

FINAL PLAT
FOR
LA MIRA

DEDICATION

STATE OF ARIZONA)
) ss.
COUNTY OF MARICOPA)

KNOW ALL MEN BY THESE PRESENTS:

TAYLOR MORRISON/ARIZONA, INC., AN ARIZONA CORPORATION, AS OWNER, DOES HEREBY PUBLISH THIS FINAL PLAT FOR "LA MIRA", LOCATED IN THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN HEREON, AND HEREBY DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH OF THE STREETS, LOTS, TRACTS AND EASEMENTS CONSTITUTING SAME, AND THAT EACH OF THE STREETS, LOTS, TRACTS AND EASEMENTS SHALL BE KNOWN BY THE NAME, NUMBER, OR LETTER GIVEN TO IT RESPECTIVELY.

TAYLOR MORRISON/ARIZONA, INC., HEREBY DEDICATES AND CONVEYS TO THE CITY OF MESA, IN FEE, ALL REAL PROPERTY DESIGNATED ON THIS PLAT AS "RIGHT-OF-WAY" OR "R/W" FOR USE AS PUBLIC RIGHT-OF-WAY.

TAYLOR MORRISON/ARIZONA, INC., HEREBY DEDICATES TO THE CITY OF MESA FOR USE AS SUCH THE VEHICULAR NON-ACCESS EASEMENTS AND PUBLIC UTILITY AND FACILITY EASEMENTS, AS SHOWN ON THE SAID PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES. THE DEDICATION OF REAL PROPERTY MARKED AS STREETS ON THIS PLAT IS A DEDICATION TO THE CITY OF MESA, IN FEE, FOR THE CITY'S USE AS PUBLIC RIGHT-OF-WAY. THE DEDICATION OF REAL PROPERTY MARKED AS PUBLIC UTILITY AND FACILITIES EASEMENTS IS A DEDICATION OF A PUBLIC UTILITY AND FACILITIES EASEMENT TO THE CITY, WITH SUCH DEDICATION INCLUDING THE FOLLOWING USES: TO CONSTRUCT, INSTALL, ACCESS, MAINTAIN, REPAIR, RECONSTRUCT, REPLACE, REMOVE, UTILITIES AND FACILITIES (INCLUDING, BUT NOT LIMITED TO, WATER, WASTEWATER, GAS, ELECTRIC, STORM WATER, PIPES, CONDUIT, CABLES, AND SWITCHING EQUIPMENT), CONDUCTORS, CABLES, FIBER OPTICS, COMMUNICATION AND SIGNAL LINES, TRANSFORMERS, VAULTS, MANHOLES, CONDUITS, PIPES, AND CABLES, FIRE HYDRANTS, STREET LIGHTS, STREET PAVEMENT, CURBS, GUTTERS, SIDEWALKS, TRAFFIC SIGNALS, EQUIPMENT AND SIGNS, PUBLIC TRANSIT FACILITIES, SHELTERS AND IMPROVEMENTS, LANDSCAPING, STORM DRAINAGE, WATER RETENTION AND DETENTION, FLOOD CONTROL, AND ALL APPURTENANCES TO ALL OF THE FOREGOING, AND ALL SIMILAR AND RELATED PURPOSES TO THE FORGOING, TOGETHER WITH THE RIGHT TO ALTER GROUND LEVEL BY CUT OR FILL (PROVIDED THAT GROUND LEVEL SHALL NOT BE ALTERED IN A MANNER THAT CONFLICTS WITH THE OPERATION, MAINTENANCE, OR REPAIR OF EXISTING UTILITY OR PUBLIC IMPROVEMENTS) AND THE UNRESTRICTED RIGHT OF VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS TO, FROM, AND ACROSS THE EASEMENT PROPERTY. ADDITIONALLY, THE CITY IS AUTHORIZED TO PERMIT OTHERS TO USE THE PUBLIC UTILITY AND FACILITY EASEMENT PROPERTY FOR ALL USES AND FACILITIES ALLOWED HEREIN. ALL OTHER EASEMENTS ARE HEREBY DEDICATED FOR THE PURPOSES SHOWN. UNLESS APPROVED OTHERWISE BY THE CITY OF MESA, ALL EASEMENTS CREATED BY THIS PLAT ARE PERPETUAL AND NONEXCLUSIVE EASEMENTS.

IT IS AGREED THAT TAYLOR MORRISON/ARIZONA, INC., OR ITS SUCCESSORS OR ASSIGNS, SHALL HAVE FULL USE OF THE EASEMENT EXCEPT FOR THE PURPOSE FOR WHICH THE SAME IS HEREIN CONVEYED TO THE CITY OF MESA, AND PROVIDED ALWAYS THAT NO BUILDING OR STRUCTURE OF ANY NATURE OR KIND WHATSOEVER, INCLUDING WITHOUT LIMITATION FENCES, NOR ANY PART OF SAME, SHALL BE CONSTRUCTED, INSTALLED OR PLACED ON OR OVER SAID EASEMENT OR ANY PART THEREOF BY TAYLOR MORRISON/ARIZONA, INC., OR THE SUCCESSORS OR ASSIGNS OF TAYLOR MORRISON/ARIZONA, INC. AND THAT THE GRADE OVER ANY BURIED FACILITIES SHALL NOT BE CHANGED BY TAYLOR MORRISON/ARIZONA, INC., OR THE SUCCESSORS OR ASSIGNS OF TAYLOR MORRISON/ARIZONA, INC. WITHOUT PRIOR WRITTEN CONSENT OF THE CITY OF MESA. THE RIGHTS AND OBLIGATIONS OF THE CITY OF MESA SHALL BE CONSTRUED BROADLY AND CONSISTENT WITH THE PERFORMANCE OF ITS OBLIGATIONS TO PROVIDE UTILITY SERVICE TO ITS CUSTOMERS.

TAYLOR MORRISON/ARIZONA, INC., HEREBY GRANTS TO THE CITY OF MESA, A PERMANENT, NON-EXCLUSIVE EASEMENT OVER, ACROSS, UNDER AND UPON ALL AREAS DESIGNATED ON THIS PLAT AS "SIGHT VISIBILITY EASEMENT" OR "SVE" FOR PURPOSES OF ESTABLISHING AREAS WITHIN WHICH NO LANDSCAPING OTHER THAN GROUND COVER, FLOWERS AND GRANITE LESS THAN 2-FOOT (MATURE) IN HEIGHT, AND/OR TREES WITH BRANCHES NOT LESS THAN 8-FEET ABOVE GROUND, WHICH TREES, IF ANY, MUST BE SPACED NOT LESS THAN 8-FEET APART.

TAYLOR MORRISON/ARIZONA, INC., HEREBY GRANTS TO THE CITY OF MESA A PERMANENT, NON-EXCLUSIVE EASEMENT OVER, ACROSS, UNDER AND UPON ALL AREAS DESIGNATED ON THIS PLAT AS "VEHICULAR NON-ACCESS EASEMENT" OR "VNAE" FOR PURPOSES OF ESTABLISHING AREAS WITHIN WHICH NO VEHICULAR ACCESS IS PERMITTED.

