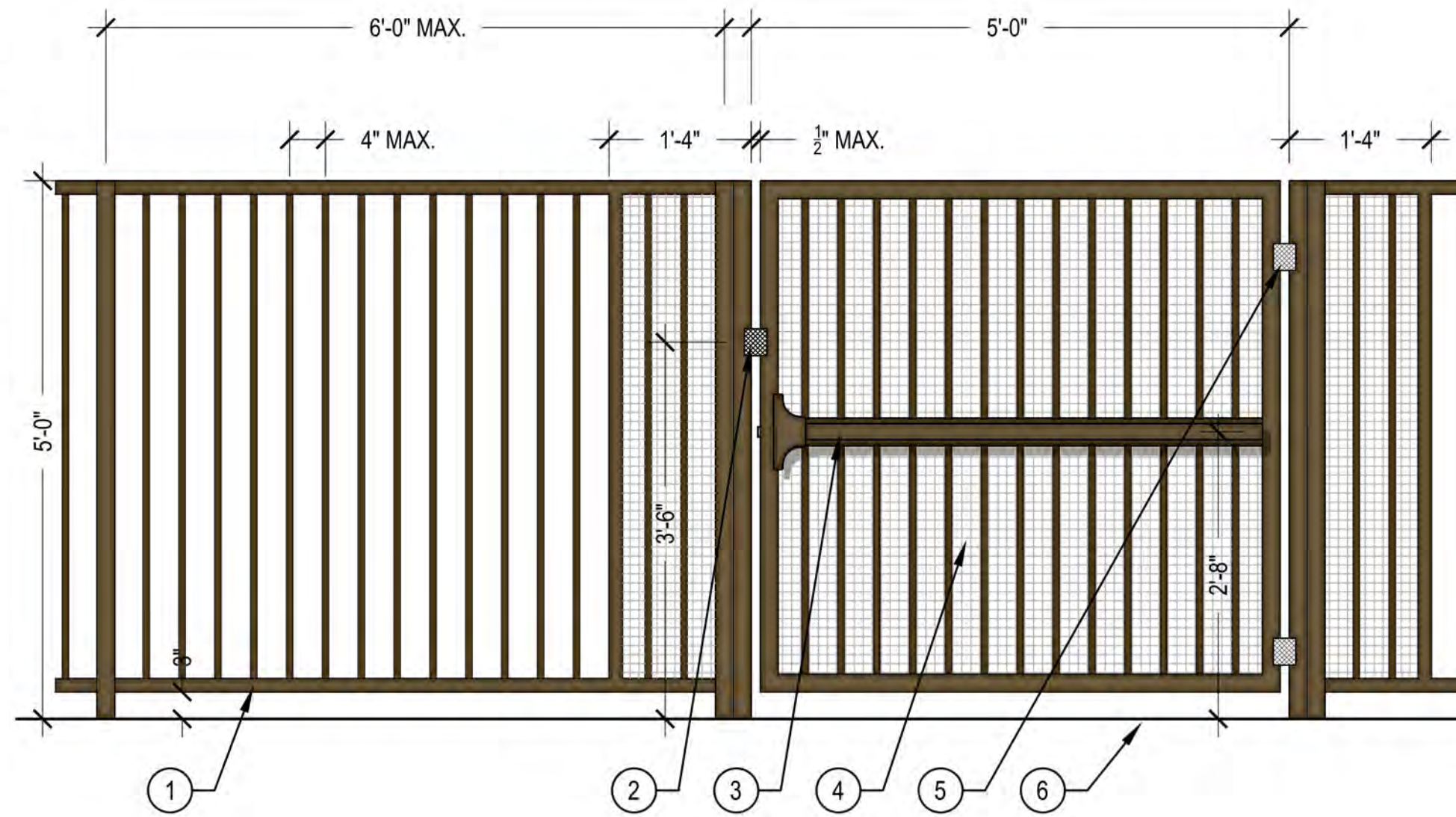
DECORATIVE PEDESTRIAN CONCRETE	DECORATIVE VEHICULAR PAVEMENT	ARTIFICIAL TURF
DECORATIVE PEDESTRIAN PAVERS	DECOMPOSED GRANITE TOPDRESS	VEHICULAR RATED CONCRETE PAVEMENT







