

ABBREVIATIONS			PROJECT DESCRIPTION	ARCHITECTURAL GENERAL NOTES	LEGAL DESCRIPTION	SHEET INDEX																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
CFCI C.L. CLR CMU CATV CER. CONC. CONST. CIM. DWG EQ FE FF GA GC GL HR MAX MECH MEP MIN MO.	Contractor Furnished Contractor Furnished Owner Installed Center Line Clear Concrete Masonry Unit Cable TV Ceramic Concrete Construction Dimension Drawing Equal Fire Extinguisher Finish Floor Elevation Gauge General Contractor Glazing Hour Maximum Mechanical Mechanical Electrical & Plumbing Minimum Masonry Opening	N NIC N.T.S. OC. OFCI OFCI PLYWD PREFAB R.O. R.O.W. SF SIM STC STD STRU TOJ TYP UNO VIF	North Not in Contract Not to scale On Center Owner Furnished Contractor Installed Owner Furnished Owner Installed Plywood Prefabricated Rough Opening Right of Way Square Feet Similar Sound Transmission Coefficient Standard Structural Top of Joist Typical Unless Noted Otherwise Verify in Field	THIS PROJECT IS BEING SUBMITTED FOR A TENANT IMPROVEMENT FOR A TRUCK DEALERSHIP ON A SITE ZONED FOR LIGHT INDUSTRIAL. ALL EXISTING SITE CONDITIONS REMAIN THE SAME EXCEPT FOR THE ADDITION OF NEW PARKING AND NEW SITE LIGHTING.	1. COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. 2. DISTRIBUTE CONSTRUCTION DOCUMENTS TO BIDDERS AND SUBCONTRACTORS IN COMPLETE SETS INCLUDING SPECIFICATIONS. INCLUDE DRAWINGS D AS INDICATED BY THE SHEET INDEX. ENSURE THAT SUBCONTRACTORS BID ON ALL ITEMS ASSOCIATED WITH THEIR RESPECTIVE TRADE. 3. VISIT THE JOB SITE AND INSPECT THE PREMISES TO CHECK EXISTING WORKING CONDITIONS. SHOULD CONDITIONS BE DISCOVERED WHICH WOULD IMPED THE WORK, REPORT IMMEDIATELY THOSE CONDITIONS TO THE ARCHITECT. COMMENCEMENT OF THE WORK IS A REPRESENTATION THAT THE EXISTING CONDITIONS ARE ACCEPTABLE. FAILURE TO NOTIFY ARCHITECT OF ANY ADVERSE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION CONSTITUTES FULL SATISFACTION WITH THE EXISTING CONDITIONS AND THE INTENTION TO PERFORM THE WORK WITH NO INCREASE EITHER IN TIME OR MONEY FOR ANY IMPEDMENTS TO THE WORK. 4. CHECK ALL DIMENSIONS, INSPECT AND FIELD MEASURE PROJECT PRIOR TO FABRICATION OF ANY COMPONENT OR ORDERING ANY MATERIAL TO ENSURE PROPER FITTING OF THE WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE TO THE ARCHITECT BEFORE PROCEEDING. COMMENCEMENT OF WORK OF ANY TRADE INDICATES ACCEPTANCE OF EXISTING CONDITIONS AND THE WORK OF PREVIOUS TRADES. 5. VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE. IF A DIMENSIONAL DISCREPANCY IS NOTICED OR A CONDITION NOT COVERED IN THE DRAWINGS IS ENCOUNTERED, NOTIFY THE ARCHITECT BEFORE COMMENCING WITH THAT PORTION OF THE WORK. 6. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION AND FOLLOW UP IN WRITING WITHIN TWO WORKING DAYS.DIMENSIONS TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. 7. PLANS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE INTENDED TO INCLUDE OR IMPLY ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF WORK. ANY ITEM OR WORK MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE PROVIDED AS IF INCLUDED BY BOTH. 8. BECOME FAMILIAR WITH OWNER'S OR FACILITY'S REQUIREMENTS PRIOR TO BIDDING AND COMPLY WITH THESE REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO BUILDING AND SITE SECURITY. 9. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY. 10. SUPERVISE AND DIRECT THE WORK USING SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND/OR INSTALLATION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK PROVIDED UNDER THE CONTRACT. 11. EXECUTE ALL WORK IN A NEAT AND PROFESSIONAL MANNER, ACCEPTABLE TO OWNER. 12. COORDINATE THE REMOVAL AND LEGAL DISPOSAL OF MATERIALS AND RUBBISH WITH THE BUILDING MANAGEMENT.COORDINATE ALL PARTS OF THE WORK SO THAT NO WORK SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION. 13. ITEMS NOT INDICATED IN THESE DOCUMENTS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO COMPLETE THE WORK AT HAND SHALL BE FURNISHED AS THOUGH IT WAS DETAILED HEREIN USING THE BEST MATERIALS AND WORKMANSHIP. 