

CRISMON COMMONS

CONCEPTUAL LANDSCAPE PLAN

APPROX. N.W.C. BASELINE + CRISMON ROAD | MESA | AZ

GENERAL NOTES :

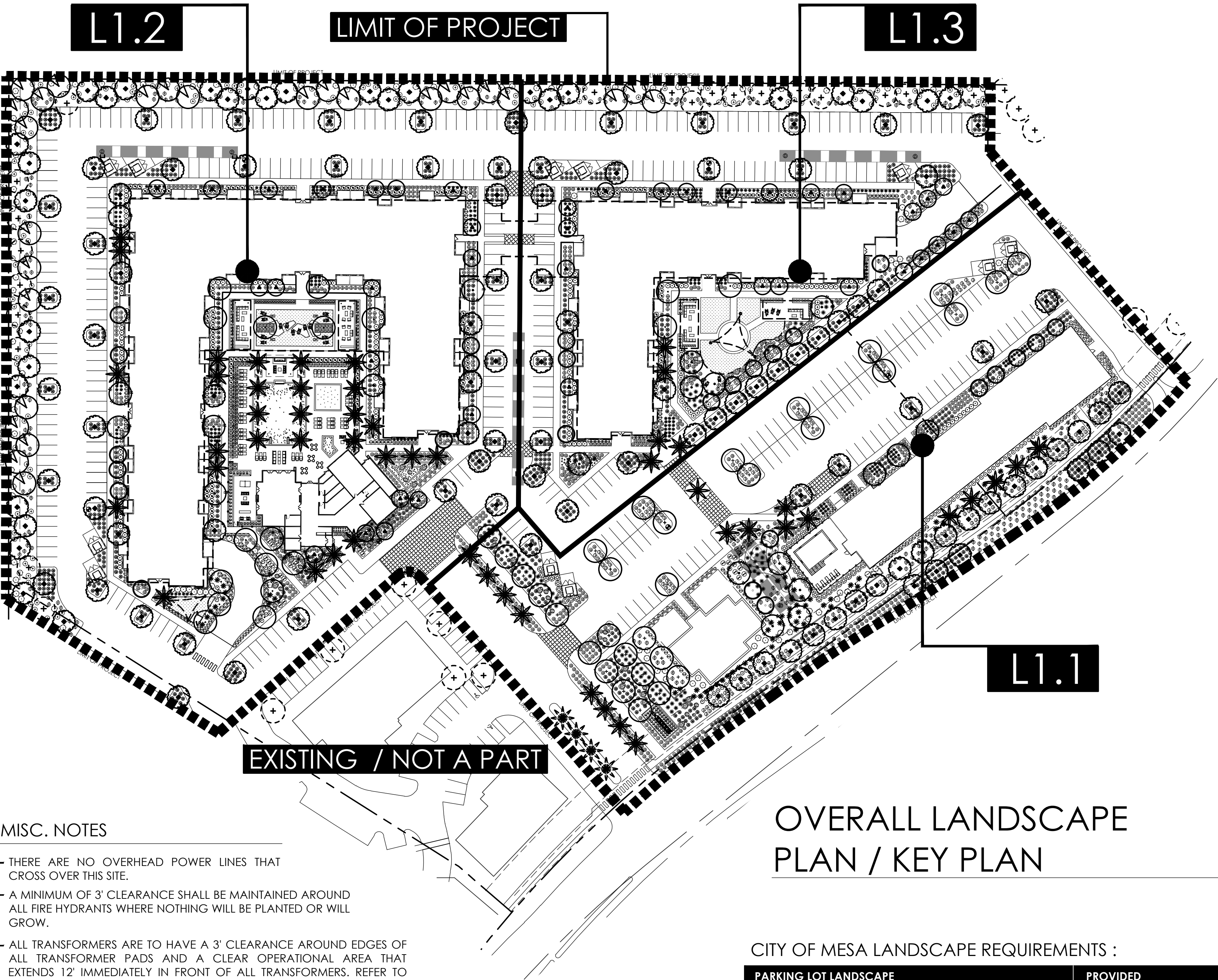
1. ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE TOP DRESSING. ALL GRANITE IS TO BE 2" DEPTH, COLOR AS SPECIFIED, TYP.
2. NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND CONFORMING TO LOCAL AGENCY'S APPROVED PLANT LIST.
3. LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO DELIVERY TO SITE, ONE WEEK MINIMUM NOTICE.
4. LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO PURCHASE.
5. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS ON SITE PRIOR TO PROJECT START-UP.
6. REFER TO PLANTING DETAILS. BACKFILL: NATIVE SOILS FREE OF CONTAMINATION AND ROCKS OVER 3 INCHES IN DIAMETER.
7. COMPLETE ALL TRENCHING, LANDSCAPE GRADING, BERMING AND SWALES PRIOR TO START OF PLANTING.
8. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES MADE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., AT HIS EXPENSE.
9. ANY PLANT MATERIAL NOT SHOWN TO REMAIN ON PLAN IS TO BE REMOVED.
10. ADJUST ALL NEW LANDSCAPING AS NECESSARY TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
11. CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY SITE WORK BEING EXECUTED.
12. QUANTITIES ON PLAN ARE PROVIDED FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
13. ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
14. LANDSCAPE ARCHITECT / OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
15. NOTE: SURFACE-FERTILIZE PLANTS AS PART OF COMMON-AREA MAINTENANCE CONTRACT.
16. APPLY A SOLUTION OF "SUPERTHRIVE" COMBINED WITH LIQUID CHELATED IRON SUPPLEMENT AS PLANT IS BEING WATERED IN AT THE FOLLOWING RATES:

-BASIC MIX: 1/4 TSP. (TEASPOON) SUPERTHRIVE AND 1 TSP. IRON SUPPLEMENT PER GAL. OF WATER.

-TREES: APPLY 4 GALLONS OF BASIC MIX.

-SHRUBS AND SUCCULENTS 1 GAL. AND 5 GAL.: APPLY 1 GALLON OF BASIC MIX.