- 1 STEEL FENCE WITH 2" POST, MAXIMUM 10'-0" ON CENTER, 3/4" PICKETS TO BE A MAXIMUM OF 4" SPACING, BRONZE COLOR
- 2 HYDRAULIC GATE CLOSER
- 3 KEY FOB TYPE LOCKING MECHANISM ON EXTERIOR GATE ONLY
- 4 PUSH BAR ON INTERIOR SIDE OF GATE
- 5 1" SQUARE MESH
- 6 SELF-CLOSING HINGES
- 7 FINISHED GRADE



- 1 STEEL FENCE WITH 2" POSTS, MAXIMUM 6'-0" ON CENTER, 3/4" PICKETS TO BE A MAXIMUM OF 4" SPACING, BRONZE COLOR
- 2 KEY FOB TYPE LOCKING MECHANISM
- 3 PUSH BAR ON INTERIOR SIDE OF GATE
- 4 1" SQUARE MESH, EXTEND ON BOTH SIDES OF GATE
- 5 SELF-CLOSING HINGES
- 6 FINISHED GRADE

NOTE:

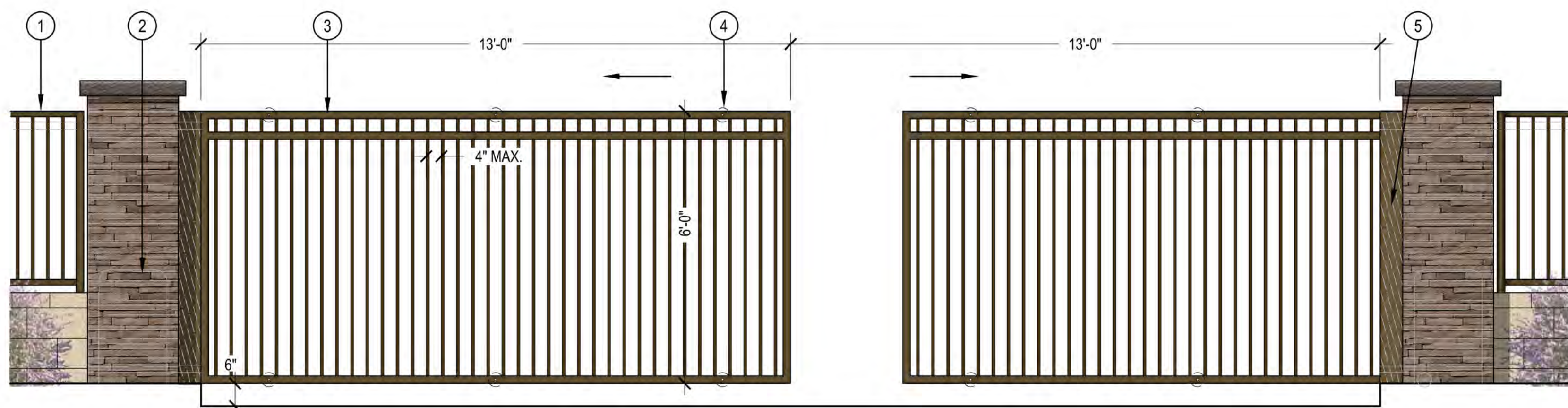
1. ALL POOL GATES ARE TO SWING OUTWARD FROM INSIDE OF THE POOL.
2. INSIDE OF ALL POOL GATES ARE TO BE EQUIPPED WITH AN EMERGENCY DOOR RELEASE PUSH BAR.
3. ALL POOL GATES SHALL BE READILY CAPABLE OF OPENING FROM EGRESS SIDE WITHOUT KEY OR SPECIAL KNOWLEDGE.
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
5. THERE SHALL BE NO HANDHOLDS OR FOOTHOLDS ON EXTERIOR SIDE OF GATE TO COMPLY WITH MARICOPA COUNTY REQUIREMENTS FOR A SEMI-PUBLIC POOL BARRIER.
6. MESH SHALL BE PROVIDED 18" ON ALL SIDES OF PANIC HARDWARE.
7. THE GATE OR ENCLOSURE SHALL HAVE NO OPENING GREATER THAN ONE-HALF INCH IN ANY DIRECTION WITHIN 18 INCHES OF THE LATCH, INCLUDING THE SPACE BETWEEN THE GATE AND THE GATE POST TO WHICH THE GATE IS LATCHED.
8. 5'-0" MIN. FENCE HEIGHT, VERIFY HEIGHT WITH LOCAL AUTHORITIES.
9. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

