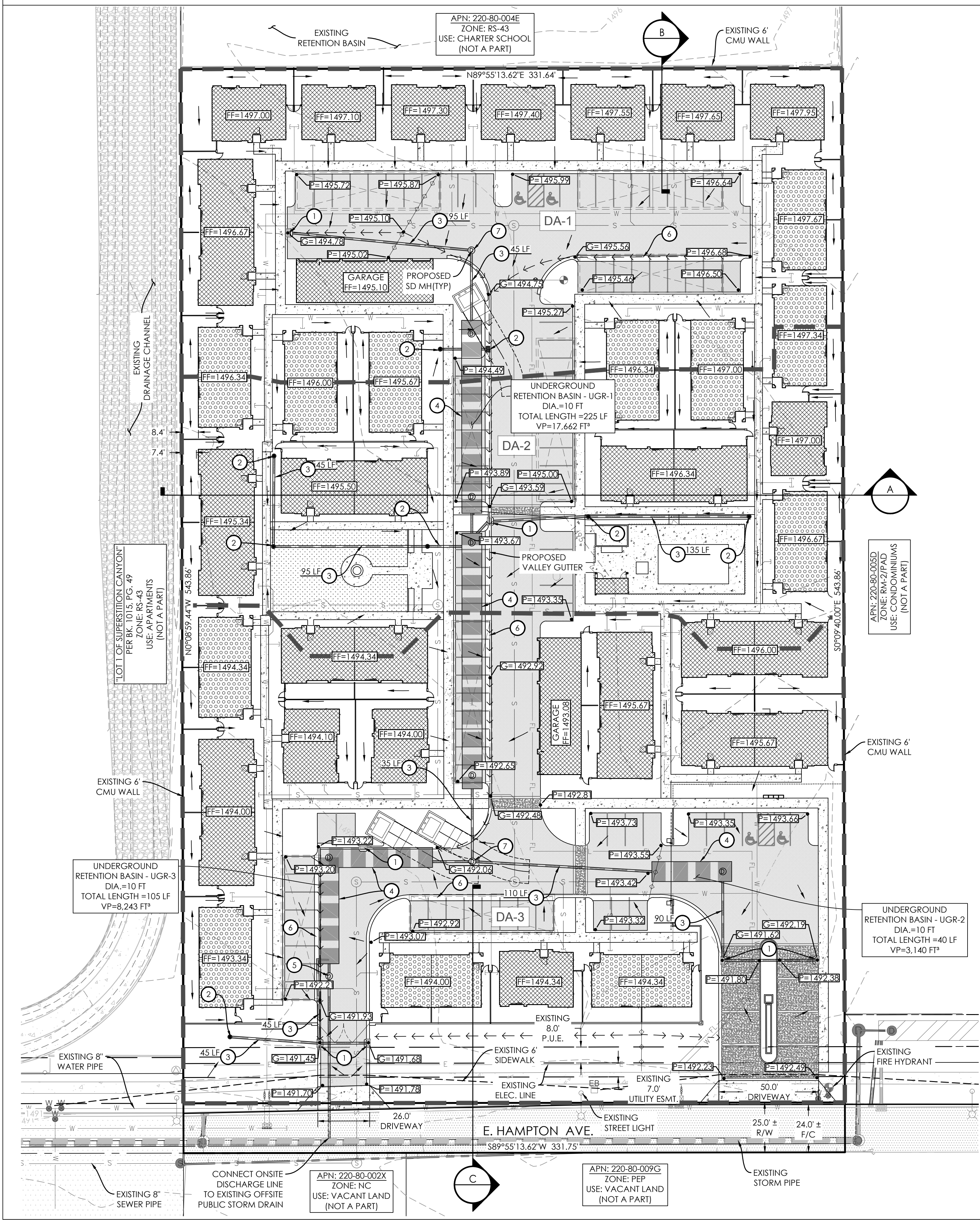


HAMPTON EAST II
APN: 200-80-004D - MESA, ARIZONA
PRELIMINARY GRADING AND DRAINAGE PLAN



STORM WATER RETENTION CALCULATIONS:

VOLUME REQUIRED
VOLUME REQUIRED = 28,878 C.F.