-SHRUBS AND SUCCULENTS 15 GAL.: APPLY 2 GALLONS OF BASIC MIX.
17. REMOVE NURSERY PROVIDED STAKING AND TAPING FROM ALL PLANTS, IF APPLICABLE. STAKE NURSERY GROWN TREES AS DETAILED.
18. WATER SUPPLY MUST BE OPERATIONAL PRIOR TO PLANT INSTALLATION.
19. PRUNE DEAD OR DAMAGED BRANCHES AFTER PLANTING. PRUNE TREES OF LIVING BRANCHES, ONLY IF DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER, AFTER PLANTING.
20. BEFORE PLANTING, STAKE OR FLAG THE LOCATION OF ALL PLANTS OR PLACE CONTAINERS UP TO 15 GAL. AT LOCATIONS SHOWN ON PLAN AND ARRANGE TO HAVE THE LANDSCAPE ARCHITECT REVIEW AND APPROVE THE LOCATIONS. LANDSCAPE ARCHITECT MAY REVISE LOCATIONS ONCE BEFORE PLANTING.
21. REMOVE ALL WEED GROWTH FROM AREAS TO BE LANDSCAPED. IF WEED CONTROL IS NEEDED, USE CAREFULLY APPLIED CONTACT HERBICIDE, "ROUND-UP" OR EQUAL. APPLY BY HAND SPRAYER TO AVOID DAMAGE TO NEW PLANTS.
22. ALL BOULDERS ARE TO BE GRANITE 'SURFACE SELECT', SIZE PER PLAN. ALL BOULDERS ARE TO BE BURIED 1/3 IN SOIL.
23. ALL SWALE CHANNELS ARE TO HAVE 6" - 8" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
24. ALL DOWNSPOUTS / SCUPPERS ARE TO HAVE 3'x3', 3" - 6" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
25. ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
26. ALL TURF IS TO BE 'MID-IRON' HYBRID VARIETY.
27. ALL HEADER IS TO BE CAST IN PLACE CONCRETE. COLOR TO BE SELECTED.
28. CONTRACTOR IS RESPONSIBLE TO COORDINATE HEADER INSTALLATION WITH GRADING CONTRACTOR. ANY LOCATIONS WHERE RIP-RAP SWALES ARE ADJACENT TO TURF AREAS, HEADER IS TO HAVE A DRAINAGE OUTLET (TURN-DOWN) FOR THE WIDTH OF THE RIP RAP AREA, TYP.
29. CONTRACTOR TO ENSURE THAT SLEEVING FOR IRRIGATION GOES UNDER EVERY DRIVEWAY (INCLUDING Z-LOTS).
30. ALL LANDSCAPING AND STRUCTURES CONSTRUCTED FROM THIS PLAN HAVE BEEN DESIGNED WITHIN STANDARD CITY REQUIREMENTS AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER / HOA TO MAKE NECESSARY REPAIRS DUE TO VANDALISM / THEFT / OR NEGLIGENCE. DEVELOPER / HOA DOES NOT HOLD (YOUNG DESIGN GROUP, LLC) RESPONSIBLE FOR ANY DAMAGES INCURRED AS SUCH.
31. JUTE NETTING TO BE INSTALLED ON ALL SLOPES GREATER THAN 4:1 WITH 100% LIVE PLANT COVER.
32. WARRANTY ALL PLANT MATERIAL TO BE IN HEALTHY GROWTH FOR THE PERIODS OF: TREES: 365 DAYS SHRUBS, VINES AND GROUNDCOVERS: 90 DAYS, STARTING AT DATE OF FINAL ACCEPTANCE, REPLACE MATERIAL NOT SHOWING HEALTHY GROWTH WITHIN 10 WORKING DAYS OF NOTIFICATION BY OWNER.
33. YDG DOES NOT WARRANTY AVAILABILITY OF SPECIES OR SIZES OF PLANTS LISTED. "AVAILABLE" SHALL MEAN AVAILABLE IN A WHOLESALE NURSERY IN ARIZONA OR CALIFORNIA. NOTIFY OWNER AND YDG OF NON-AVAILABILITY FOR ISSUANCE OF SUBSTITUTION BY YDG.
34. CITY APPROVAL OF THESE PLANS SHALL SIGNIFY AND CONFIRM OWNER'S CAREFUL REVIEW AND APPROVAL OF THESE PLANS, INCLUDING PLANT SPECIES AND SIZES LISTED. OWNER SHALL OBTAIN UNIT PLANT COSTS, INSTALLED & GUARANTEED.
35. TYPICAL MINIMUM SETBACKS FROM EDGE OF WALKS, DRIVES AND BUILDINGS: TREES: 6 FT.; SHRUBS: 3 FT.; GROUNDCOVER: 2 FT.
36. AREAS IN SIGHT TRIANGLES SHALL HAVE NO OBSTRUCTION GREATER THAN 2 FT. HT. AND TREES SHALL HAVE CANOPY HIGHER THAN 7 FT. AT TIME OF PLANTING.
37. NOTE THAT NURSERY-GROWN TREES MUST HAVE TRUNK DIAMETER IN PROPORTION TO HEIGHT, AND THAT CONTRACTOR MUST INSPECT EACH TREE FOR ROOT-BINDING AND OTHER GROWTH DEFECTS, AND REMOVE DEFECTIVE PLANTS FROM THE SITE.
38. TREES TO MEET LOCAL JURISDICTIONS ZONING SIZE REQUIREMENTS AT THE TIME OF PLANTING. TREES THAT DO NOT MEET MIN. REQUIREMENTS SHALL BE REPLACED IN KIND WITH TREE THAT MEETS REQUIREMENTS.
39. ANY DISTURBED AREAS AREAS NOT INITIALLY BUILT UPON WILL NEED A COUNTY / CITY APPROVED DUST CONTROL MATERIAL INSTALLED.
40. TREES THAT ARE PLANTED AS 24" BOX MUST HAVE 2" CALIPER AFTER FIRST YEAR OF GROWTH.



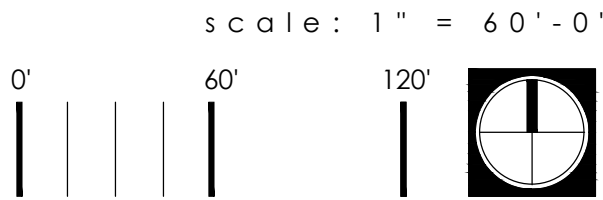
MISC. NOTES

- THERE ARE NO OVERHEAD POWER LINES THAT CROSS OVER THIS SITE.
- A MINIMUM OF 3' CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS WHERE NOTHING WILL BE PLANTED OR WILL GROW.
- ALL TRANSFORMERS ARE TO HAVE A 3' CLEARANCE AROUND EDGES OF ALL TRANSFORMER PADS AND A CLEAR OPERATIONAL AREA THAT EXTENDS 12' IMMEDIATELY IN FRONT OF ALL TRANSFORMERS. REFER TO UTILITY COMPANY DETAILS FOR MORE INFORMATION.