14. INCLUDE IN BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR PURPOSE OF RESOLVING CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED. 15. NO SUBSTITUTIONS FOR ITEMS SPECIFIED WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT. SUPPLY THE ARCHITECT WITH ALL SAMPLES AND COMPARATIVE PRODUCT DATA REQUIRED TO EVALUATE PROPOSED SUBSTITUTIONS IN A TIMELY MANNER SO AS NOT TO PRECLUDE PROCUREMENT OF THE PRODUCT ORIGINALLY SPECIFIED OR ANY PROPOSED SUBSTITUTE. 16. PROTECT EXISTING CONDITIONS AND NEW WORK FROM DAMAGE DURING CONSTRUCTION. REPAIR AT NO COST TO THE OWNER ANY DAMAGE TO EXISTING CONDITIONS, COMPLETED WORK OR WORK BY OTHERS INCURRED WHILE FULFILLING THE OBLIGATIONS OF THIS CONTRACT. 17. PATCH, REPAIR, REPLACE & FINISH ANY FLOOR, WALL, OR CEILING TO MATCH ADJACENT DUE TO ANY DEMOLITION. 18. JUNCTURES OF NEW AND EXISTING OR OTHER WORK SHALL BE REPAIRED AND PATCHED TO MATCH ADJACENT EXISTING SURFACES. EXISTING WALLS REQUIRING MODIFICATIONS OF ANY KIND SHALL BE REFINISHED TO THE NEAREST OUTSIDE OR INSIDE CORNER. 19. ALL EXISTING WALLS TO REMAIN ARE TO BE PATCHED AND MADE PAINT READY TO A LEVEL 4 FINISH FOR NEW WALL FINISHES. 20. PATCH AND REPAIR ALL FIREPROOFING, IF PRESENT, THAT IS DAMAGED OR REMOVED BY CONSTRUCTION OR DEMOLITION. 21. COORDINATE WITH ALL TRADES THE STORAGE OF BUILDING MATERIALS ON THE SITE TO AVOID OVERLOADING. COMPLY WITH LOCAL ORDINANCES AND OWNER OR FACILITY REQUIREMENTS FOR STORAGE OF MATERIALS.	21. COORDINATE WITH ALL TRADES THE STORAGE OF BUILDING MATERIALS ON THE SITE TO AVOID OVERLOADING. COMPLY WITH LOCAL ORDINANCES AND OWNER OR FACILITY REQUIREMENTS FOR STORAGE OF MATERIALS. 22. TAKE MEASURES TO ELIMINATE AIRBORNE PARTICLES IN ADJACENT SPACES NOT COVERED UNDER THE WORK OF THIS CONTRACT. 23. PROVIDE A WRITTEN TWO YEAR WARRANTY FOR ALL WORK PROVIDED UNDER THE CONTRACT IN ADDITION TO INDIVIDUAL PRODUCT AND MANUFACTURER WARRANTIES. SUCH WARRANTY SHALL NOT LIMIT ANY OTHER WARRANTY, GUARANTY OR REMEDY REQUIRED BY LAW OR BY THE CONSTRUCTION DOCUMENTS 24. PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, PERMITS, FEES AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK. 25. SUBMIT SHOP DRAWINGS AND PRODUCT DATA TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR PURCHASING. 26. ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE SPECIFIED. ALL WORK SHALL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. NO INTERIOR OR NON-CONFORMING WORK OR MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT AT THE ARCHITECTS REQUEST. 27. IF APPLICABLE, ALL OPENINGS IN FLOOR SLABS, INCLUDING THOSE FOR DUCTS, CONDUIT, PIPING, ETC. (EXCEPT THOSE COMPLETELY ENCLOSED BY FIRE-RESISTIVE SHAFT CONSTRUCTION) MUST BE SLEEVED OR OTHERWISE SEALED AT THEIR PERIMETER WITH APPROVED METHODS TO MAINTAIN THE FIRE-RATING CONTINUITY OF THE FLOOR CONSTRUCTION. 28. ALL OPENINGS IN FIRE-RATED WALLS AND FLOOR / CEILING ASSEMBLIES INCLUDING DUCTS, CONDUIT, PIPING, ETC. MUST BE FILLED WITH APPROVED MATERIALS IN FIRE RATED ASSEMBLIES TO MAINTAIN THE FIRE-RATING CONTINUITY OF THE WALL CONSTRUCTION. 29. WALL AND/OR CEILING ASSEMBLIES THAT ARE IDENTIFIED WITH A FIRE-RESISTANCE RATING SHALL BE CONSTRUCTED PER U.L. REQUIREMENTS, MANUFACTURER'S SPECIFICATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CURRENT CODES. 30. PATCH ALL EXISTING OPENINGS AND SUB-OUTS THAT WILL CONFLICT WITH NEW WORK. 31. PROVIDE EMPTY CONDUIT AND JUNCTION BOXES FOR TELEPHONE / DATA SYSTEMS.PROVIDE PROPER SHORING AND DISCONNECTION OF ALL UTILITIES BEFORE COMMENCING DEMOLITION. 32. COORDINATE, LOCATE AND CONFIRM THE LOCATION OF UNDERGROUND, BELOW FLOOR, AND OVERHEAD PLUMBING, MECHANICAL AND ELECTRICAL. 33. PROVIDE NO SMOKING OR SMOKE FREE SIGNAGE AT ALL POINTS OF ENTRY TO THE BUILDING. SIGNS SHALL STATE THAT THIS IS A NO SMOKING ESTABLISHMENT OR HAVE THE INTERNATIONAL NO SMOKING SYMBOL WITH LETTERS OR SYMBOLS NOT LESS THAN 3" IN HEIGHT. 34. ALL DOORS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. 