PAD AMENDEMENT
&
SITE PLAN APPROVAL

CASE NO. ZON19-00201

HAMPTON SQUARE

On approximately 13 acres, located at the

Northwest Corner of

Crismon Road & US 60

Mesa, Arizona

1st Submittal March 25, 2019
2nd Submittal April 26, 2019

3rd Submittal: May 13, 2019

Submitted By

Gilmore Planning & Landscape Architecture, Inc.
2211 N. Seventh Street
Phoenix, AZ 85006
602-266-5622

1. PROJECT TEAM

Land Owner & Developer

Quyp Development Services, LLC
7600 N. 15th St.,
Suite 150-19
Phoenix, AZ 85020-4327
(480) -999-0350
anthony@quypdevelopment.com

Applicant & Land Planner

Gilmore Planning & Landscape Architecture
Jack Gilmore
2211 North 7th Street
Phoenix, Arizona 85006
(602) 266-5622
jgilmore@getgilmore.com

Civil Engineer

Kland Civil Engineers
Leslie Kland
7227 North 16th Street
Suite 217
Phoenix, AZ 85020
(480) 344-0480
lkland@KLANDENG.COM

Project Architect

Lamb Architects
Jerry Gagnepain
7114 E. Stetson Drive
Suite 350
Scottsdale, AZ 85251
(480) 291-9306
ggagnepain@lambarchitects.com

1. PROJECT NARRATIVE

OVERVIEW

On behalf of Virtua Mesa Crismon Owner LLC, and SWC Crismon & Hampton LLC, the property owners (Owners), Gilmore Planning & Landscape Architecture (Applicant), presents this application to amend a Planned Area Development (PAD ZON18-00149) on approximately 13.9 acres (the Property) located at the northwest corner of Crismon Road and US 60 in Mesa, Arizona. The Mesa City Council approved ZON18-00149 on August 27, 2018 for 'Quyp at Crismon & US60', which has since been retitled as 'Hampton Square'. The adopted ordinance No. 5459 retained the base zoning Planned Employment Park (PEP) and approved a PAD overlay for Hampton Square. This application ZON19-00201, seeks to retain the PEP zoning, amend the PAD, and request Site Plan Approval. Refer to the attached Vicinity Map - **Exhibit 1**, for the location of the Property.

The current PAD for Hampton Square permits a mix of commercial uses including: office, medical office, retail, hotel, and commercial pad sites along the Crismon Road frontage. This PAD amendment requests only one revision to the previously approved development standards; to modify the building heights so they be determined with the Site Plan Approval Application for each development parcel.

There are additional Applications related to this joint application for a PAD Amendment and Site Plan Approval. There is a DRB Application DRB18-00923 for the Phase 1 development that includes the Hotel on Lot 5, the perimeter off-sites along Crismon Road and Hampton Avenue, and the two private access drives leading to the Hotel. The second application is the Preliminary Plat that was filed on the DIMES website on April 26, 2019. This PAD Amendment and Site Plan Approval will be refiled in accordance with the Project's Planning Schedule on or before May 13th, the target date for these active applications.

The total land area by ownership is 13.9 acres and includes three parcels:

Virtua Mesa Crismon Owner LLC, 220-80-008E and 220-80-009J, 11.6 net acres.

SWC Crismon & Hampton LLC, 220-80-008D, 1.1 net acres.

The gross acreage to the centerline of Crismon Road and Hampton Avenue is 14.7 acres. The net developable land area after ROW dedications along Crismon Road and Hampton Avenue will be approximately 12.7 acres.

1.1 Existing Land Use

Property is currently undeveloped and vacant. The surface area is relatively flat with natural grade falling from the northeast to the southwest at less than 1%.

1.2 Surrounding Land Uses

The subject property is situated where the US 60 freeway forms a regional barrier separating land uses. The area north of US 60 surrounding the Property has not experienced any substantial change since this PAD was approved in 2010. The only exceptions are very recent, including Crismon Estates located on the west side of Christ Church of the Valley, and Bella Encanta another residential use immediately west of this subject property. Refer to **Exhibit 2** - Existing and Surrounding Land Uses and the existing zoning.

- North: Immediately north of the subject property is the Christ Church of the Valley that aligns with entire north side of the subject property. The land area is zoned RS 43.
- Northwest: further west and north of Hampton Avenue is 'Hampton East', a new rental community of detached single-family units, zoned RS-43.
- East: the area immediately east of Crismon is developed with a Home Depot as the anchor and three commercial pads fronting onto Crismon, Jack in the Box, Popeyes, and Fletchers Auto & Tire. This commercial complex is all zoned Limited Commercial (LC).
- Northeast: At the northeast corner of Crismon Road and Hampton Avenue is the Mountain Vista Medical Center zoned Neighborhood Commercial (NC).
- South: along the south side of the US 60 is primarily residential subdivisions zoned RM-2 and RS-6.
- West: The adjacent property is currently zoned PEP – PAD / CUP zoning. A General Plan Amendment has been approved that will allow residential development, and a rezoning application is in process.