CITY OF MESA LANDSCAPE REQUIREMENTS :

CRISMON ROAD FRONTAGE	PROVIDED
1 TREE PER 25 LINEAR STREET FRONTAGE <ul style="list-style-type: none">25% OF TREES TO BE 36" BOX50% OF TREES TO BE 24" BOX6 SHRUBS PER TREE (5 GALLON MINIMUM SIZE)SHRUBS AND GROUNDCOVERS SHALL COVER 25% OF LANDSCAPE AREA	580 LINEAR FEET OF STREET FRONTAGE / 24 TREES REQ'D <ul style="list-style-type: none">6 TREES AT 36" BOX18 TREES AT 24" BOX144 SHRUBS REQUIRED (5 GALLON MINIMUM SIZE)
PERIMETER LANDSCAPING (NON-SINGLE RESIDENCE USE ADJACENT TO SINGLE RESIDENCE)	PROVIDED
1 TREE PER 20 LINEAR FEET <ul style="list-style-type: none">24" BOX SIZE MINIMUM20 SHRUBS PER 100 LINEAL FEET (5 GALLON MINIMUM SIZE)	1,312 LINEAR FEET OF STREET FRONTAGE / 66 TREES REQ'D <ul style="list-style-type: none">66 TREES AT 24" BOX263 SHRUBS REQUIRED (5 GALLON MINIMUM SIZE)

OVERALL LANDSCAPE PLAN / KEY PLAN



CITY OF MESA LANDSCAPE REQUIREMENTS :

PARKING LOT LANDSCAPE	PROVIDED
1 TREE PER STANDARD PARKING ISLAND (8x15) <ul style="list-style-type: none">10% OF TREES TO BE 36" BOX90% OF TREES TO BE 24" BOX3 SHRUBS PER TREE (5 GALLON MINIMUM SIZE)	79 STANDARD PARKING ISLANDS / 79 TREES REQ'D <ul style="list-style-type: none">8 TREES AT 36" BOX71 TREES AT 24" BOX237 SHRUBS REQUIRED (5 GALLON MINIMUM SIZE)
FOUNDATION BASE LANDSCAPE	PROVIDED
1 TREE PER 50 LINEAR FEET OF EXTERIOR BLDG. WALL <ul style="list-style-type: none">10% OF TREES TO BE 36" BOX90% OF TREES TO BE 24" BOX3 SHRUBS PER TREE (5 GALLON MINIMUM SIZE)	MULTI-FAMILY (+/-) 2,579 LINEAR FEET / 52 TREES REQ'D <ul style="list-style-type: none">6 TREES AT 36" BOX46 TREES AT 24" BOX156 SHRUBS REQUIRED (5 GALLON MINIMUM SIZE) HOTEL (+/-) 675 LINEAR FEET / 14 TREES REQ'D <ul style="list-style-type: none">2 TREES AT 36" BOX12 TREES AT 24" BOX42 SHRUBS REQUIRED (5 GALLON MINIMUM SIZE) RESTAURANT (+/-) 275 LINEAR FEET / 6 TREES REQ'D <ul style="list-style-type: none">1 TREES AT 36" BOX5 TREES AT 24" BOX18 SHRUBS REQUIRED (5 GALLON MINIMUM SIZE)

PROJECT TEAM

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+ Land Planning
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scottsdale, arizona 85251
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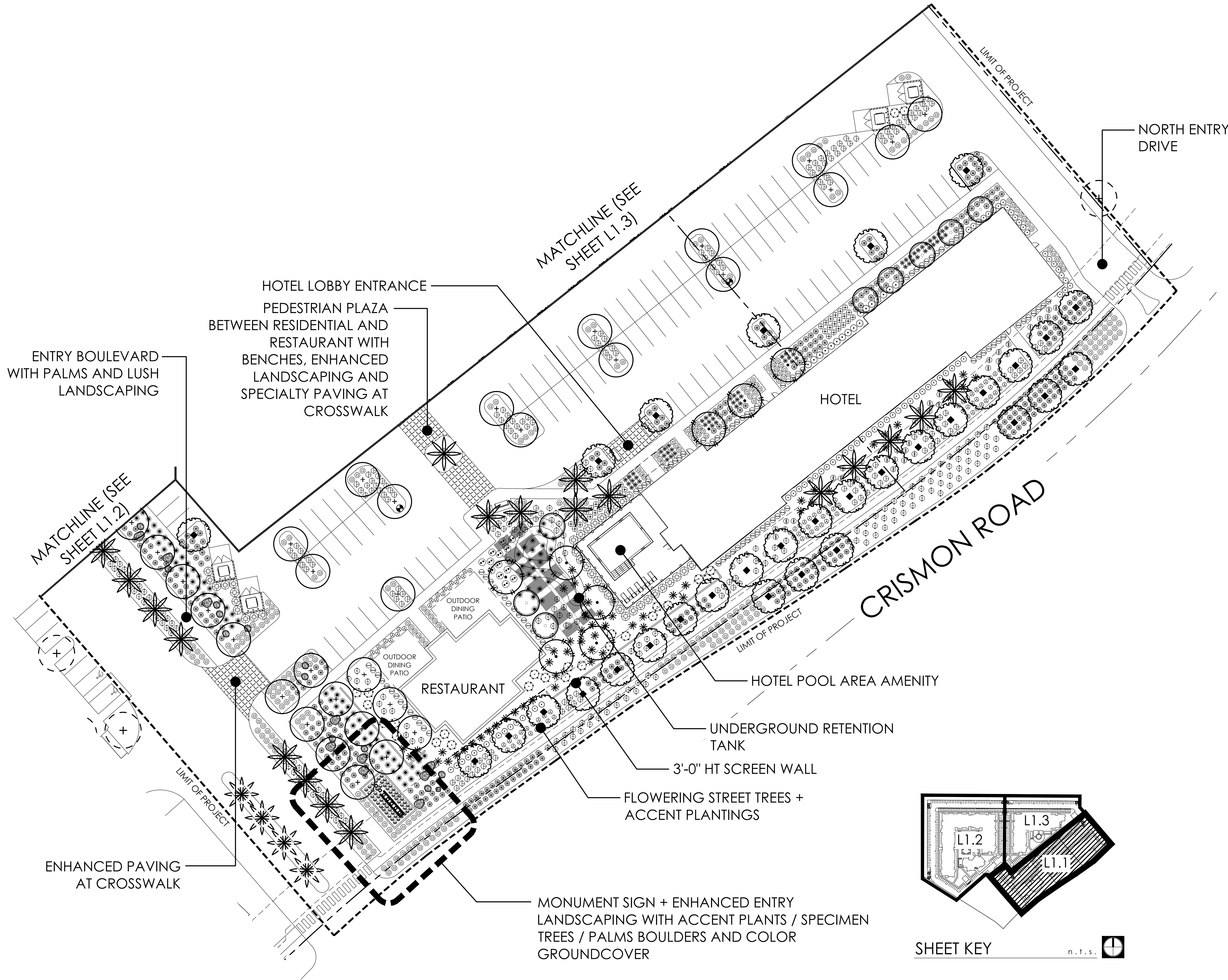
SUBMITTED FOR:

DESIGN REVIEW

SHEET NO.

