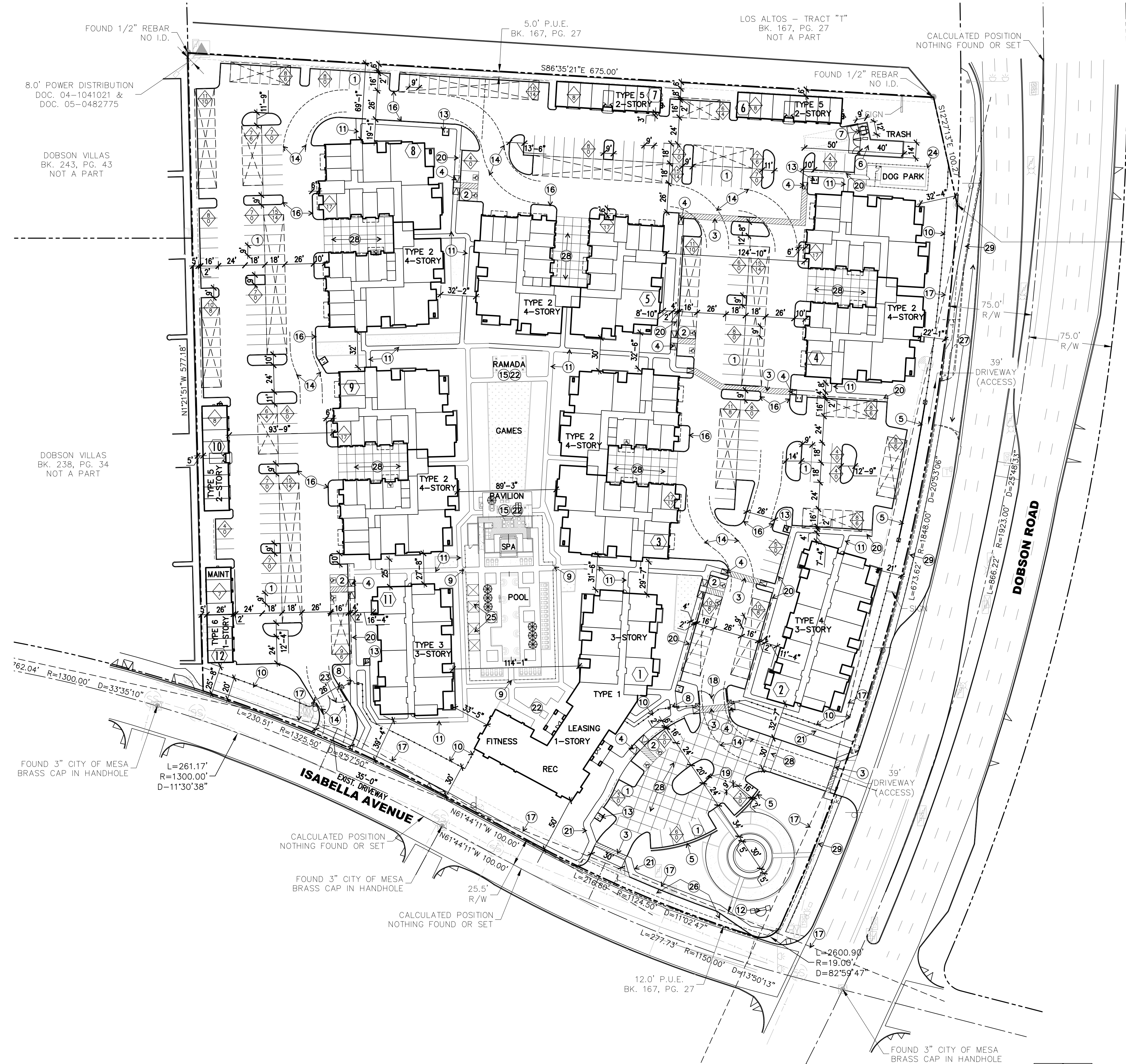
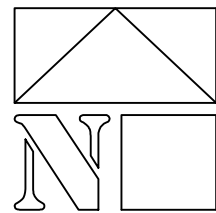




PRELIMINARY SITE PLAN

0' 125' 150' 100'
SCALE: 1" = 50'-0"



GENERAL NOTES:

1. POOL AND EQUIPMENT SHALL BE SUBMITTED UNDER SEPARATE PERMIT.
2. SIGNAGE/MONUMENT SIGN SHALL BE SUBMITTED UNDER SEPARATE PERMIT.

