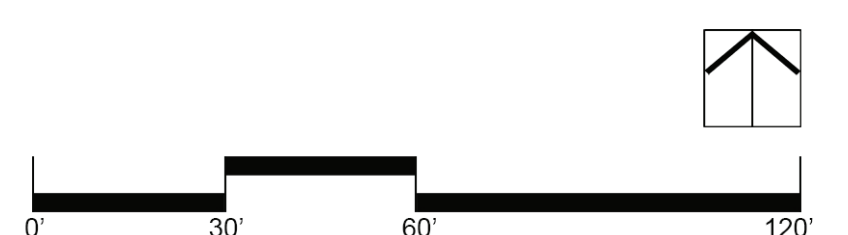
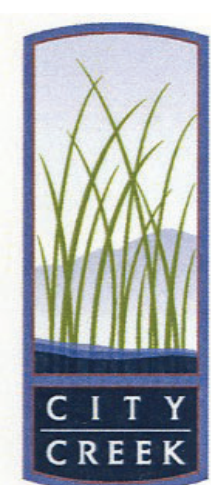




Phase 2 West Parcels: Existing Site Context

Mesa and Main Redevelopment

September 11, 2019

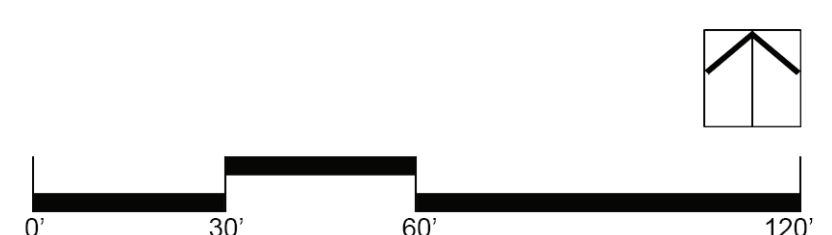
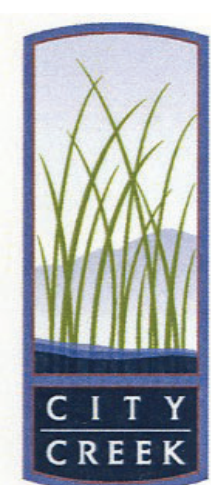


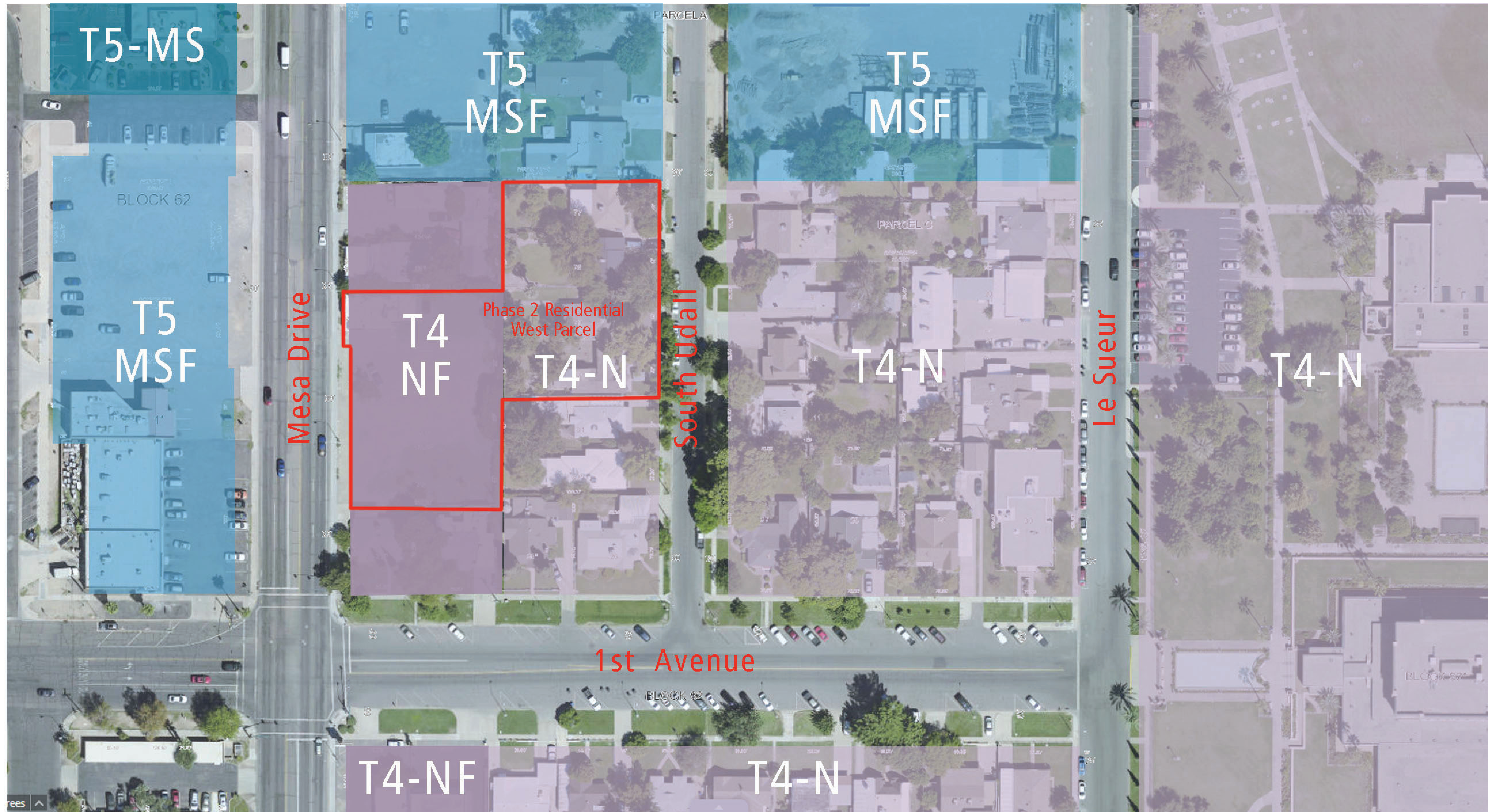


Phase 2 West Parcels: Site Vicinity

Mesa and Main Redevelopment

September 11, 2019

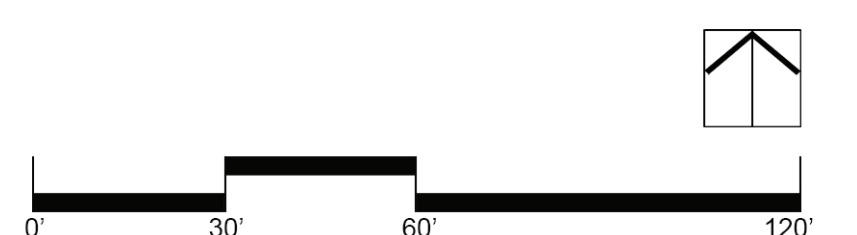
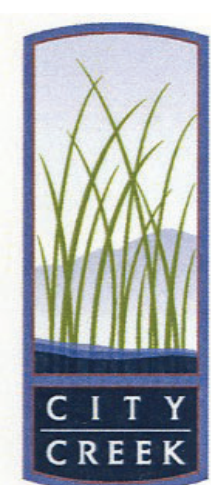




Phase 2 West Parcels: Zoning

Mesa and Main Redevelopment

September 11, 2019

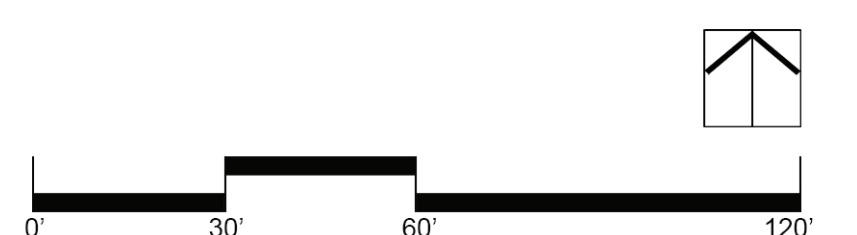
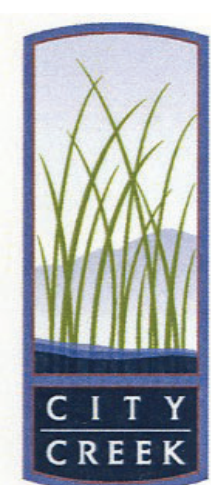