L0.1
1 OF 6

TRACKING NUMBERS:



PLANT SCHEDULE

**NOT PLANTED IN PUBLIC R.O.W. OR REQUIRED PLANTING AREAS

TREES

- EXISTING TREE TO REMAIN IN PLACE
MESQUITE / PALO VERDE HYB MIX
- ACACIA SALICINA
WEeping ACACIA
- PISTACIA LENTISCUS
MASTIC TREE
- CERCIDIUM HYBRID 'DESERT MUSEUM'
DESERT MUSEUM PALO VERDE
- TIPUANU TIPU
TIPU TREE
- PHOENIX DACTYLIFERA / WASHINGTONIA SPP.
PALM SPECIES
- PROSOPIS HYBRID 'SEEDLESS'
SEEDLESS HYBRID MESQUITE
- QUERCUS VIRGINIANA
LIVE OAK
- ULMUS PARVIFLORA 'TRUE GREEN'
TRUE GREEN ELM

ACCENTS / VINES

- ALOE BARBADENSIS
MEDICINAL ALOE
- BULBINE FRUTESCENS 'YELLOW'
STALKED BULBINE
- CHAMAEROPS HUMILIS
MEDITERRANEAN FAN PALM
- HESPERALOE P. 'BRAKELIGHTS'
RED HESPERALOE
- HESPERALOE FUNIFERA
GIANT HESPERALOE
- MUHLENBERGIA CAPILLARIS
REGAL MIST DEER GRASS
- MUHLENBERGIA LINDHEIMERI
AUTUMN GLOW DEER GRASS

SHRUBS

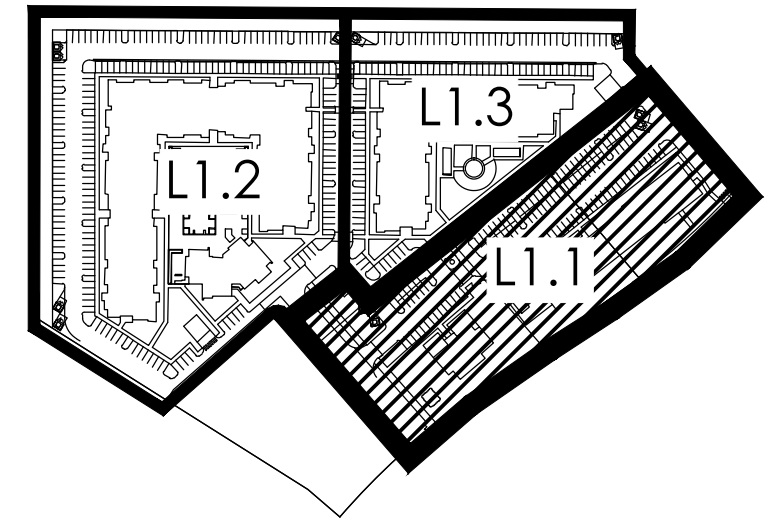
- CARISSA GRANDIFLORA 'TUTTLE'
TUTTLE'S NATAL PLUM
- DODONEA VISCOSA
HOPSEED BUSH
- EREMOPHILA MACULATA
VALENTINE BUSH
- LEUCOPHYLLUM LAEVIGATUM
CHIHUAHUA SAGE
- MYRTUS COMMUNIS
DWARF MYRTLE (ALT: XYLSOMA)
- NERIUM OLEANDER 'P. PINK'
PETITE PINK OLEANDER
- RUPELLIA BRITTONIANA
BRITISH RUELLIA
- RUSSELLIA EUISETIFORMIS
CORAL FOUNTAIN
- TECOMA STANS 'GOLD STAR'
YELLOW BELLS

GROUNDCOVER

- ANNUALS
AS SELECTED BY SEASON
- EREMOPHILA GLABRA 'M. GOLD'
OUTBACK SUNRISE EMU
- LANTANA 'NEW GOLD'
'NEW GOLD' LANTANA
- SYNTHETIC LAWN
SOUTHWEST GREENS OR EQUAL
- NASELLA TENUISSIMA
MEXICAN FEATHER GRASS
- OLEA EUROPAEA 'LIL OLLIE'
DWARF OLIVE
- WEDELIA TRILOBATA
YELLOW DOT

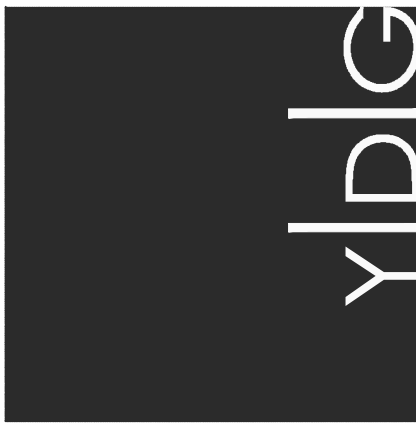
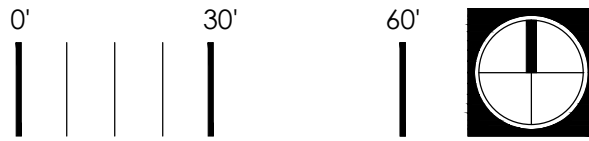
INERT MATERIALS