KEYNOTES

1. 9'x18' TYPICAL PARKING STALL (2' OVERHANG AT LANDSCAPE & SIDEWALKS) - PER DETAIL 1/A1.20.
2. 11'x18' ACCESSIBLE TYPICAL PARKING SPACE, PER DETAIL 6/A1.20.
3. ACCESSIBLE DRIVEWAY CROSSING 5' WIDE MIN. - INTEGRAL TEXTURE/COLOR.
4. ACCESSIBLE CURB RAMP, PER DETAIL 3/A1.20.
5. 3' HIGH PARKING SCREEN WALL - ADD TUBE STEEL FENCE AT PERIMETER, PER DET. 19/A1.21.
6. TRASH COMPACTOR ENCLOSURE SURROUNDED BY 8' HIGH CMU WALL.
7. SINGLE RECYCLE ENCLOSURE SURROUNDED BY 6' HIGH CMU WALL.
8. PEDESTRIAN ENTRY GATE, PER DET. 20/A1.21.
9. PEDESTRIAN ENTRY POOL GATE, PER DETAIL 21/A1.20.
10. TUBE STEEL VIEW FENCE, PER DETAIL 17/A1.21.
11. 4' MINIMUM SIDEWALK ON SITE, TYPICAL.
12. MONUMENT SIGN PER DETAIL 28/A1.21.
13. BICYCLE PARKING, PER DETAIL 16/A1.21.
14. FIRE TRUCK TURNING RADIUS.
15. AMENITY AREA, SEE LANDSCAPE SHEET CLS-1.
16. 26' WIDE FIRE APPARATUS ACCESS ROAD FIRE LANE "NO PARKING" ON EITHER SIDE.
17. SIGHT VISIBILITY TRIANGLE, TRIM VEGETATION AND TREES PER CITY OF MESA GUIDELINES.
18. ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, PROVIDE KNOX SWITCH.
19. ACCESS KEY PAD AND SITE MAP.
20. 6'-0" SIDEWALK, TYPICAL AT PARKING.
21. 6'-0" SIDEWALK CONNECTING TO PUBLIC R.O.W.
22. ENHANCED PAVING COURT.
23. RESIDENT ONLY EXIT GATE, TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, PROVIDE KNOX SWITCH.
24. DOG PARK FENCE.
25. POOL CABANA.
26. REMOVE EXISTING CURB AND SIDEWALK FOR NEW DECELERATION LANE AND SIDEWALK.
27. REMOVE EXISTING DECEL. LANE, INSTALL NEW CURB-GUTTER & SIDEWALK, CONNECT TO EXISTING.
28. ENHANCED DRIVEWAY PAVING.
29. 6'-0" DETACHED SIDEWALK AT DOBSON ST.

SYMBOLS - SITE PLAN:

- PROPERTY LINE
- BUILDING NUMBER
- BUILDING TYPE & # OF STORIES
- OPEN PARKING SPACES COVERED PARKING SPACES
- ACCESSIBLE PARKING OR ANSI TYPE 'A' DWELLING UNIT
- INDICATES CARPORT PARKING STRUCTURE, PER DET. 8/A1.20.

FIRE DEPARTMENT NOTES:

1. SHOP DRAWINGS FOR FIRE SPRINKLER AND ALARM SYSTEMS SHALL BE A DEFERRED SUBMITTAL AND SHALL BE APPROVED PRIOR TO INSTALLATION.
2. THE FIRE LINE BACKFLOW PREVENTER VALVES SHALL BE ELECTRICALLY SUPERVISED BY A TAMPER SWITCH INSTALLED IN ACCORDANCE WITH NFPA 72 & SEPARATELY ANNUNCIATED. IFC 903.4.1 EXC. 2.
3. EACH BUILDING MUST BE WITHIN 250 FEET OF A FIRE HYDRANT. REFER TO IFC APPENDIX B & C FOR FIRE FLOW REQUIREMENTS, NUMBER OF FIRE HYDRANTS AND SPACING REQUIREMENTS (BASED ON CONSTRUCTION TYPE AND SQUARE FOOTAGE).
4. COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, SAFEGUARDS DURING CONSTRUCTION, AND IFC CHAPTER 33 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.
5. THERE SHALL BE A 20 FEET WIDE FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THIS ROAD SHALL BE AN ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (74,000 LBS./24,000 LBS. PER AXLE) WHEN ROADS ARE WET. THE ACCESS ROAD SHALL BE EXTENDED TO WITHIN 100 OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS", IN RED LETTERS, SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD. ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.
6. APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1,500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.