1 DOG PARK FENCE AND GATE

SCALE: 1/2" = 1'-0"

2 5' POOL FENCE AND GATE

SCALE: 3/4" = 1'-0"



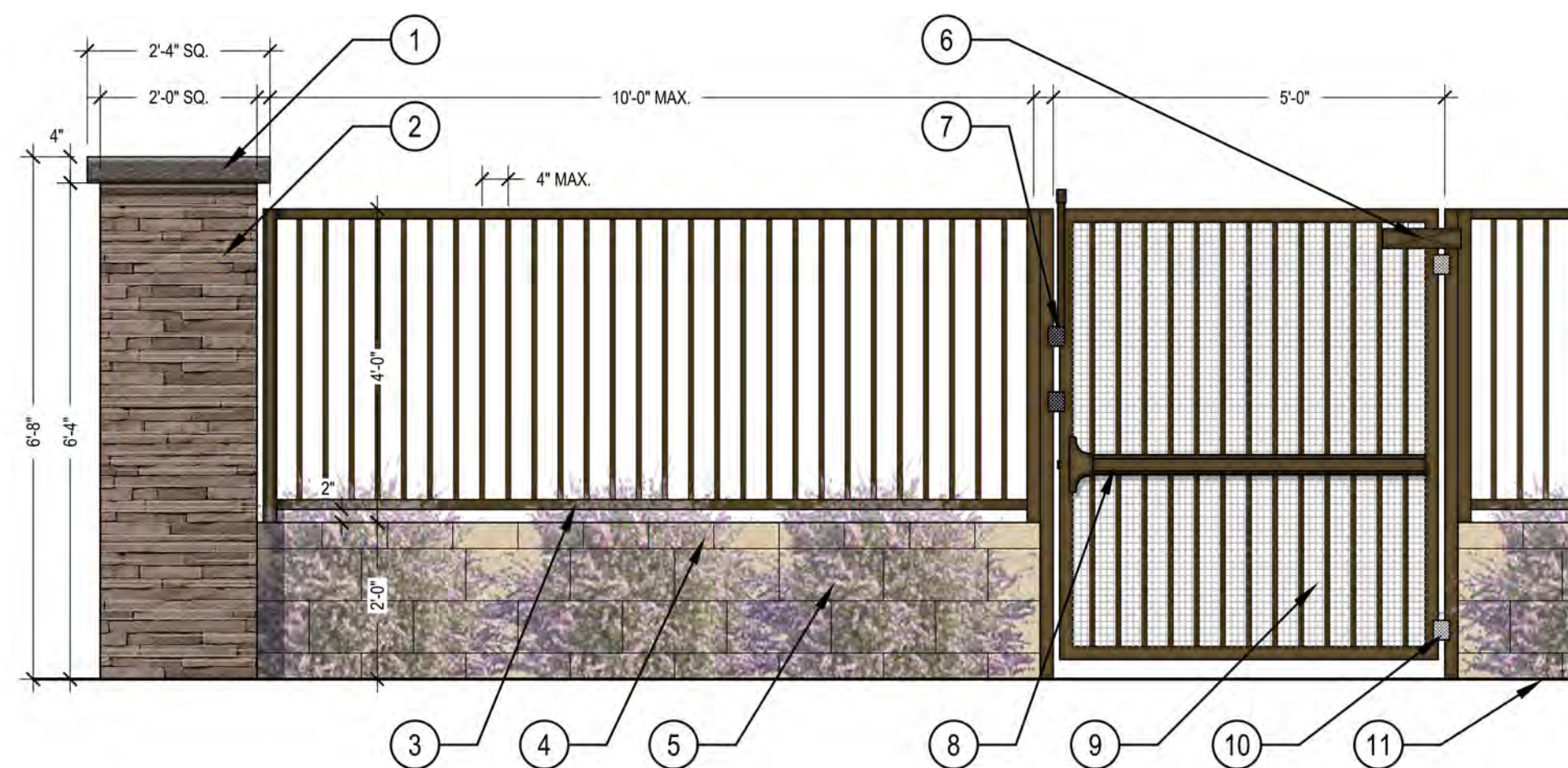
- 1 6' FOOT PARTIAL VIEW FENCE - SEE DETAIL ON THIS PAGE
- 2 GATE OPERATOR AND TRACK SYSTEM
- 3 2" METAL FRAME GATE - STYLE TO MATCH FENCING. COLOR TO BE BRONZE, 3/4" PICKETS 4" ON CENTER MAXIMUM SPACING, TOP OF GATE SHALL BE EVEN WITH THE TOP OF THE PARTIAL VIEW FENCE.
- 4 GUIDE WHEELS FOR GATE OPERATOR SYSTEM
- 5 FILL PANEL BETWEEN COLUMN AND CURB