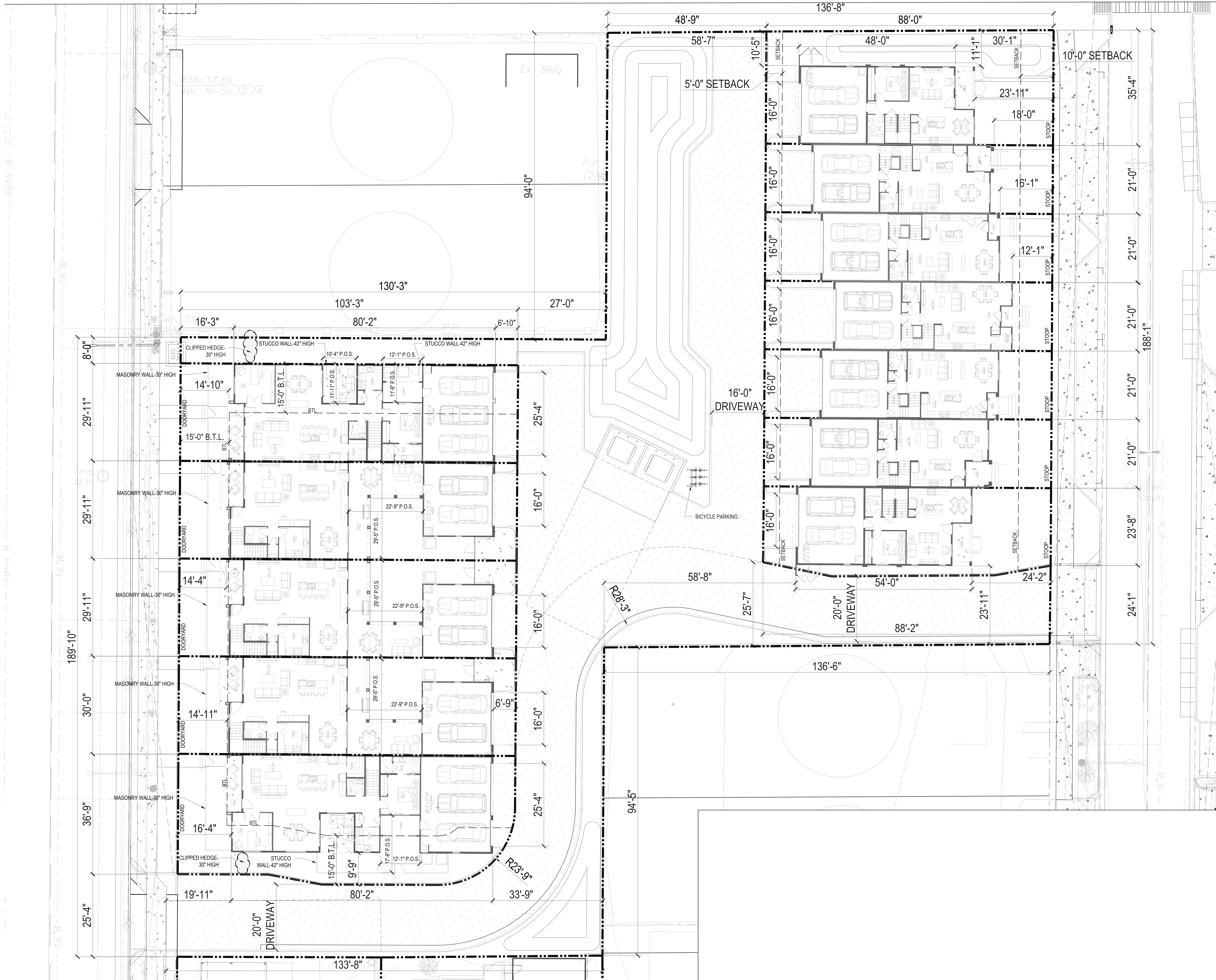


Phase 2 West Parcels: Adjacent Uses

Mesa and Main Redevelopment

September 11, 2019





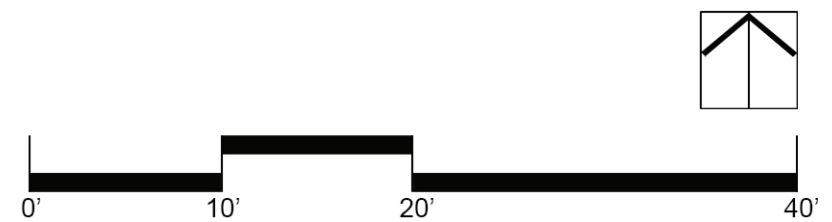
Phase 2 West Parcels: Proposed Site Plan

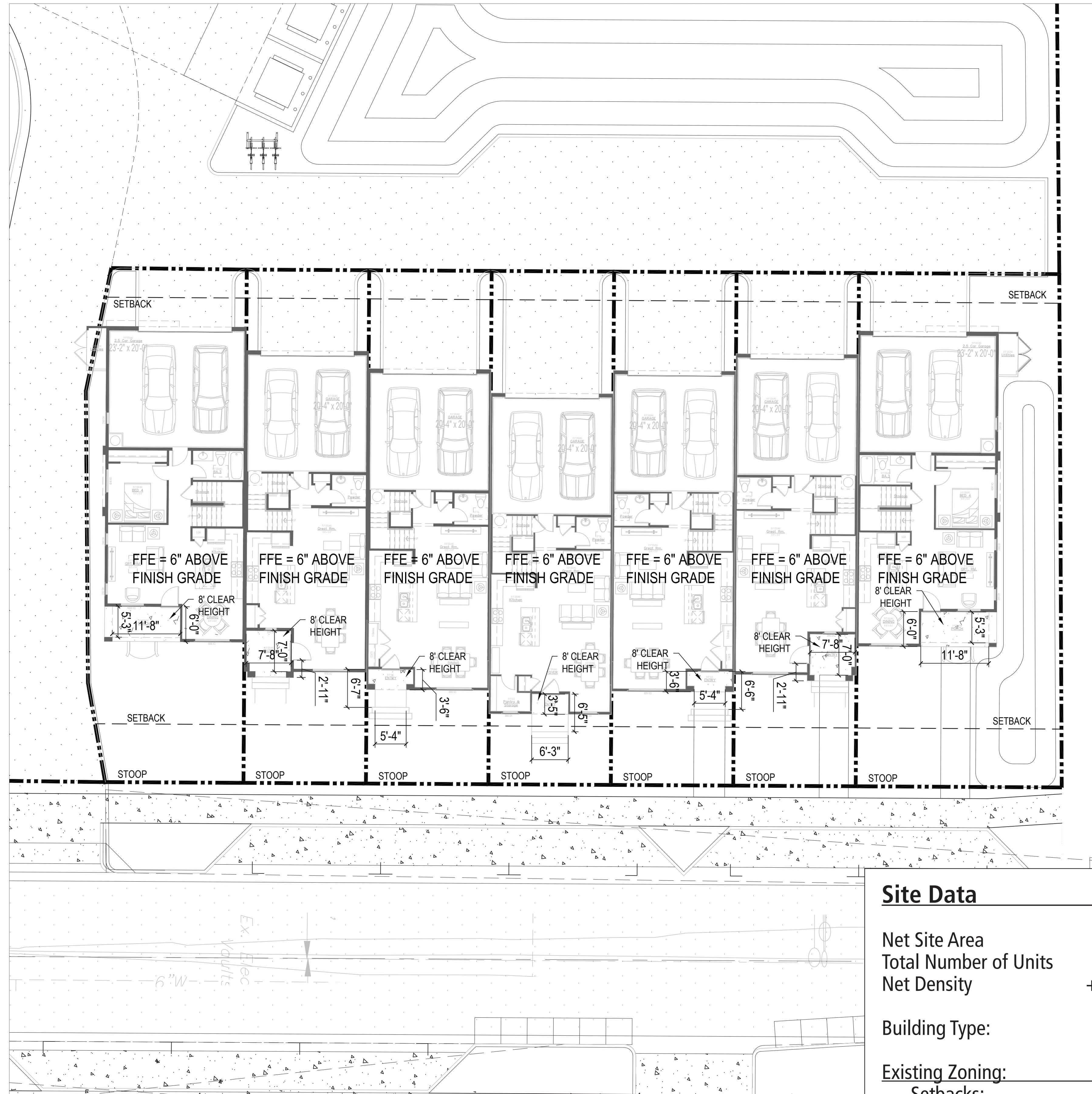
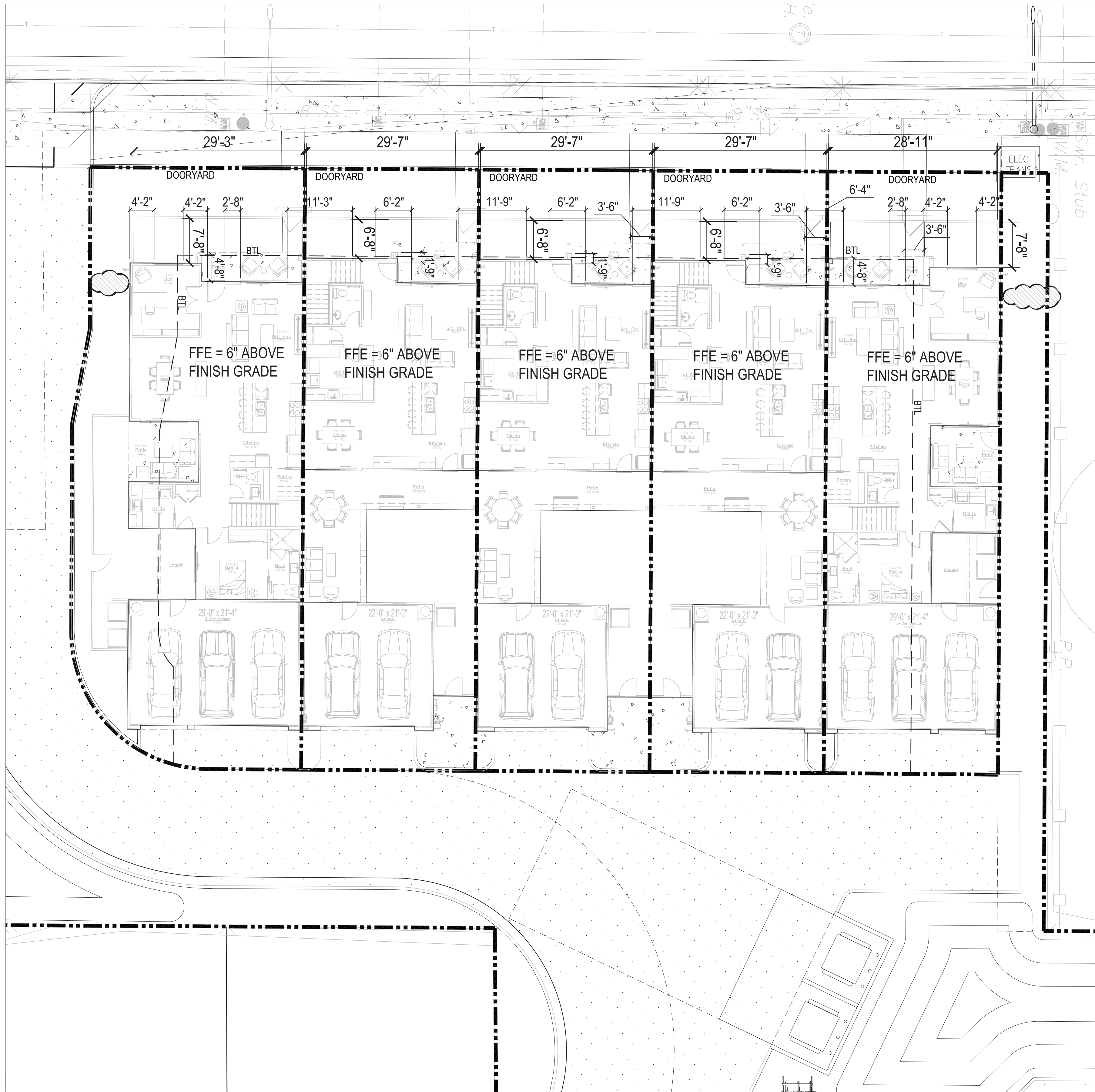
Site Data	
Net Site Area	1.18 ac
Total Number of Units	12
Net Density	+/- 10.17 du/ac
Building Type:	Townhouse
Existing Zoning:	T4-NF
Setbacks:	
Front = n/a	
Side = 0'	
Rear = 5' adjacent to T4-N	
Build to Lines:	
Front = 0', 15' max	
Side = 0', 15' max	
Rear = 5' adjacent to T4-N	
Building Height:	
Main = 20' min, 3 stories max	
Existing Zoning:	T4-N
Setbacks:	
Front = 10' min, 15' max	
Side = 5'	
Rear = 5'	
Building Height:	
Main = 3 stories max	
Parking:	
Parking Required:	
1/1,000 sf min, after first 2,000 sf	
5-plex (12,736 - 2,000 sf livable = 11 spaces)	
7-plex (12,413 - 2,000 sf livable = 11 spaces)	
Parking Provided:	
5-plex = 12 spaces	
7-plex = 14 spaces	



