

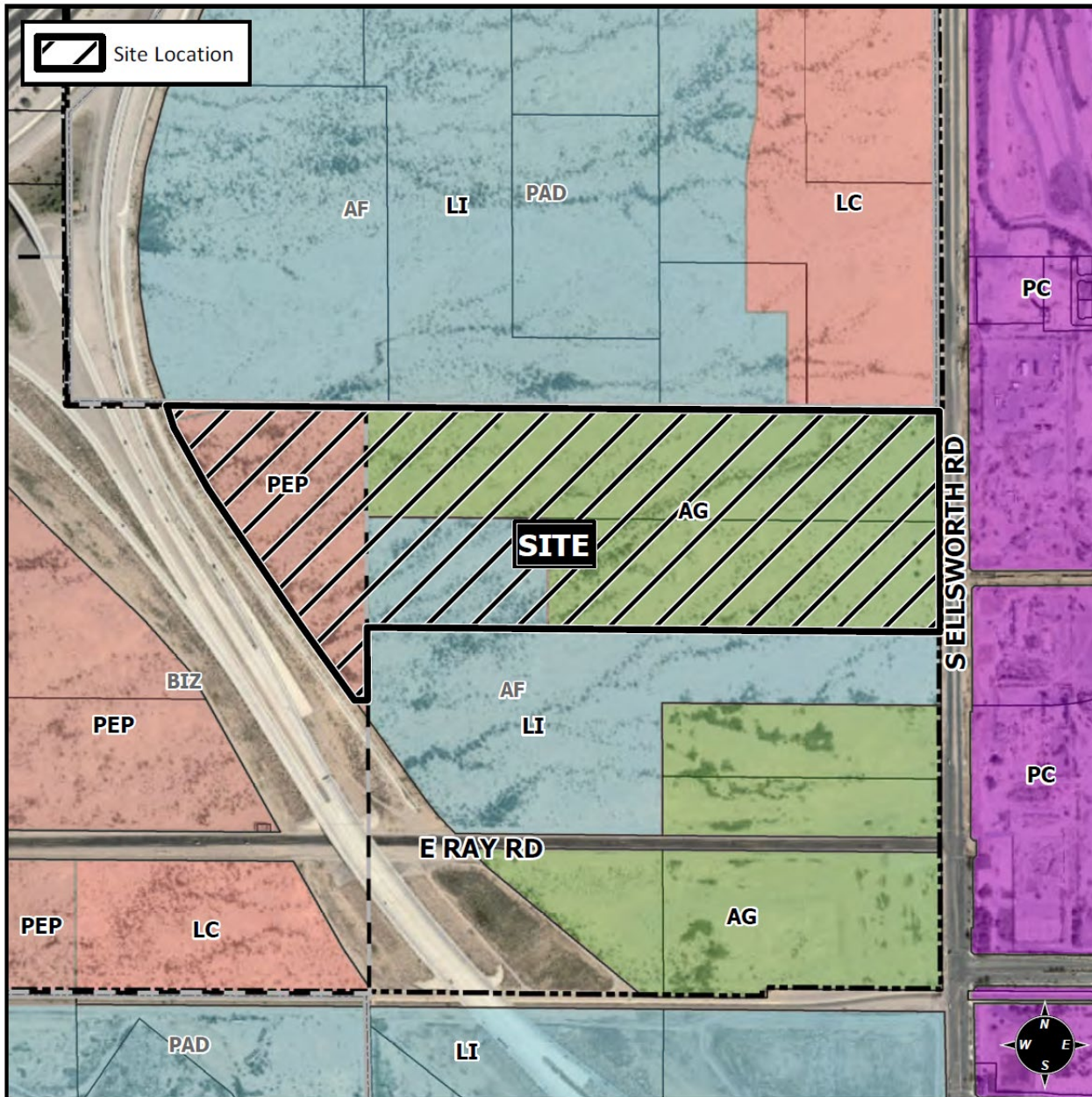
Mesa Ray (Ellsworth Road and Point Twenty-Two Boulevard)

City Council Study Session

May 28, 2020

Veronica Gonzalez, Project Manager





Planning & Zoning Board April 22, 2020

- Request to rezone to accommodate a future mixed-use development (ZON18-00483).
- Unanimous recommendation of approval from P&Z Board

HIGH-QUALITY DEVELOPMENT

- Rezoning request for a Planned Area Development (PAD) Overlay District includes Design Guidelines for the project site.
- Design Guidelines will ensure higher design quality, compatibility and consistency throughout the development.
- Design Guidelines address:
 - Design palettes
 - Site planning principles
 - Architectural design
 - Landscape design