NOTES:

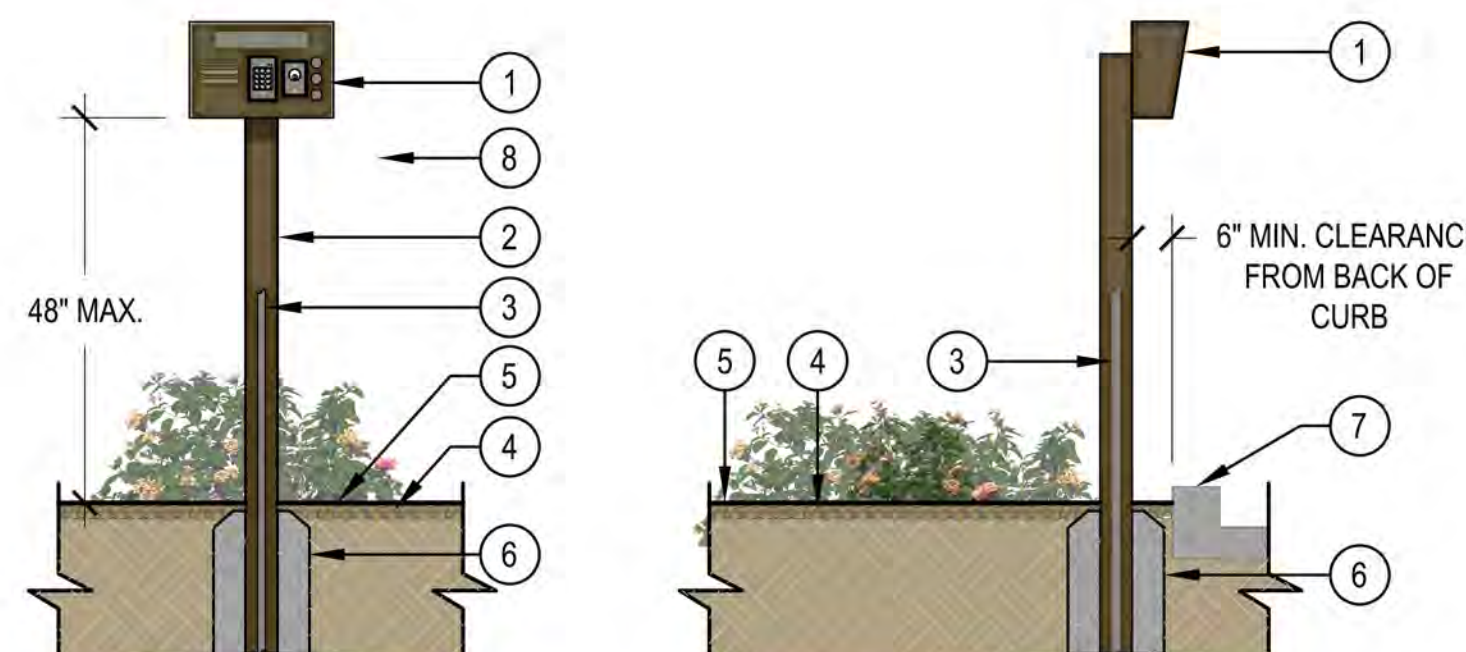
1. ALL VEHICULAR GATE STRUCTURES, HINGES AND MECHANICS TO BE ENGINEERED AND INSTALLED PER MANUFACTURER'S RECOMMENDATION AND SPECIFICATIONS.
2. GATE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
3. GATE CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER APPROVAL.
4. GATE CONTRACTOR TO PROVIDE CUT SHEETS OF ALL GATE EQUIPMENT AND HARDWARE FOR PERMIT PURPOSES.