Mesa and Main Redevelopment

September 11, 2019



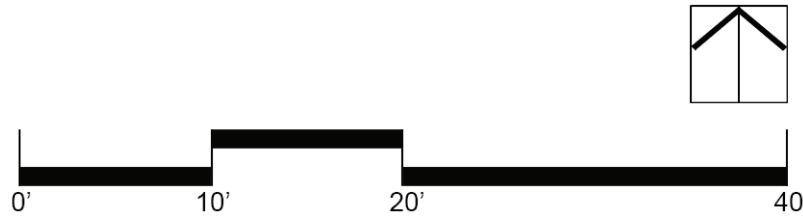
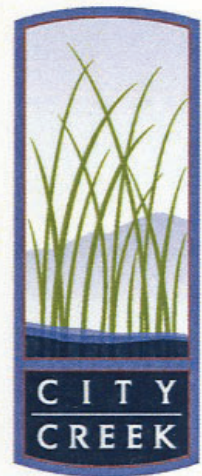


Site Data	
Net Site Area	1.18 ac
Total Number of Units	12
Net Density	+/- 10.17 du/ac
Building Type:	Townhouse
Existing Zoning:	T4-NF
Setbacks:	
Front = n/a	
Side = 0'	
Rear = 5' adjacent to T4-N	
Build to Lines:	
Front = 0', 15' max	
Side = 0', 15' max	
Rear = 5' adjacent to T4-N	
Building Height:	
Main = 20' min, 3 stories max	
Existing Zoning:	T4-N
Setbacks:	
Front = 10' min, 15' max	
Side = 5'	
Rear = 5'	
Building Height:	
Main = 3 stories max	
Parking:	
Parking Required:	
1/1,000 sf min, after first 2,000 sf	
5-plex (12,736 - 2,000 sf livable = 11 spaces)	
7-plex (12,413 - 2,000 sf livable = 11 spaces)	
Parking Provided:	
5-plex = 12 spaces	
7-plex = 14 spaces	

Phase 2 West Parcels: Proposed Frontage Details

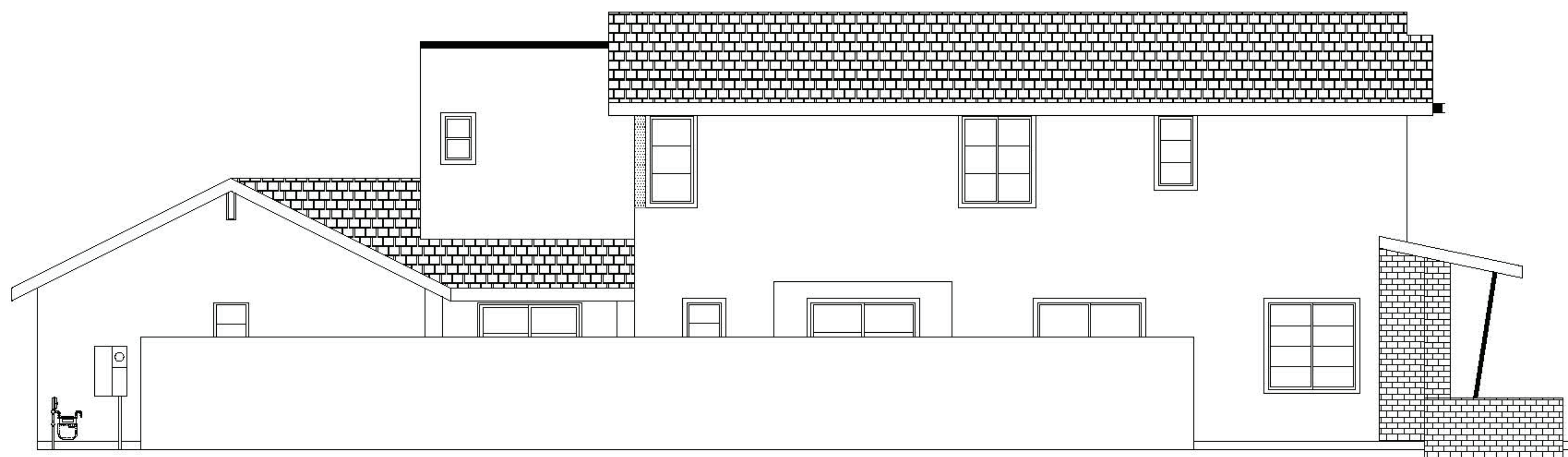
Mesa and Main Redevelopment

September 11, 2019



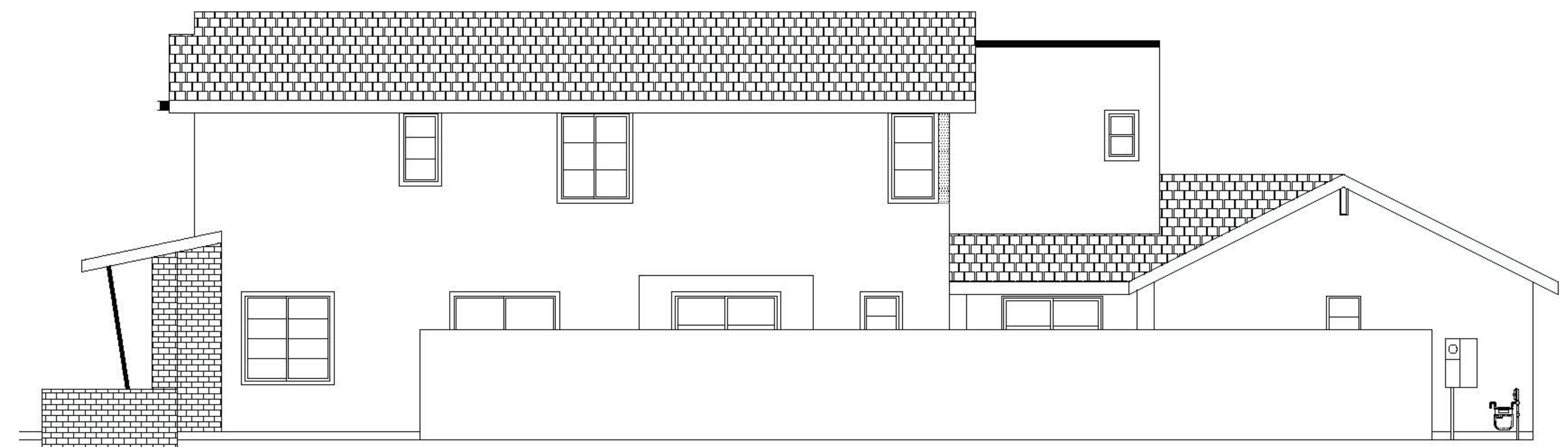


West Elevation / Parcel G
SCALE: 1/8" = 1'-0"



North Elevation - Parcel G
SCALE: 1/8" = 1'-0"

Privacy Wall
North Elevation - Parcel G
SCALE: 1/4" = 1'-0"



South Elevation - Parcel G
SCALE: 1/8" = 1'-0"

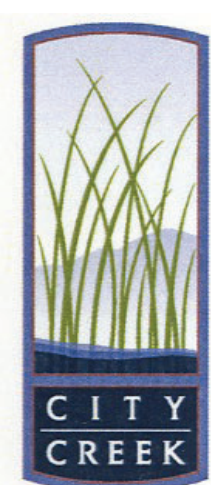


East Elevation / Parcel G
SCALE: 1/8" = 1'-0"