TAYLOR MORRISON/ARIZONA, INC., HEREBY DEDICATES TO THE CITY OF MESA A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES OVER TRACT A.

DRAINAGE COVENANTS:

THE DRAINAGE EASEMENT SHOWN ON THIS PLAT AS TRACTS "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T" AND "V" ARE HEREBY RESERVED AS DRAINAGE FACILITIES AND RETENTION BASINS FOR THE INCLUSIVE CONVEYANCE OF DRAINAGE AND STORAGE OF DRAINAGE FOR THIS SUBDIVISION AND FOR THE PUBLIC RIGHTS-OF-WAY PER THE APPROVED IMPROVEMENT PLANS ON FILE WITH THE CITY OF MESA, TOGETHER WITH THE RIGHT TO INGRESS AND EGRESS TO MAINTAIN SAID DRAINAGE FACILITY.

THE DRAINAGE FACILITIES AND RETENTION AREAS SHALL BE MAINTAINED BY THE OWNER, HIS SUCCESSORS AND ASSIGNS, AND SHALL PROVIDE STORM WATER CONVEYANCE AND STORAGE AS PRIVATE DRAINAGE FACILITIES AND PRIVATE RETENTION BASINS ADEQUATE TO CONVEY AND STORE DRAINAGE FROM SAID PUBLIC RIGHTS-OF-WAY PER THE APPROVED IMPROVEMENT PLANS ON FILE WITH THE CITY OF MESA;

THE AGREEMENTS CONTAINED HEREIN SHALL BE A COVENANT RUNNING WITH THE LAND AND, UPON RECORDING, SHALL BE BINDING UPON ANY SUBSEQUENT PURCHASER OR OCCUPIER OF SAID PARCEL; AND

THIS COVENANT CAN BE ENFORCED OR REMOVED BY THE CITY OF MESA, WHO CAN BRING PROCEEDINGS AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING OR THREATENING TO VIOLATE ANY OF THESE COVENANTS, TO PREVENT HIM OR THEM FROM SO DOING, AND TO RECOVER DAMAGES FOR SUCH VIOLATIONS. ANY PERSON OR PERSONS OF THE CITY OF MESA PROSECUTING ANY PROCEEDINGS AT LAW OR IN EQUITY HEREUNDER SHALL HAVE THE RIGHT TO RECOVER, IN ADDITION TO ANY DAMAGES, A REASONABLE SUM AS AND FOR ATTORNEY'S FEES AND COURT COSTS.

TAYLOR MORRISON/ARIZONA, INC., WARRANTS AND REPRESENTS TO THE CITY OF MESA THAT IT IS THE SOLE OWNER OF THE PROPERTY COVERED BY THIS PLAT, AND THAT EVERY LENDER, EASEMENT HOLDER OR OTHER PERSON OR ENTITY HAVING ANY INTEREST THAT IS ADVERSE TO OR INCONSISTENT WITH THE FOREGOING DEDICATION, OR ANY OTHER REAL PROPERTY INTEREST CREATED OR TRANSFERRED BY THIS PLAT, HAS CONSENTED TO OR JOINED IN THIS PLAT AS EVIDENCED BY INSTRUMENTS WHICH ARE RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE OR WHICH TAYLOR MORRISON/ARIZONA, INC., WILL RECORD NOT LATER THAN THE DATE ON WHICH THIS PLAT IS RECORDED.

IN WITNESS WHEREOF:

TAYLOR MORRISON/ARIZONA, INC., AN ARIZONA CORPORATION, AS OWNER, HAS HERETO CAUSED ITS NAME TO BE AFFIXED

AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF THE UNDERSIGNED OFFICER THIS _____ DAY OF _____, 2020.

TAYLOR MORRISON/ARIZONA, INC., AN ARIZONA CORPORATION,

BY _____ ITS _____
NAME TITLE

LYING WITHIN THE SOUTHWEST QUARTER OF SECTION 25,
TOWNSHIP 1 SOUTH, RANGE 7 EAST OF
THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

ACKNOWLEDGEMENT

STATE OF ARIZONA)
) ss.
COUNTY OF MARICOPA)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____DAY OF _____, 2020, BY

_____, THE _____ OF TAYLOR MORRISON/ARIZONA, INC., AN
ARIZONA CORPORATION, ON BEHALF THEREOF.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

RATIFICATION AND APPROVAL OF PLAT

STATE OF ARIZONA)
) ss.
COUNTY OF MARICOPA)

LA MIRA COMMUNITY ASSOCIATION, INC., AN ARIZONA NON-PROFIT CORPORATION, HEREBY RATIFIES, AFFIRMS AND APPROVES THIS FINAL PLAT FOR "LA MIRA", AND THE RESPONSIBILITIES IMPOSED UPON IT UNDER THIS PLAT.

IN WITNESS WHEREOF, LA MIRA COMMUNITY ASSOCIATION, INC., AN ARIZONA NON-PROFIT CORPORATION, HAS CAUSED ITS NAME TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER.

THIS _____DAY OF _____, 2020.

LA MIRA COMMUNITY ASSOCIATION, INC., AN ARIZONA NON-PROFIT CORPORATION,

BY: _____

NAME: _____

ITS: _____

ACKNOWLEDGEMENT OF RATIFICATION

STATE OF ARIZONA)
) ss.
COUNTY OF MARICOPA)

THE FORGOING INSTRUMENT WAS EXECUTED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC,

THIS _____DAY OF _____, 2020, BY

_____, THE _____ OF LA MIRA COMMUNITY
ASSOCIATION, INC., AN ARIZONA NON-PROFIT CORPORATION, ON BEHALF THEREOF.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

APPROVALS

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF MESA, ARIZONA ON THE

_____ DAY OF _____, 2020.

APPROVED BY: _____ ATTEST: _____
MAYOR CLERK

THIS IS TO CERTIFY THAT THE AREA PLATTED HEREON IS APPROVED AND LIES WITHIN THE DOMESTIC WATER SERVICE AREA OF THE CITY OF MESA WHICH IS DESIGNATED AS HAVING AN ASSURED WATER SUPPLY IN ACCORDANCE WITH ARS 45-576.