3 VEHICULAR SLIDE GATE

SCALE: 1/2" = 1'-0"



- 1 PRECAST CONCRETE CAP COLOR KAHLUA
- 2 DECORATIVE COLUMN ENGLISH RUBBLE STONE VENEER, COLOR NEWPORT SANDSTONE
- 3 STEEL FENCE WITH 2" POST, MAXIMUM 10'-0" ON CENTER, 3/4" RAILS TO BE A MAXIMUM OF 4" SPACING, BRONZE COLOR
- 4 10" X 4" X 16" SPLIT FACE CMU CAP PAINTED SW 7684 COLOR
- 5 8" X 8" X 16" STANDARD CMU BLOCK PAINTED SW 7684 COLOR
- 6 HYDRAULIC GATE CLOSER
- 7 KEY FOB TYPE LOCKING MECHANISM
- 8 PUSH BAR ON INTERIOR SIDE OF GATE
- 9 1" SQUARE MESH
- 10 SELF-CLOSING HINGES
- 11 FINISHED GRADE



- 1 ENTRY KEY PAD PER OWNER. COORDINATE WITH MEP AND GATE CONTRACTOR
- 2 2X2 STEEL POST TO BE FIELD PRIMED AND PAINTED TO MATCH FENCING
- 3 ELECTRICAL CONDUIT - COORDINATE WITH MEP
- 4 TOPDRESS - SEE TOPDRESS SCHEDULE
- 5 FINISH GRADE
- 6 CONCRETE FOOTING AS NEEDED TO SUPPORT CALL BOX
- 7 CONCRETE CURB - SEE CIVIL DRAWINGS

4 6' PARTIAL VIEW FENCE AND PEDESTRIAN GATE

SCALE: 1/2" = 1'-0"

5 VEHICULAR GATE ENTRY CALL BOX

SCALE: 1/2" = 1'-0"



Talos Mountain Vista Callbox/Gate Operations Memo

To Whom It May Concern:

Below is an outline of the building operations regarding access controls for residents, guests, potential residents and deliveries. The callbox, gate design and operation outlined below has been successfully implemented and in operation at our Talos Holdings properties:

- 1) The View of Fort Worth – Fort Worth, TX – first occupants in August 2019

In addition to the Talos aforementioned property, the same design and operation is used by the following developers:

-Jamestown -Lincoln Property Company -Greystar -Bussuto

For addition information use this link [CLICK HERE](#)

(or use this link <https://butterflymx.com/industries/gated-communities/>)

Residents / Guests

At move in, each resident is given a dynamic log in name and password to download a smart phone app. Through the app, residents can manage access control for the entire property--vehicular gates, entry doors, the package storing system, access to all notices, updates, and a log of all relevant information communicated to residents. The app controls the gate remotely from anywhere in the world as long as residents' smart phone has internet access. Through the app, residents are able to visually see who is at the gate. Most guests call residents on their phone as they approach the property. Residents open the gates for their guests before their guests arrive at the gate. Residents become good at opening the gates for themselves as they get in visual proximity of the gates. This system renders the callbox virtually useless--allowing the resident to open the gate with no or minimal stoppage. In our experience managing approximately 375 units at our occupied buildings, there is minimal if any queueing at gates. The timing of the gate is controlled by property management and can be set to any interval appropriate for the property.

Potential Residents/ Deliveries

Potential residents and deliveries access the leasing office and mail room via the guest parking area in front of the leasing center. This parking area is not within the access control areas and requires no staking. Signage directs each potential resident to the clubhouse for access.