1.3 Existing & Proposed Zoning

The current zoning is Planned Employment Park (PEP) with a Planned Area Development (PAD) Overlay. This proposed PAD Amendment requests only one revision to the previous development standards:

1. Remove the specific building heights in the current PAD and use the Site Plan Approval process to confirm individual building heights in accordance with Table 11-7-3: Development Standards – Employment Districts that calls for a building height to be 'Plan Specific'.

All other elements of the current PEP - PAD remain as previously approved. Please refer to **Exhibit 3** that illustrates the Preliminary Development Site Plan. This Preliminary Development Site Plan has also been revised to incorporate review comments from the current applications for Site Plan Approval (ZON19-00201) and the Design Review Board review for Lot 5 (DRB18-00923).

1.4 General Plan Conformance

The City of Mesa's 2040 General Plan has designated this area as Mixed-Use Activity District (MUAD) primarily for employment and for mixed use commercial activity that extends from the existing commercial development on the east side of Crismon Road. The General plan also indicates that this project site is within the Growth Area of the Superstition Springs Freeway Corridor.

2. PAD AMENDMENT REQUEST

2.1 Building Heights. This PAD amendment requests that the specified buildings heights in the current PAD for each lot be removed and that the Building Heights be 'Plan Specific' in accordance with Table 11-7-3 of the Mesa Zoning Ordinance. The Development Standards will indicate Plan Specific for the building heights with the understanding that the Site Plan Approval application will establish the building heights for the Hotel, commercial and office uses. This PAD Amendment request is prompted by the Hotel on Lot 5 that includes architectural design elements in excess of the original 45' height limit. The Hotel on Lot 5 is part of the current DRB18-00923 application. The site plan submitted for this PAD Amendment, Site Plan Approval and the DRB are essentially the same as the original PAD. The attached site plan and site data have been updated to present 130 rooms and their required parking for 141 spaces. Except for two oversized parking stalls, the average landscape setback along the west property line is approximately 45'. A staggered row of non-deciduous trees will be installed along this west side to effectively screen the views of the Hotel from the future residential community. The 4 story Hotel is setback 124' from the west property line and 105' from the south property line. This requested height extension to 60' is not intended to increase the building structure above 4 floors, but only certain architectural elements. Line of site analyses oriented to the west indicates that this higher 60' feature will not be easily visible from future residential neighbors. The west edge of the roof at 45' height will cut-off any proximate views of the tower. This tower feature is situated near the center of the hotel structure and is setback over 240' from the west property line and 425' from the westbound traffic on US60. Please refer to the attached **Exhibits 4-7** that includes a Site Plan for the Hotel, Building Elevations, and Site Line Analysis illustrating this relationship with the adjacent properties. Final approval for the Hotel including the Building Height will be part of the Site Plan Approval application.

2.2 Land Use Summary. The following land use summary incorporates review comments from the Planning Division Memorandum dated December 13, 2018 and April 9, 2019 for both the Site Plan Approval and the Design Review Board for Lot 5 (DRB18-00923). This Summary illustrates the proposed uses and their site planning criteria for the Site Plan included here as **Exhibit 3**. As individual projects commit to develop, subsequent Site Plan Approval Applications will follow.

Lot No.	Land Use	Lot Area (Ac.)	Building SF	Pkg Req'd	Pkg Prov.	Coverage	FAR
1	Retail	1.1	6,500	18	32	12.4%	0.12
2	Restaurant - FF	1.3	4,000	41	41	7.1%	0.07
3	Restaurant - FF	0.8	2,400	27	27	6.0%	0.07
4	Restaurant - FF	1.0	3,900	40	40	9.4%	0.09
5	Hotel - 130 Units	3.4	69,311	141	145	13.3%	0.47
6	Office (1)	5.1		173	173	29.0%	0.29
	Prof. Office		16,233	44	44		
	Medical Office		30,146	151	150		
Totals		12.7	132,490	440	458	15.0%	0.24

The Hotel information for Lot 5 has been revised to reference 130 units as well as ancillary facilities requiring additional parking. The Professional and Medical Office on Lot 6 has been revised to incorporate 43 covered parking stalls. The final required count will be determined when the project is submitted for Design Review.