- DECOMPOSED GRANITE
COLOR T.B.D.
- 3"-6" SCREENED NATIVE ROCK
COLOR T.B.D.
- GRANITE BOULDERS
SURFACE SELECT



SHEET KEY

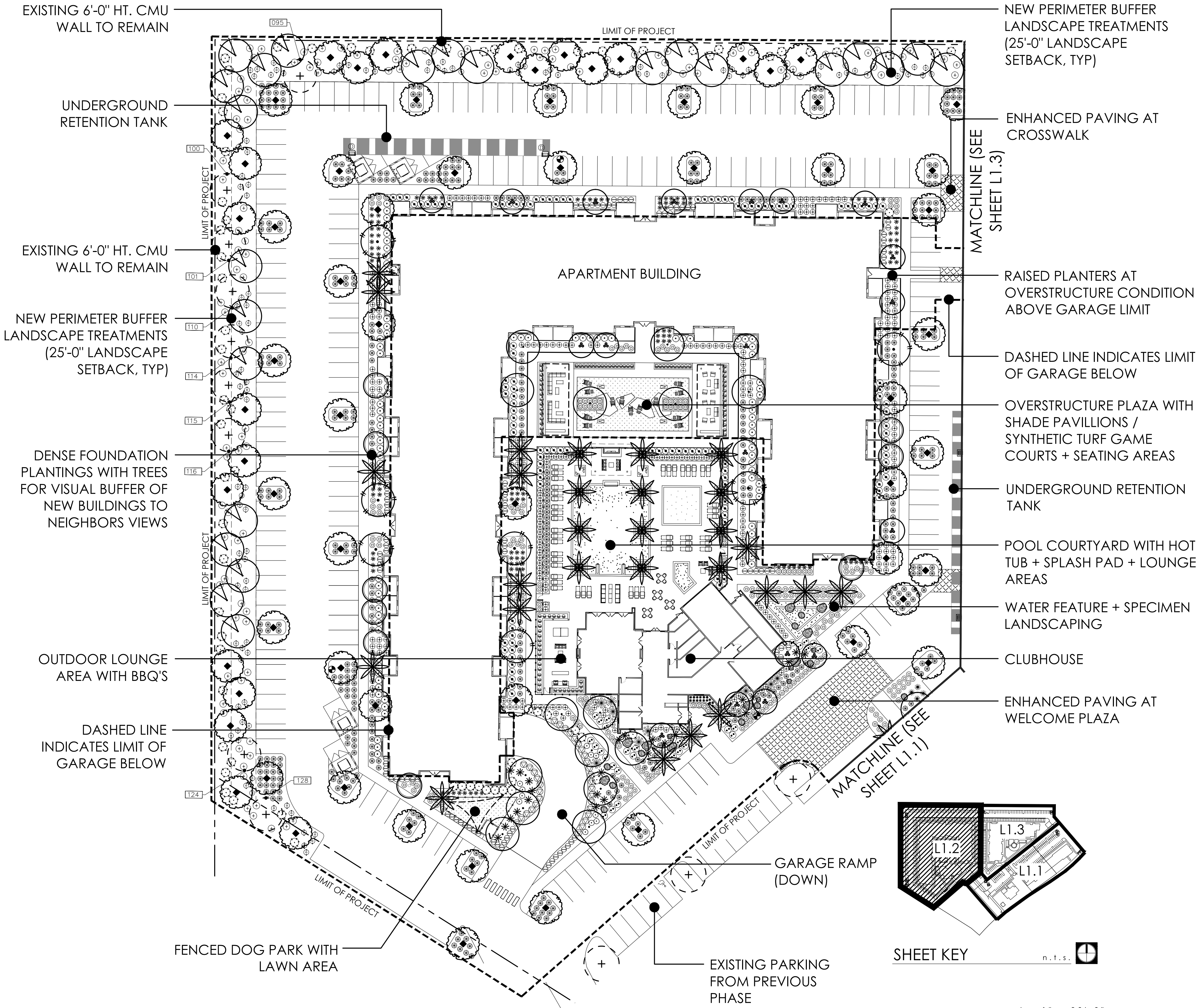
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LANDSCAPE PLAN

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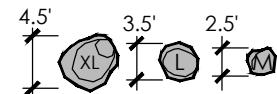
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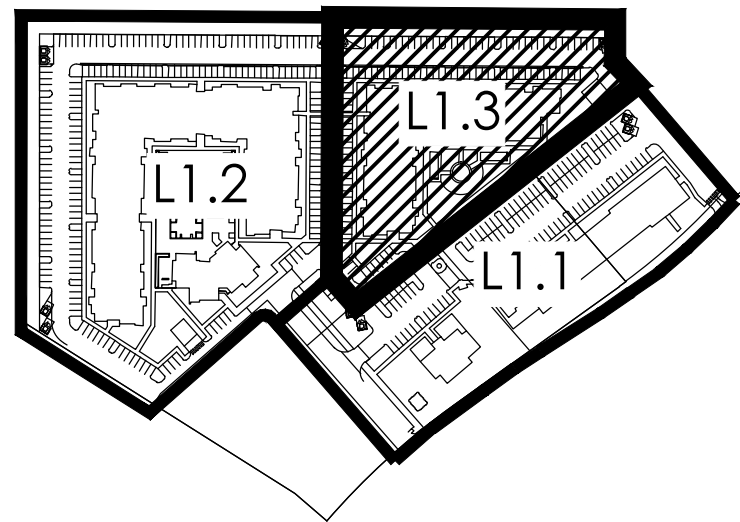
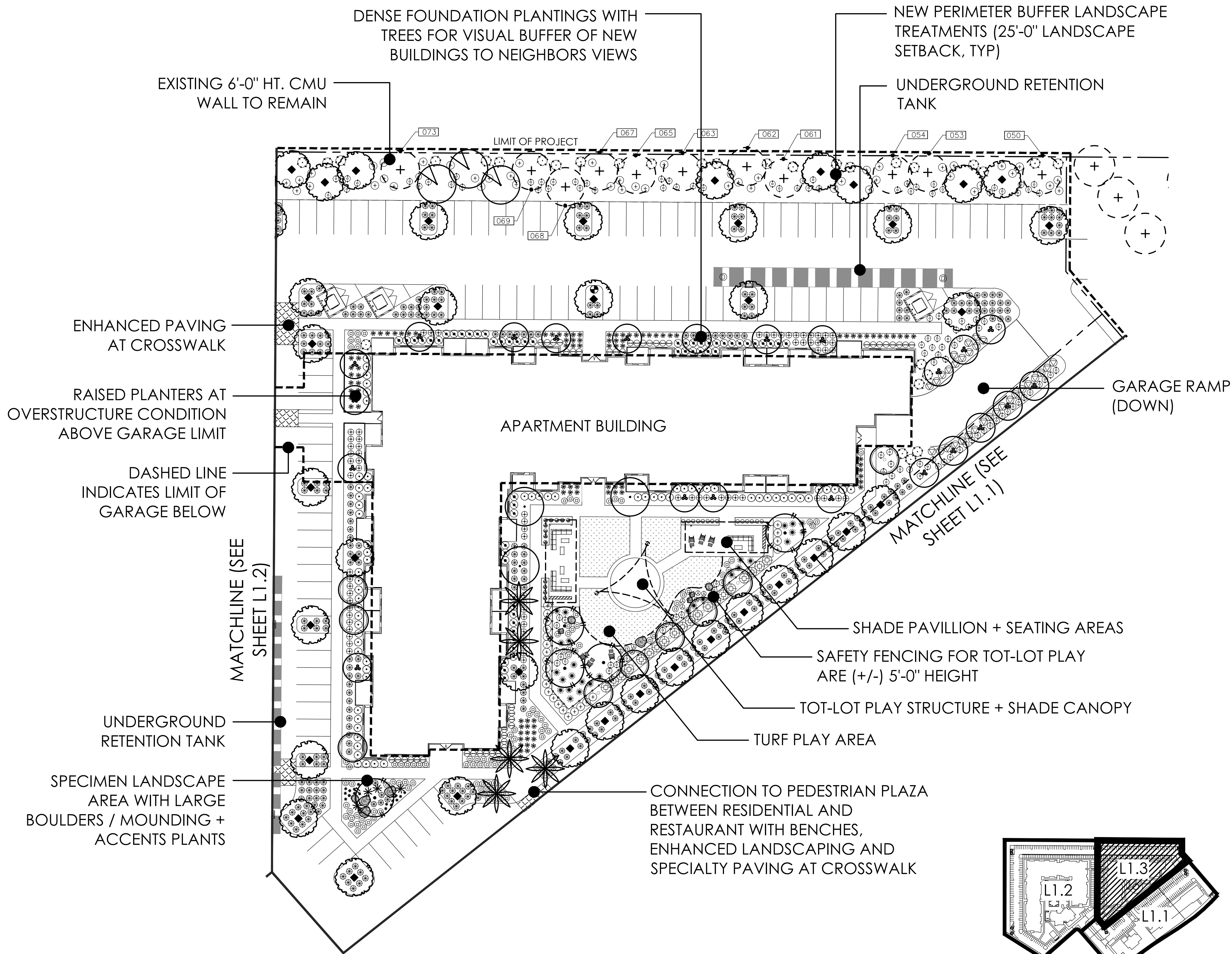
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SHEET KEY
 n.t.s.