CALCULATIONS
DA-1 = $0.95 \times (2.2/12) \times 50,320 \text{ FT}^2 = V_r = 8,764 \text{ FT}^3$
DA-2 = $0.95 \times (2.2/12) \times 42,718 \text{ FT}^2 = V_r = 7,440 \text{ FT}^3$
DA-3 = $0.50 \times (2.2/12) \times 22,735 \text{ FT}^2 = V_r = 2,084 \text{ FT}^3$
= $0.95 \times (2.2/12) \times 54,327 \text{ FT}^2 = V_r = 10,072 \text{ FT}^3$
DA-3 TOTAL $V_r = 12,156 \text{ FT}^3$
TOTAL VOLUME REQUIRED = 28,360 FT^3

VOLUME PROVIDED
UGP-1 $V_p = 17,662 \text{ C.F.}$
UGP-2 $V_p = 3,140 \text{ C.F.}$
UGP-3 $V_p = 8,243 \text{ C.F.}$
VOLUME PROVIDED = 29,045 C.F.

GENERAL NOTES

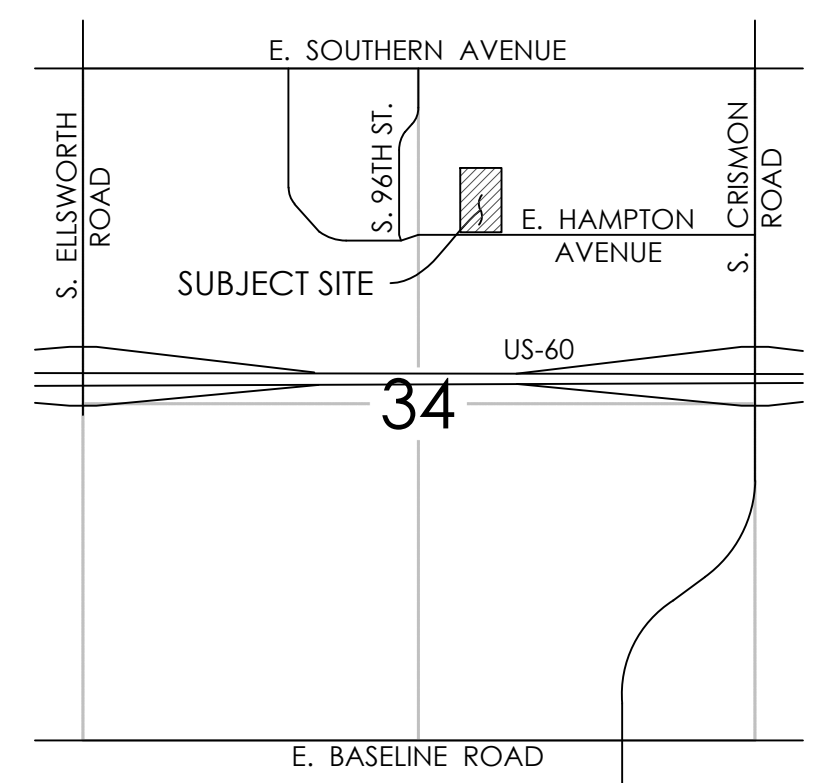
- ALL DIMENSIONS ARE TO FACE-OF-CURB OR FACE-OF-BUILDING UNLESS OTHERWISE NOTED.
- THE LAYOUT AND INFORMATION SHOWN HEREON IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE BASED ON JURISDICTIONAL REVIEW AND OWNER REVISIONS.
- ROOF DRAINAGE WILL BE DIRECTED TO DAYLIGHT AT FINISHED GRADE AND FLOW OVERLAND AS NECESSARY.
- PRIOR SURROUNDING INFRASTRUCTURE AND DEVELOPMENT WILL BE MAINTAINED IN-PLACE EXCEPT FOR PORTIONS IN CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN HEREON.
- ALL INFORMATION SHOWN HEREON IS CONCEPTUAL ONLY AND SUBJECT TO CHANGE BASED ON JURISDICTIONAL REVIEW AND OWNER REVISIONS. ALL GRADES SHOWN HEREON ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DESIGN.
- EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY AND HAVE NOT BEEN FIELD VERIFIED BY THE ENGINEER.
- THE PROJECT HAS PROVIDED ONSITE RETENTION FOR THE 100-YEAR/2-HOUR RAINFALL RUNOFF. DESIGN CALCULATIONS ARE BASED ON THE MARICOPA COUNTY FLOOD CONTROL DISTRICT STORM WATER POLICIES AND STANDARDS MANUAL. THE RETENTION VOLUMES SHOWN ARE BASED ON CONCEPTUAL DESIGN AND SUBJECT TO CHANGE PENDING FINAL DESIGN AND JURISDICTIONAL REVIEW. HISTORICAL FLOW CONDITIONS HAVE BEEN MAINTAINED, AND PROPOSED CONDITIONS ADDRESSED AS NECESSARY.

LEGEND

- PROPERTY LINE
- CATCH BASIN / INLET
- STORM DRAIN PIPE
- UNDERGROUND RETENTION PIPE
- WATER LINE
- FIRE LINE
- SEWER LINE
- GRADE BREAK
- SWALE
- FIRE HYDRANT
- WATER METER
- BACKFLOW PREVENTION ASSEMBLY
- SEWER MANHOLE
- GUTTER ELEVATION
- CONCRETE ELEVATION
- PAVEMENT ELEVATION
- PROPOSED ASPHALT
- PROPOSED CONCRETE/WALKS
- BUILDING AREA (2 - BEDROOM UNIT)
- BUILDING AREA (1 - BEDROOM UNIT)
- DA-1 - DRAINAGE AREA I.D.
- DRAINAGE AREA DELINEATION

KEY / CONSTRUCTION NOTES

- CURB INLET CATCH BASIN
- AREA CATCH BASIN
- HDPE STORM DRAIN PIPE
- 10" DIA. UNDERGROUND RETENTION
- PACKAGE LIFT STATION
- VALLEY GUTTER
- STORM DRAIN MANHOLE / JUNCTION STRUCTURE



T-1-N, R-7-E
VICINITY MAP
N.T.S.

OWNER

OFF CRISMON PROPERTIES, LLC
6020 E. ARBOR AVENUE, SUITE 101
MESA, AZ 85206
PH: (480) 726-7575
CONTACT: BRUCE DUNN

LANDSCAPE ARCHITECT

ANDERSONBARON
50 N. MCKINTOCK DRIVE, SUITE 1
CHANDLER, AZ 85226
PH: (480) 699-7956
CONTACT: ALEX FISH

DEVELOPER

HAMPTON EAST II, LLC
C/O PARAGON DEV. GROUP
2241 E. PECOS ROAD, SUITE 1
CHANDLER, AZ 85225
PH: (480) 726-7575
CONTACT: BRUCE DUNN

CIVIL ENGINEER

VESPRO
8502 E. VIA DE VENTURA, SUITE 101
SCOTTSDALE, AZ 85258
PH: (480) 393-3640
CONTACT: CASEY PENNINGTON

ZONING

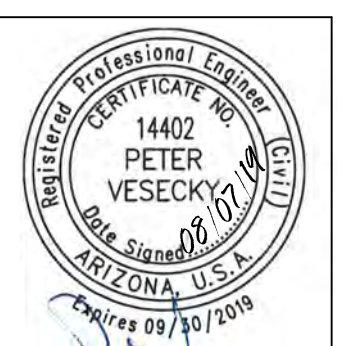
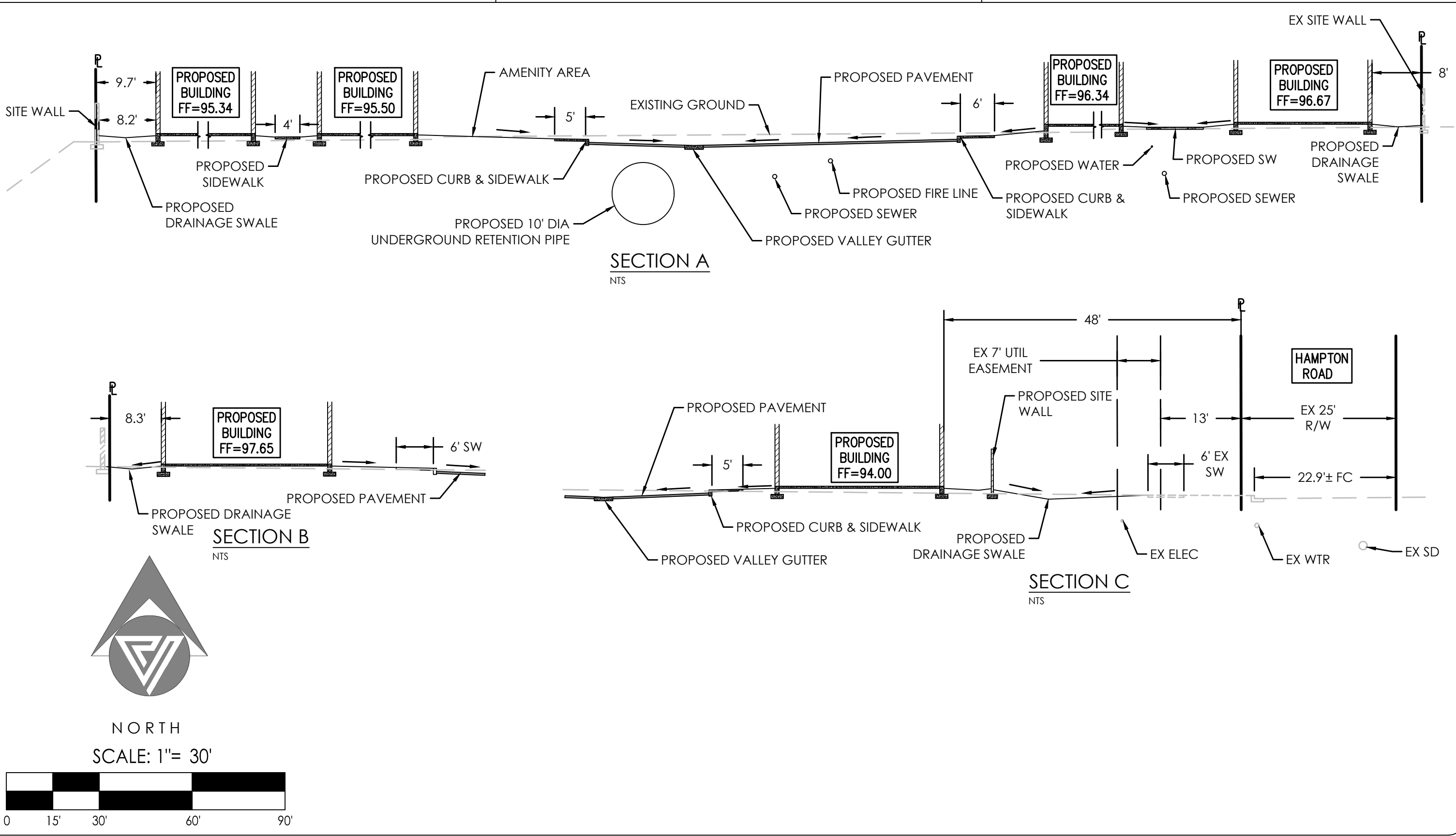
EXISTING: RS-43 (SINGLE RESIDENCE)
PROPOSED: RM-2 WITH PAD (MULTIPLE RESIDENCE)

AREA

GROSS = 180,398 FT^2 (4.1414 ACRES)
NET = 172,102 FT^2 (3.9509 ACRES)

FLOOD ZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2315L DATED OCTOBER 16, 2013, THIS PROPERTY IS LOCATED IN ZONE "X". ZONE "X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN". IT SHOULD BE NOTED THAT FEMA HAS DETERMINED THE ENTIRE MAP PANEL AREA TO BE WITHIN THE SAME FLOOD ZONE DESIGNATION AND HAS NOT OFFICIALLY PUBLISHED A MAP. THE DATA IS AVAILABLE THROUGH FEMA'S WEBSITE AND INTERACTIVE INFORMATION PORTAL.



PROJECT NO: 19004
DRAWING DATE: 08/07/19
DRAWN BY: RSJ
CHECKED BY: CAP
DRAWING SCALE: AS SHOWN
DRAWING FILE: 19004_GD01.dwg