2.3 SITE DEVELOPMENT STANDARDS

Projects within Hampton Square shall be developed in accordance with the following standards for lot area, height, and setbacks:

Bulk Regulations:	*Current PAD*	*PAD Amendment*
Minimum Site Area:	.75 acre	.75 acre
Minimum Lot Width:	100 ft.	100 ft.
Minimum Lot Depth:	100 ft.	100 ft.
Maximum Building Height:		
Lots 1-4 Commercial Pads	30 ft.	Plan Specific
Lot 5 Hotel	45 ft.	Plan Specific
Lot 6 Office / Commercial	30 ft.	Plan Specific
Minimum Building Setbacks		
Crismon Road:	15 ft.	15 ft.
Hampton Avenue:	20 ft.	20 ft.
US 60:	15 ft.	15 ft.
West PAD Boundary	20 ft.	20 ft.
Minimum Landscape Setbacks:		
Crismon Road:	15 ft.	15 ft.
Hampton Avenue:	20 ft.	20 ft.
US 60:	15 ft.	15 ft.
West PAD Boundary	20 ft.	20 ft.
Site Coverage	13-16%	14-18%
Floor Area Ratio	.26 - .30	.26 - .30

2.4 Development Regulations

Any use established or conducted within this district shall comply with the Mesa's Zoning Ordinance, and as referenced by the following standards:

2.4.1 Screen walls shall conform to the standards as defined in Chapter 30-4, B. and C., and 11-7-3; C and E of the Mesa Zoning Ordinance.

2.4.2 Landscaping, walls and screening shall conform to the standards for this district as defined in Chapter 11-33-2, 11-33-3, A., B., and 11-33-4 of the Mesa Zoning Ordinance.

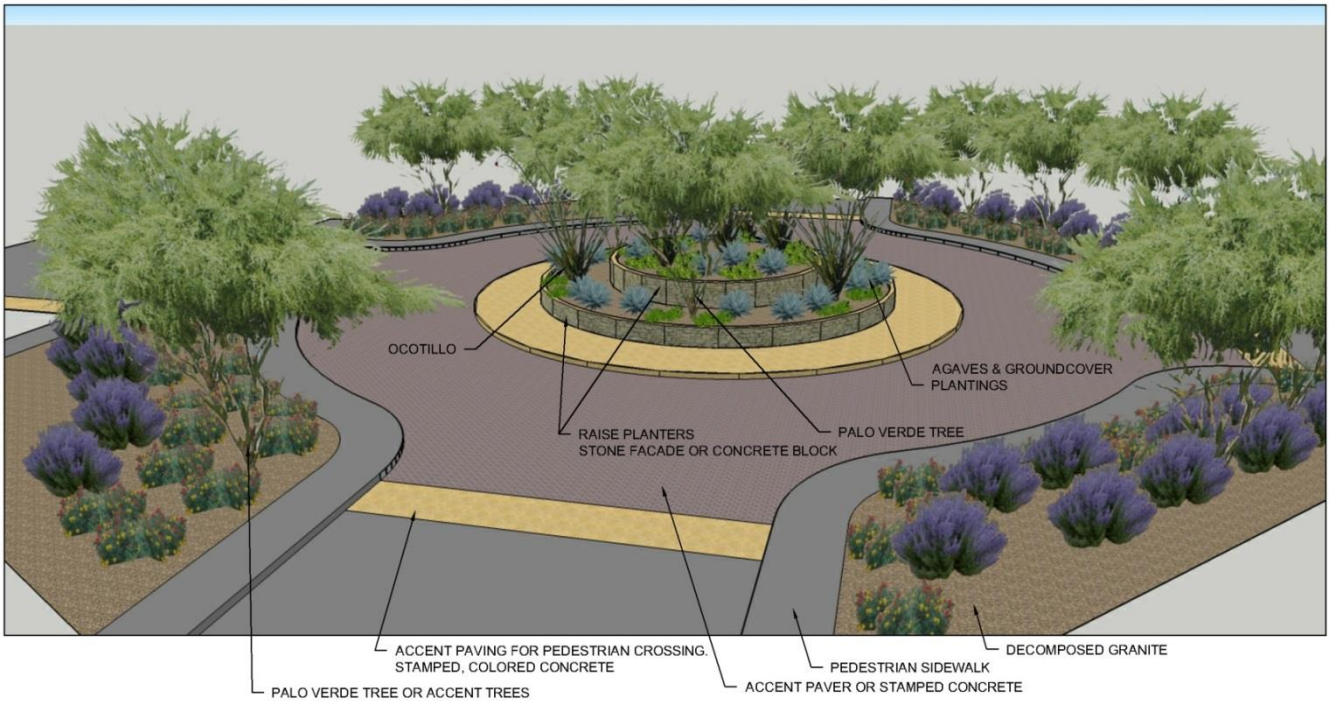
2.4.3 Signage shall be designed in accordance with Chapter 41; Signs of the Mesa Zoning Ordinance. A separate comprehensive sign plan will be processed and approved prior to completing the offsites for the first phase of development.