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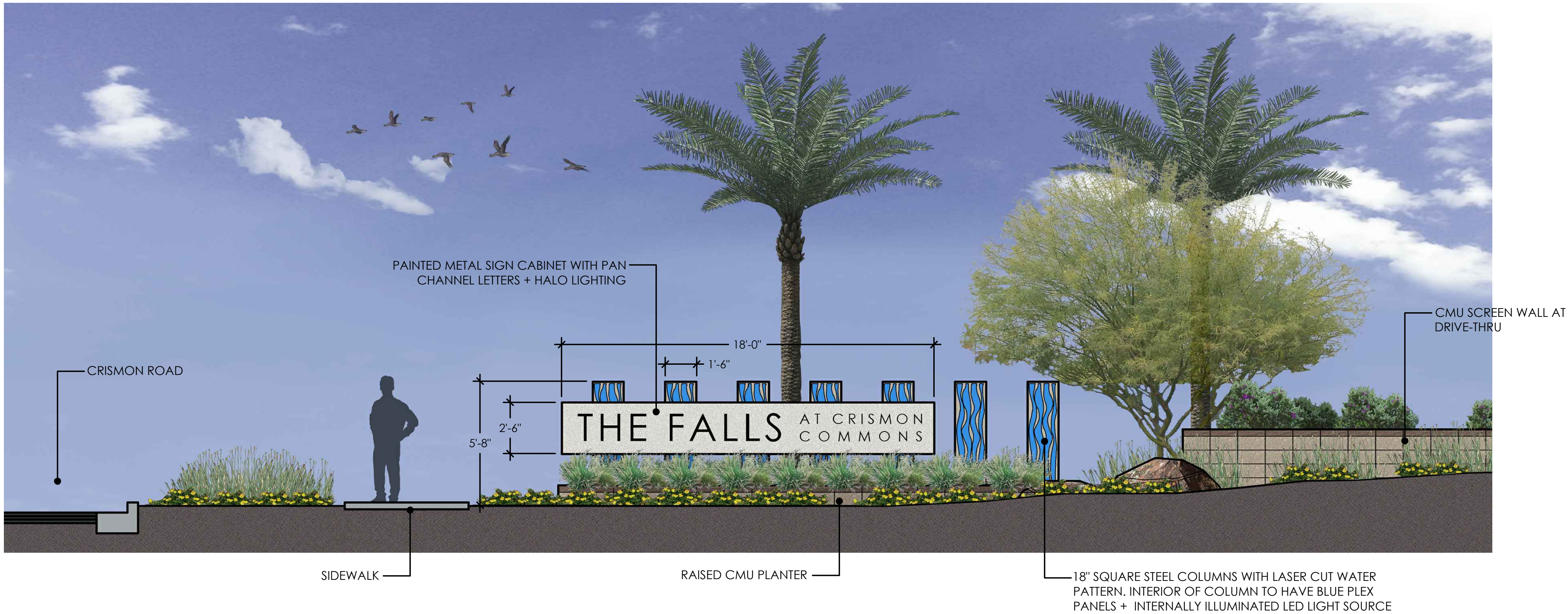
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CITY	03/30/20
CITY	05/11/20

SUBMITTED FOR:

DESIGN REVIEW

SHEET NO.

L1.3
 4 OF 6



1
L1.4

MONUMENT SIGN (AT CRISMON ROAD)

SCALE: N.T.S.