ELLSWORTH & POINT TWENTY TWO **DESIGN GUIDELINES**

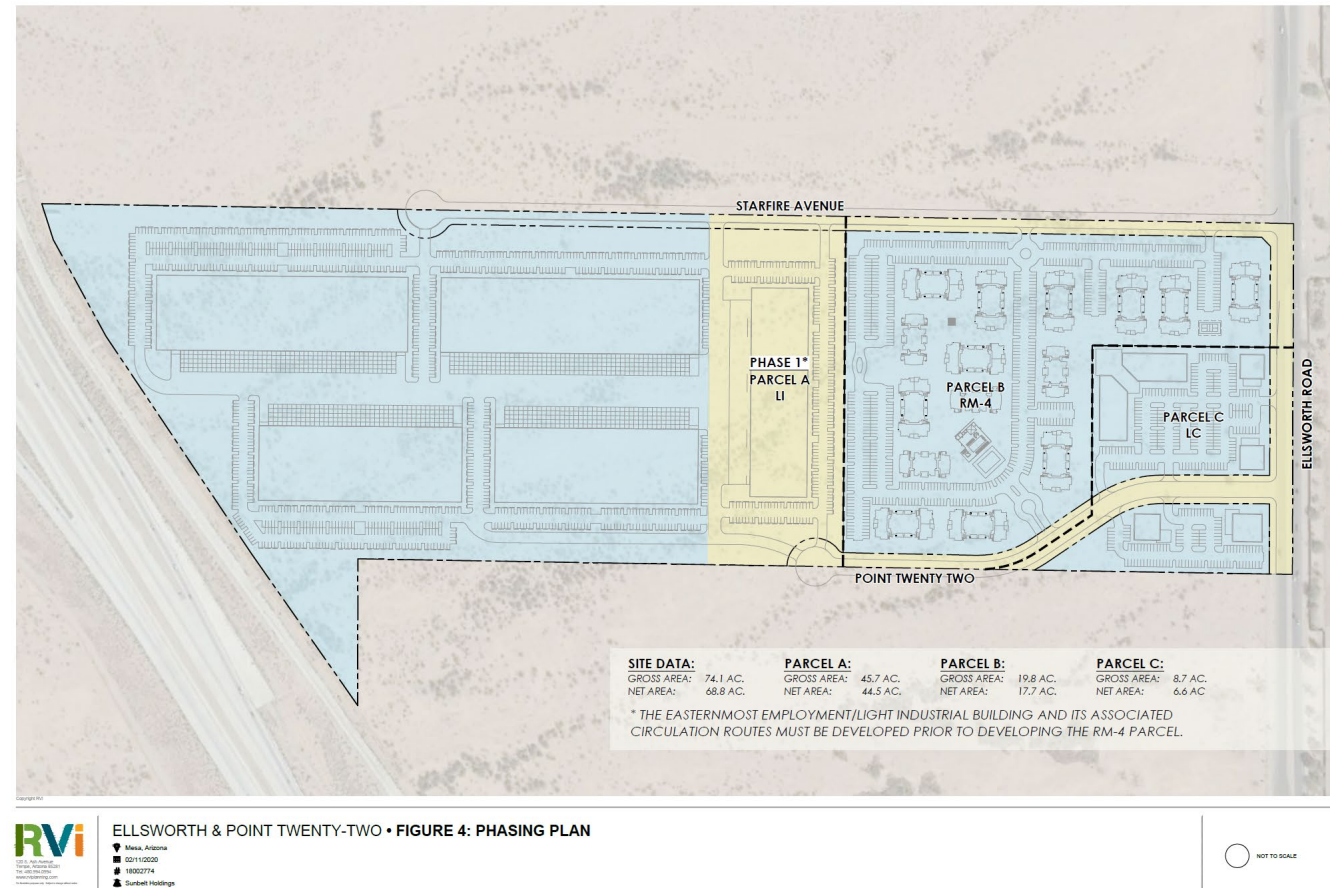
A 74.1-acre mixed-use community located
at the southwest corner of Ellsworth Road
& Starfire Avenue.

FEBRUARY, 2020



DEVELOPMENT AGREEMENT

- Site will develop in phases.
- First phase includes:
 - 70,000 square foot building at east end of industrial parcel
 - Improvements on Starfire Avenue, Ellsworth Road and Point Twenty-Two Boulevard
- Building permits for the multi-residence parcel will not be issued until 70,000 square foot industrial building is constructed.



DEVELOPMENT AGREEMENT

- Certain land uses are prohibited due to intensity and potential impact on surrounding areas. Prohibited uses include:
 - Only one drive-thru restaurant that is not a standalone facility
 - Car Washes
 - Gas Stations
 - Convenience Stores
 - Assisted Living Facilities
 - Tattoo and Body Piercing Parlors
 - Pawn Shops
 - Mini-Storage

SUMMARY

- April 22, 2020: Planning & Zoning Board unanimous recommendation of approval of the rezoning request.
- The development agreement establishes a phasing plan and a list of prohibited land uses within the project.
- Staff recommendation is City Council approve the rezoning request and development agreement.

QUESTIONS?