3. PROJECT LANDSCAPE

3.1 **Landscape Theme**: The selection of landscape materials prescribed for trees, shrubs, groundcovers and accents are selected from the Arizona Department of Water Resources low water use plant list for the Phoenix Active Management Area (Phoenix AMA). There are two primary entrances into the Project, off Crismon Road and off Hampton Avenue. These entrance drives will intersect at a roundabout that leads guests into the Hotel and provides an alternative entrance for the four commercial pad sites fronting onto Crismon Road. These drives will have adjacent sidewalks and street trees to accentuate the route and provide shade for the pedestrian users. The pavement around the roundabout and the crosswalks will have an accented paver section to distinguish the route and add character.

3.2 **Landscape Area**: The defined landscaped area shall include: landscape setbacks, parking lot landscaping, individual or shared retention basins, street frontage landscape, foundation planting areas, and all other areas of the Property not containing buildings, structures, or pavement.

3.3 **Landscape Design**: The size and quantities of plant material shall conform to the landscape standards in Chapter 33 of the Mesa Zoning Ordinance, except as modified herein. The street trees installed along the two main entrance drives shall be a minimum of 36” Box. The Street trees will be Evergreen Elms with background selections that could be Sonoran Palo Verdes and a flowering Desert Willow. Details of the landscape theme and layout with quantities and sizes of plant material will be reviewed at the Design Review Board session on May 14, 2019, and with Site Plan Approval. Those review comments may be reflected in the final construction documents for Phase 1. Site visibility shall be in accordance with the standards established by Chapter 30-14 of the zoning ordinance. Please refer to **Exhibit 8** that illustrates a concept for the Project Landscape.



1 TRAFFIC CIRCLE RENDERING

SCALE: NTS

2 CORNER MONUMENT SIGN RENDERING

SCALE: NTS

LANDSCAPE NOTES

1. CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
2. CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
3. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE LANDSCAPE DOCUMENTS. HE SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AGENT.
4. PRIOR TO INITIATING THESE LANDSCAPE IMPROVEMENTS, THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNER'S REPRESENTATIVE AND/OR THE PROJECT LANDSCAPE ARCHITECT MUST BE PRESENT. THE PURPOSE OF THIS MEETING IS TO RESOLVE ANY EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THESE LANDSCAPE CONSTRUCTION DOCUMENTS AND THEREFORE IMPACT THE INSTALLATION OF ANY OF THESE PROPOSED IMPROVEMENTS. THIS FIRST MEETING SHOULD BE SCHEDULED TO OCCUR AFTER THE COMPLETION OF ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING: ALL UNDERGROUND UTILITIES, MASS GRADING, AND STREET IMPROVEMENTS.
5. DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
6. ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
7. ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. HE SHALL DETERMINE, WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
9. ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S AGENT. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING(S) IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. FINISH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING MULCH OR DECOMPOSED GRANITE.
10. ALL AREAS DISTURBED DURING CONSTRUCTION TO BE FINE GRADED. ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, RAKED SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
12. PRIOR TO SPREADING MATERIAL GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES, APPLY WEED PRE-EMERGENT SURFLAN AS PER MANUFACTURER'S INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE, RIVER RUN, OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE WATERED, THEN COMPACTED WITH A SOD ROLLER TO A MINIMUM DEPTH OF 2" AFTER COMPACTION. PROVIDE A SECOND APPLICATION OF THE PRE-EMERGENT SURFLAN AT THE END OF THE MAINTENANCE PERIOD.
13. ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNER'S AGENT PRIOR TO DELIVERY.
14. STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
15. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT POT BOUND), A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN; AND THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
16. BACKFILL MIXTURES, EXCEPT AS NOTED, TO BE COMPRISED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH, AND 2 LBS. DISPERSAL PER CUBIC YARD OF BACKFILL.
17. ADD AGRI-FORM FERTILIZER TABLETS AT THE FOLLOWING RATES: 1 GALLON PLANT - 1 TABLET 15 GALLON PLANT - 4 TABLETS 5 GALLON PLANT - 2 TABLET BOXED TREE - 6 TABLETS (MIN.) TABLETS TO BE PLACED NO DEEPER THAN 6 INCHES BELOW SOIL SURFACE.
18. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER'S AGENT.
19. THE OWNER'S AGENT RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON; SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE.
20. PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S AGENT OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNER'S AGENT THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
21. PROVIDE OWNER WITH A WRITTEN GUARANTEE OF ONE YEAR FOR ALL TREES AND SIX (6) MONTHS FOR ALL OTHER PLANT MATERIAL DATED FROM START OF MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE WATERING SCHEDULE AND FERTILIZER PROGRAM.