APPROVED BY: _____ DATE _____
CITY ENGINEER

NOTES

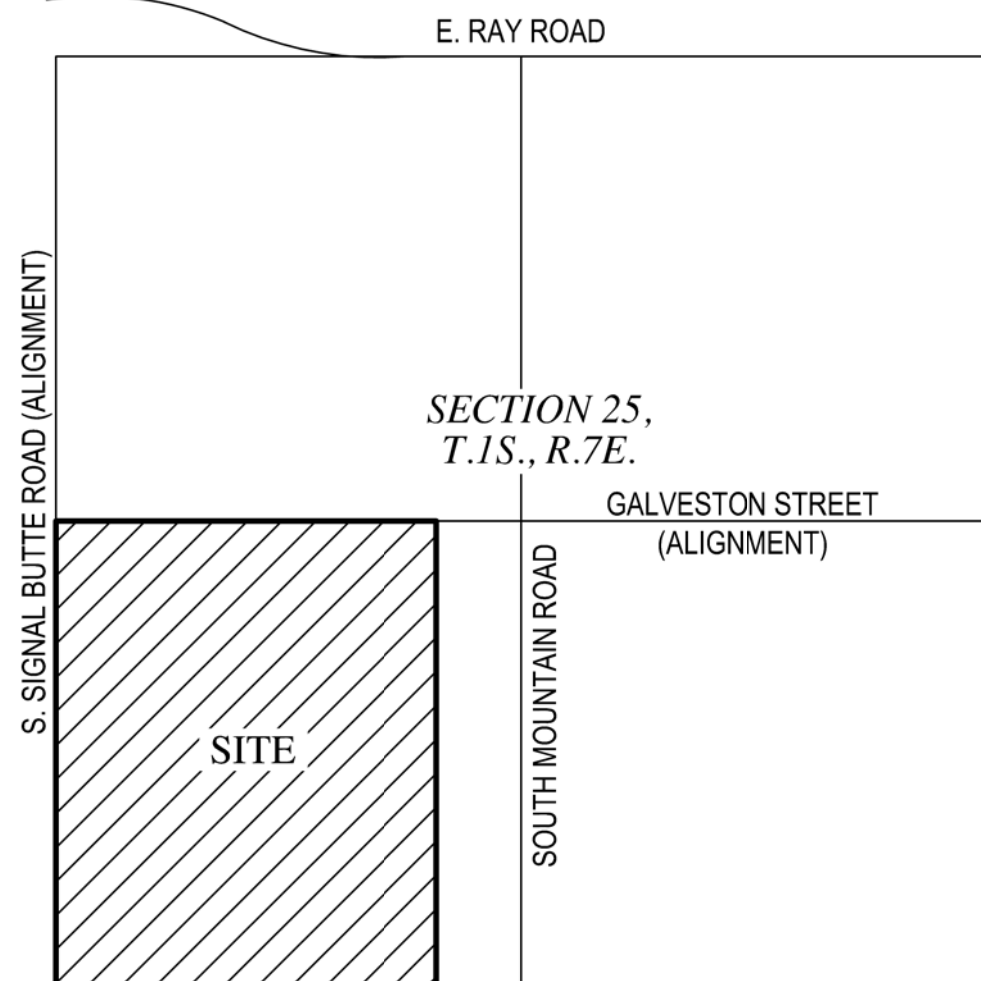
- THIS SUBDIVISION IS LOCATED IN THE CITY OF MESA WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- UTILITY LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION GENERAL ORDER R(42)33.
- TRACTS "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T" AND "V" AS SHOWN ON THIS PLAT, AFTER THE COMPLETION OF CONSTRUCTION OF IMPROVEMENTS THEREON, SHALL BE CONVEYED TO LA MIRA COMMUNITY ASSOCIATION, INC., AN ARIZONA NON-PROFIT CORPORATION (THE "ASSOCIATION"), AND THEREAFTER SHALL BE OWNED AND MAINTAINED BY THE ASSOCIATION.

OWNER/DEVELOPER

TAYLOR MORRISON/ARIZONA, INC.
4900 SCOTTSDALE ROAD, SUITE 2200
SCOTTSDALE, ARIZONA 85251
PHONE: 480.508.0653
CONTACT: MR. EVAN BILTON

ENGINEER & SURVEYOR

WOOD, PATEL & ASSOCIATES, INC.
1630 SOUTH STAPLEY DRIVE, SUITE 219
MESA, ARIZONA 85204
PHONE (480) 834-3300
CONTACT: MR. DAN MATTHEWS, P.E.



VICINITY MAP

N.T.S.

NOTES (CONTINUED)