35. ALL INTERIOR OR EXTERIOR GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO STANDARDS SET FORTH BY THE IBC AND THE SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIALS, TITLE 16 CFR PART 1201 AS ISSUED BY THE CONSUMER PRODUCT SAFETY COMMISSION, EFFECTIVE JULY 6, 1972, INCLUDING ALL AMENDMENTS TO DATE. IN CASE OF CONFLICT THE MORE STRINGENT REQUIREMENTS SHALL APPLY. 36. PROVIDE BLOCKING AND ELECTRICAL CONNECTIONS FOR ALL MILL WORK, CASEWORK, ART, LIGHTING, PLUMBING AND OTHER WALL HUNG ITEMS. PROVIDE 2 X WOOD BLOCKING OR 6" X 16 GA. CONCEALED SHEET METAL BLOCKING FOR ALL WALL HUNG ITEMS UNLESS NOTED OTHERWISE. 37. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS. 38. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED. 39. ALL ROOF-MOUNTED OR GROUND-MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT INSTALLED OR PERMITTED WITH THIS APPROVAL SHALL BE SCREENED FROM VIEW. 40. ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR, AND TEXTURE. 41. PROVIDE "NO SMOKING" OR SMOKE FREE SIGNAGE AT ALL POINTS OF ENTRY TO THE BUILDING. SIGNS SHALL STATE THAT THIS IS A NO SMOKING ESTABLISHMENT OR HAVE THE INTERNATIONAL NO SMOKING SYMBOL WITH LETTERS OR SYMBOLS NOT LESS THAN 3" IN HEIGHT. 42. GENERAL CONTRACTOR IS RESPONSIBLE TO FOLLOW ALL APPLICABLE CODES AND STANDARDS AS ADOPTED BY THE LOCAL JURISDICTION, ANY OMISSIONS OR DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF THAT PORTION OF WORK.	PARCEL NO. 1: ALL THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 88 DEGREES 57 MINUTES 30 SECONDS WEST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 593.91 FEET TO THE CENTERLINE OF SOUTH MESA DRIVE AS DESCRIBED IN DOCKET 12748, PAGE 1251, MARICOPA COUNTY RECORDS; THENCE NORTH 00 DEGREES 01 MINUTES 12 SECONDS WEST ALONG SAID CENTERLINE, A DISTANCE OF 199.49 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 1100.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE AND CONTINUING ALONG SAID CENTERLINE THROUGH A CENTRAL ANGLE OF 17 DEGREES 53 MINUTES 40 SECONDS, A DISTANCE OF 343.55 FEET TO THE CENTERLINE OF EAST JAVELINA AVENUE AS SHOWN ON FINAL PLAT OF BASELINE COMMERCE CENTER AMENDED RECORDED IN BOOK 254 OF MAPS PAGE 37, MARICOPA COUNTY RECORDS; THENCE SOUTH 72 DEGREES 07 MINUTES 33 SECONDS EAST ALONG THE SOUTHEASTERLY PROLONGATION OF SAID CENTERLINE, A DISTANCE OF 55.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID SOUTH MESA DRIVE, SAID POINT BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST, THE CENTER OF WHICH BEARS SOUTH 72 DEGREES 07 MINUTES 33 SECONDS EAST, A DISTANCE OF 1045.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 01 DEGREES 38 MINUTES 42 SECONDS, A DISTANCE OF 30.00 FEET TO A POINT ON A LINE LYING 30 FEET NORTHEASTERLY OF AND PARALLEL WITH, AS MEASURED AT RIGHT ANGLES, SAID SOUTHEASTERLY PROLONGATION OF THE CENTERLINE OF EAST JAVELINA AVENUE, SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTHEASTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 19 DEGREES 16 MINUTES 23 SECONDS, A DISTANCE OF 351.52 FEET; THENCE SOUTH 59 DEGREES 37 MINUTES 33 SECONDS EAST, A DISTANCE OF 231.99 FEET; THENCE SOUTH 30 DEGREES 22 MINUTES 27 SECONDS WEST, A DISTANCE OF 300.00 FEET TO A POINT ON SAID PARALLEL LINE; THENCE NORTH 72 DEGREES 07 MINUTES 33 SECONDS WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 230.00 FEET TO THE TRUE POINT OF BEGINNING. PARCEL NO. 2: A NON EXCLUSIVE ACCESS EASEMENT FOR INGRESS AND EGRESS, ROADWAY, VEHICULAR AND PEDESTRIAN RIGHT-OF-WAY PURPOSES, AS CREATED IN ACCESS AND UTILITY EASEMENT AGREEMENT RECORDED APRIL 30, 2001 AT RECORDERS NO. 2001-0352929. PARCEL NO. 3: A PERPETUAL EASEMENT FOR THE INSTALLATION, CONSTRUCTION, MAINTENANCE AND REPAIR AND REPLACEMENT OF UTILITY LINES, AS CREATED IN ACCESS AND UTILITY EASEMENT AGREEMENT RECORDED APRIL 30, 2001 AT RECORDERS NO. 2001-0352929.	SHEET	SHEET NAME	SUBMITTAL 1: 09/23/2019 SUBMITTAL 2: 10/09/2019																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					

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LIFTED TRUCKS-T.I.
1939 SOUTH MESA DRIVE
MESA, AZ 85210

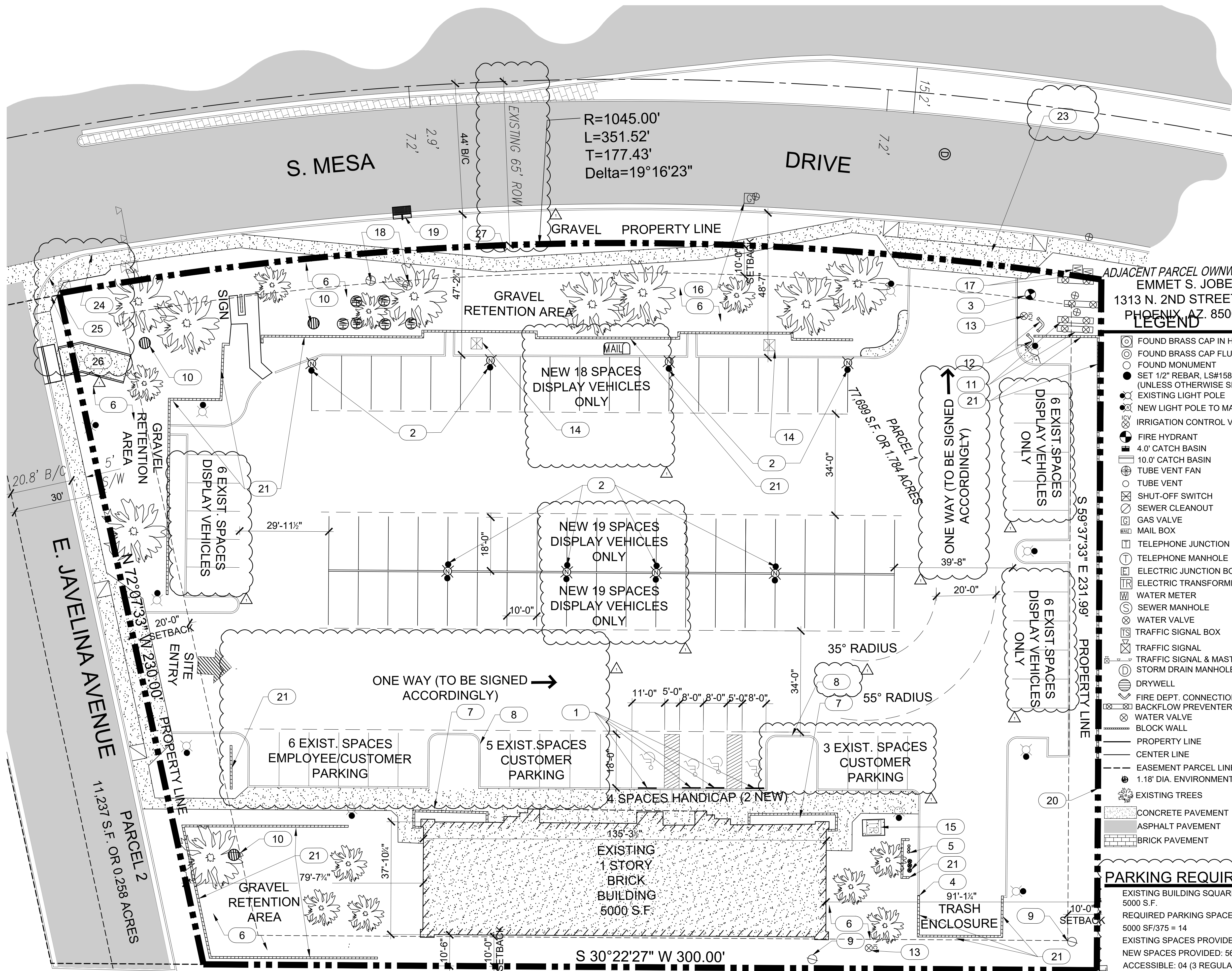
REVISIONS
REVISION 1:10-08-2019-SITE PLANNING

REGISTERED ARCHITECT
NO. 197
SCOTT A. CARSON
Date Signed: 10/09/19
ARIZONA, U.S.A.

DATE: OCTOBER 02, 2019
SCALE: NTS
ARCHITECT: SCOTT CARSON
PROJECT #: 19042
DRAWN BY: DG
CHECKED BY: SC

SHEET #
COVER SHEET

A1.00



SITE PLAN NOTES

- A. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- B. THIS PROJECT IS LOCATED IN THE CITY OF MESA WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- C. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
- D. ALL ON-SITE ACCESSIBLE SIDEWALKS SHALL BE A MINIMUM OF 3 FEET 0 INCHES WIDE AND HAVE A MAXIMUM SLOPE OF 1:20 WITH THE MAXIMUM CROSS SLOPE OF 1:50. ALL CURBS MUST PROVIDE ACCESSIBLE RAMPS PURSUANT TO THE AMERICANS WITH DISABILITIES ACT (ADA STANDARDS).
- E. LANDSCAPING SHALL BE MAINTAINED BY A PERMANENT AND AUTOMATIC IRRIGATION SYSTEM TO MINIMIZE MAINTENANCE AND WATER CONSUMPTION.
- F. FIRE TRUCK ACCESS: 20'-0" MIN. WIDTH REQUIRED FOR FIRE TRUCK IS PROVIDED.

SITE INFORMATION

PARCEL INFORMATION
PARCEL 1: 77,699 SQUARE FEET OR 1.78 ACRES.
PARCEL 2: 11,237 SQUARE FEET OR 0.258 ACRES.
PARCEL 3: 1,162 SQUARE FEET OR 0.027 ACRES.

ZONING
EXISTING ZONING: LIGHT INDUSTRIAL (L1)
MAX. BUILDING HEIGHT: 40 FT (2 STOREY)
EXISTING SETBACKS (UNCHANGED)
FRONT- ABUTS ART'L: 10FT
FRONT- ABUTS NON ART'L: 20FT
SIDE: 10FT
STREET SIDE- ABUTS ART'L: 10FT
STREET SIDE- ABUTS NON ART'L: 20FT
REAR- ABUTS RES'L: 20FT
REAR- ABUTS NON-RES'L: 10FT
NOTE: 15FT
*FIFTEEN FEET (15') REQUIRED FROM ARTERIAL STREET RIGHT-OF-WAY WHEN ADJACENT TO AN INTERSECTION RIGHT TURN LANE

KEYNOTES

- NEW ACCESSIBLE SIGN
- NEW LIGHTING TO MATCH EXISTING
- EXISTING FIRE HYDRANT TO REMAIN
- EXISTING DOUBLE TRASH ENCLOSURE TO REMAIN
- EXISTING TUBE AND VENT FANS REMOVED
- EXISTING LANDSCAPING TO REMAIN
- EXISTING PLANTERS TO REMAIN
- MODIFIED PLANTER FOR FOUNDATION BASE (REFER TO LANDSCAPE DRAWINGS)
- EXISTING SEWER CLEAN OUT
- EXISTING DRY WELL
- EXISTING BACKFLOW PREVENTER (X 4)
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING IRRIGATION CONTROL VALVE
- EXISTING SHUT OFF SWITCH
- EXISTING ELECTRIC TRANSFORMER
- EXISTING GAS VALVE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING 4' CATCH BASIN
- EXISTING BLOCK WALL ON PROPERTY LINE
- EXISTING SITE WALLS
- NOT USED
- VERIFY THAT EXISTING NORTH DRIVEWAY MEETS CURRENT ADA STANDARDS PER COM STD. DET. M-42 (SHEET A1.02). IF NOT MODIFY TO COMPLY
- MODIFY THE EXISTING SIDEWALK RAMP ON THE NORTHEAST CORNER OF MESA DR AND JAVELINA AVE TO MEET CURRENT ADA STANDARDS PER COM STD. DET. M-44.02 OR M-44.04.1 IF A CURB RETURN IS PROPOSED PROVIDE DETAILS IN CONSTRUCTION PLANS (SHEET A1.02 & A1.03)
- THE CONNECTION BETWEEN THE EXISTING SIDEWALK ALONG MESA DRIVE AND WRAP-AROUND SIDEWALK AT THE JAVELINA AVE DRIVEWAY DOES NOT MEET CURRENT ADA STANDARDS. MODIFY THE DRIVEWAY AND PEDESTRIAN FACILITIES TO COMPLY. THIS WILL REQUIRE MODIFICATION OF THE NORTH DRIVEWAY WING TO COMPLY WITH COM STD. DET. M-42 OR AN ALTERNATIVE MODIFICATION MAY BE POSSIBLE. IF A CURB RETURN IS BEING PROPOSED NORTHEAST CORNER SIDEWALK RAMPS SHALL BE PER COM STD. DET. M-44.04.1 (SHEET A1.02 & A1.03)
- MODIFY THE EXISTING SIDEWALK FACILITIES ADJACENT TO THE SOUTHWEST CORNER OF THE PROPERTY TO MEET CURRENT ADA STANDARDS. THIS WILL REQUIRE ADDING ADDITIONAL CONCRETE, ADJACENT TO THE SIDEWALK AND DRIVEWAY AT JAVELINA AVE, FOR A LANDING TO COMPLY WITH COM STD. M-44.01. (SHEET A1.02)

ADJACENT PARCEL OWNERSHIP
EMMET S. JOBE
1313 N. 2ND STREET #8
PHOENIX, AZ. 85004

- LEGEND
- FOUND BRASS CAP IN HAND HOLE
 - FOUND BRASS CAP FLUSH
 - FOUND MONUMENT
 - SET 1/2" REBAR, LS#15884 (UNLESS OTHERWISE SPECIFIED)
 - EXISTING LIGHT POLE
 - NEW LIGHT POLE TO MATCH EXIST.
 - IRRIGATION CONTROL VALVE
 - FIRE HYDRANT
 - 4.0' CATCH BASIN
 - 10.0' CATCH BASIN
 - TUBE VENT FAN
 - TUBE VENT
 - SHUT-OFF SWITCH
 - SEWER CLEANOUT
 - GAS VALVE
 - MAIL BOX
 - TELEPHONE JUNCTION BOX
 - TELEPHONE MANHOLE
 - ELECTRIC JUNCTION BOX
 - ELECTRIC TRANSFORMER
 - WATER METER
 - SEWER MANHOLE
 - WATER VALVE
 - TRAFFIC SIGNAL BOX
 - TRAFFIC SIGNAL
 - TRAFFIC SIGNAL & MAST ARM
 - STORM DRAIN MANHOLE
 - DRYWELL
 - FIRE DEPT. CONNECTION
 - BACKFLOW PREVENTER
 - WATER VALVE
 - BLOCK WALL
 - PROPERTY LINE
 - CENTER LINE
 - EASEMENT PARCEL LINE
 - 1.18' DIA. ENVIRONMENTAL MANHOLE
 - EXISTING TREES
 - CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - BRICK PAVEMENT

PARKING REQUIREMENTS

EXISTING BUILDING SQUARE FOOTAGE: 5000 S.F.
REQUIRED PARKING SPACES: 1:375 SF
5000 SF/375 = 14
EXISTING SPACES PROVIDED: 32
NEW SPACES PROVIDED: 56
ACCESSIBLE: 04 (3 REGULAR + 1 VAN)
TOTAL SPACES PROVIDED: 92

LANDSCAPE REQUIRED

REFER TO LANDSCAPE DRAWINGS

KEYNOTES CONT.

27. EXISTING ROW AND PUFEE MEET CURRENT CODE REQUIREMENTS OF 65 FT

ADJACENT PARCEL OWNERSHIP
EMMET S. JOBE
1313 N. 2ND STREET #8
PHOENIX, AZ. 85004

1 SITE PLAN
SCALE: 1/16"=1'-0"

NORTH

CS
cosan
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ADMINISTRATIVE DESIGN
REVIEW SUBMITTAL

LIFTED TRUCKS-T.I.
1939 SOUTH MESA DRIVE
MESA, AZ 85210

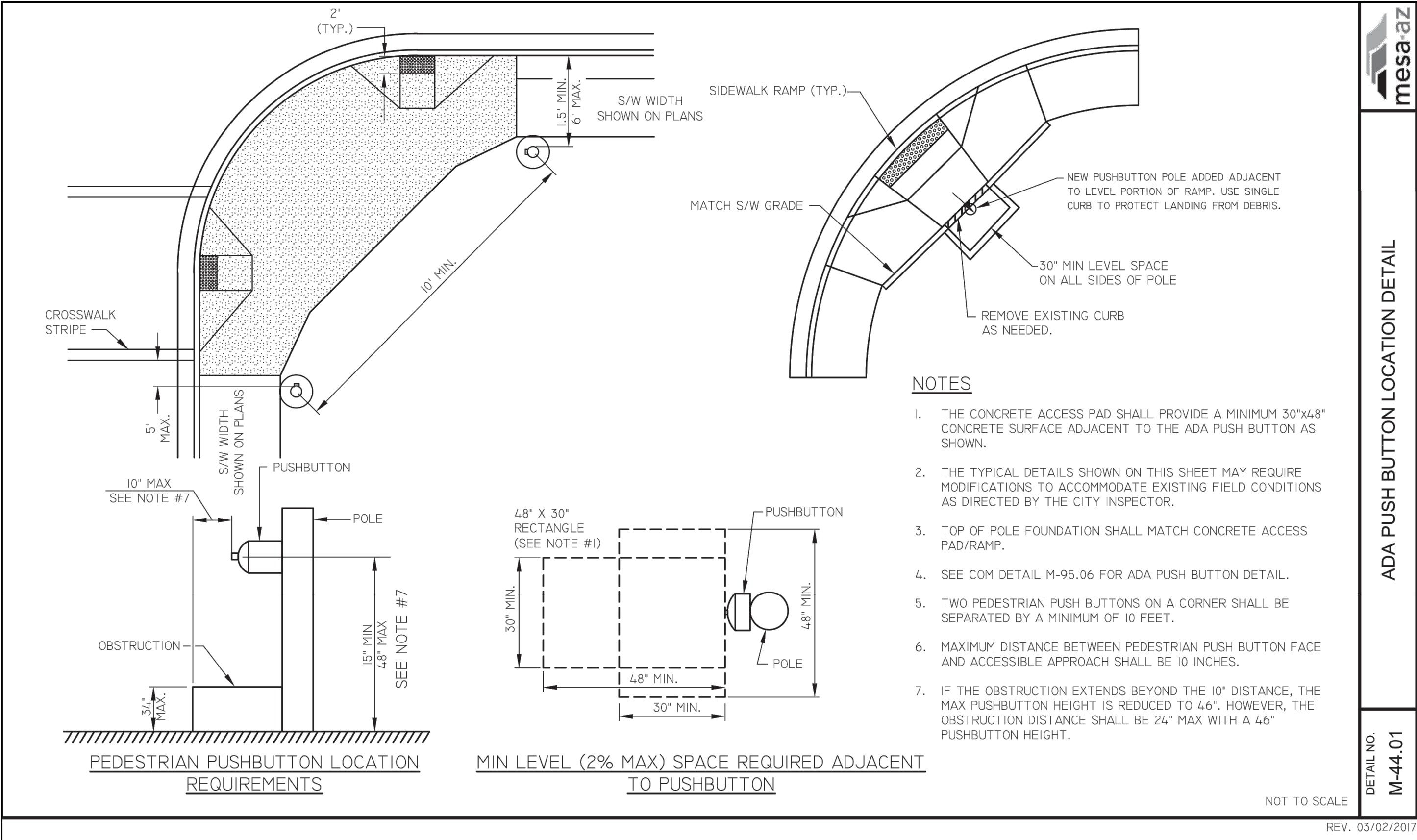
REVISIONS
REVISION 1:10-08-2019-SITE PLANNING



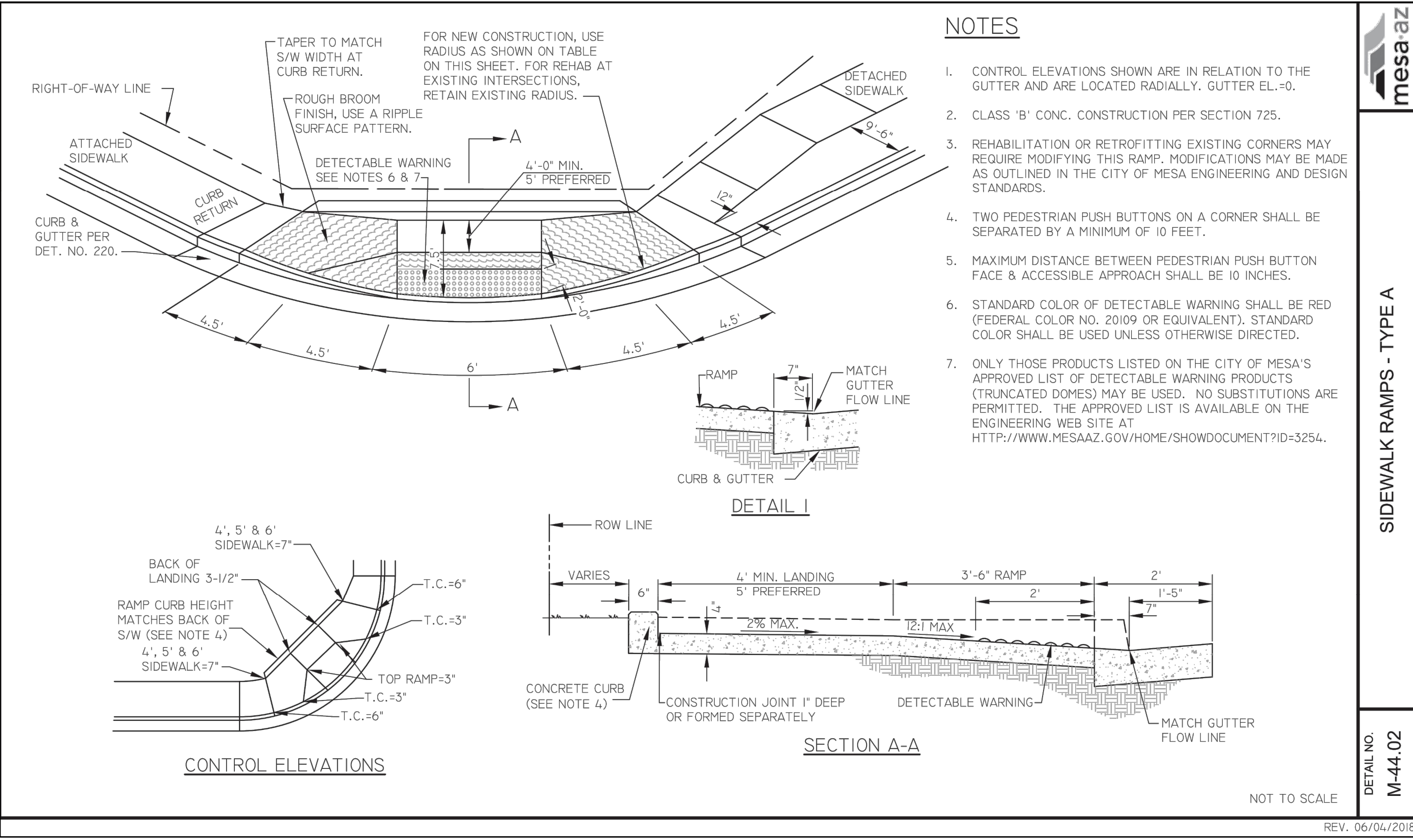
DATE	OCTOBER 14, 2019
SCALE	1/16"=1'-0"
ARCHITECT	SCOTT A. CARSON
PROJECT #	19042
DRAWN BY	DG
CHECKED BY	SC

SHEET #
DIMENSIONED SITE PLAN

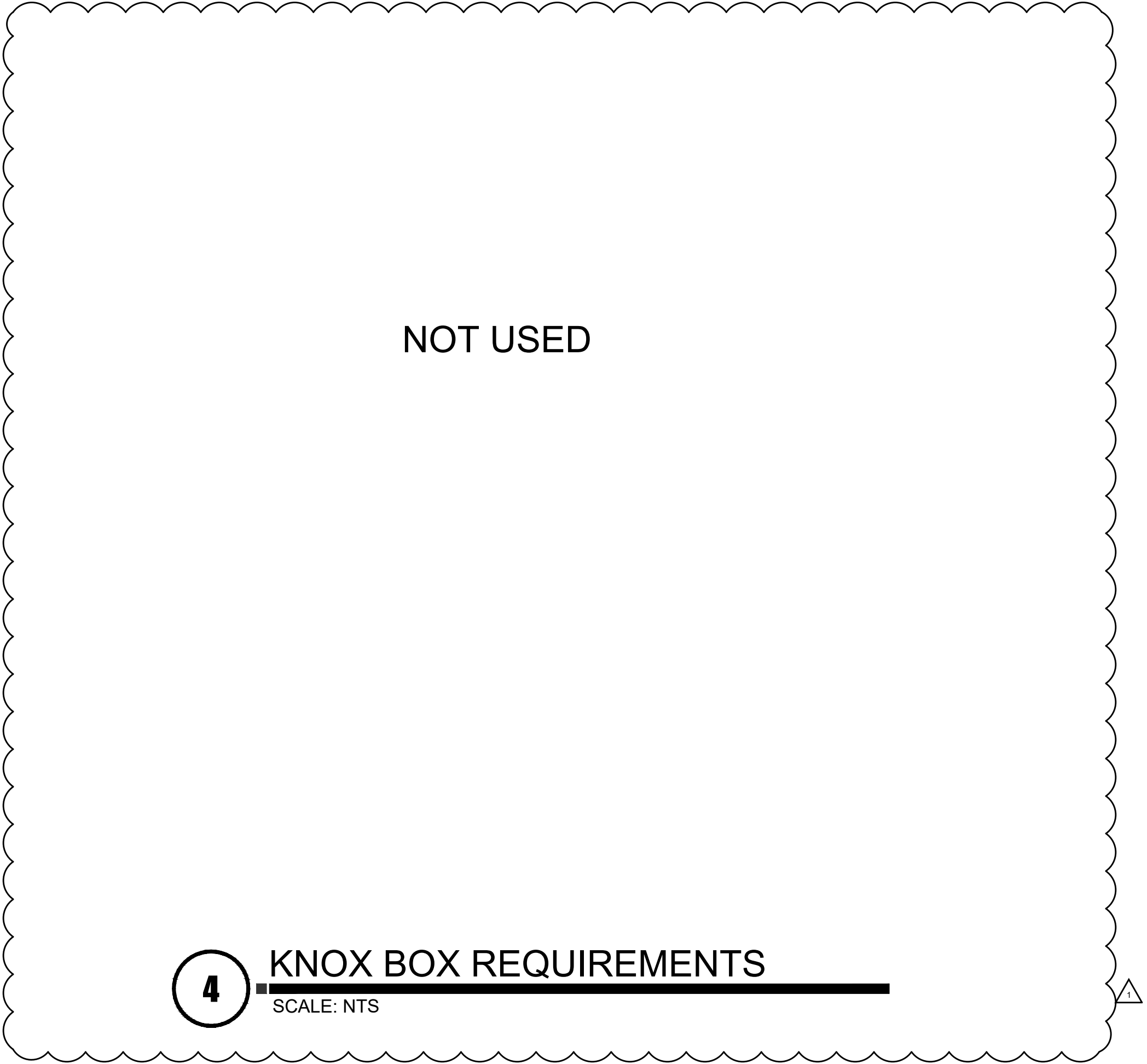
A1.01



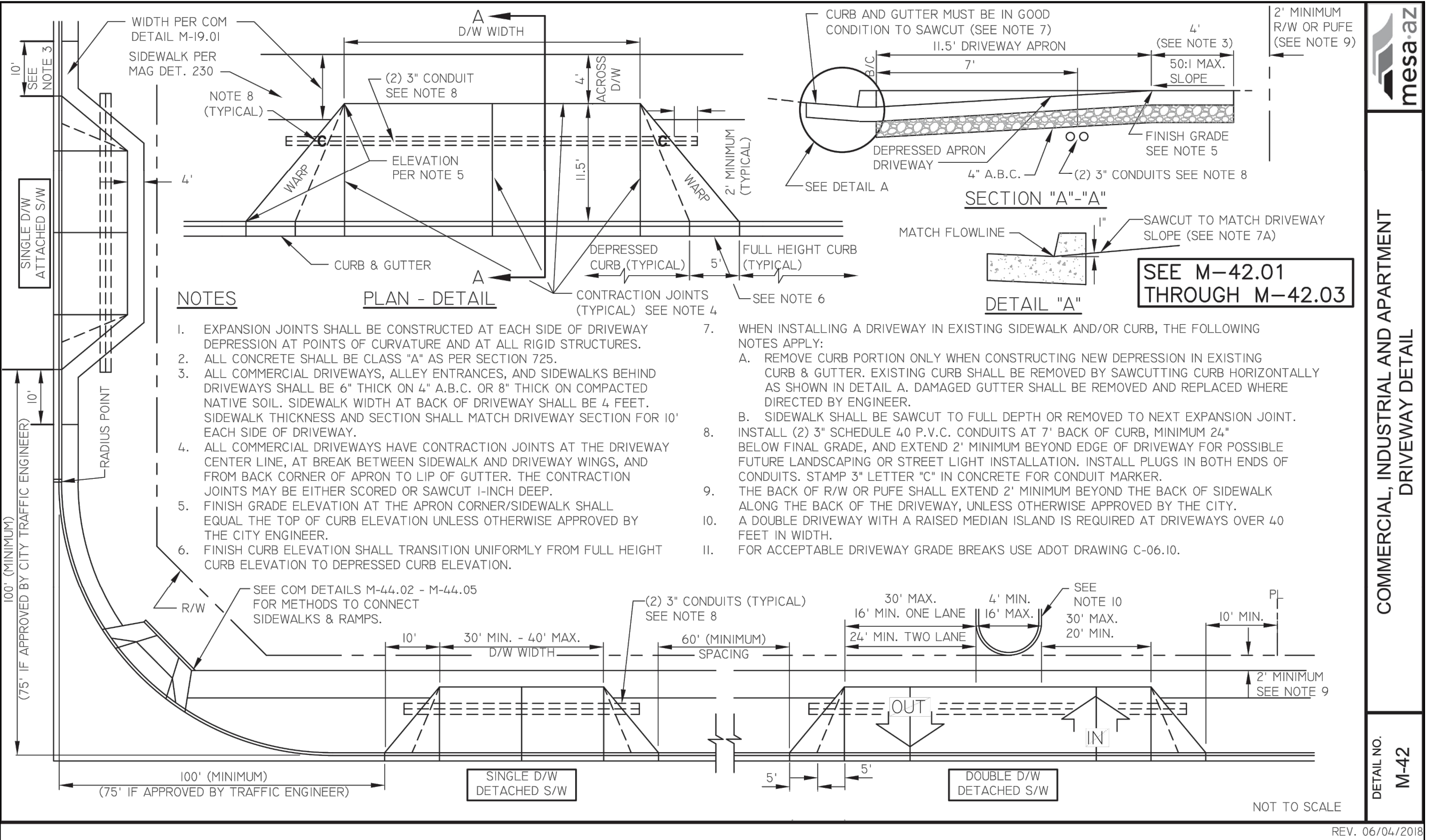
2 ADA PUSH BUTTON LOCATION DETAIL:M-44.01
SCALE: NTS



1 SIDEWALK RAMPS DETAIL:M-44.02
SCALE: NTS



4 KNOX BOX REQUIREMENTS
SCALE: NTS



3 DRIVEWAY DETAIL:M-42
SCALE: NTS