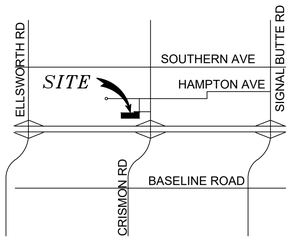
LANDSCAPE CALCULATIONS

LOT 5 CALCULATIONS	REQUIRED	PROVIDED
LANDSCAPE ADJACENT TO NORTH >		
552 LF DIVIDED BY 3 TREE, 20 SHRUBS PER 100 LF	17 TREES, 110 SHRUBS 9-24" BOX 8-15 GAL.	17 TREES, 108 SHRUBS 9-24" BOX 8-15 GAL.
LANDSCAPE ADJACENT TO EAST >		
208 LF DIVIDED BY 3 TREE, 20 SHRUBS PER 100 LF	7 TREES, 42 SHRUBS 4-24" BOX 3-15 GAL.	7 TREES, 30 SHRUBS 7-24" BOX 0-15 GAL.
LANDSCAPE ADJACENT TO SOUTH >		
552 LF DIVIDED BY 3 TREE, 20 SHRUBS PER 100 LF	17 TREES, 110 SHRUBS 9-24" BOX 8-15 GAL.	17 TREES, 134 SHRUBS 9-24" BOX 8-15 GAL.
LANDSCAPE ADJACENT TO WEST >		
255 LF DIVIDED BY 5 TREE, 20 SHRUBS PER 100 LF	13 TREES, 51 SHRUBS 7-24" BOX 6-15 GAL.	12 TREES, 60 SHRUBS 8-24" BOX 4-15 GAL.
LANDSCAPE PER PARKING SPACES>		
143 PARKING SPACES DIVIDED BY ONE TREE, 3 SHRUBS PER 8 SPACES	18 TREES, 54 SHRUBS 2-36" BOX 16-24" BOX	20 TREES, 70 SHRUBS 2-36" BOX 18-24" BOX
FOUNDATION LANDSCAPING FOR HOTEL (LOT 5) >		
STREET FRONTAGE WITH PUBLIC ENTRY 0 LF DIVIDED BY 1 TREE PER 50 LF	0 TREES	0 TREES
STREET FRONTAGE WITH OUT PUBLIC ENTRY 0 LF DIVIDED BY 1 TREE PER 50 LF	0 TREES	0 TREES
NON STREET FRONTAGE 766 LF DIVIDED BY 1 TREE PER 50 LF	15 TREES 2-36" BOX 13-24"BOX	20 TREES 2-36" BOX 18-24"BOX
REMAINDER OF OVERALL SITE		
STREET FRONTAGE LANDSCAPE (HAMPTON DRIVE)		
760 LF DIVIDED BY 1 TREE, 6 SHRUBS PER 25 LF 0 S.F. MULTIPLY BY 50% (GROUND COVER MIN.)	30 TREES, 182 SHRUBS 0 S.F. 8-36" BOX 15-24"BOX 7-15 GAL.	31 TREES, 272 SHRUBS 0 S.F. 8-36" BOX 16-24"BOX 7-15 GAL.
STREET FRONTAGE LANDSCAPE (CRISMON ROAD)		
570 LF DIVIDED BY 1 TREE, 6 SHRUBS PER 25 LF 0 S.F. MULTIPLY BY 50% (GROUND COVER MIN.)	23 TREES, 137 SHRUBS 0 S.F. 6-36" BOX 12-24"BOX 5-15 GAL.	23 TREES, 296 SHRUBS 0 S.F. 6-36" BOX 12-24"BOX 5-15 GAL.
LANDSCAPE ADJACENT TO WEST (LOT 6)>		
423 LF DIVIDED BY 5 TREE, 20 SHRUBS PER 100 LF	21 TREES, 85 SHRUBS 11-24" BOX 10-15 GAL.	21 TREES, 60 SHRUBS 11-24" BOX 10-15 GAL.
LANDSCAPE ADJACENT TO SOUTH (LOT 4) >		
260 LF DIVIDED BY 3 TREE, 20 SHRUBS PER 100 LF	8 TREES, 110 SHRUBS 4-24" BOX 4-15 GAL.	8 TREES, 150 SHRUBS 4-24" BOX 4-15 GAL.
TOTAL NUMBER OF 24" BOX	100 TREES	112 TREES
TOTAL NUMBER OF 36" BOX (OR LARGER) TREES	18 TREES	18 TREES
TOTAL NUMBER OF 5 GALLON SHRUBS	440 SHRUBS	590 SHRUBS

PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	CLPR/SIZE	MAT. SIZE (HXW)	QTY.	REMARKS
	TREES				
	ACACIA ANEURA MULGA	24" BOX 15 GAL.	15'X15'	27 12	STAKE AS REQUIRED
	PARKINSONIA HYBRID 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	24" BOX 36" BOX	20'X20'	74 17	STAKE AS REQUIRED STRAIGHT TRUNK UP TO 3' THEN BRANCHING
	PHOENIX DACTYLIFERA DATE PALM	25' CLEAR TRUNK	25' CLEAR TRUNK	23	-
	DALBERGIA SISSOO SISSOO TREE	24" BOX 36" BOX	20'X20'	22 2	STAKE AS REQUIRED
	OLNEYA TESTOSA IRONWOOD	48" BOX	20'X20'	1	STAKE AS REQUIRED
	PROSOPIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE	15 GAL. 24" BOX	25'X25'	35 24	STAKE AS REQUIRED
	SHRUBS				
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL.	6'X6'	29	1 GPH EMITTER
	CASSIA NEMOPHILA DESERT CASSIA	5 GAL.	4'X4'	137	1 GPH EMITTER
	JUSTICIA SPICIGERA MEXICAN HONEYSUCKLE	5 GAL.	2.5'X3'	9	1 GPH EMITTER
	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO'tm RIO BRAVO SAGE	5 GAL.	4'X4'	120	1 GPH EMITTER
	LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON'tm CIMARRON SAGE	5 GAL.	3'X3'	426	1 GPH EMITTER
	ACCENTS				
	AGAVE OVATIFOLIA WHALES TONGUE AGAVE	5 GAL.	3'X3'	33	.5 GPH EMITTER
	AGAVE GEMINIFLORA TWIN-FLOWERED AGAVE	5 GAL.	2.5'X2.5'	109	.5 GPH EMITTER
	DASYLIRION WHEELERI DESERT SPOON	5 GAL.	4'X5'	25	1 GPH EMITTER
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.	3'X4'	360	1 GPH EMITTER
	FOUQUIERIA SPLENDENS OCOTILLO	5 GAL.	3'X4'	9	1 GPH EMITTER
	HESPERALOE PARVIFLORA 'PERPA' BRAKELIGHTS BREAK LIGHTS HERSPERALOE	1 GAL.	1'X1'	67	1 GPH EMITTER
	GROUNDCOVER				
TURF	CYNODON DACTYLON 'MIDIRON' MIDIRON HYBRID BERMUDA	SOD	-	-	POP-UP SPRAY HEADS
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU	1 GAL.	1.5'X4'	374	1 GPH EMITTER
	LANTANA SPP. 'NEW GOLD' LANTANA	1 GAL.	2'X3'	294	1 GPH EMITTER
	CONCRETE HEADER	6" x 6" CURBSTYLE		-	SEE DETAIL
	DECOMPOSED GRANITE "COLOR"	1/2" SCREENED			2" DEPTH ALL LANDSCAPE AREAS
	WEATHERED GRANITE BOULDERS SURFACE SELECT	1/2 - 2 TON 1 TON AVG.		-	NATURAL DARK FINISH. SEE DETAIL

NOTES:
1) TREE HEIGHTS AND CALIPERS WILL COMPLY WITH "ARIZONA NURSERY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE AND SIZE OF TREE
2) LANDSCAPE TO BE WATERED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