- UNDER THE SUPPLEMENTAL DECLARATION, (I) OWNERS HAVE GRANTED TO THE ASSOCIATION, AN EASEMENT COVERING THE AREAS LYING WITHIN THE "PUFE" AREA WITHIN EACH LOT SHOWN ON THIS PLAT, FOR PURPOSES OF MAINTENANCE OF THE LANDSCAPING LOCATED WITHIN SUCH PUFE AREA, AND (II) THE ASSOCIATION IS REQUIRED TO MAINTAIN THE TREES AND ASSOCIATED IRRIGATION FACILITIES (BUT NO OTHER LANDSCAPING OR OTHER IRRIGATION FACILITIES) THAT ARE TO BE INSTALLED WITHIN SUCH PUFE AREAS.
- AN AVIGATION EASEMENT AND RELEASE FOR THIS PLAT IS RECORDED IN MARICOPA COUNTY RECORDER DOCUMENT # 2011-0357115 AND RE-RECORDED IN DOCUMENT # 2011-0432679. THIS SUBDIVISION IS WITHIN THREE (3) MILES OF PHOENIX-MESA GATEWAY AIRPORT. INFORMATION REGARDING AIRCRAFT OPERATIONS AND AIRPORT DEVELOPMENT IS AVAILABLE THROUGH THE AIRPORT ADMINISTRATION OFFICE.
- NOISE ATTENUATION MEASURES ARE TO BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF HOMES IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 4.4A OF THE COMMUNITY MASTER PLAN.
- IN ORDER TO COMPLY WITH THE "ARIZONA BOUNDARY SURVEY MINIMUM STANDARDS", ARIZONA BOARD OF TECHNICAL REGISTRATION SUBSTANTIVE POLICY STATEMENT # 12, AND CITY OF MESA SUBDIVISION PLAT STAKING REQUIREMENTS, THE OWNERS AND CITY HAVE AGREED THAT ALL BOUNDARY AND LOT CORNERS WILL BE STAKED PRIOR TO COMPLETION OF PAVING IMPROVEMENTS. IF SUCH CORNERS ARE SET UNDER THE SUPERVISION OF AN ARIZONA REGISTERED LAND SURVEYOR OTHER THAN THE ONE WHOSE NAME APPEARS ON THIS PLAT, A SEPARATE RESULTS-OF-SURVEY DRAWING FOR THESE INTERIOR CORNERS WILL NEED TO BE RECORDED.
- PER CITY OF MESA SUBDIVISION DESIGN PRINCIPLES AND STANDARDS, ALL SIDE LOT LINES ARE RADIAL TO CURVED RIGHT-OF-WAY LINES UNLESS OTHERWISE NOTED (SECTION 9-6-3-E-3).
- ALL CURVES ARE TANGENT, COMPOUND, OR REVERSE UNLESS NOTED OTHERWISE.
- TAYLOR MORRISON/ARIZONA, INC. ACKNOWLEDGES THAT IT INTENDS TO INSTALL (OR REQUIRE THIRD PARTY HOMEBUILDERS TO INSTALL) SIDEWALKS AND LANDSCAPING IMPROVEMENTS WITHIN AREAS THAT ARE SUBJECT TO PUFE'S SHOWN ON THIS PLAT. MAINTENANCE OF THE LANDSCAPING IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE UNDERLYING REAL PROPERTY, AT SUCH OWNER'S EXPENSE. MAINTENANCE OF THE SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE CITY, AFTER INSPECTION AND APPROVAL OF SUCH SIDEWALKS BY THE CITY, BUT TAYLOR MORRISON/ARIZONA, INC. (OR THE ASSOCIATION) SHALL REIMBURSE THE CITY FOR THE COSTS OF SUCH MAINTENANCE, AS PROVIDED IN THE COMMUNITY MAINTENANCE AGREEMENT.
- CONSTRUCTION WITHIN UTILITY EASEMENTS EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO UTILITIES, PAVING, AND WOOD, WIRE, REMOVABLE SECTION TYPE FENCING.
- NO STRUCTURES SHALL BE CONSTRUCTED IN OR ACROSS, NOR SHALL IMPROVEMENTS OR ALTERATIONS BE MADE TO THE DRAINAGE FACILITIES THAT ARE A PART OF THIS DEVELOPMENT WITHOUT THE WRITTEN AUTHORIZATION OF THE CITY OF MESA.
- THE CITY OF MESA WILL NOT BE RESPONSIBLE FOR ANY SPECIAL TYPE OF SURFACE MATERIAL SUCH AS BUT NOT LIMITED TO PAVEMENT, CONCRETE, COLORED STAMPED PAVEMENT OR CONCRETE, OR BRICKS, AS NOTED WITH IN THE PROJECT'S CONSTRUCTION DOCUMENTS. SHOULD REMOVAL OF THE SPECIAL TYPE OF SURFACE MATERIAL BE REQUIRED BY THE CITY OF MESA FOR MAINTENANCE OF THE CITY'S FACILITIES SUCH AS THE CITY'S UTILITY SYSTEMS, THE CITY WILL ONLY BE REQUIRED TO BACKFILL AND PROVIDE CITY OF MESA ACCEPTED TEMPORARY SURFACE MATERIAL OVER THE SAID UTILITY OR OTHER AREA DISTURBED. RECONSTRUCTION OF THE SPECIAL TYPE OF SURFACE MATERIAL SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION, BUSINESS OWNER'S ASSOCIATION, OR THE PROPERTY OWNER(S).
- THIS SUBDIVISION IS SUBJECT TO THE CITY OF MESA RESIDENTIAL DEVELOPMENT GUIDELINES AS WELL AS THE BUILDING FORM STANDARDS ESTABLISHED IN THE CITY OF MESA ZONING ORDINANCE.
- ALL CORNERS WILL BE MONUMENTED WITH 1/2" REBAR AND CAPPED OR TAGGED, BEARING THE REGISTRATION NUMBER OF THE SURVEYOR RESPONSIBLE FOR THEIR PLACEMENT AT THE TIME OF CONSTRUCTION.
- TOTAL AREA OF SUBDIVISION 4,604,202 SQ. FT. OR 105.6979 ACRES, MORE OR LESS.
TOTAL AREA OF DEDICATED RIGHT-OF-WAY 811,282 SQ. FT. OR 18.6245 ACRES, MORE OR LESS.
- THE CITY OF MESA IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY PRIVATE DRAINAGE FACILITIES, PRIVATE UTILITIES, PRIVATE FACILITIES, OR LANDSCAPED AREAS WITHIN THE PROJECT OR WITHIN THE PUBLIC RIGHTS-OF-WAY ALONG, E. TAHOE AVE., E. THISTLE AVE., E. TRENT AVE., E. THUNDERBOLT AVE., E. TESLA AVE., S. HASSETT, S. BAILEY, S. MARRON, S. DANTE, S. ROMANO, S. PARKWOOD, S. VENETO, SIGNAL BUTTE ROAD, AND WILLIAMS FIELD ROAD.
- ELECTRIC LINES TO BE CONSTRUCTED UNDER GROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION GENERAL ORDER R-14-2-133

CERTIFICATION

I, BRIAN J. DIEHL OF WOOD, PATEL & ASSOCIATES, INC., HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA; THAT THIS PLAT CONSISTING OF SEVEN (7) SHEETS REPRESENTS A SURVEY PERFORMED BY WOOD, PATEL & ASSOCIATES, INC., DURING THE MONTH APRIL 2019; THAT THE SURVEY IS CORRECT AND ACCURATE; THAT THE BOUNDARY MONUMENTS SHOWN ACTUALLY EXIST AS SHOWN AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACTED.


ARIZONA REGISTERED LAND SURVEYOR, # 23945
WOOD, PATEL & ASSOCIATES, INC.
1630 SOUTH STAPLEY DRIVE - SUITE 219
MESA, ARIZONA 85204
(480) 834-3300

WOOD
PATEL

Wood, Patel & Associates, Inc.

Civil Engineering
Water Resources
Land Survey
Construction Management

602.335.8500

www.woodpatel.com

FINAL PLAT

LA MIRA
MESA, ARIZONA

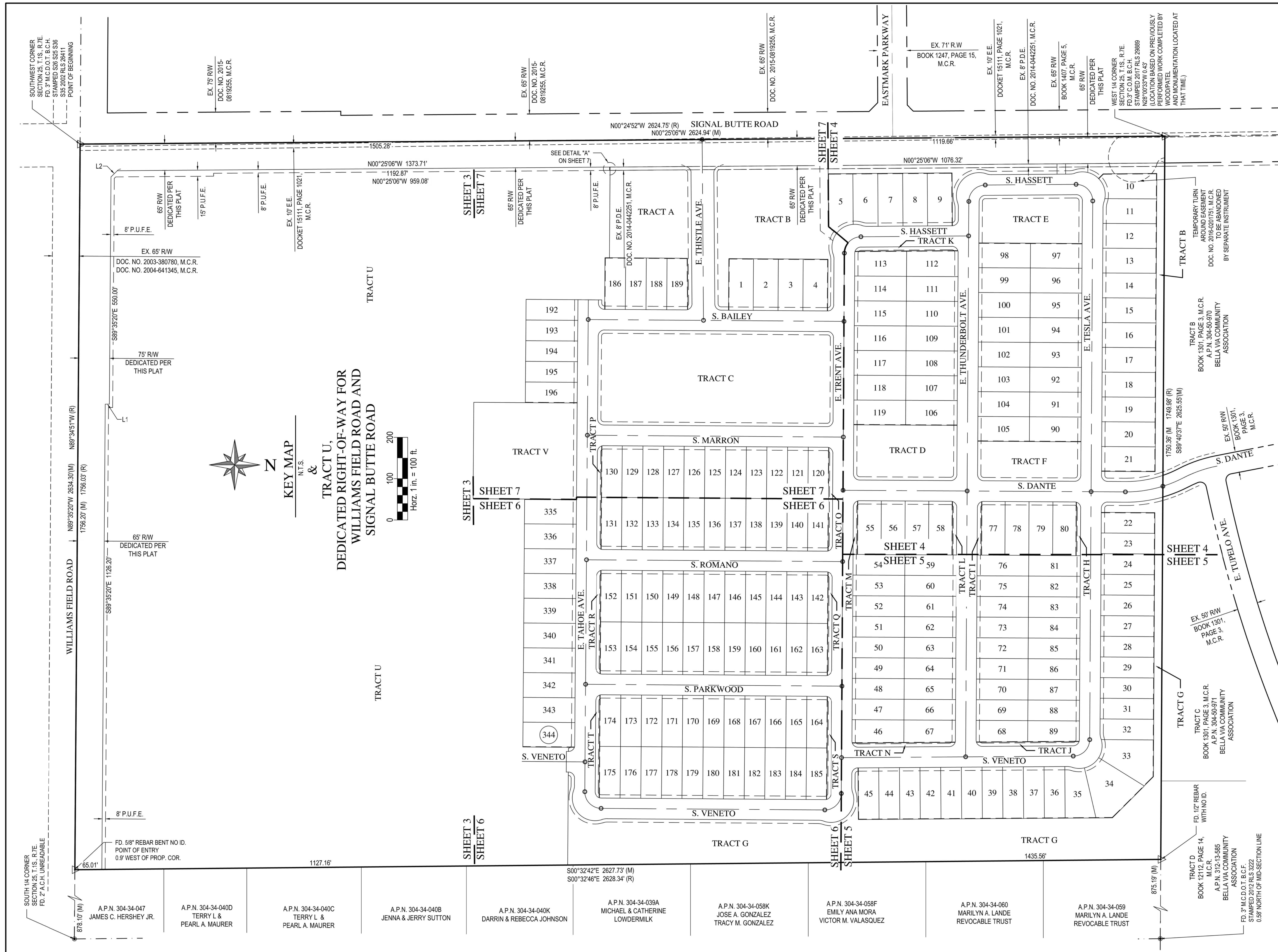
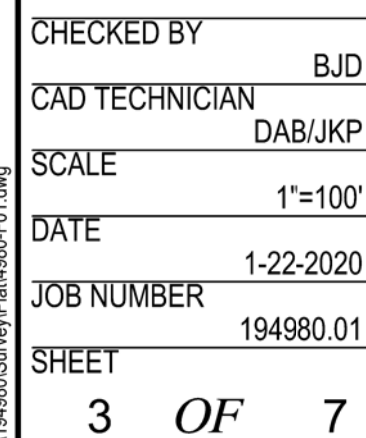


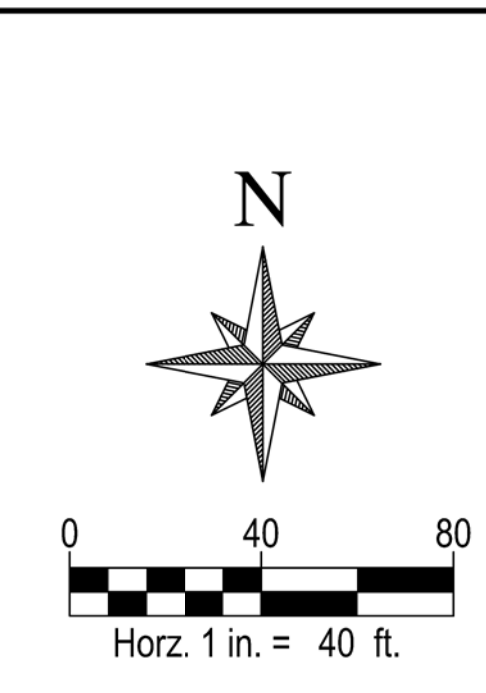
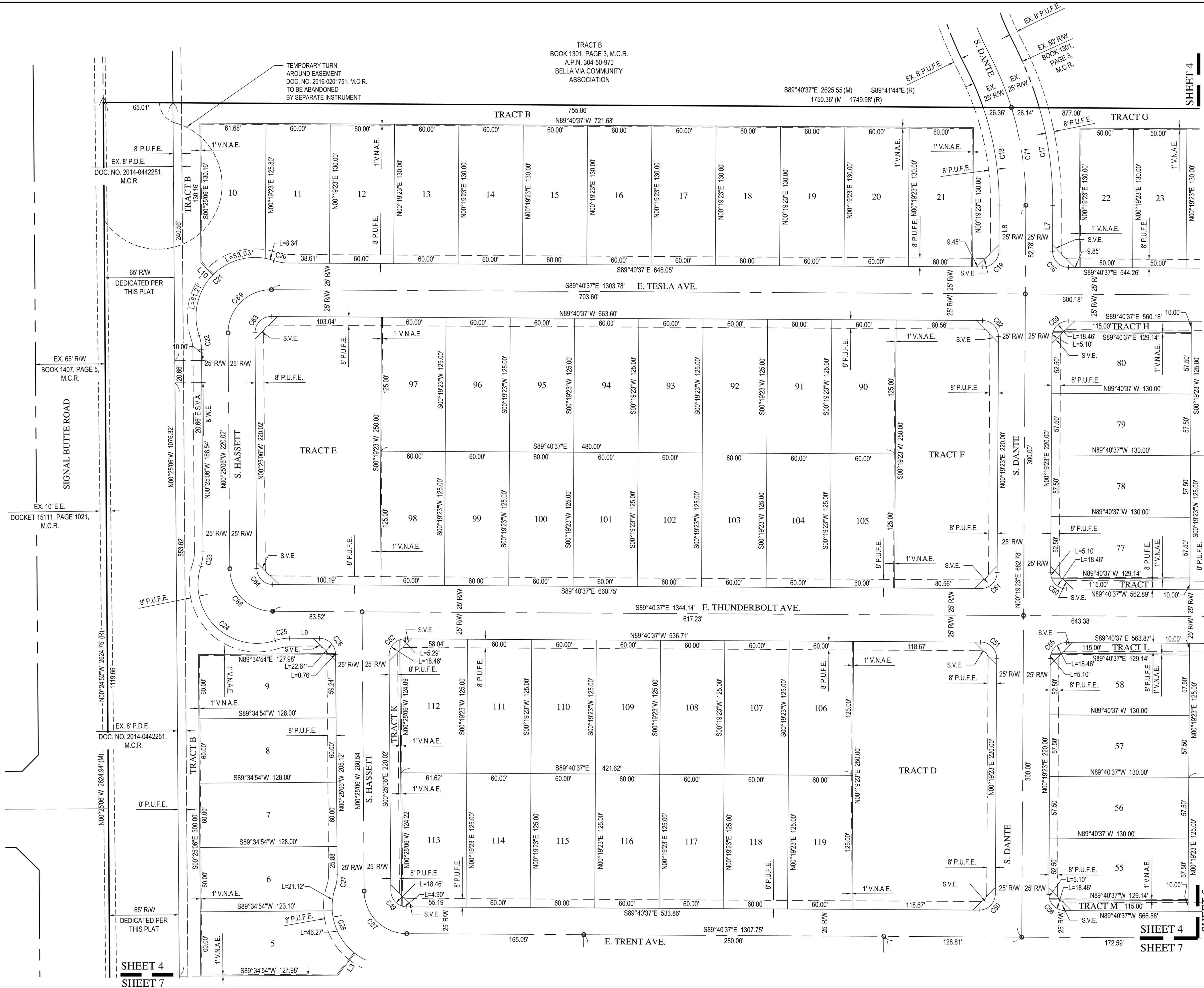
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SCALE _____ DAB/JKP
DATE _____ N.T.S.
1-22-2020
JOB NUMBER
194980.01
SHEET
1 OF 7

2/2019/194980/Survey/Plan/4980-FPI.dwg



LA MIRA
MESA, ARIZONA





LEGEND
SEE SHEET 6

WOOD
PATEL

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FINAL PLAT
LA MIRA
MESA, ARIZONA



CHECKED BY	BJD
CAD TECHNICIAN	DAB/JKP
SCALE	1"=40'
DATE	1-22-2020
JOB NUMBER	194980.01
SHEET	4 OF 7

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TRACT C
BOOK 1301, PAGE 3, M.C.R.
A.P.N. 304-50-971
BELLA VIA COMMUNITY
ASSOCIATION

TRACT D
BOOK 12112, PAGE 14,
M.C.R.
A.P.N. 312-13-585
BELLA VIA COMMUNITY
ASSOCIATION

S89°40'37"E 2625.55'(M) S89°41'44"E (R)
1750.36' (M) 1749.98' (R)

FD. 1/2" REBEAR WITH NO ID.

FD. 3" M.C.D.O.T. B.C.F.
STAMPED 2012 RLS 32222
0.58" NORTH OF SECTION LINE

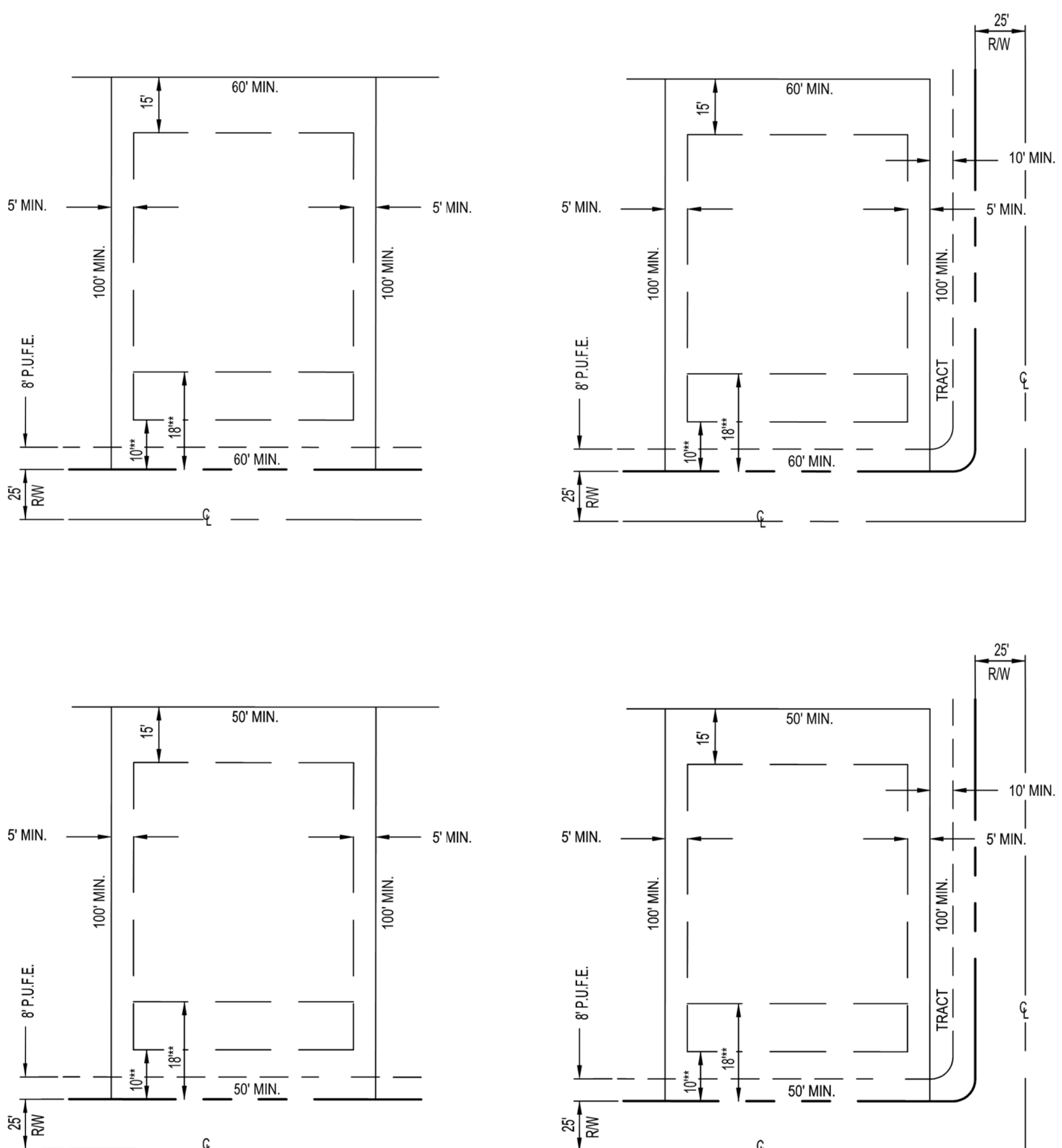


A.P.N. 304-34-059
MARILYN A. LANDE
REVOCABLE TRUST

A.P.N. 304-34-060
MARILYN A. LANDE
REVOCABLE TRUST

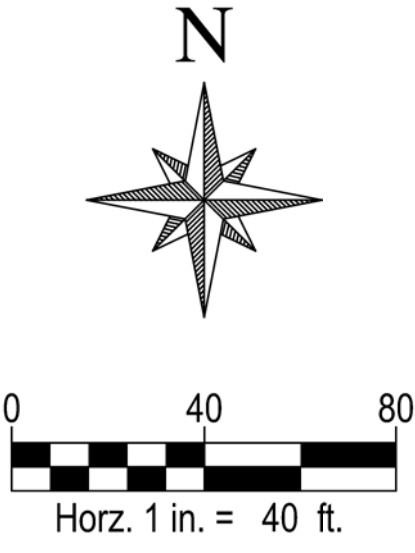
S00°32'42"E 2627.73' (M)
S00°32'46"E 2625.34' (R)

A.P.N. 304-34-058F
EMILY ANA MORA
VICTOR M. VALASQUEZ



TYPICAL LOT LAYOUT

*SIDEYARD SETBACKS: 5' MIN.
SETBACKS SHOWN ON LOTS ARE MINIMUM DISTANCES FROM THE PROPERTY LINES FOR BUILDING ENVELOPE BOUNDARIES & HOME CONSTRUCTION INCLUDING PATIOS & ACCESSORY STRUCTURES.
**FRONT YARD SETBACKS FROM PROPERTY LINE:
1. 18' MIN. SETBACK TO FACE OF GARAGE TO BACK OF SIDEWALK.
2. 10' MIN. SETBACK TO LIVABLE AREA, FRONT PORCH, SIDE ENTRY GARAGE FROM PROPERTY LINE.
***REARYARD SETBACKS: 15' MIN.
BAY WINDOWS MAY ENCR OACH INTO REAR YARD SETBACK
MAXIMUM LOT COVERAGE: 60%
THIS SUBDIVISION IS SUBJECT TO THE CITY OF MESA RESIDENTIAL DEVELOPMENT GUIDELINES
MINIMUM LOT SIZE PER PUD RS-6-PAD ZONING IS 5,000 S.F. 50'x100'



LEGEND
SEE SHEET 6

**WOOD
PATEL**
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FINAL PLAT
LA MIRA
MESA, ARIZONA



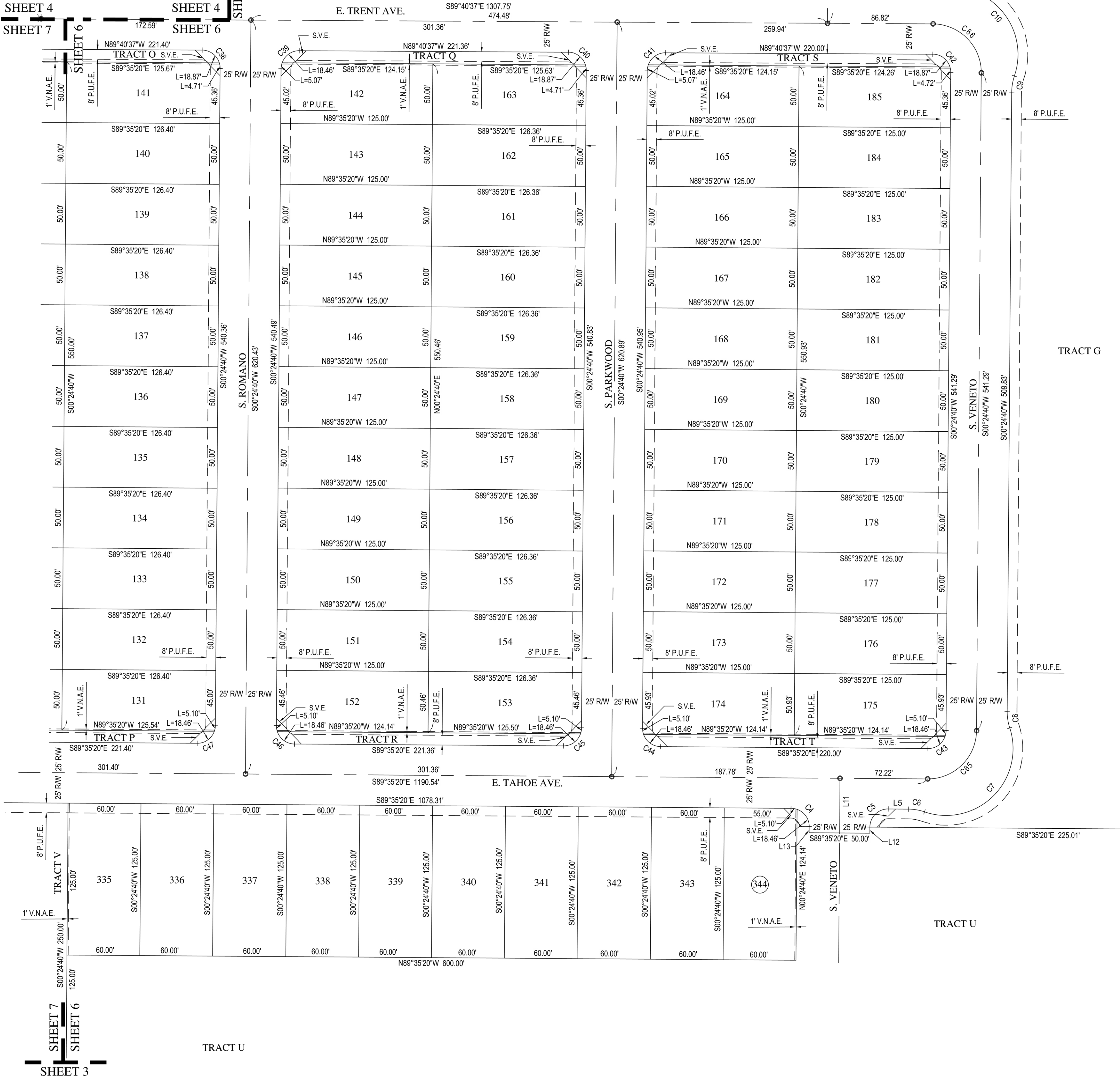
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SCALE	1"=40'
DATE	1-22-2020
JOB NUMBER	194980.01
SHEET	5 OF 7

SHEET 4
SHEET 7

SHEET 4
SHEET 6

SHEET 5

SHEET 5
SHEET 6



LEGEND	
	CORNER OF THIS SUBDIVISION
	SET MONUMENT W/RLS TAG OR CAP
	SURVEY MONUMENT FOUND AS NOTED
	CENTERLINE MONUMENT. SET BRASS CAP
	AT COMPLETION OF PROJECT PER MAG
	STANDARDS DETAIL 120 TYPE "R"
	ALUMINUM CAP IN HANDHOLE
	BRASS CAP FLUSH
	BRASS CAP IN HANDHOLE
	BOOK
	DOCKET
	DOCUMENT
	ELECTRIC EASEMENT
	EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
	EXISTING
	FOUND
	IDENTIFICATION
	MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION
	MARICOPA COUNTY RECORDS
	PAGE
	POWER DISTRIBUTION EASEMENT
	POINT OF BEGINNING
	PUBLIC UTILITY EASEMENT AND FACILITIES EASEMENT
	RIGHT-OF-WAY
	SITE VISIBILITY EASEMENT
	SIDEWALK EASEMENT
	VEHICULAR NON ACCESS EASEMENT
	PLAT BOUNDARY LINE
	LOT & R/W LINE
	CENTER LINE
	SECTION LINE
	EASEMENT LINE AS NOTED



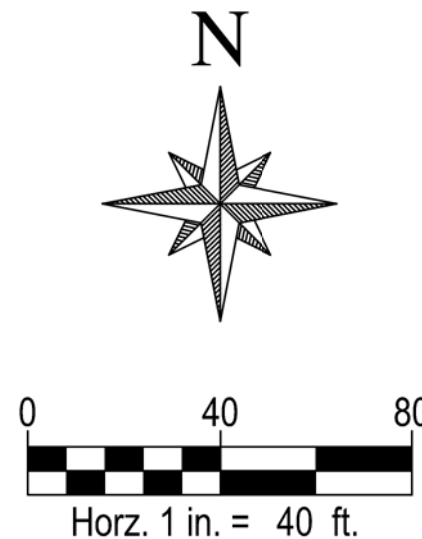
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FINAL PLAT