PROJECT DATA:

ZONING / LAND USE:

EXISTING: LC
PROPOSED: RM-4

SITE AREA:

NET AREA: 10.059 ACRES (438,152 S.F.)

DWELLING UNIT / DENSITY:

DWELLING UNIT QUANTITY:

STUDIO	49
1 BEDROOM	129
2 BEDROOM	110
TOTAL	288

DENSITY (DU/ACRE)

ALLOWED: 30 MAX.
PROVIDED: 28.6

BUILDING HEIGHT :

ALLOWED: 40'-0" FT.
PROPOSED: 52'-0" FT. (4 STORY)

BUILDING SETBACKS:

	REQUIRED	PROPOSED
FRONT (DOBSON RD.)	30	20'
REAR (WEST GARAGE BLDG)	15' EA. STORY	5'
REAR (WEST CARRIAGE BLDG)	15' EA. STORY	5'
SIDE (SOUTH-ISABELLA AVE.)	25	25'-8"
SIDE (NORTH)	30	6'

PARKING:

RESIDENTIAL PARKING REQUIRED:
(26 OR MORE UNITS LOCATED WITHIN 1/4 MILE RADIUS OF BUS RAPID TRANSIT OR LIGHT RAIL STATION:
1.2 SPACES PER DWELLING UNIT)
288 D.U. x 2.1 = 605 P.S.

PARKING PROVIDED:

OPEN PARKING:	176 P.S.
CARPORT PARKING:	172 P.S.
GARAGE PARKING:	116 P.S.

TOTAL PARKING PROVIDED: 464 P.S.

RESIDENTIAL RATIO:

464 P.S. / 288 UNITS = 1.61 SPACES PER UNIT

ACCESSIBILITY (INCLUDED IN COUNT ABOVE):

ACCESSIBLY PARKING REQUIRED (2%)
REQUIRED PARKING = 10 P.S.

ACCESSIBLE PARKING PROVIDED:

OPEN SPACES	= 4 P.S.
CARPORT SPACES	= 3 P.S.
GARAGE SPACES	= 3 P.S.

TOTAL ACCESSIBLE P.S. PROVIDED =10 P.S.

BICYCLE PARKING:

REQUIRED: 1 PER 10 VEHICLE (464÷10) = 47 P.S.
PROVIDED: 48 P.S.

LOT COVERAGE:

ALLOWED: 65% (284,798.80 S.F.)
PROVIDED: 36% (156,533 S.F.)

OPEN SPACE:

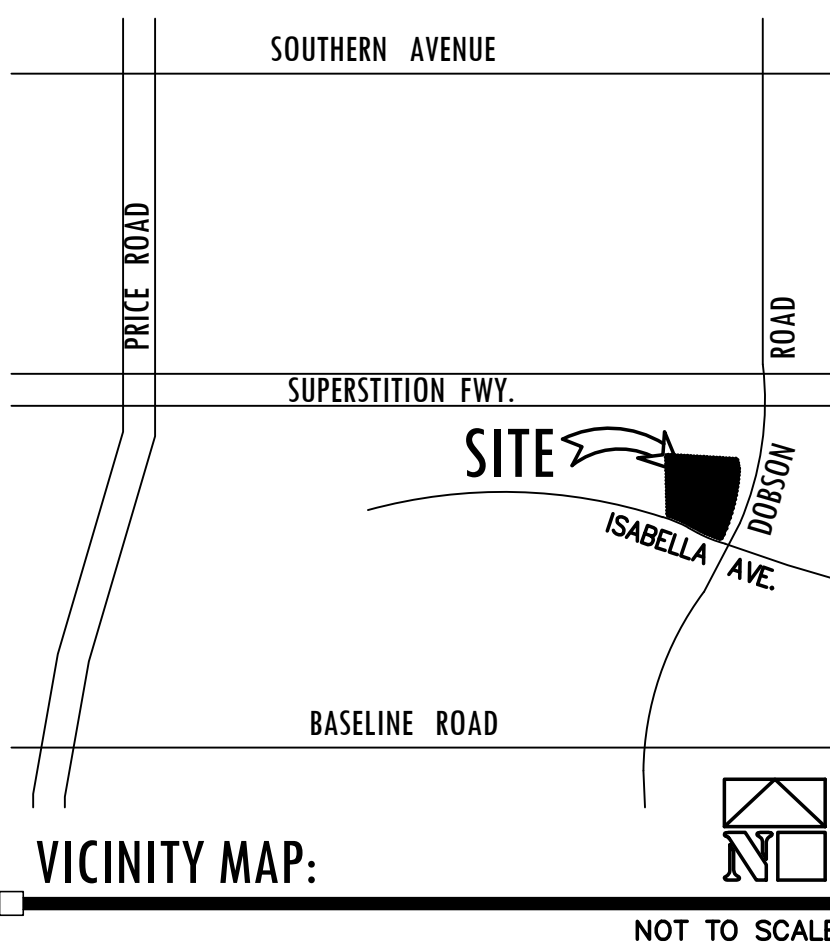
COMMON OPEN SPACE PER UNIT
288 D.U. x 120 S.F. = 34,560 S.F. REQUIRED
50,000 S.F. PROVIDED

PRIVATE OPEN SPACE PER UNIT

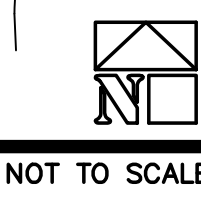
	REQUIRED	PROVIDED
STUDIO/1 BED.	178 BD.x 60 = 10,680 S.F.	12,080 S.F.
2 BED.	110 BD.x100 = 11,000 S.F.	9,010 S.F.

BUILDING AREAS:

BLDG. TYPE	No. OF BLDGS	1st. Floor	2nd. Floor	3rd. Floor	4th. Floor	Area per Bldg.	TOTAL
		Rec.	Residential Units				
1	1	7,484	5,992	5,788	5,788	25,052	25,052
2	5	15,057	15,060	15,060	15,060	60,237	301,185
3	1	7,984	7,659	7,659		23,302	23,302
4	1	9,861	9,541	9,541		28,943	28,943
5	3	2,007	2,043			4,050	12,150
6	1	2,007				2,007	2,007
TOTAL	12						392,639



VICINITY MAP:



BROADSTONE DOBSON RANCH

1666 SOUTH DOBSON ROAD
MESA, ARIZONA 85202

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Architecture, Inc.
WorldHQ@ORBArch.com

REGISTERED ARCHITECT
15213
Rich Barber
ARCHITECT
PRELIMINARY
NOT FOR
CONSTRUCTION

ALLIANCE
RESIDENTIAL COMPANY

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TEL. 602.778.2800
CONTACT: TOM LEWIS

ARCHITECTURAL :
ORB ARCHITECTURE, LLC
2944 N. 44TH ST. STE. 101
PHOENIX, ARIZONA 85018
TEL. 602.957.4530
CONTACT: RICH BARBER

CIVIL :
KLAND CIVIL ENGINEERS
7227 N. 16TH ST. STE. 217
PHOENIX, ARIZONA 85020
TEL. 480.844.8825
FAX 480.393.8825
CONTACT: LESLIE KLAND

LANDSCAPE :
COLLABORATIVE V
7116 E. FIRST AVE. STE. 103
SCOTTSDALE, AZ 85251
TEL. 480.347.0590
FAX 480.949.2655
CONTACT: MATT DRAGER
PAUL VECCHIA

ELECTRICAL :
NP ENGINEERING, INC.
4115 N. 15TH AVENUE
PHOENIX, AZ 85015
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FAX 602.285.1005
CONTACT: RICHARD PANOPIO

DESIGN REVIEW

DATE: JULY 11, 2019

ORB # 18-223

A1.10

SITE PLAN
PRELIMINARY