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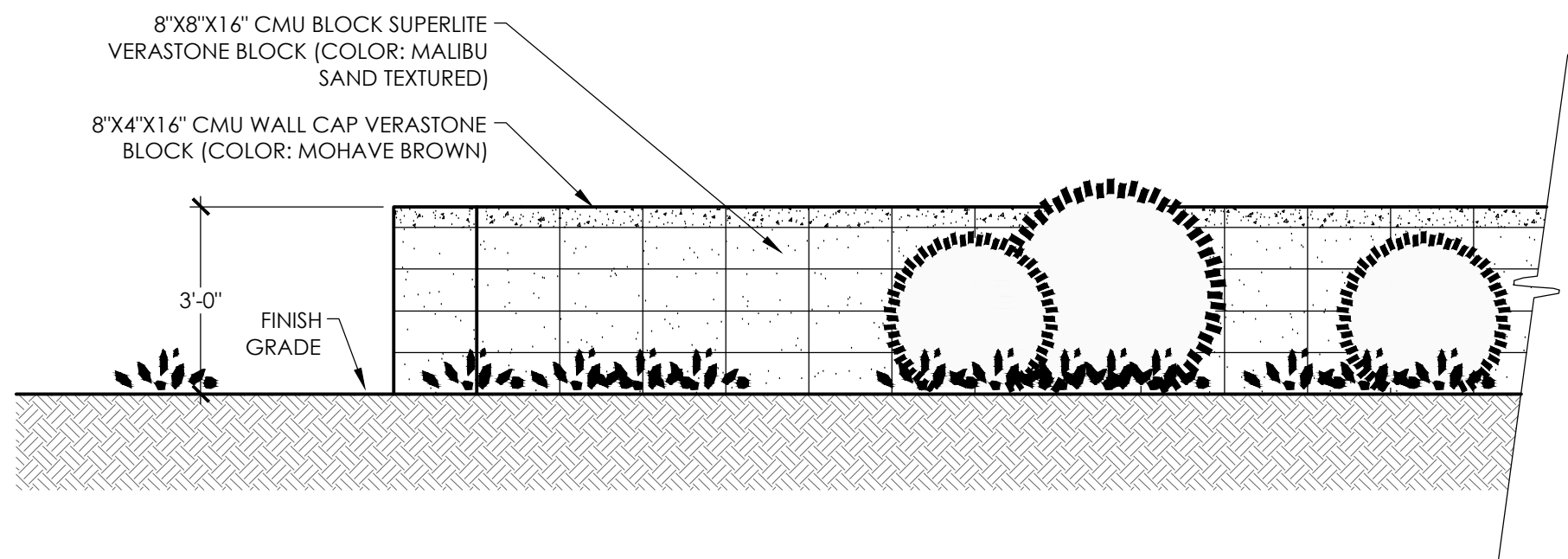
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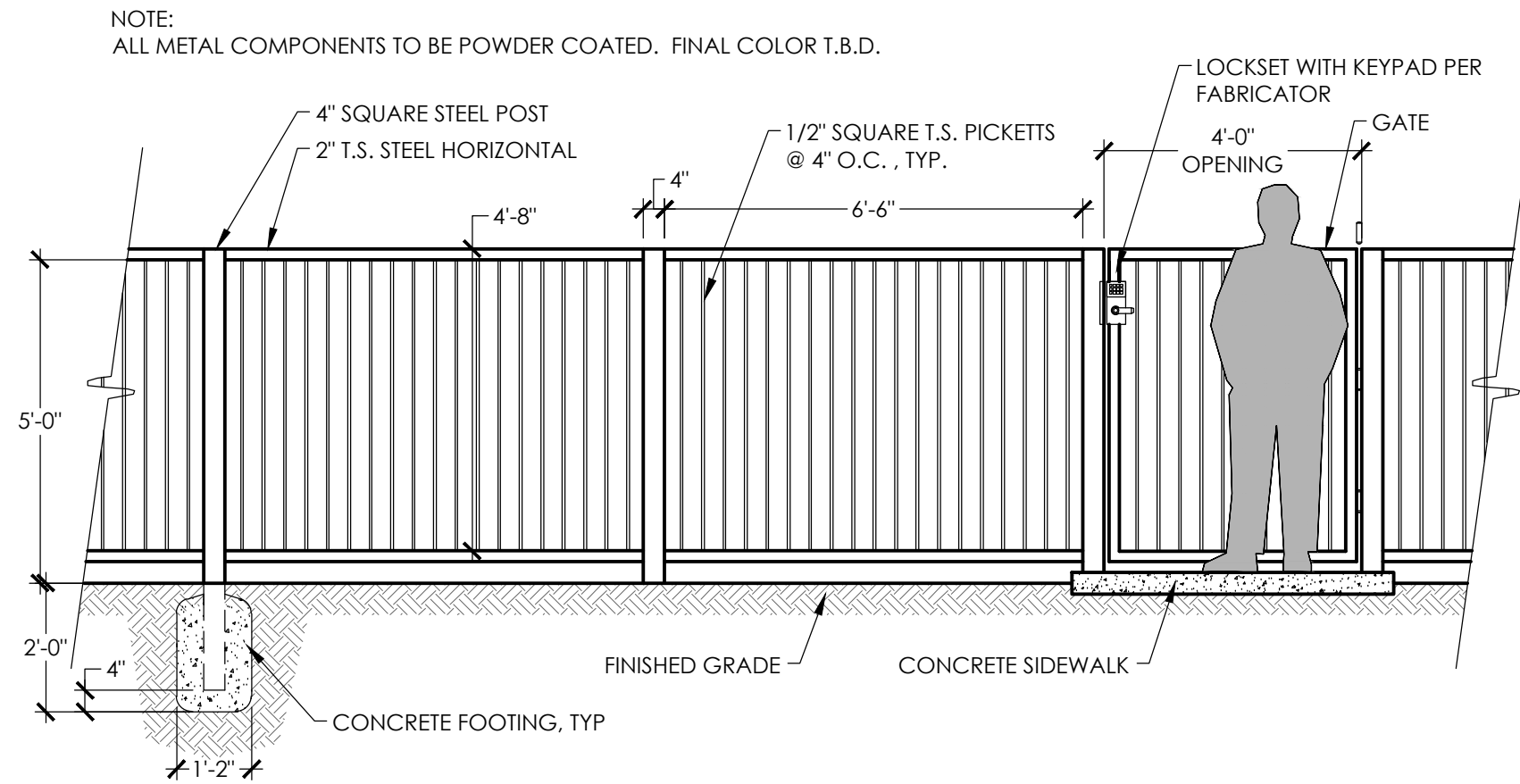
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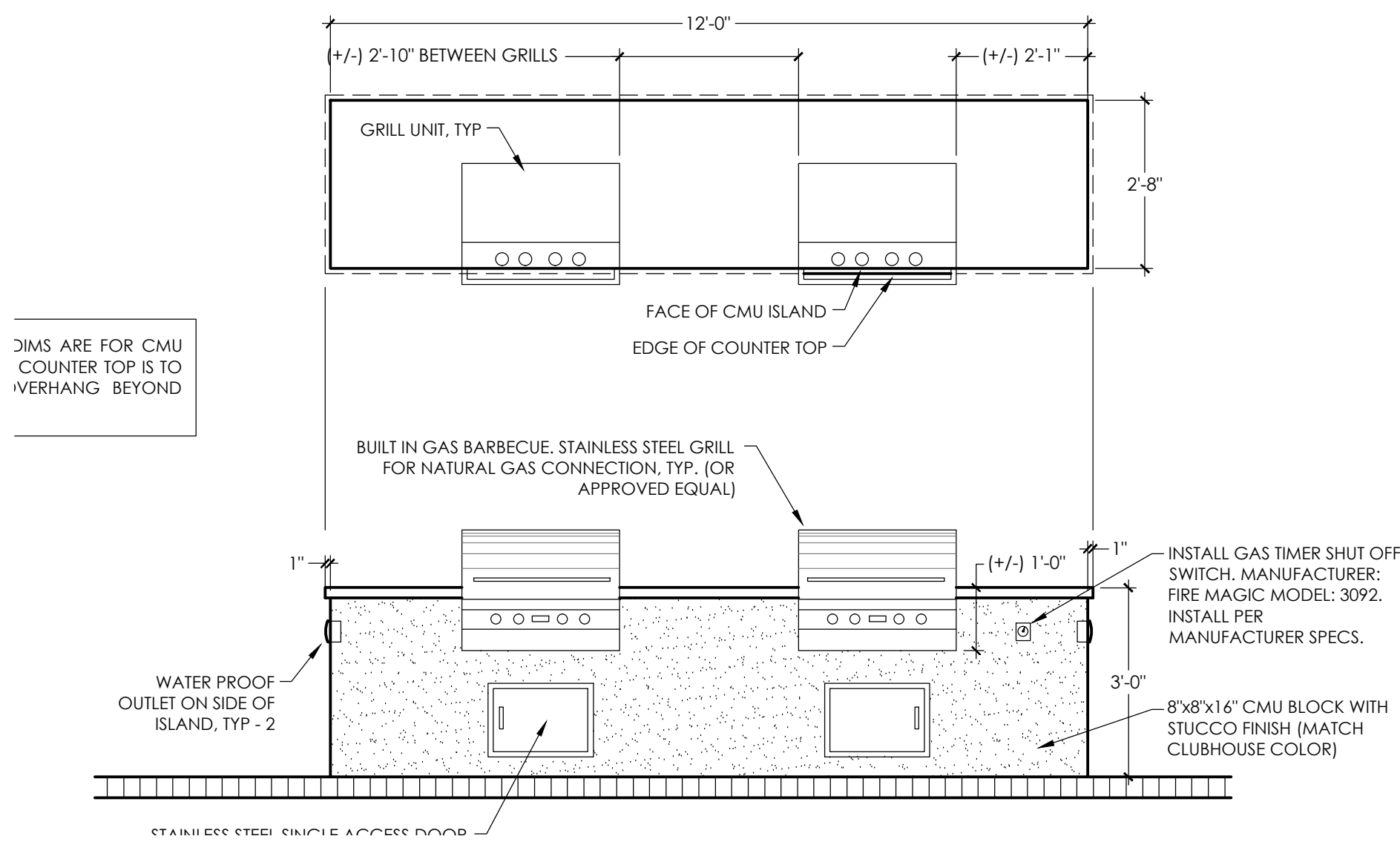
1 PERMITER SCREEN WALL (CRISMON FRONTAGE)
L1.5