Sincerely,

Jacques Bazinet
Chief Operations Officer
Talos Holdings LLC
(801) 898-8778
jacques@talosres.com
www.talosres.com

THIS DRAWING MAY NOT BE
USED FOR REGULATORY APPROV.
PERMIT, OR CONSTRUCTION WITHO
THE ARCHITECT'S OFFICIAL SEAL

Project No.
19022

MARCH 27, 2020

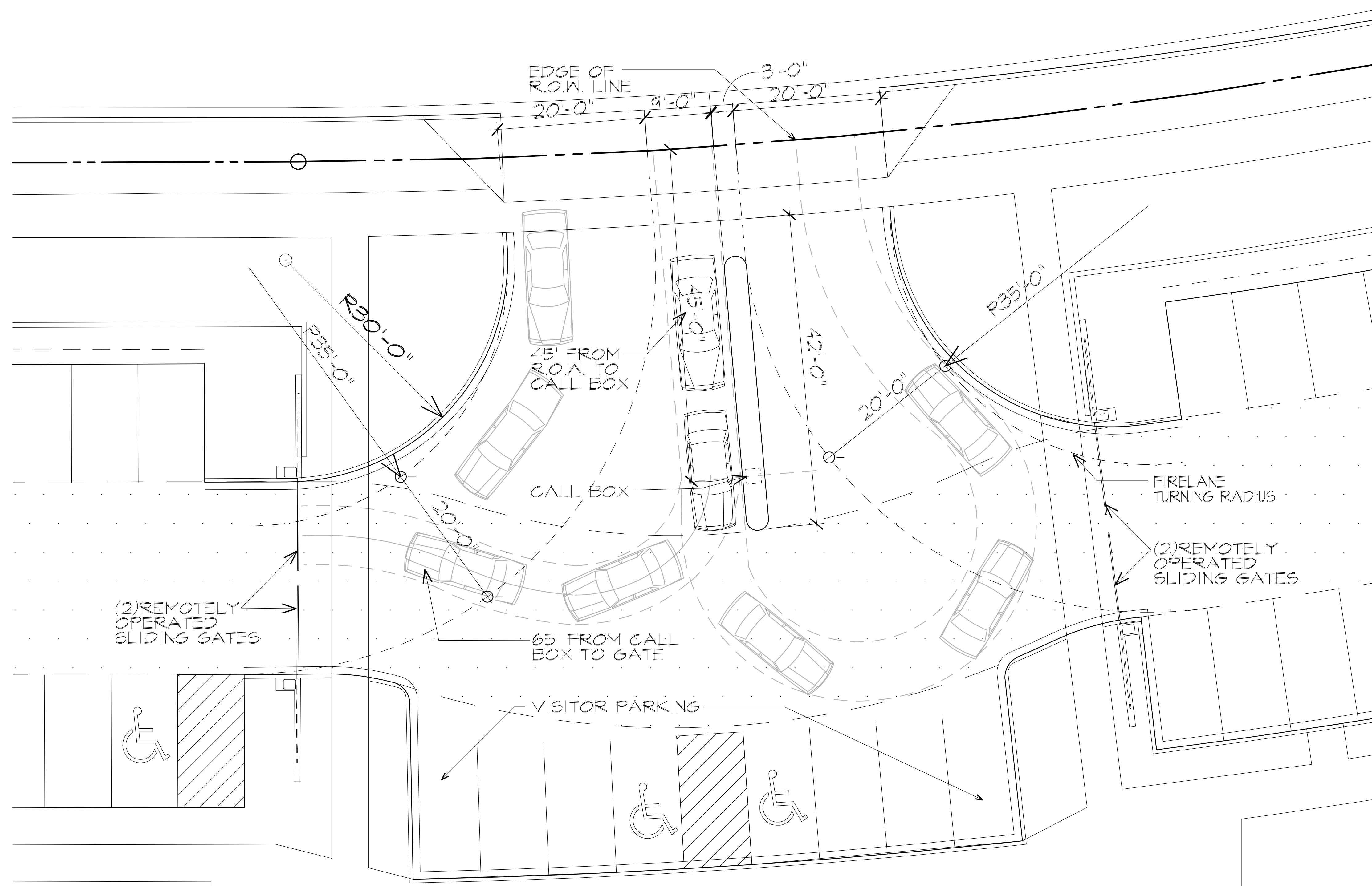
ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION

Revisions:



02 TYPICAL CARPORT STRUCTURE



01 PARCEL 'B' ENTRY GATE SCALE: 1/8" = 1'-0"

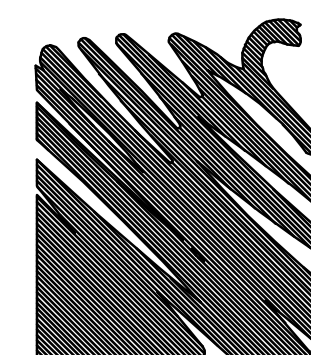
Talos Signal Butte

Mesa, Arizona



RESEARCH ARTICLE

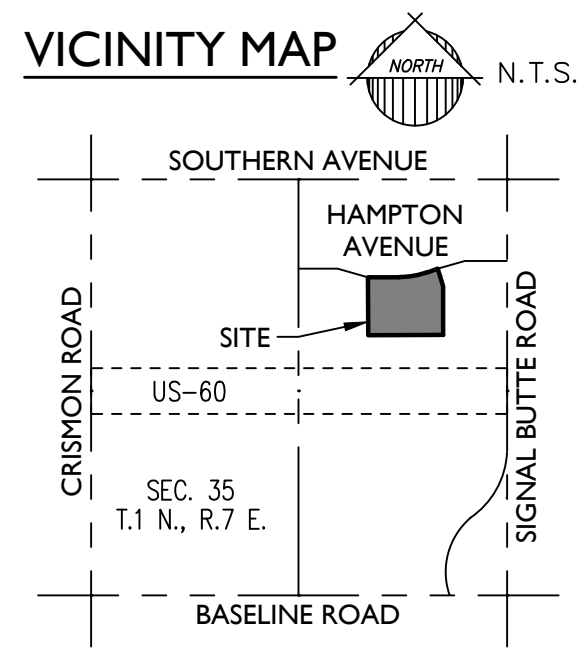
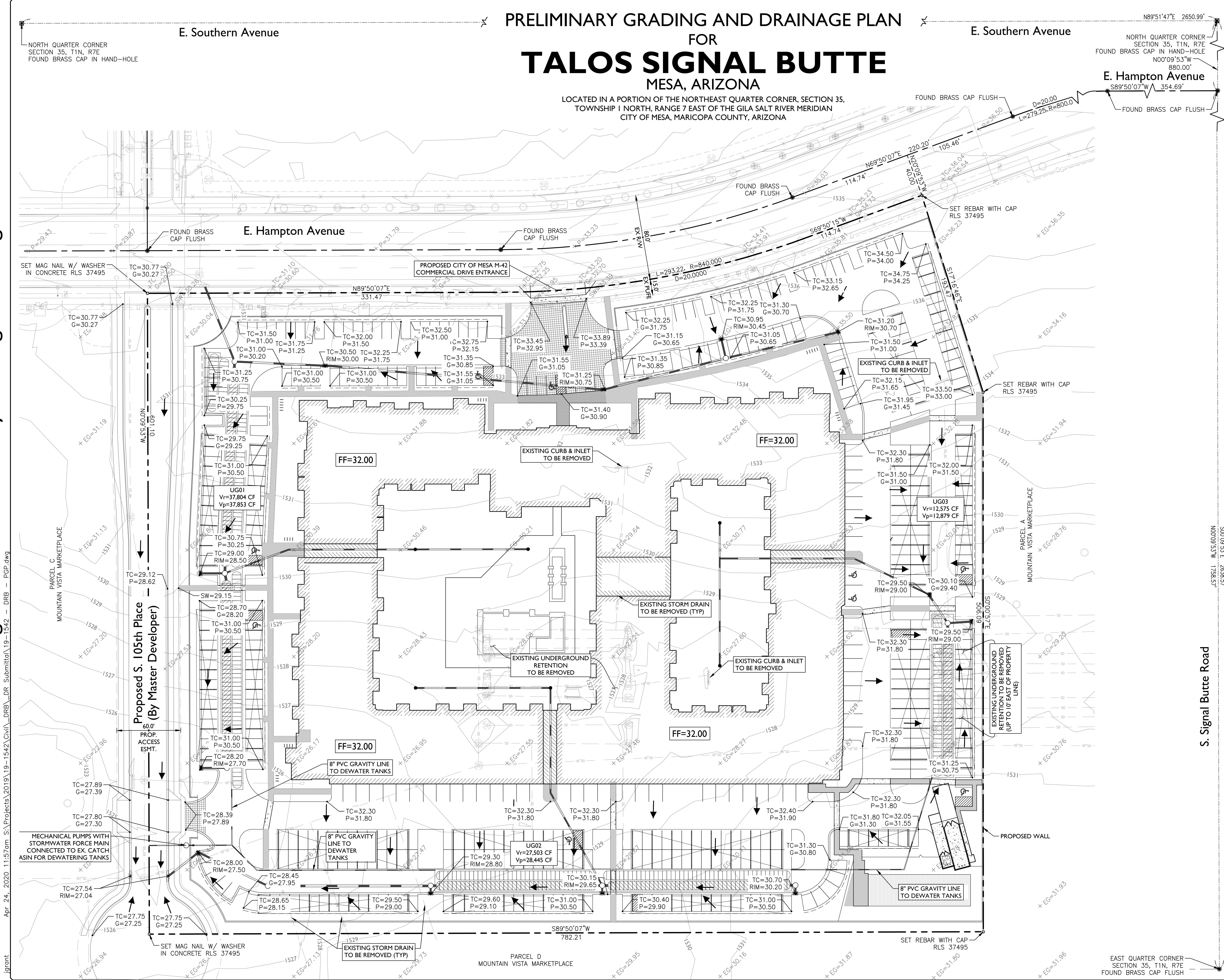
Womack+Hampton
ARCHITECTS, L.L.C.



Sheet Number

A1.3 ENTRY DRIVE

PLOT DATE: 4/6/2020 PLOT TIME: 10:47 AMPATH\NAME: H:\19000\19022 Talos Signal Butte\DDs\19022 Unit Plans_2020_03_31 Drive Entry.aec



LEGEND

- ISOLATED ROW FOR FIRST FLUSH
- UNDERGROUND STORAGE CHAMBER
- SURFACE FLOW DIRECTION
- STORM DRAIN LINE
- CATCH BASIN
- STORM DRAIN MANHOLE
- GRADE BREAK
- GRADE CHANGE

100-YR, 2-HR RUNOFF RETENTION CALCULATIONS

$V_{req} = C * (D/12) * A$
WHERE: V_{req} = RUNOFF VOLUME (CF)
 C_w = WEIGHTED RUNOFF COEFFICIENT
 D = 100-YR, 2-HR RAINFALL DEPTH (IN) = 2.2
 A = AREA (SF) = 511,824 SF

VOLUME REQUIRED

WEIGHTED C-VALUE (C_w =83)
 $V_r = .83 * (2.2/12) * 511,824$
 $V_r = 77,883$ (CF)

VOLUME PROVIDED

*THIS PROJECT WILL UTILIZE STORM TECH MC-4500 UNDERGROUND STORAGE CONTAINERS

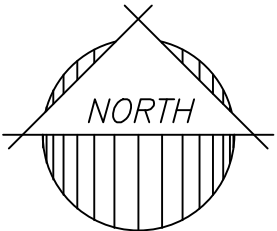
UG01: $V_r=37,853$
UG02: $V_r=28,445$
UG03: $V_r=12,879$
UNDER GROUND: $V_p = 79,177$ CF

$V_p > V_r$
79,177 > 77,883 CF

STORMWATER DISPOSAL

THE UNDERGROUND STORAGE SYSTEMS WILL BE INTERCONNECTED WITH A GRAVITY BLEED OFF SYSTEM OF 8" PVC PIPES. THE BLEED OFFS WILL CONNECT TO A CONTROL VALVE THEN TO A PUMP SYSTEM THAT WILL PUMP THE WATER INTO THE ADJACENT PROVIDED STORM DRAIN SYSTEM LOCATED IN 105TH PLACE.

THE RETENTION DISCHARGE WILL BE COMPLETE WITHIN 36 HOURS BUT NO SOONER THAN 24 HOURS.



Project: Talos Signal Butte
Mesa, Arizona

Revisions:

Call at least two full working days before you begin excavation.

ARIZONA

Design: EPS
Drawn by: EPS

Job No.
19-1542

PGP01

Sheet No.
1
of 1

Apr 24, 2020 11:58am S:\Projects\2019-1542\Civil\DRB\DRB Submittal\19-1542 - DRB - PUP.dwg

LOCATED IN A PORTION OF THE NORTHEAST QUARTER CORNER, SECTION 35,
TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE GILA SALT RIVER MERIDIAN
CITY OF MESA, MARICOPA COUNTY, ARIZONA



-

Job No.
19-1542

PUP01

Sheet No.
1
of 1

EPS-01