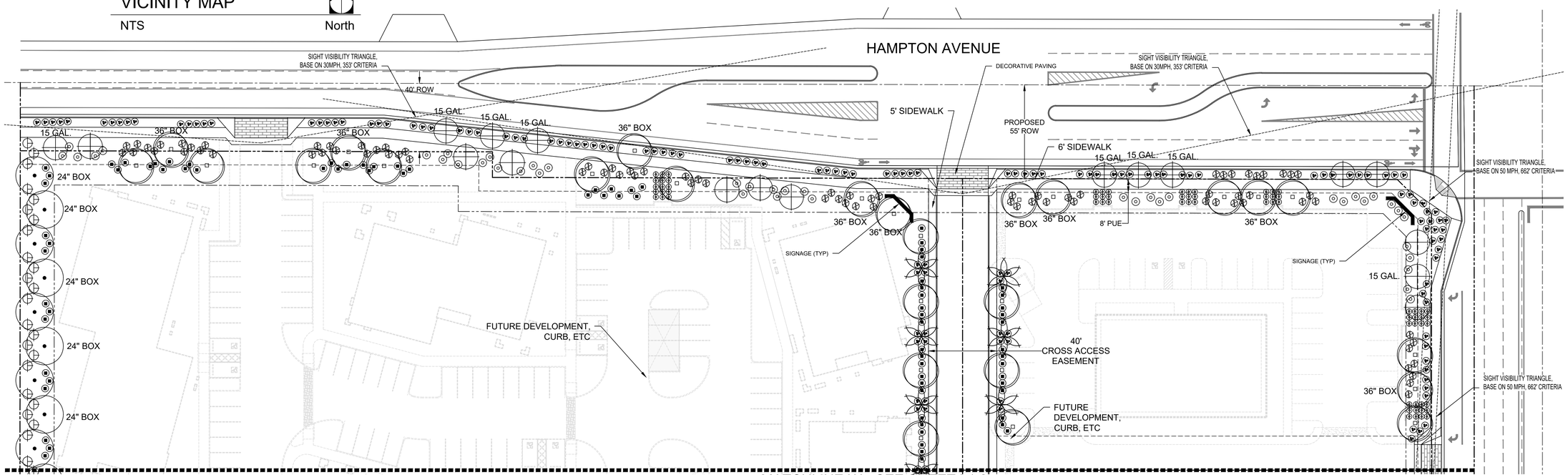


VICINITY MAP
NTS

North

PHASE 1
LANDSCAPE PLAN

0 30 60 90 120
SCALE: 1"=30'-0"



MATCHLINE 'A' - SEE SHEET L1.2

GILMORE
PLANNING & LANDSCAPE ARCHITECTURE

2211 N. 7th Street
Phoenix, Az 85006
T 602.266.5622
F 602.266.5707
www.getgilmore.com

PLANNING
LANDSCAPE ARCHITECTURE

HAMPTON INN & SUITES
NWC OF CRISMON ROAD & US 60
MESA, AZ
PREPARED FOR: VIRTUA CRISMON HOTEL, LLC

JOB NO.	18006
DRAWN BY.	TCB
APPROVED BY.	JJG
DATE.	4.17.19

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO. 13614
JOHN J. GILMORE
Date Signed 4-17-19
ARIZONA, U.S.A.

REVISIONS.
1.
2.
3.
4.

LANDSCAPE PLAN

SHEET
L1.1
1 OF 2

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PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	CLPR/SIZE	M
	TREES		
	ACACIA ANEURA MULGA	24" BOX 15 GAL.	
	PARKINSONIA HYBRID 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	24" BOX 36" BOX	
	PHOENIX DACTYLIFERA DATE PALM	25' CLEAR TRUNK	
	DALBERGIA SISSOO SISSOO TREE	24" BOX 36" BOX	
	OLNEYA TESTOSA IRONWOOD	48" BOX	
	PROSOPIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE	15 GAL. 24" BOX	
	SHRUBS		
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL.	
	CASSIA NEMOPHILA DESERT CASSIA	5 GAL.	
	JUSTICIA SPICIGERA MEXICAN HONEYSUCKLE	5 GAL.	
	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO'tm RIO BRAVO SAGE	5 GAL.	
	LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON'tm CIMARRON SAGE	5 GAL.	