SCALE: 3/8" = 1'-0"



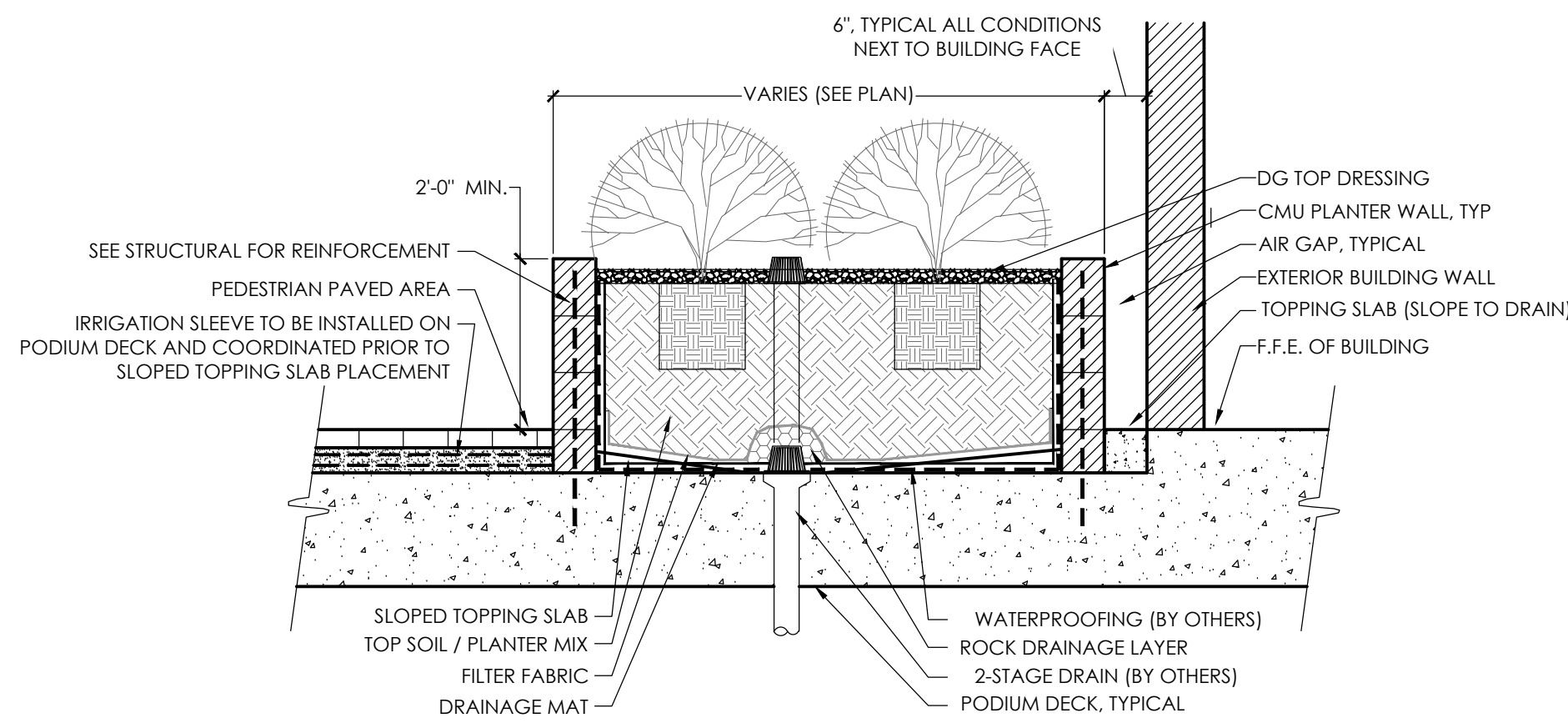
2 POOL FENCE / DOG PARK FENCE / TOT LOT FENCE
L1.5

SCALE: 3/8" = 1'-0"



3 BBQ ISLAND (TYP)
L1.5

SCALE: N.T.S.



4 OVERSTRUCTURE PLANTER
L1.5

SCALE: N.T.S.

young | design | group
Landscape Architecture
+ Land Planning
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CRISMON COMMONS
APPROX. NWC BASELINE ROAD + CRISMON ROAD
MESA | AZ

DATE:	11/04/19
JOB NO:	1928
DRAWN BY:	YDG
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY	03/09/20

SUBMITTED FOR:

DESIGN REVIEW

SHEET NO.

L1.5

6 OF 6

TRACKING NUMBERS: