

DEVELOPER

DMB MESA PROVING GROUNDS, LLC
14646 N. MERLAND BLVD., SUITE 185
SCOTTSDALE, AZ 85254
CONTACT: CHRISTINA CHRISTIAN, P.E.
PHONE: (602) 903-7489

ENGINEER

SUNRISE ENGINEERING, INC.
2152 SOUTH VINEYARD, SUITE 123
MESA, ARIZONA 85210
CONTACT: CHRIS MOORE
PHONE: (480) 768-8600

UTILITIES/SERVICES

SERVICE	UTILITY COMPANY
CATV	COX COMMUNICATIONS
ELECTRIC	SALT RIVER PROJECT
FIBER	CENTURYLINK
GAS	SOUTHWEST GAS
IRRIGATION	SALT RIVER PROJECT
WATER/SEWER	CITY OF MESA
STORM DRAIN	CITY OF MESA
FIRE	CITY OF MESA
REFUSE	CITY OF MESA

BENCHMARK

CITY OF MESA 2006 BENCHMARK, BRASS TAG IN TOP OF CURB
LOCATED AT THE NORTHWEST CORNER OF MERIDIAN AND WARNER ROAD
ELEVATION = 1481.15 CITY OF MESA DATUM
BENCHMARK OBSERVED ON APRIL 30, 2012

TRACT TABLE

TRACT NAME	SQ FT	ACRES	USE
A	155,342	3.57	OPEN SPACE, PUFE
B	20,581	0.47	PRIVATE STREET
C	2,209	0.05	OPEN SPACE, PUFE
D	3,584	0.08	OPEN SPACE, PUFE
E	3,584	0.08	OPEN SPACE, PUFE
F	2,209	0.05	OPEN SPACE, PUFE
G	3,584	0.08	OPEN SPACE, PUFE
H	33,016	0.76	PRIVATE STREET
I	2,209	0.05	OPEN SPACE, PUFE
J	3,584	0.08	OPEN SPACE, PUFE
K	29,535	0.68	OPEN SPACE, PUFE
L	34,652	0.80	PRIVATE STREET
M	2,207	0.05	OPEN SPACE, PUFE
N	4,422	0.10	OPEN SPACE, PUFE
O	37,037	0.85	OPEN SPACE, PUFE
P	29,871	0.68	OPEN SPACE, PUFE
Q	42,583	0.98	OPEN SPACE, PUFE
R	53,094	1.22	OPEN SPACE, PUFE
S	47,242	1.09	OPEN SPACE, PUFE
T	87,246	2.00	OPEN SPACE, PUFE
U	115,565	2.65	PRIVATE STREET
V	62,642	1.44	OPEN SPACE, PUFE
W	5,772	0.13	OPEN SPACE, PUFE
X	5,520	0.13	OPEN SPACE, PUFE
Y	35,725	0.82	OPEN SPACE, PUFE
Z	722,449	16.59	OPEN SPACE, PUFE

PARCEL TABLE

NAME	SQ FT	ACRES	NO. OF LOTS
DU 3/4-28	346,498	7.92	90
DU 3/4-29	438,468	10.09	133
DU 3/4-30	568,236	13.05	127
PARCEL 1	722,449	16.59	
TOTAL	2,075,650	47.65	350

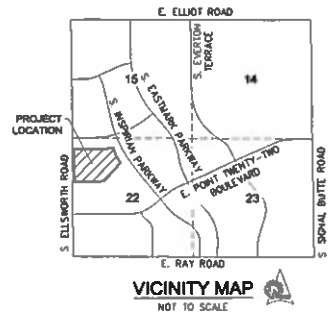
PRELIMINARY PLAT

EASTMARK - DU 3/4 NORTH (PHASE 5) MDR

A PROPOSED SUBDIVISION LOCATED IN
A PORTION OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF GILA AND SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA

SHEET INDEX

SHEET #	DESCRIPTION
1	COVER SHEET
2, 3	SECTION & TYPICAL LOT DETAILS
4-10	PREPLAT
11	PARKING AREAS

**SHEET INDEX**

SITE DATA		
GROSS AREA	78.78	ACRES
OPEN SPACE	30.80	ACRES
LOCAL STREETS	8.80	ACRES
PRIVATE STREETS	4.68	ACRES
NET RESIDENTIAL	42.54	ACRES
TOTAL YIELD	350	LOTS
GROSS RESIDENTIAL DENSITY	4.44	DU/AC
NET RESIDENTIAL DENSITY	8.23	DU/AC

ABBREVIATIONS

BC	BACK OF CURB
EX	EAST
EX	EXISTING
FC	FACE OF CURB
FM	FORCE MAIN
LS	LANDSCAPE
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS
MBN	MARICOPA
N	NORTH
PAE	PRIVATE ACCESS EASEMENT
POE	POWER DISTRIBUTION EASEMENT
PUFE	PUBLIC UTILITY & FACILITIES EASEMENT
R/W	RIGHT-OF-WAY
S	SOUTH
STD	STANDARD
SWW	SIDEWALK
USE	USE & BENEFIT EASEMENT
W	WEST

LINE LEGEND

---	SUBJECT BOUNDARY LINE
---	LOT LINE
---	EASEMENT LINE
---	SECTION LINE
---	TRACT LINE
---	RIGHT OF WAY LINE
---	SETBACK LINE

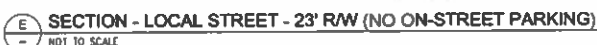
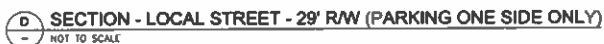
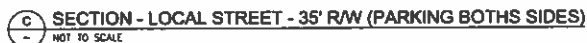
APPROVED PLANS
PLANNING AND ZONING BOARD
DATE: 5-22-19
WITH STIPS: YES ☒ NO ☐

2152 SOUTH VINEYARD, SUITE 123
MESA, ARIZONA 85210
760.488.7400 (PH) 480.768.8600 (FAX)
www.sunrise-eng.com

EASTMARK - DU 3/4 NORTH (PHASE 5) MDR
PRELIMINARY PLAT
COVER SHEET

3/2/19	DESIGNED	DRAWN	CHECKED	
04/30/19	CFM	SLF	PMH	

1 of 11



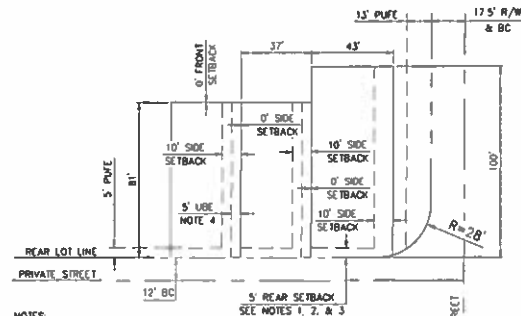
BC	BACK OF CURB
E	EAST
EX	EXISTING
FC	FACE OF CURB
FM	FORCEMAIN
LS	LANDSCAPE
MAG	MARCOPA ASSOCIATION OF GOVERNMENTS
WN	WINDHAM
N	NORTH
PAC	PRIVATE ACCESS EASEMENT
PDE	POWER DISTRIBUTION EASEMENT
PUTE	PUBLIC UTILITY & FACILITIES EASEMENT
R/W	RIGHT-OF-WAY
S	SOUTH
STD	STANDARD
SWK	SIDEWALK
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W	WEST

 SUBJECT BOUNDARY LINE
 LOT LINE
 EASEMENT LINE
 SECTION LINE
 TRACT LINE
 RIGHT OF WAY LINE
 SETBACK LINE

- NOTES:
1. 5' FROM PROPERTY LINE (BACK OF CURB) TO LIVING AREA
 2. LOT MINIMUM WIDTH WILL BE ESTABLISHED AT 5' FROM BACK OF CURB.
 3. IF A DRIVEWAY IS PROVIDED THE SETBACK TO FACE OF GARAGE DOOR SHALL BE 18'

TYPICAL LOT LAYOUT 55' X 70'

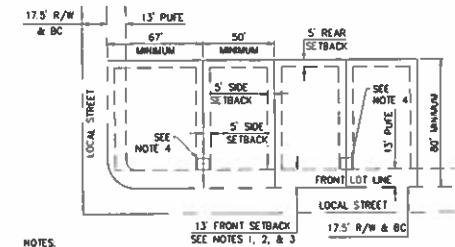
AUTO COURT
LOTS 1 - 84
NOT TO SCALE



- NOTES: SEE NOTES 1, 2, & 3
1. 6' FROM PROPERTY LINE (BACK OF CURB) TO LIVING AREA.
 2. LOT MINIMUM WIDTH WILL BE ESTABLISHED AT 5' FROM BACK OF CURB.
 3. SETBACK FOR UPPER LEVELS IS 5' FROM R/W.
 4. CONCEPTUAL USE AND BENEFIT EASEMENT, EASEMENT WILL BE FINALIZED DURING SUBDIVISION TECHNICAL REVIEW AND SHOWN ON FINAL PLAT

TYPICAL LOT LAYOUT 37' X 81', 43' X 100'

GREEN COURT
LOTS 85 - 217
NOT TO SCALE



- NOTES: SEE NOTES 1, 2, & 3
1. 13' FROM PROPERTY LINE (BACK OF CURB) TO LIVING AREA OR SIDE ENTRY GARAGE, 18' FROM BACK OF SIDEWALK TO FACE OF GARAGE DOOR.
 2. LOT MINIMUM WIDTH WILL BE ESTABLISHED AT 11' FROM BACK OF CURB.
 3. SETBACK FOR UPPER LEVELS IS 11' FROM R/W
 4. 6' W X 8' D PUTE, CENTERED ON LOT LINE FOR UTILITY APPURTENANCE TO BE ESTABLISHED BASED ON DRY UTILITY DESIGN. SRP TRANSFORMERS TO BE LOCATED BETWEEN DRIVEWAYS ONLY

TYPICAL LOT LAYOUT 50' X 80'

**SINGLE FAMILY
LOTS 218 - 345
NOT TO SCALE**

- NOTE (GREEN COURT & AUTO COURT):
1. MINIMUM COVER FOR SEWER IS 8"
2. MINIMUM COVER FOR WATER IS 6"

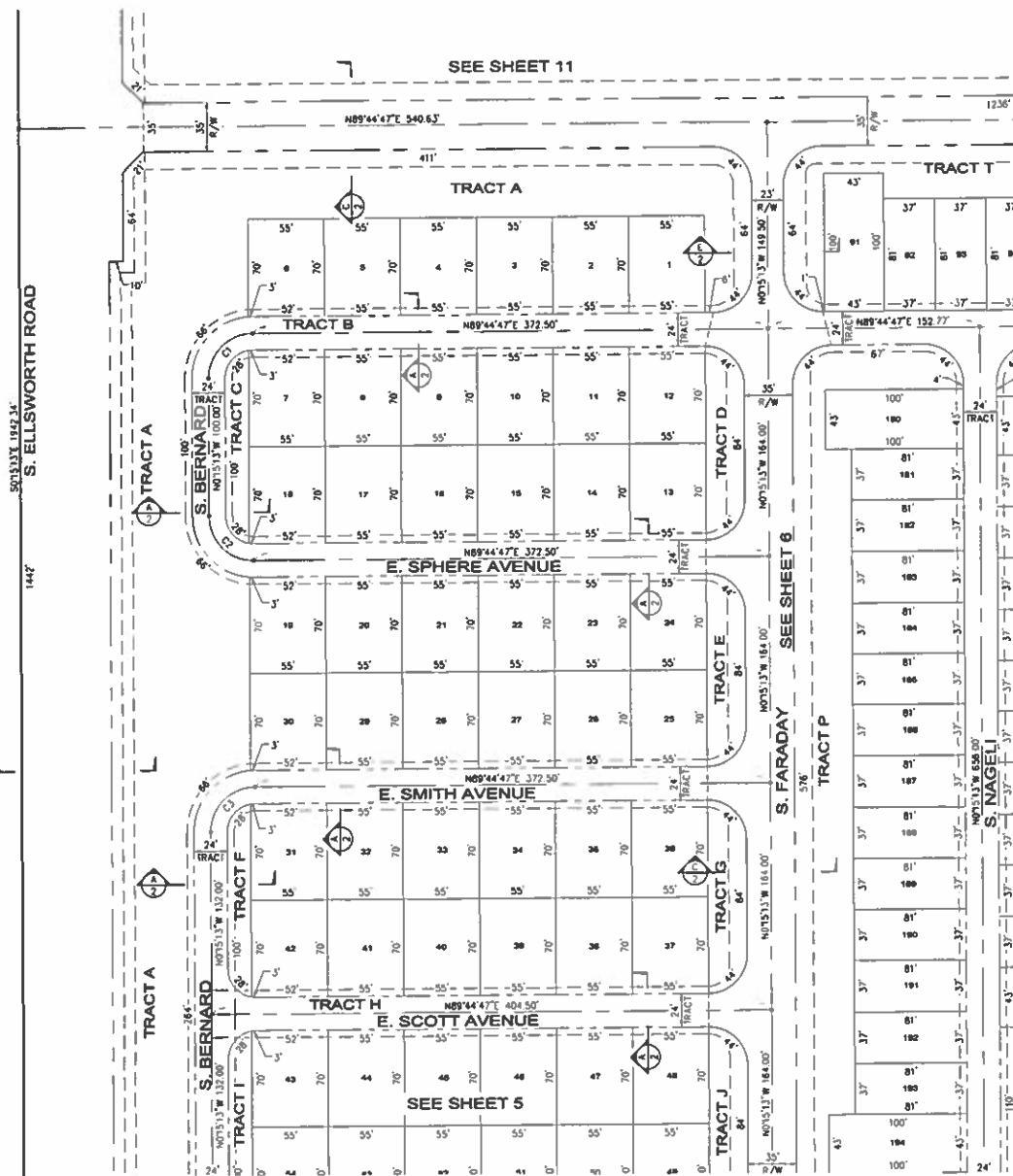
ABBREVIATIONS

BC	BACK OF CURB
E	EAST
EX	EXISTING
FC	FACE OF CURB
FM	FOREMAN
LS	LANDSCAPE
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS
MM	MURKIN
N	NORTH
PAE	PRIVATE ACCESS EASEMENT
POE	POWER DISTRIBUTION EASEMENT
PUEF	PUBLIC UTILITY & FACILITIES EASEMENT
R/W	RIGHT-OF-WAY
S	SOUTH
STD	STANDARD
SWK	SIDEWALK
URE	USE & BENEFIT EASEMENT
W	WEST

LINE LEGEND

_____ SUBJECT BOUNDARY LINE
_____ LOT LINE
_____ EASEMENT LINE
_____ SECTION LINE
_____ TRACT LINE
_____ RIGHT OF WAY LINE
_____ SETBACK LINE

 8mi Engineering & Surveying 1-800-782-5340				
DE V. 107 Channel # Date				
 Brookfield Residential				
				
EASTMARK.				
	 SUNRISE ENGINEERING 2112 BOUNTY VILLAGE, SUITE 123 MINA, ARIZONA 85210 TEL. 480.760.0000 FAX 480.760.0000 www.sunrise-eng.com			
EASTMARK - DU 3/4 NORTH (PHASE 5) MOR PRELIMINARY PLAT TYPICAL LOT DETAILS				
SET AND 09-87	RECORDED 09-87	DRAWN CUE	CHECKED CUE	3 of 11



THIS TABLE IS FOR SHEETS 4 TO 10 ONLY

NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	32.00'	50.27'	90°00'00"	S44°44'47"W	45.25'
C2	32.00'	50.27'	90°00'00"	S45°15'13"E	45.25'
C3	32.00'	50.27'	90°00'00"	S44°44'47"W	45.25'
C4	32.00'	50.27'	90°00'00"	S45°15'13"E	45.25'
C5	32.00'	50.27'	90°00'00"	S44°44'47"W	45.25'
C6	32.00'	50.27'	90°00'40"	S45°15'13"E	45.26'
C7	180.00'	147.02'	46°47'53"	N66°20'31"E	142.97'
C8	300.00'	245.03'	46°47'53"	N66°20'31"E	238.28'
C9	300.00'	244.98'	46°47'13"	N66°20'31"E	238.23'
C10	300.00'	244.98'	46°47'13"	N66°20'31"E	238.23'
C11	100.00'	81.68'	46°47'53"	S23°38'09"E	79.43'
C12	749.50'	137.12'	10°28'56"	N84°30'18"E	136.93'
C13	40.00'	40.96'	58°40'17"	N71°24'00"W	39.19'
C14	200.00'	17.41'	4°59'15"	S45°26'31"W	17.40'
C15	400.00'	34.82'	4°59'15"	S45°26'31"W	34.81'
C16	400.00'	138.32'	19°48'44"	S57°50'31"W	137.63'
C17	3500.00'	650.21'	10°30'36"	N84°25'28"E	649.27'
C18	1500.00'	758.13'	28°59'48"	S25°14'03"E	751.06'

LINE TABLE

NO.	BEARING	LENGTH
L1	N85°50'12"E	50.12'
L2	N78°10'26"E	51.43'
L3	N66°28'53"E	49.94'
L4	N56°55'56"E	49.94'
L5	N47°23'20"E	49.94'
L6	N50°16'03"E	40.50'

THIS TABLE IS FOR SHEETS 4 TO 10 ONLY



ABBREVIATIONS

- BC BACK OF CURB
- EX EXISTING
- FC FACE OF CURB
- FM FOREMAN
- LS LANDSCAPE
- MAG MARICOPA ASSOCIATION OF GOVERNMENTS
- MIN MINIMUM
- N NORTH
- PAC PRIVATE ACCESS EASEMENT
- PDC POWER DISTRIBUTION EASEMENT
- PUE PUBLIC UTILITY & FACILITIES EASEMENT
- R/W RIGHT-OF-WAY
- S SOUTH
- STD STANDARD
- SWK SIDEWALK
- USE & BENEFIT EASEMENT
- W WEST

LINE LEGEND

- SUBJECT BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- TRACT LINE
- RIGHT OF WAY LINE
- SETBACK LINE



Brookfield Residential



EASTMARK.



SUNRISE ENGINEERING

2153 SOUTH VERNARD, SUITE 123
PHOENIX, ARIZONA 85016
TEL: 480.768.8888 FAX: 480.768.8889
www.sunrise-eng.com

EASTMARK - DU 3/4 NORTH (PHASE 5) MDR
PRELIMINARY PLAT

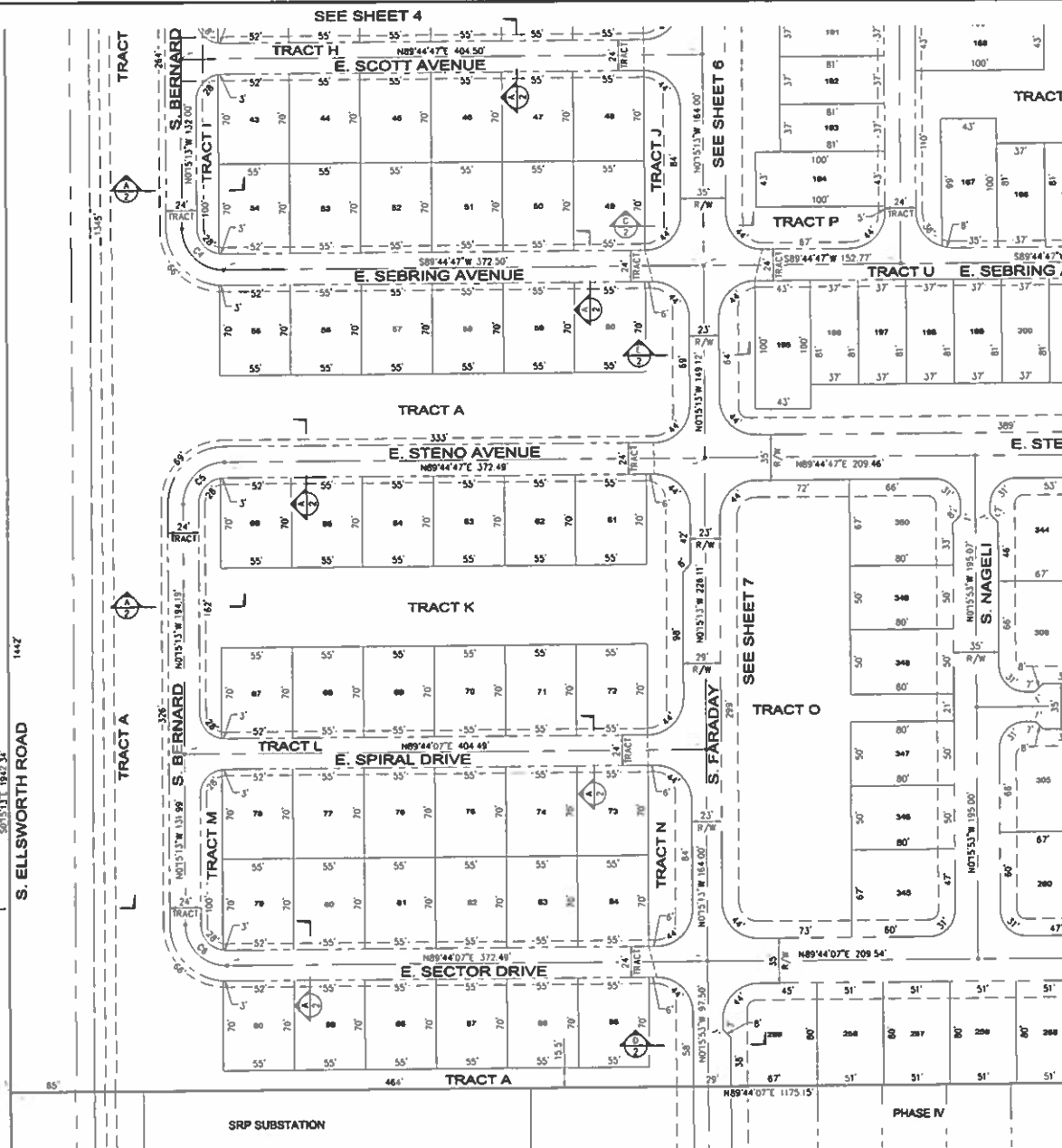
DESIGNED BY: CDM

CHECKED BY: RPH

DATE: 04/30/17

SCALE: 1" = 40'

S. ELLSWORTH ROAD 1442'



- ABBREVIATIONS**
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- LINE LEGEND**
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 - TRACT LINE
 - RIGHT OF WAY LINE
 - SETBACK LINE

SCALE
0 40' 80'
HORIZ. 1" = 40'

Keep return before.
Call before you dig
1-800-782-6348

Brookfield Residential

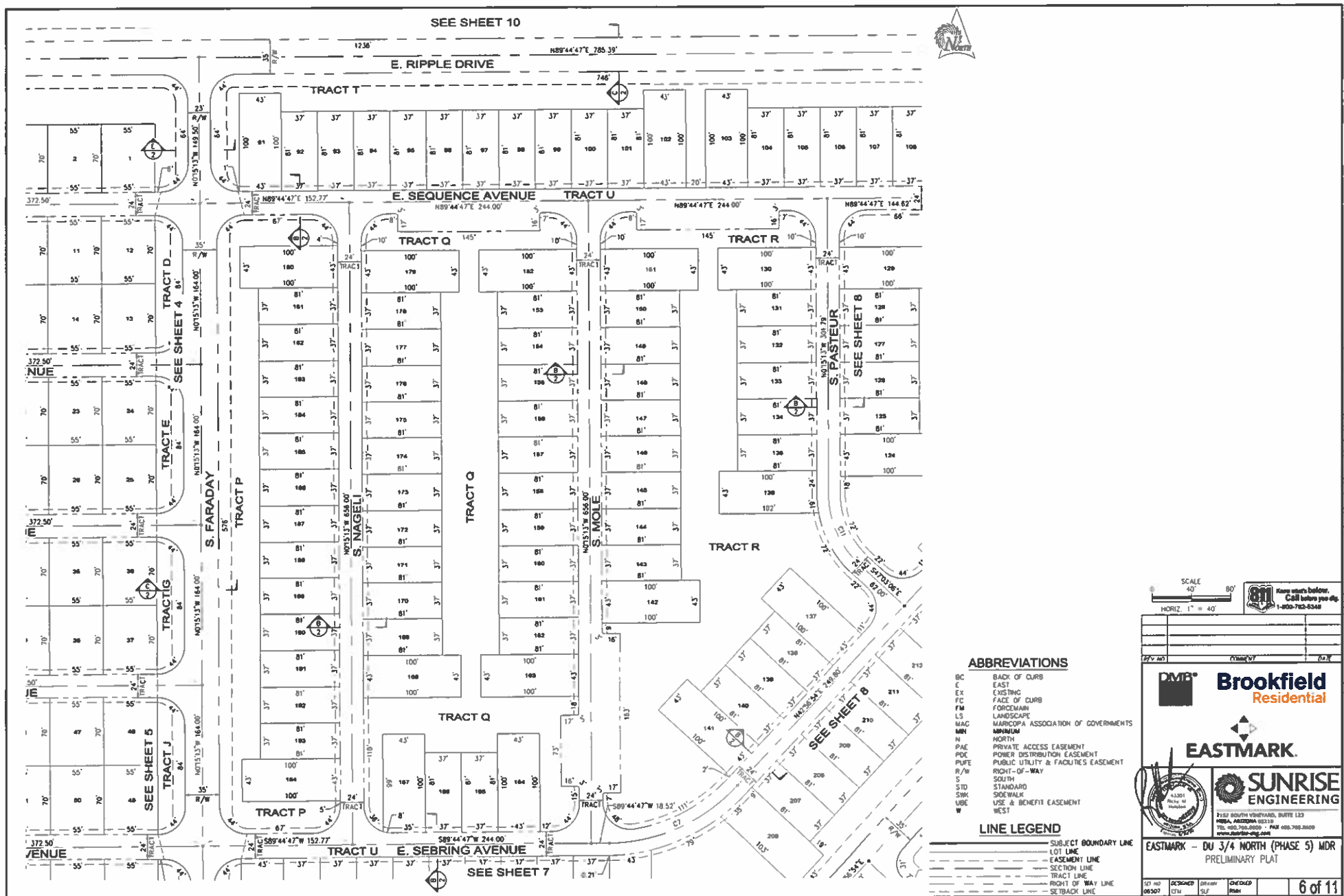
EASTMARK.

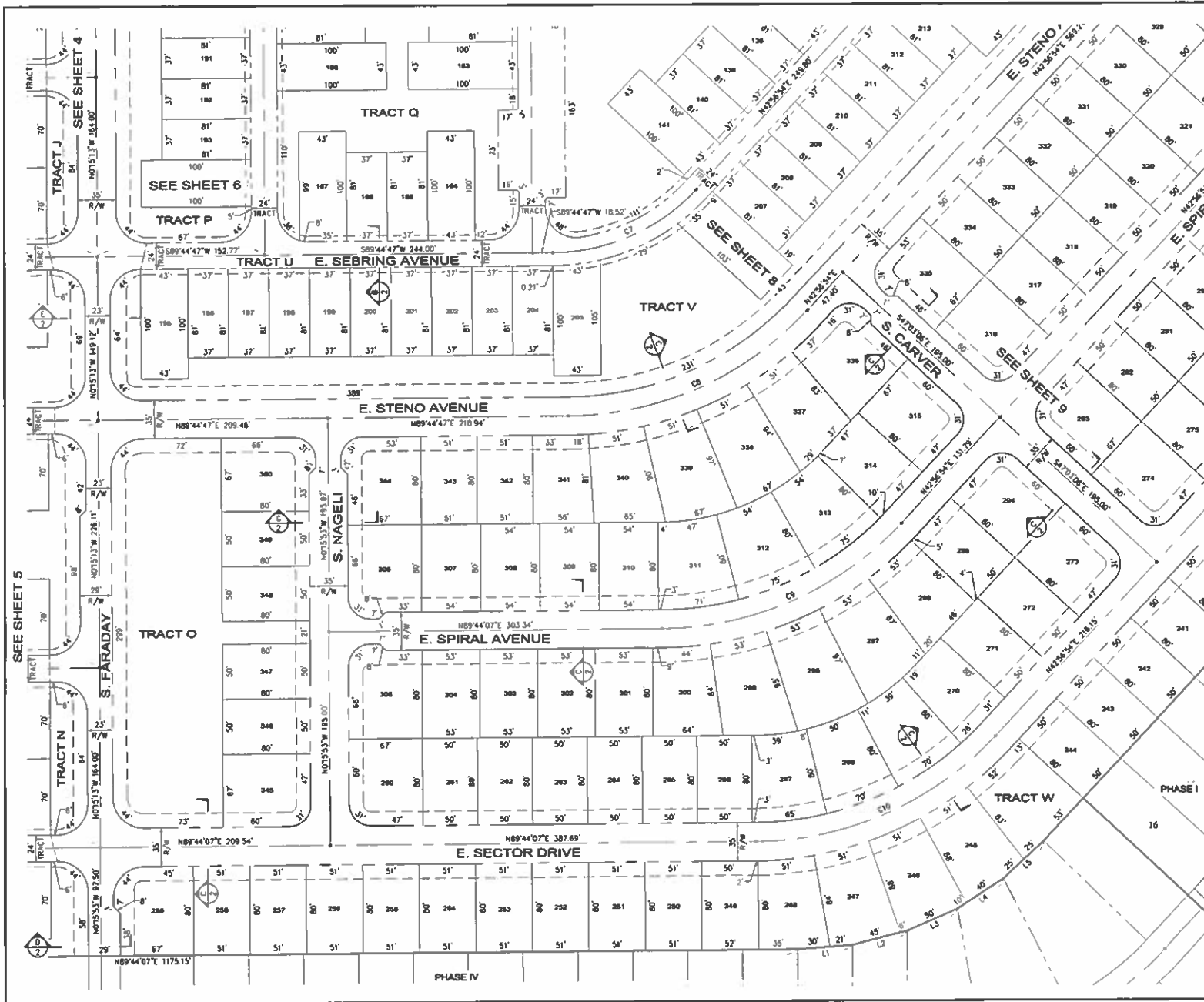
SUNRISE ENGINEERING
3152 SOUTH VINEYARD, SUITE 133
PHOENIX, ARIZONA 85018
TEL 480.760.0000 • FAX 480.760.0000
www.eastmark-eng.com

EASTMARK - DU 3/4 NORTH (PHASE 5) MDR
PRELIMINARY PLAT

DT NO	DESIGNED	DRWN	CHECKED	
08507	CFM	SLT	BLM	

5 of 11





ABBREVIATIONS

BC	BACK OF CURB
E	EAST
EX	EXISTING
FC	FACE OF CURB
FM	FORCE MAIN
LS	LANDSCAPE
MAD	MARICOPA ASSOCIATION OF GOVERNMENTS
MIN	MINIMUM
N	NORTH
PAE	PRIVATE ACCESS EASEMENT
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LINE LEGEND

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---	SEBACK LINE



DATE	PROJECT	SCALE
08/27	08/27	1" = 40'

DMP **Brookfield Residential**

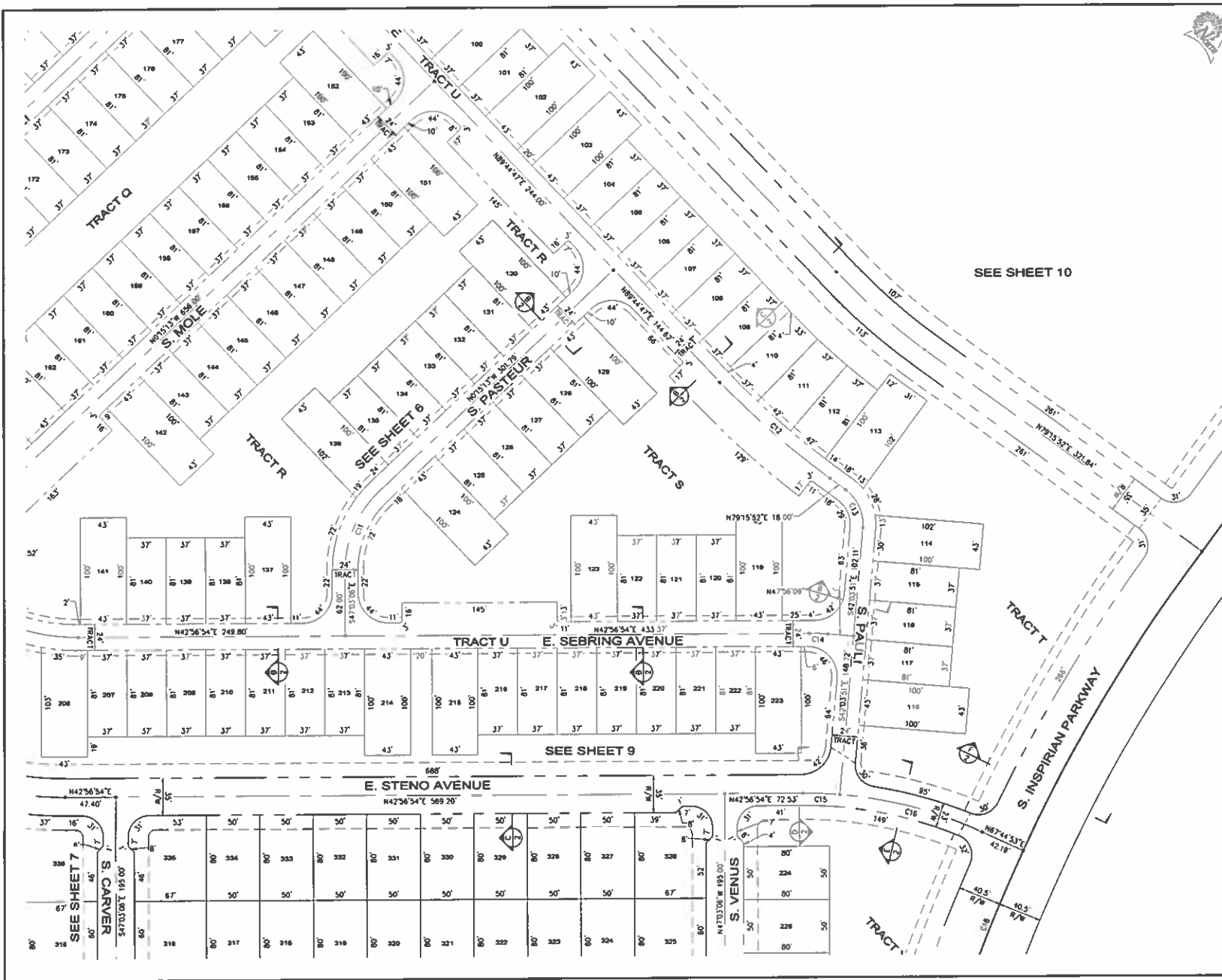
EASTMARK

SUNRISE ENGINEERING

2152 SOUTH VINEYARD, SUITE 123
MESA, ARIZONA 85210
TEL: 480-760-0000 FAX: 480-760-0000
www.sunrise-eng.com

EASTMARK - DU 3/4 NORTH (PHASE 5) MDR
PRELIMINARY PLAT

10 NO	APPROVED	DRAWN	CHECKED	7 of 11
08/27	07/14	SLF	08/27	



SEE SHEET 10

NOTE (GREEN COURT & AUTO COURT):
1. MINIMUM COVER FOR SEWER IS 8"
2. MINIMUM COVER FOR WATER IS 6"

ABBREVIATIONS

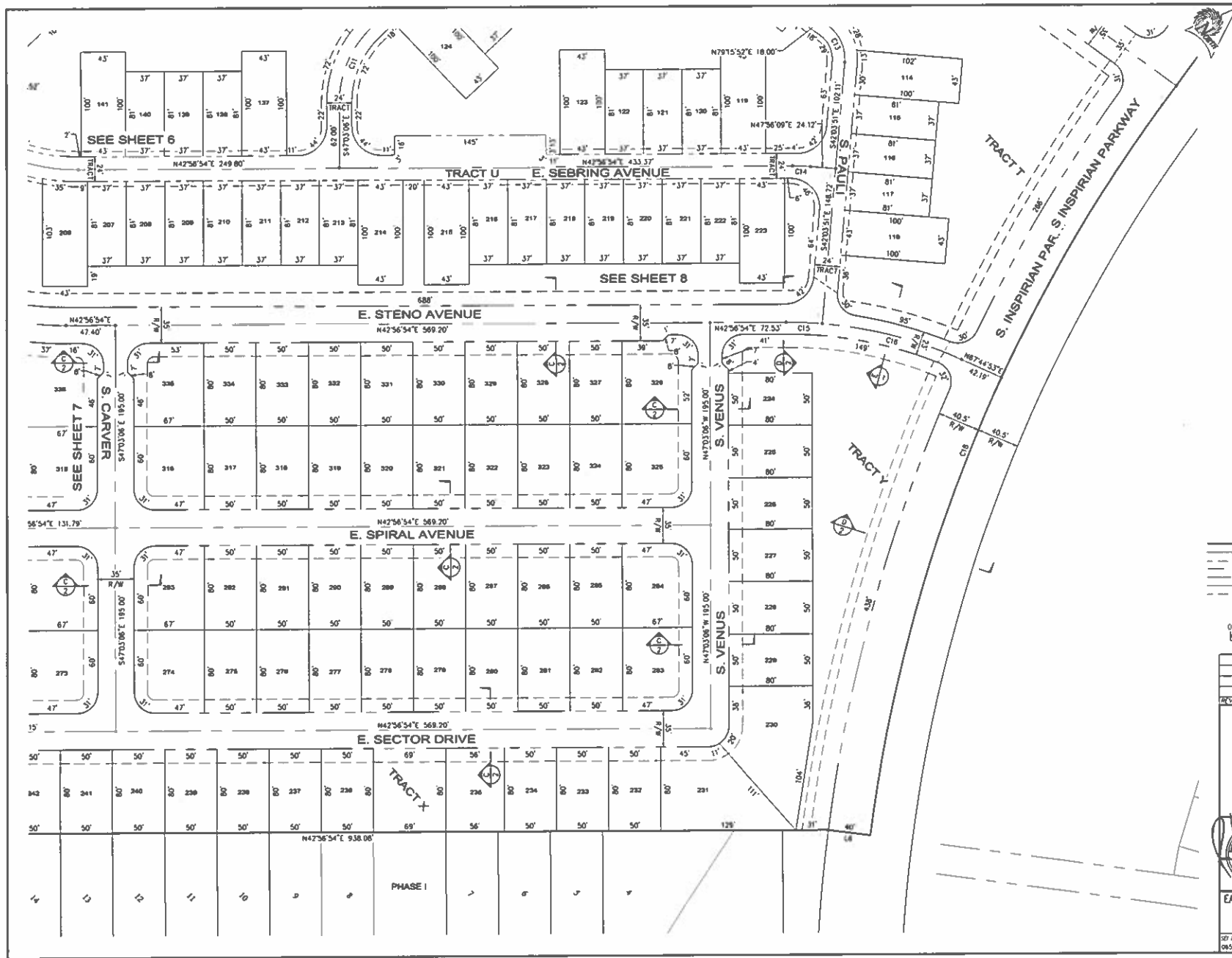
BC	BACK OF CURB
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LINE LEGEND

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811
Have your phone
Call before you dig
1-800-782-6348

		Brookfield Residential	
EASTMARK - DU 3/4 NORTH (PHASE 5) MDR PRELIMINARY PLAT			
3150 SOUTH VANDERBILT, SUITE 110 PHOENIX, ARIZONA 85029 TEL: 480.748.8888 - FAX: 480.748.8889 WWW.EASTMARK-ENG.COM	8 of 11		



NOTE (GREEN COURT & AUTO COURT):
 1. MINIMUM COVER FOR SEWER IS 8'.
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ABBREVIATIONS

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SCALE
 0 40' 80'
 HORIZ. 1" = 40'

DMB® Brookfield Residential

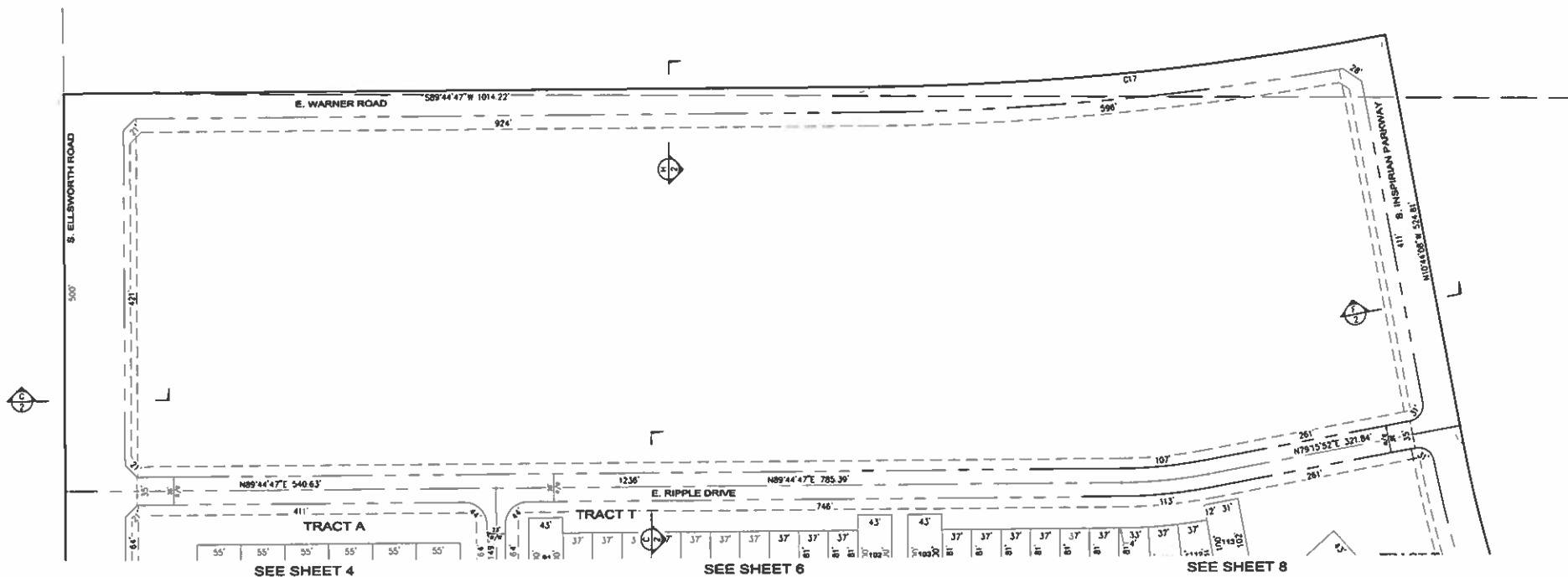
EASTMARK.

SUNRISE ENGINEERING

2152 SOUTH VERNARD, SUITE 120
 AURORA, ARIZONA 85019
 TEL: 480.788.8888 FAX: 480.788.8888

EASTMARK - DU 3/4 NORTH (PHASE 5) MDR
 PRELIMINARY PLAT

SET NO 06587	DESIGNED CFM	DRAWN SLF	CHECKED PBM	9 of 11
-----------------	-----------------	--------------	----------------	---------



800 Keep your's below.
Call today your's
1-800-782-6348

RE: no	CYBER	DAF

BC	BACK OF CURB
E	EAST
EX	EXISTING
FC	FACE OF CURB
FM	FORCEMAIN
LS	LANDSCAPE
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS
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R/W	RIGHT-OF-WAY
S	SOUTH
STD	STANDARD
SWK	SUBWAY
UNE	UNEQUAL & BENEFIT EASEMENT
W	WEST

_____ SUBJECT BOUNDARY LINE
 _____ LOT LINE
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 _____ RIGHT OF WAY LINE
 _____ SETBACK LINE

DMB®

Brookfield
Residential

EASTMARK.

SUNRISE
ENGINEERING

4381
Rte. 4
Florida

3132 SOUTH VINEYARD, SUITE 133
MIRAL, JACKSONVILLE, FL 32210
TEL. 408.760.8800 • FAX 408.760.8800
E-MAIL: SUNRISE@SUNRISE-FLA.COM

EASTMARK - DJ 3/4 NORTH (Phase 5) MOD
PRELIMINARY PLAT

327 MO
08/07

DESIGNED
08/07

DRAWN
08/07

CHECKED
08/07

10 of 1

ELLSWORTH ROAD

ELLSWORTH ROAD



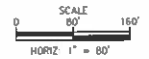
DU 3/4 PHASE 5 MDR PARKING CALCULATIONS						
PARCEL	UNITS	PARKING REQUIRED*	GARAGE**	DRIVE WAY	STREET PARKING	TOTAL PARKING PROVIDED
DU 3/4-28	90	180	180	180	28	368
DU 3/4-29	133	266	200		145	417
DU 3/4-30	127	254	254	254	184	702
TOTAL	350	700	634	434	357	1507

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- R/W RIGHT-OF-WAY
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- W WEST

LINE LEGEND

- SUBJECT BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- SECTION LINE
- TRACT LINE
- RIGHT OF WAY LINE
- SECTORED LINE
- PARKING AREA
- PARCEL BOUNDARY



811
Know what's below.
Call before you dig
1-800-782-6348

3152 SOUTH VINEYARD, SUITE 123
MESA, ARIZONA 85210
TEL: 480.768.6600 • FAX: 480.768.6600
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EASTMARK - DU 3/4 NORTH (PHASE 5) MDR
PRELIMINARY PLAT
PARKING AREAS