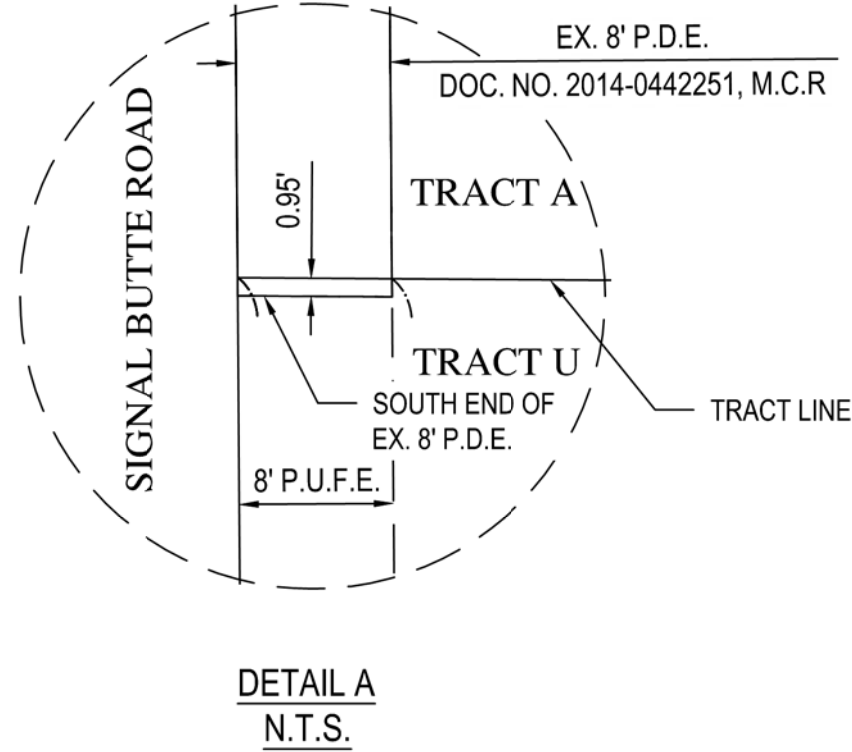
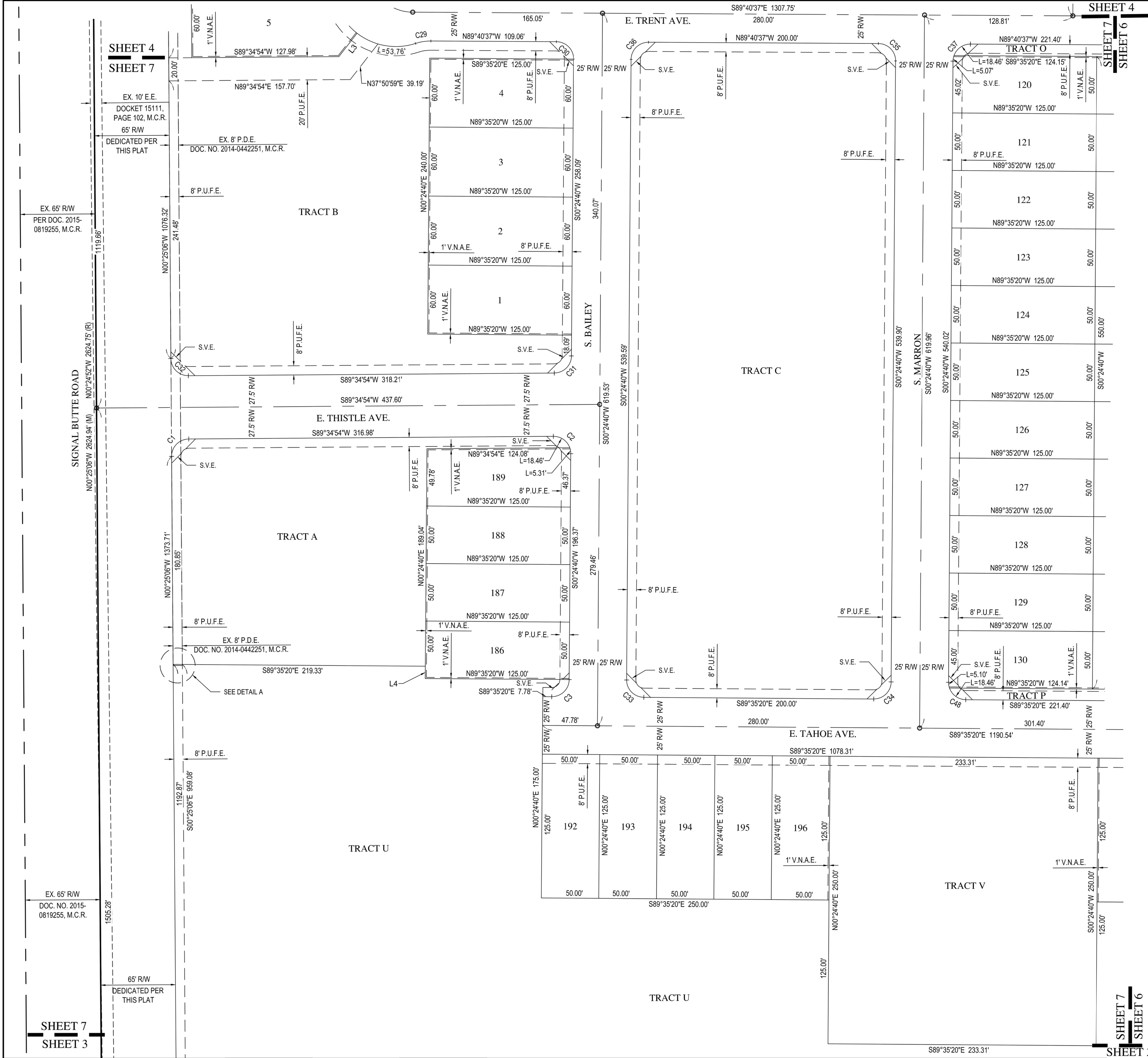
LA MIRA
MESA, ARIZONA



CHECKED BY BJD
CAD TECHNICIAN DAB/JKP
SCALE 1"=40'
DATE 1-22-2020
JOB NUMBER 194980.01
SHEET 6 OF 7



SHEET 3



LEGEND
SEE SHEET 6

N

0 40 80
Horz. 1 in. = 40 ft.



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FINAL PLAT

LA MIRA
MESA, ARIZONA



CHECKED BY	BJD
CAD TECHNICIAN	DAB/JKP
SCALE	1"=40'
DATE	1-22-2020
JOB NUMBER	194980.01
SHEET	7 OF 7

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