Phase 2 West Parcels: Proposed Elevations 5-Plex

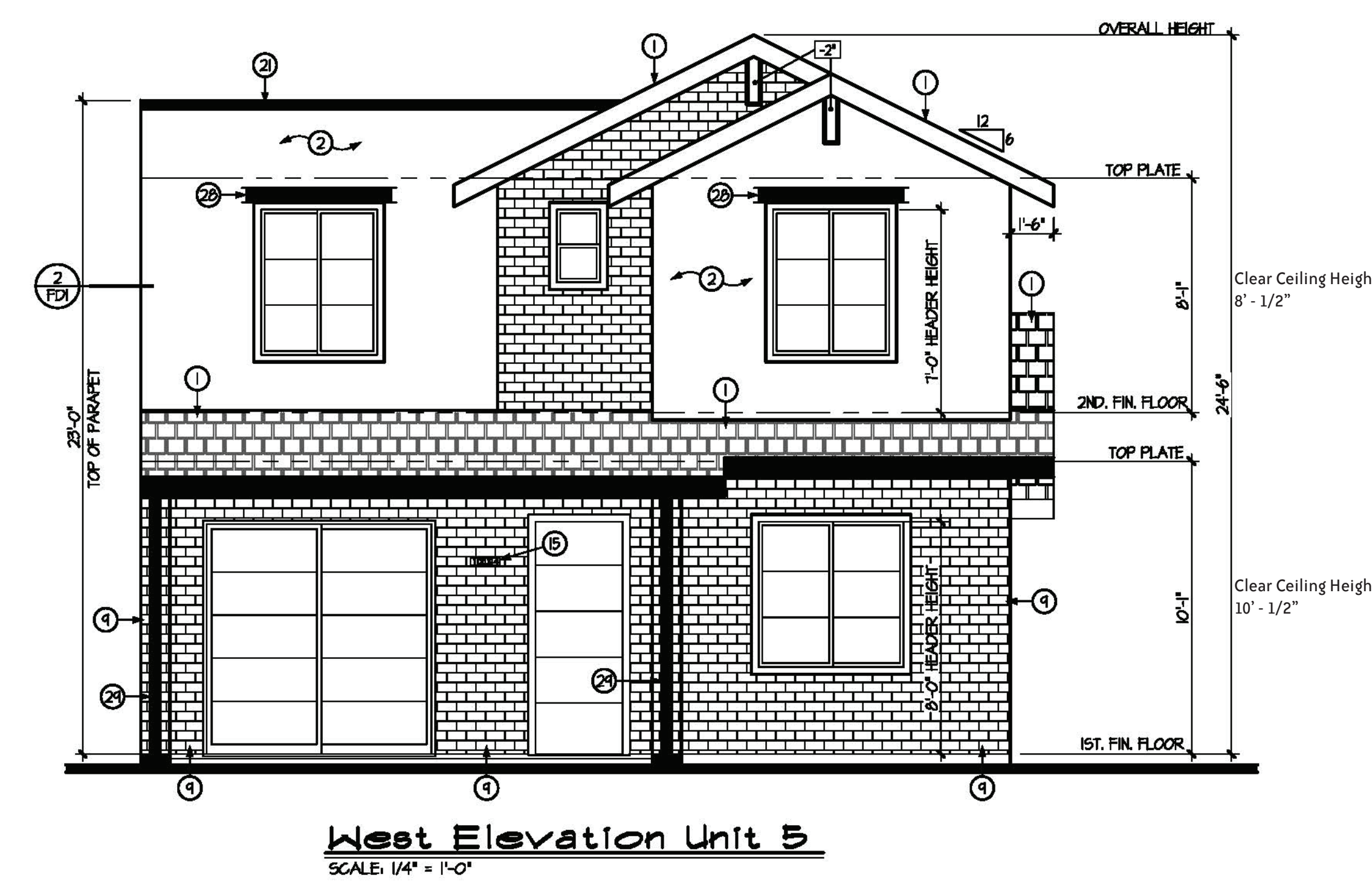
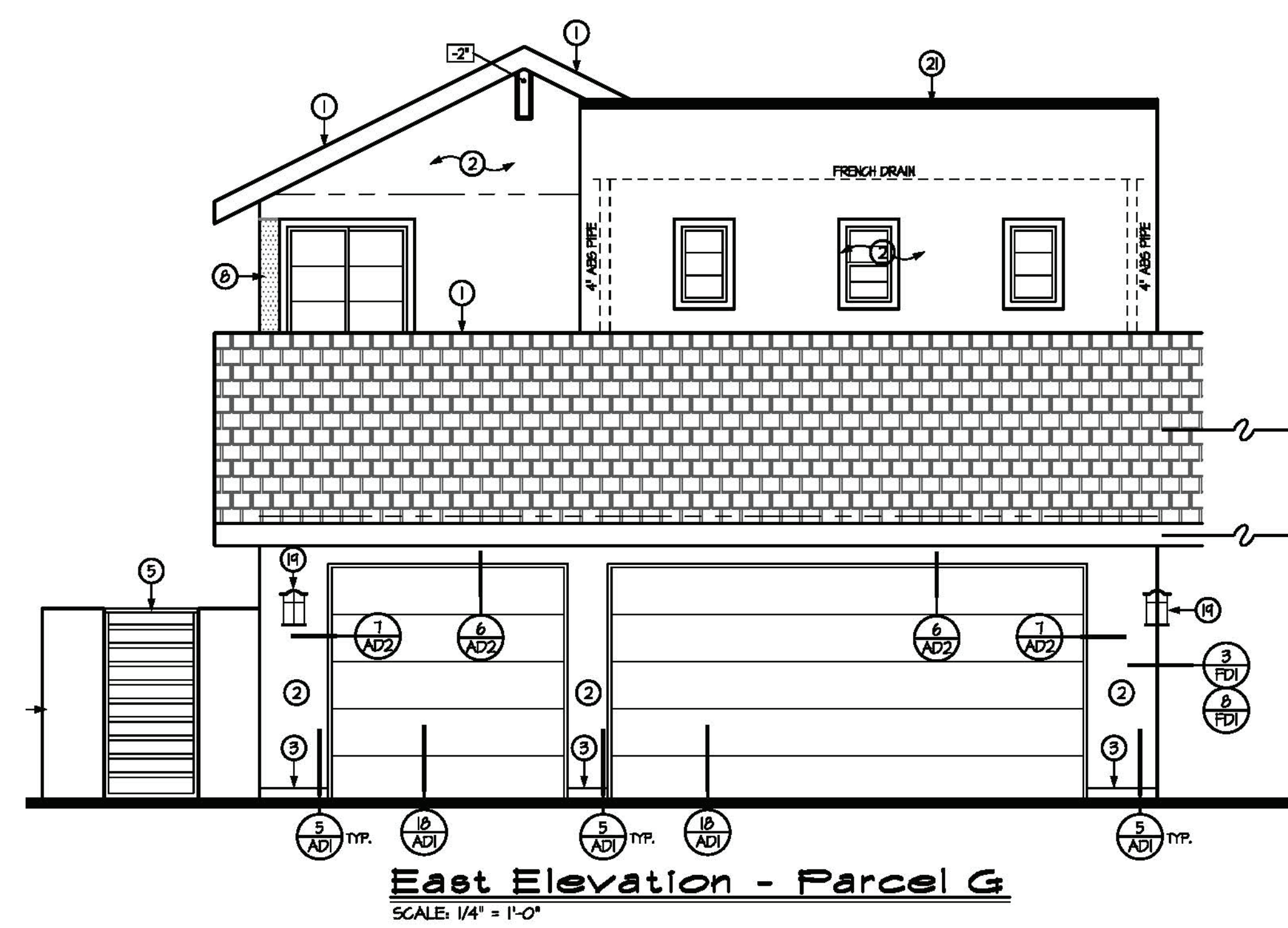
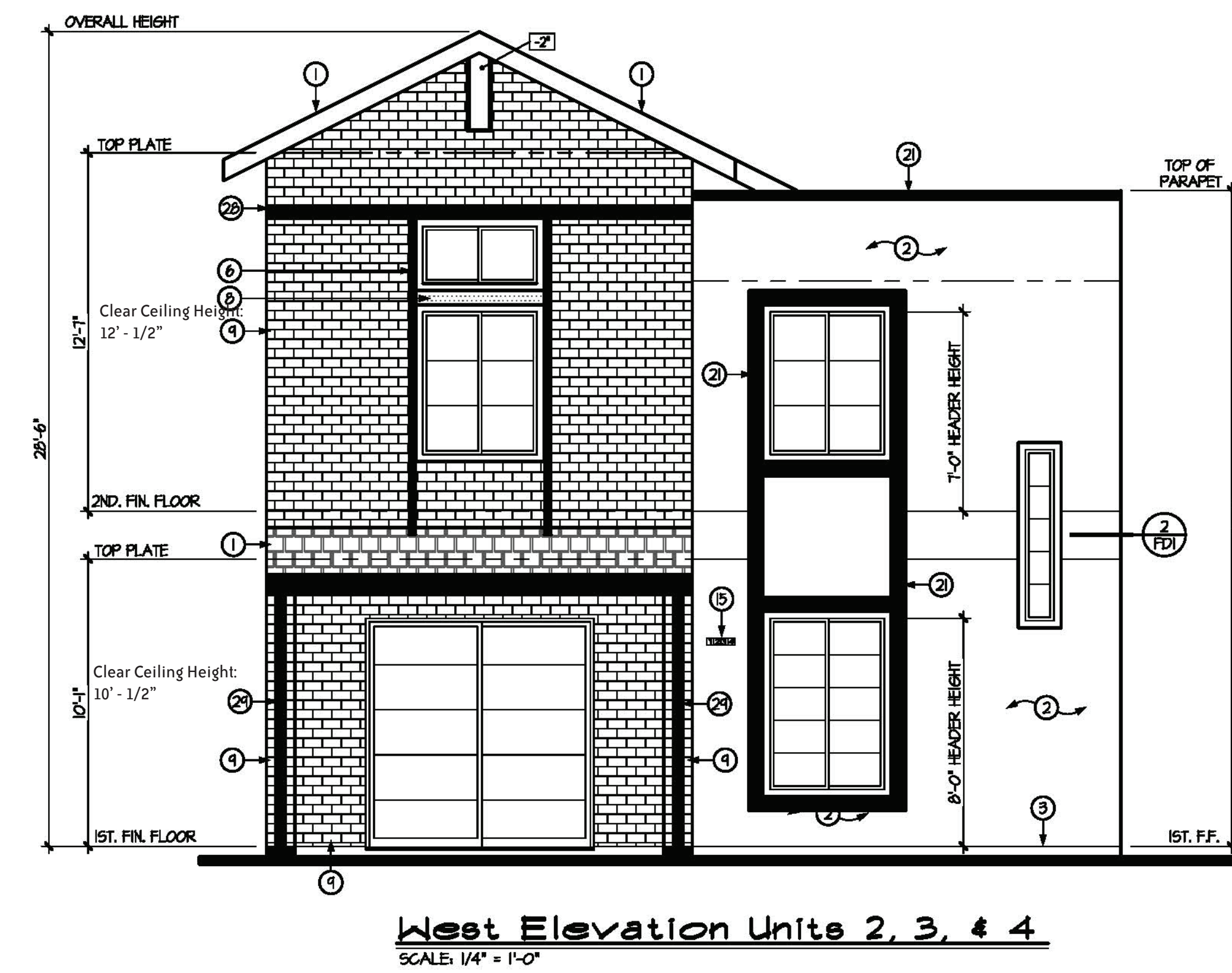
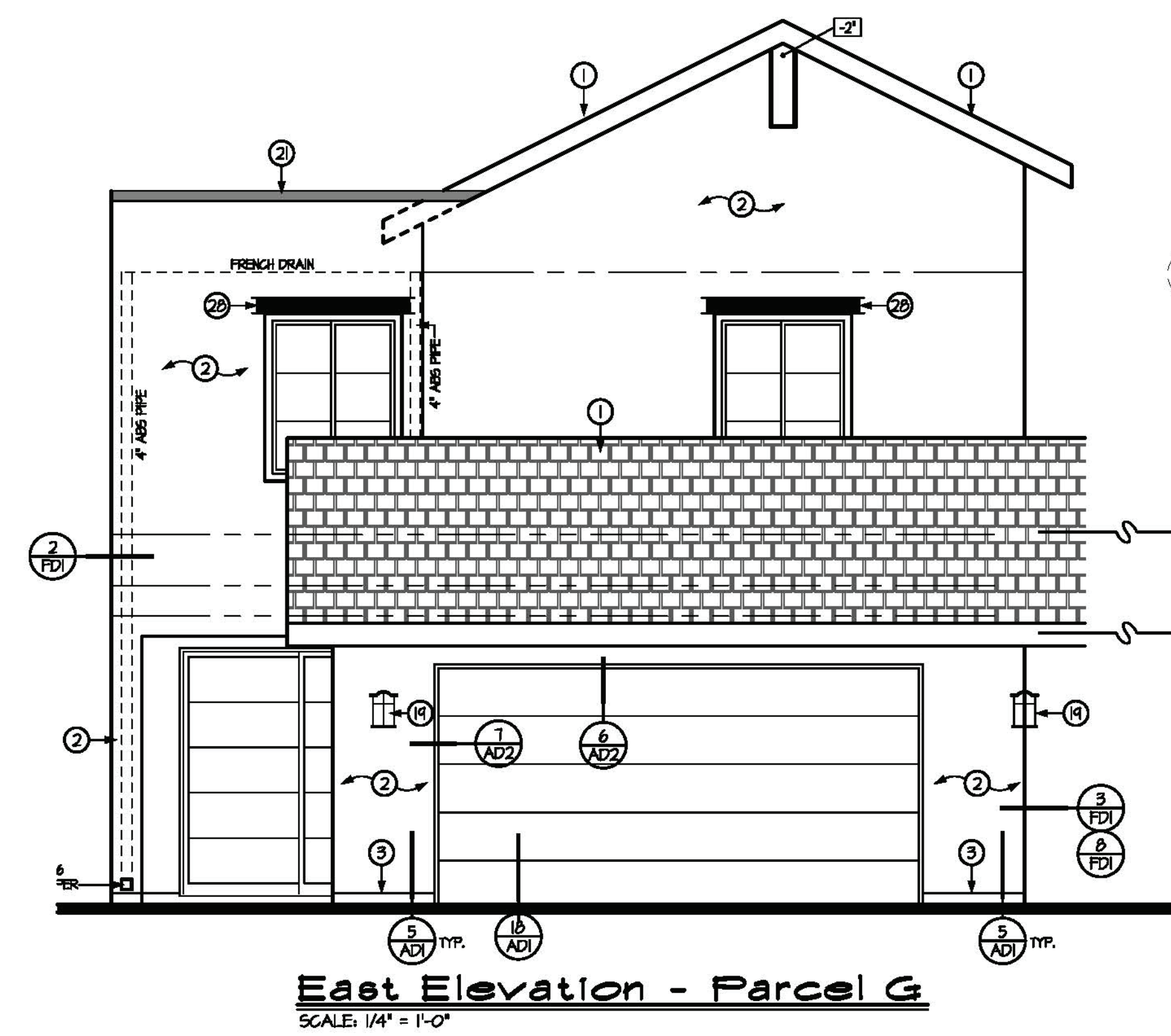
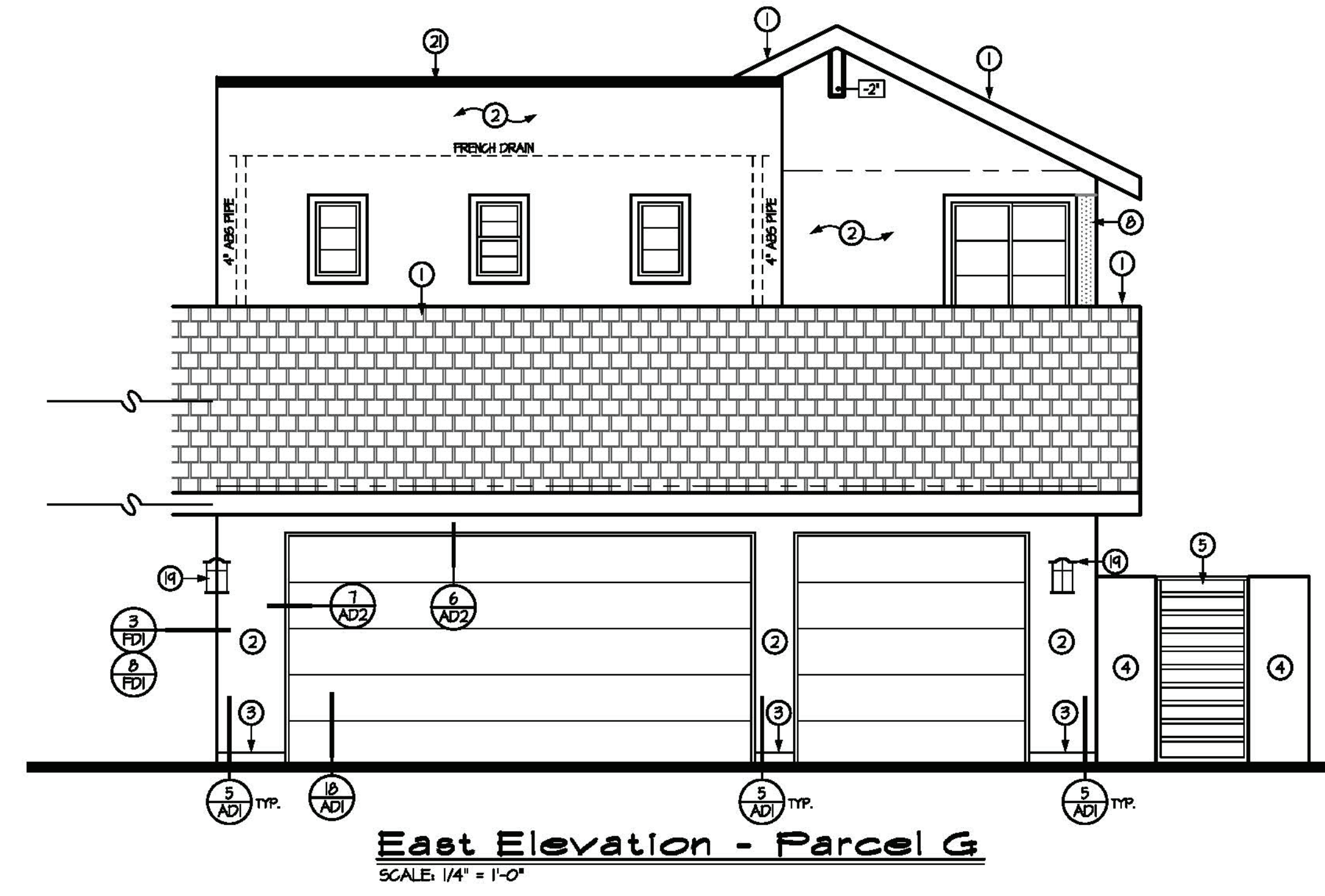
Mesa and Main Redevelopment

September 11, 2019



DALE GARDON DESIGN
Architecture · Planning · Placemaking

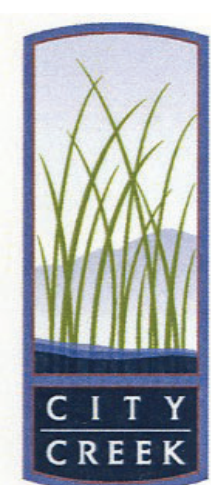




Phase 2 West Parcels: Proposed Elevations 5-Plex

Mesa and Main Redevelopment

September 11, 2019



DALE GARTON DESIGN
Architecture · Planning · Placemaking

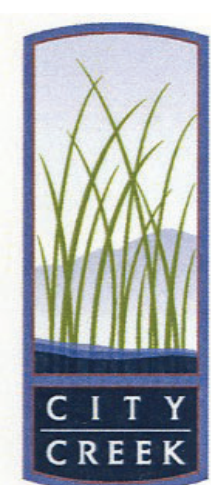




Phase 2 West Parcels: Proposed 3D Model Views 5-Plex

Mesa and Main Redevelopment

September 11, 2019





South Elevation - Parcel F
SCALE: 1/8" = 1'-0"



North Elevation - Parcel F
SCALE: 1/8" = 1'-0"

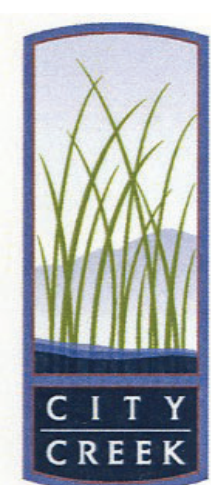


West Elevation - Parcel F
SCALE: 1/8" = 1'-0"

Phase 2 West Parcels: Proposed Elevations 7-Plex

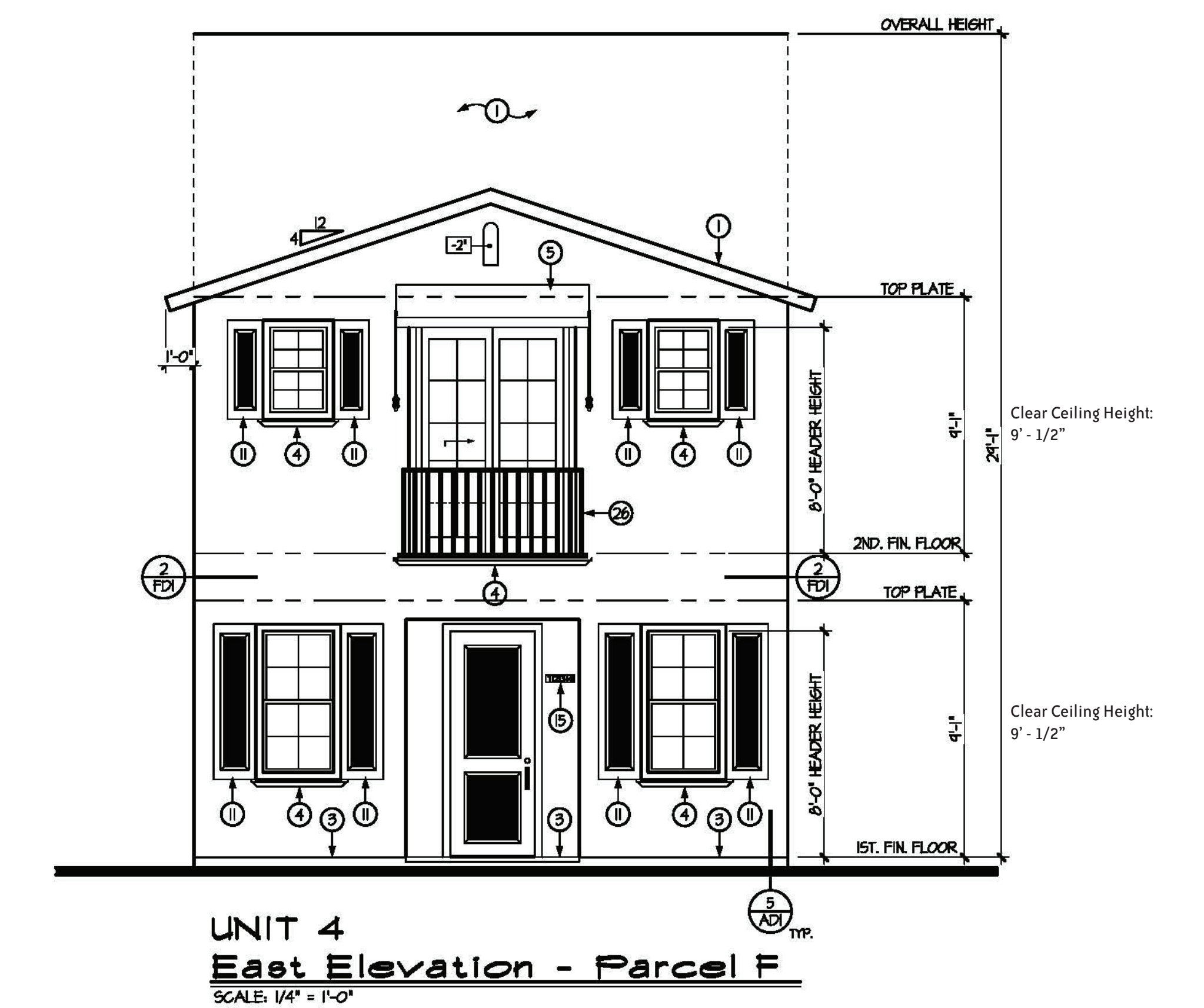
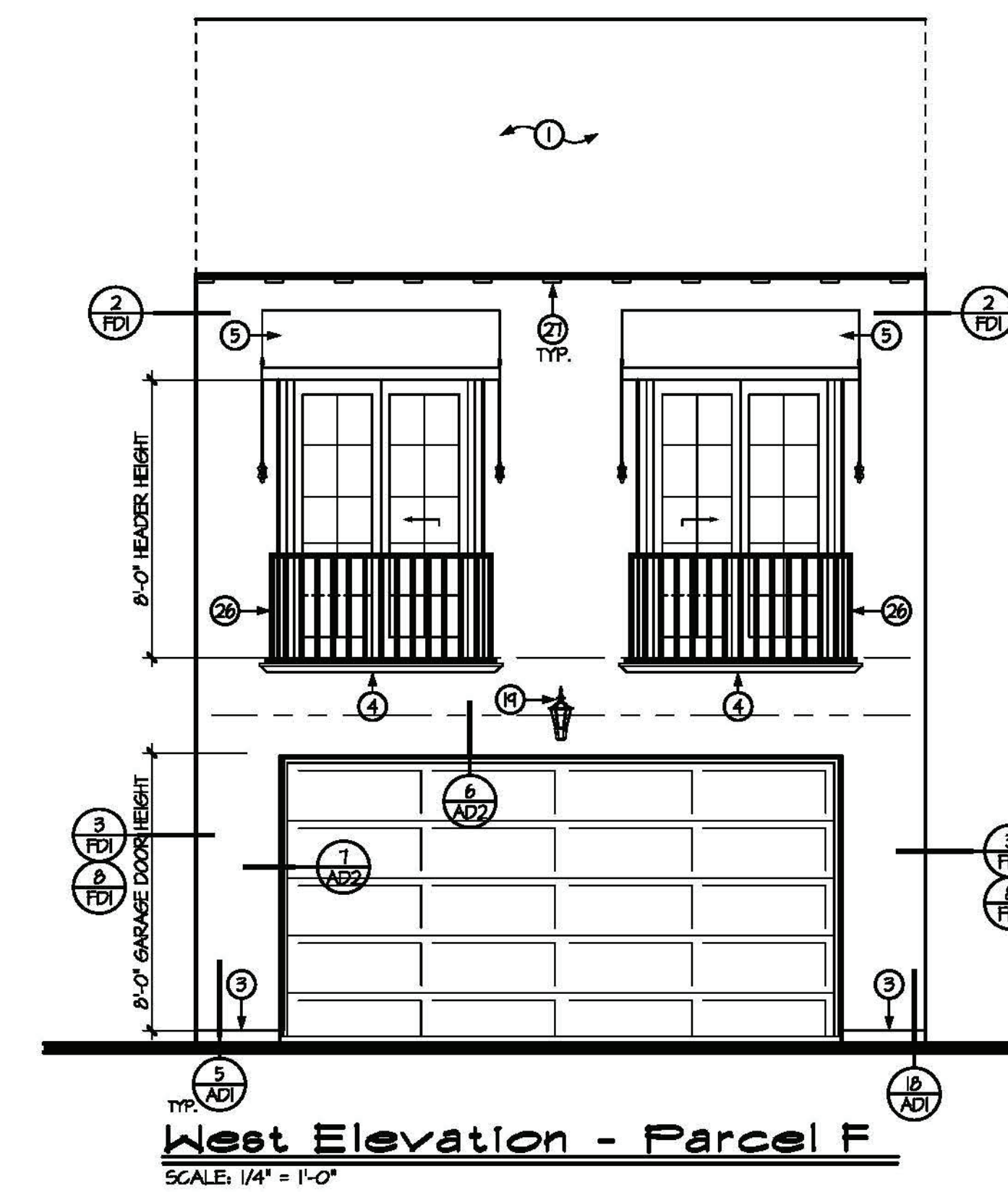
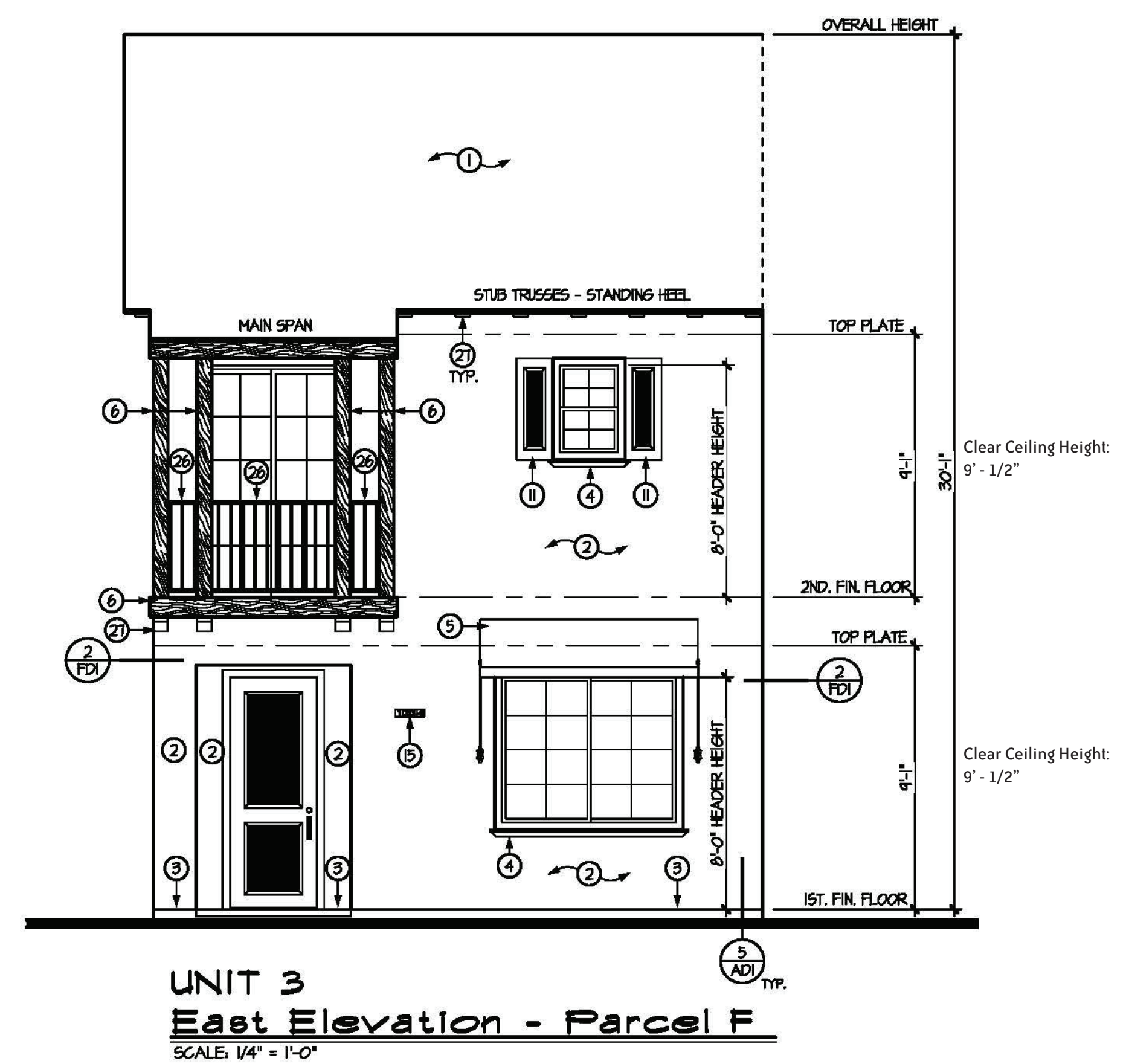
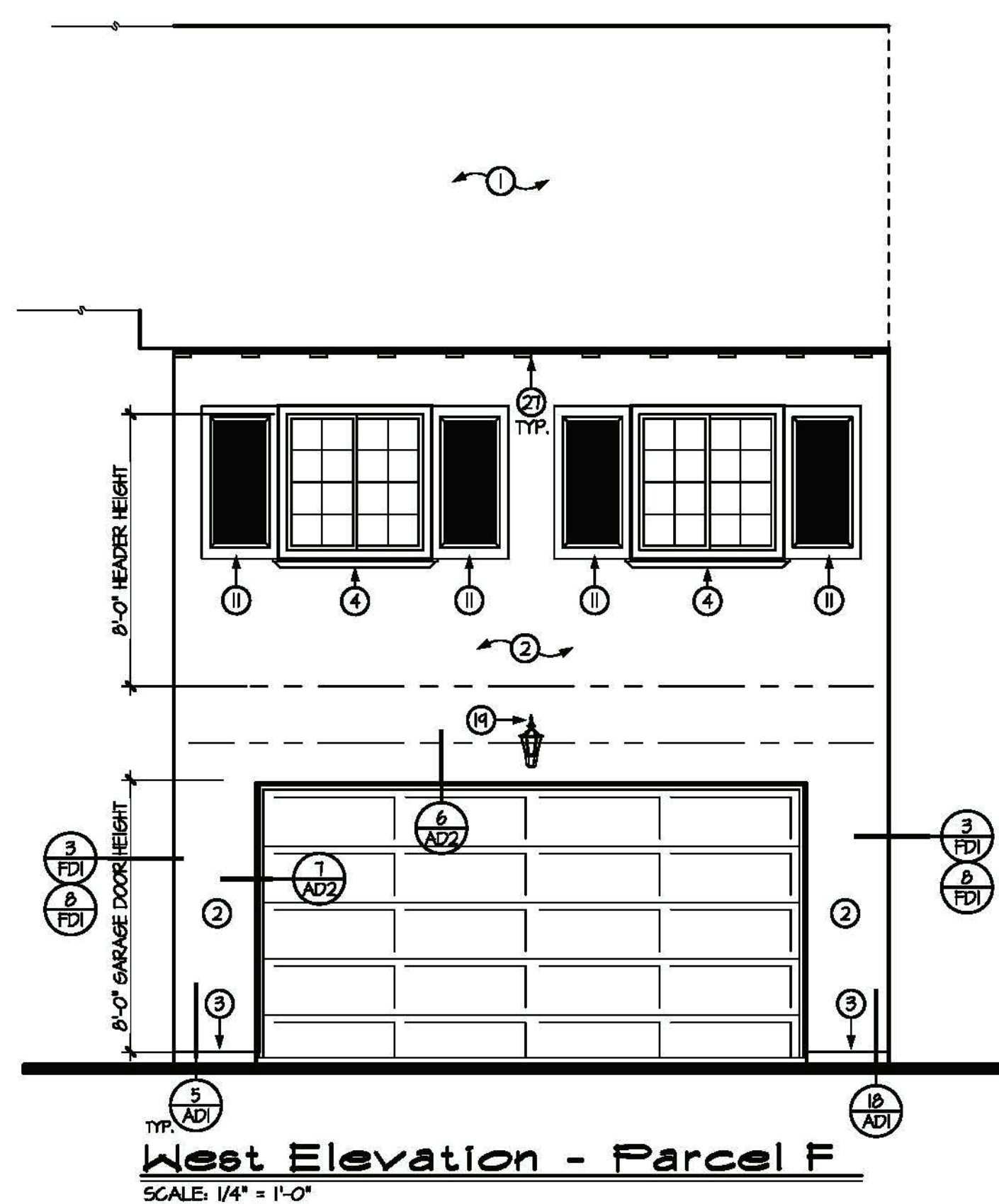
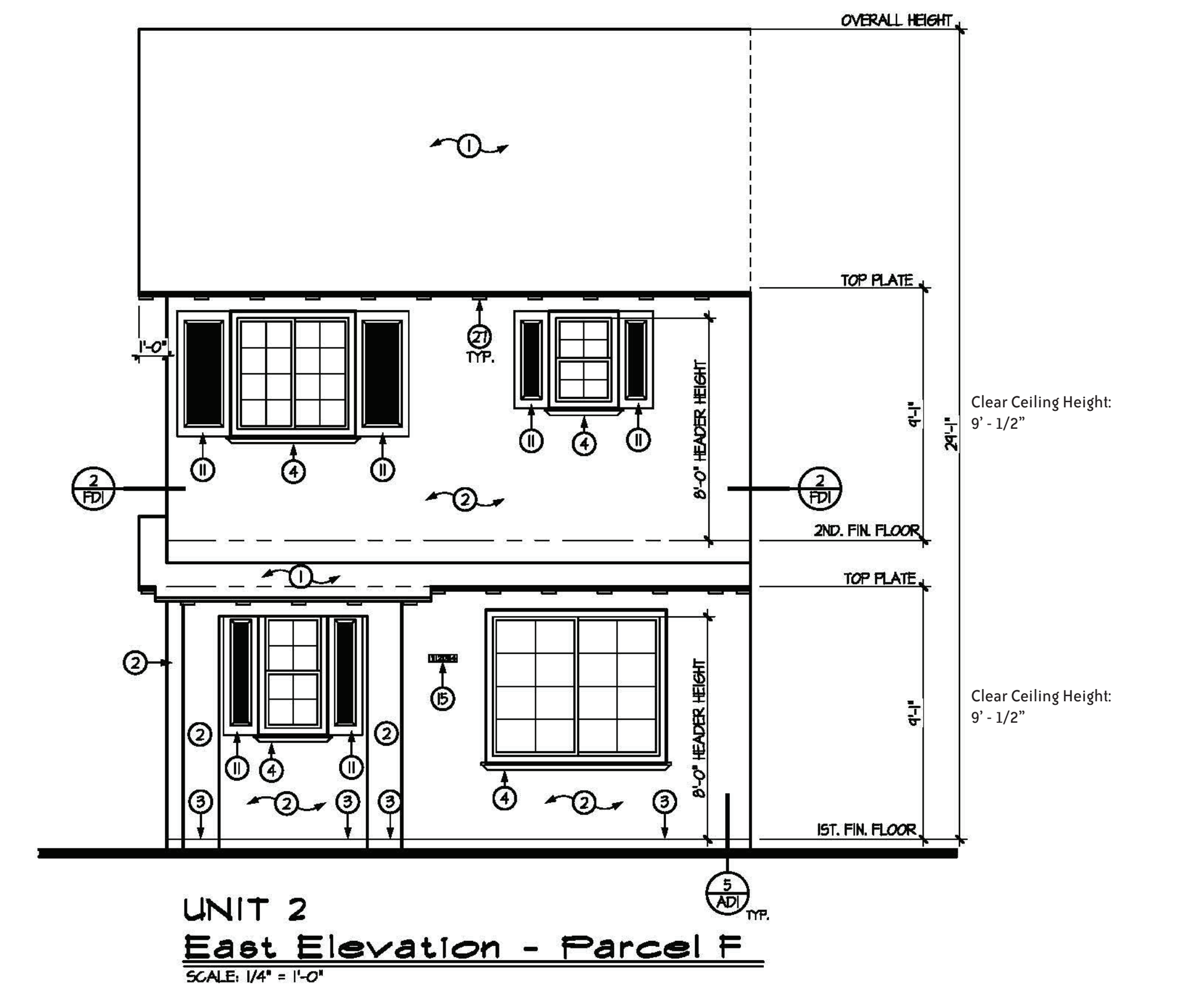
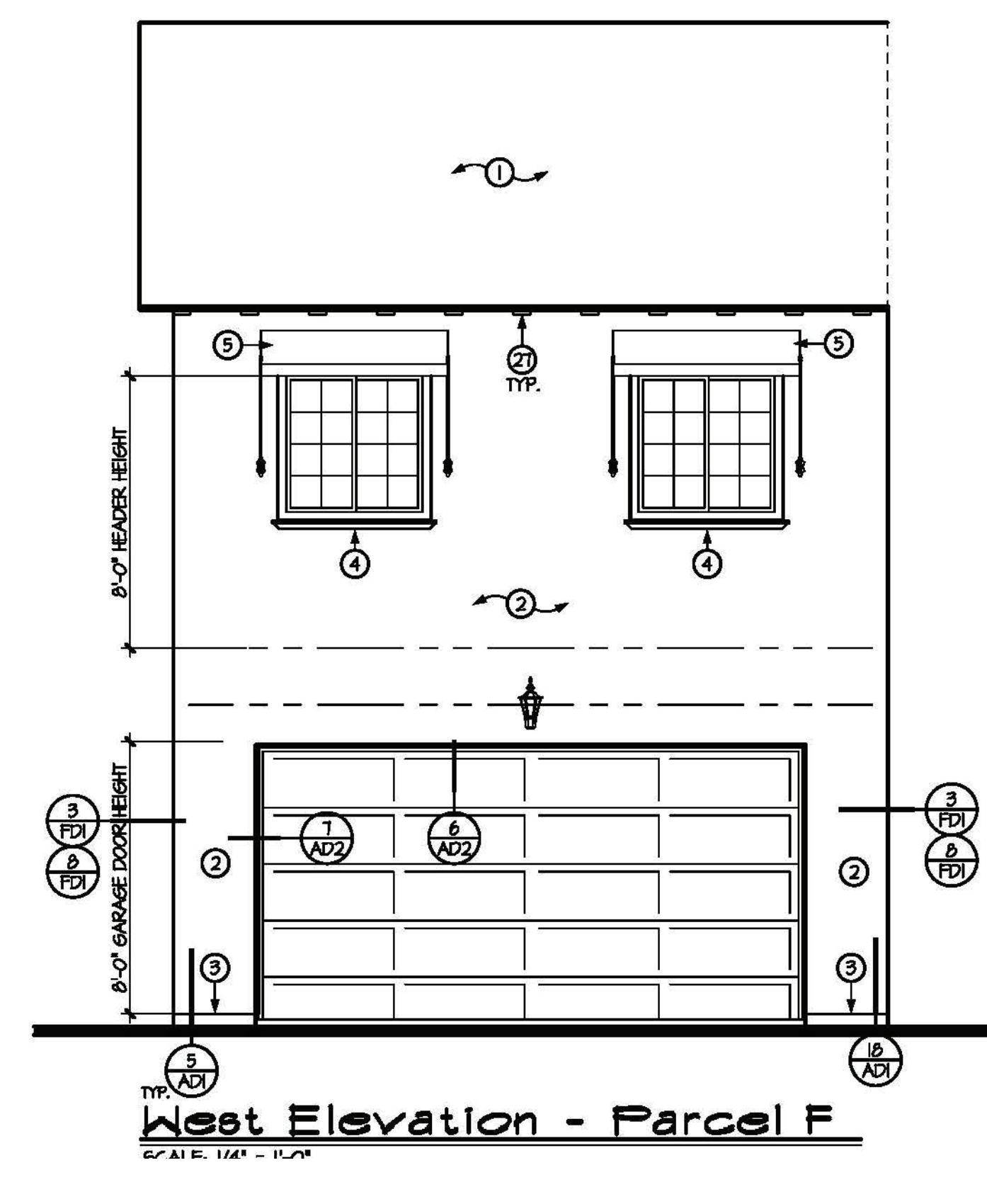
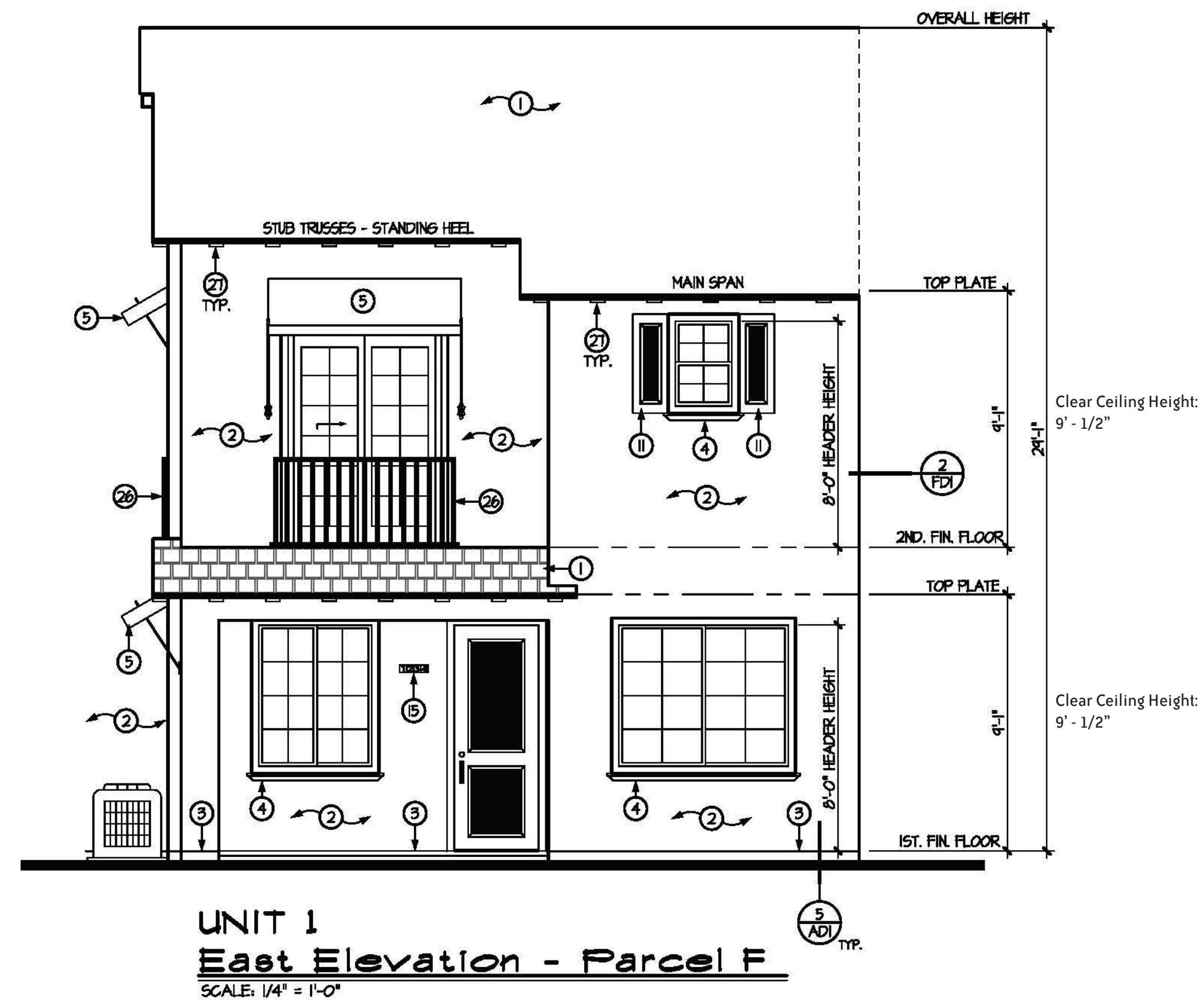
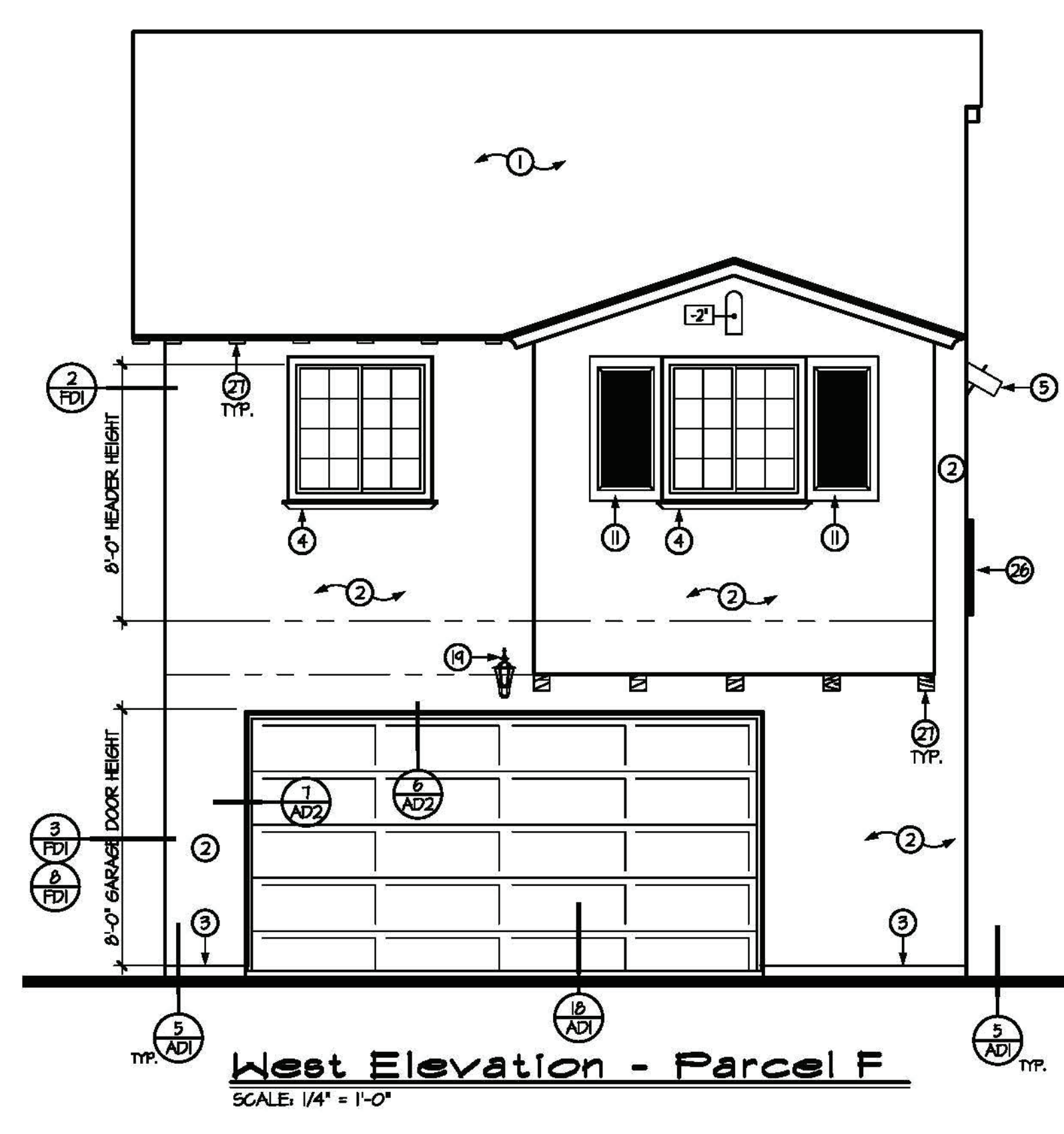
Mesa and Main Redevelopment

September 11, 2019



DALE GARDON DESIGN
Architecture · Planning · Placemaking

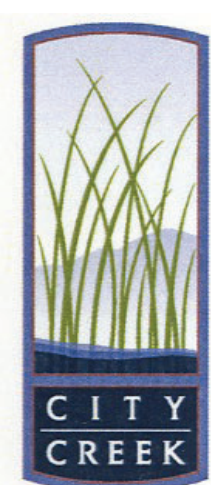




Phase 2 West Parcels: Proposed Elevations 7-Plex

Mesa and Main Redevelopment

September 11, 2019



DALE GARDON DESIGN
Architecture · Planning · Placemaking





Phase 2 West Parcels: Proposed 3D Model Views 7-Plex

Mesa and Main Redevelopment

September 11, 2019