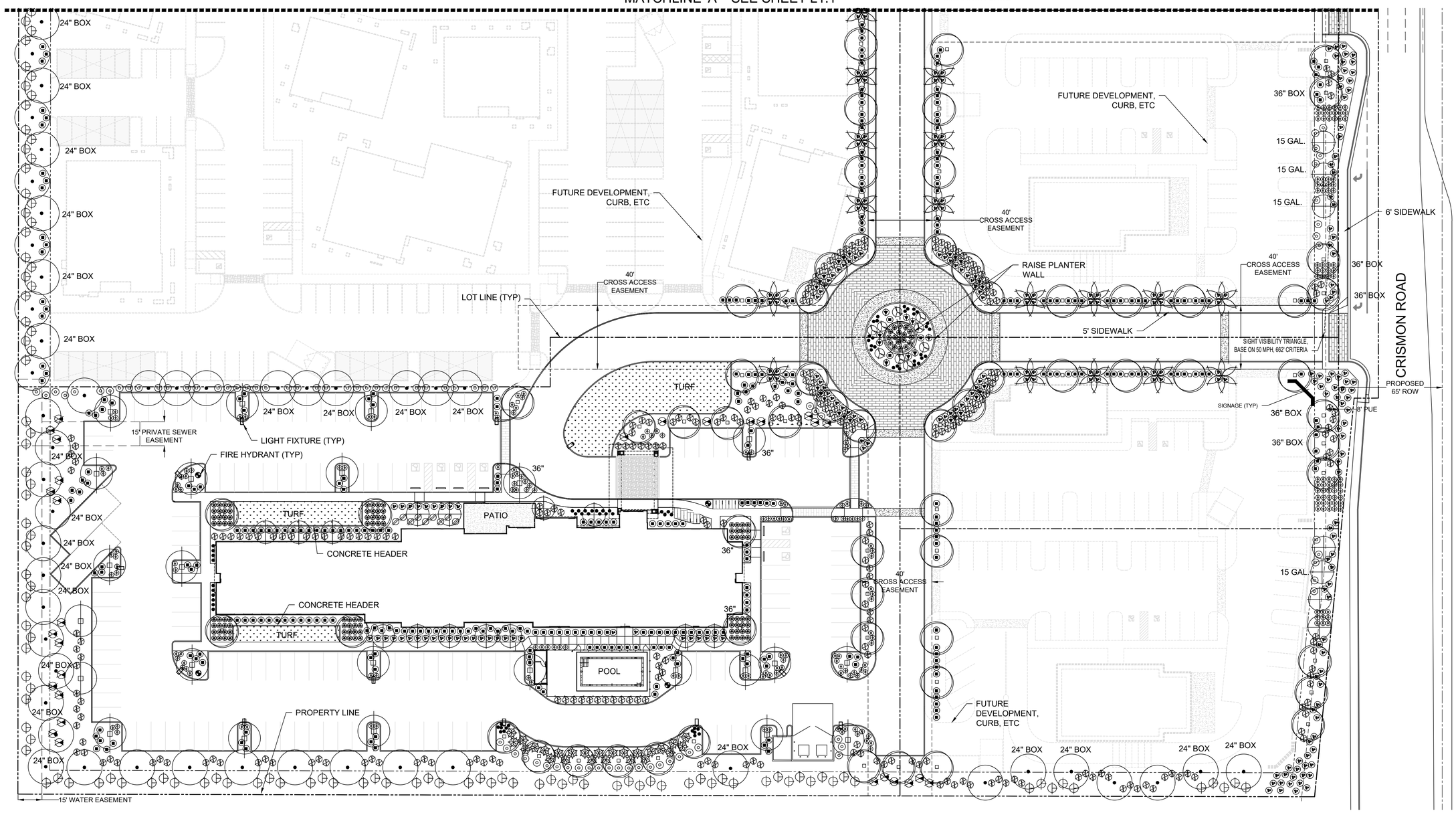
SYMBOL	BOTANICAL/COMMON NAME	CLPR/SIZE	M
	ACCENTS		
	AGAVE OVATIFOLIA WHALES TONGUE AGAVE	5 GAL.	
	AGAVE GEMINIFLORA TWIN-FLOWERED AGAVE	5 GAL.	
	DASYLIRION WHEELERI DESERT SPOON	5 GAL.	
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.	
	FOUQUIERIA SPLENDENS OCOTILLO	5 GAL.	
	HESPERALOE PARVIFLORA 'PERPA' BRAKELIGHTS BREAK LIGHTS HERSPERALOE	1 GAL.	
	GROUNDCOVER		
TURF	CYNODON DACTYLON 'MIDIRON' MIDIRON HYBRID BERMUDA	SOD	
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU	1 GAL.	
	LANTANA SPP. 'NEW GOLD' LANTANA	1 GAL.	
	CONCRETE HEADER	6" x 6" CURBSTYLE	
	DECOMPOSED GRANITE "COLOR"	1/2" SCREENED	
	WEATHERED GRANITE BOULDERS SURFACE SELECT	1/2 - 2 TON 1 TON AVG.	

PHASE 1
LANDSCAPE PLAN

0 30 60 90 120

SCALE: 1"=30'-0"

MATCHLINE 'A' - SEE SHEET L1.1



GILMORE
PLANNING & LANDSCAPE ARCHITECTURE

HAMPTON INN & SUITES
NWC OF CRISMON ROAD & US 60
MESA, AZ
PREPARED FOR: VIRTUA CRISMON HOTEL, LLC

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LANDSCAPE PLAN

SHEET
L1.2
2 OF 2

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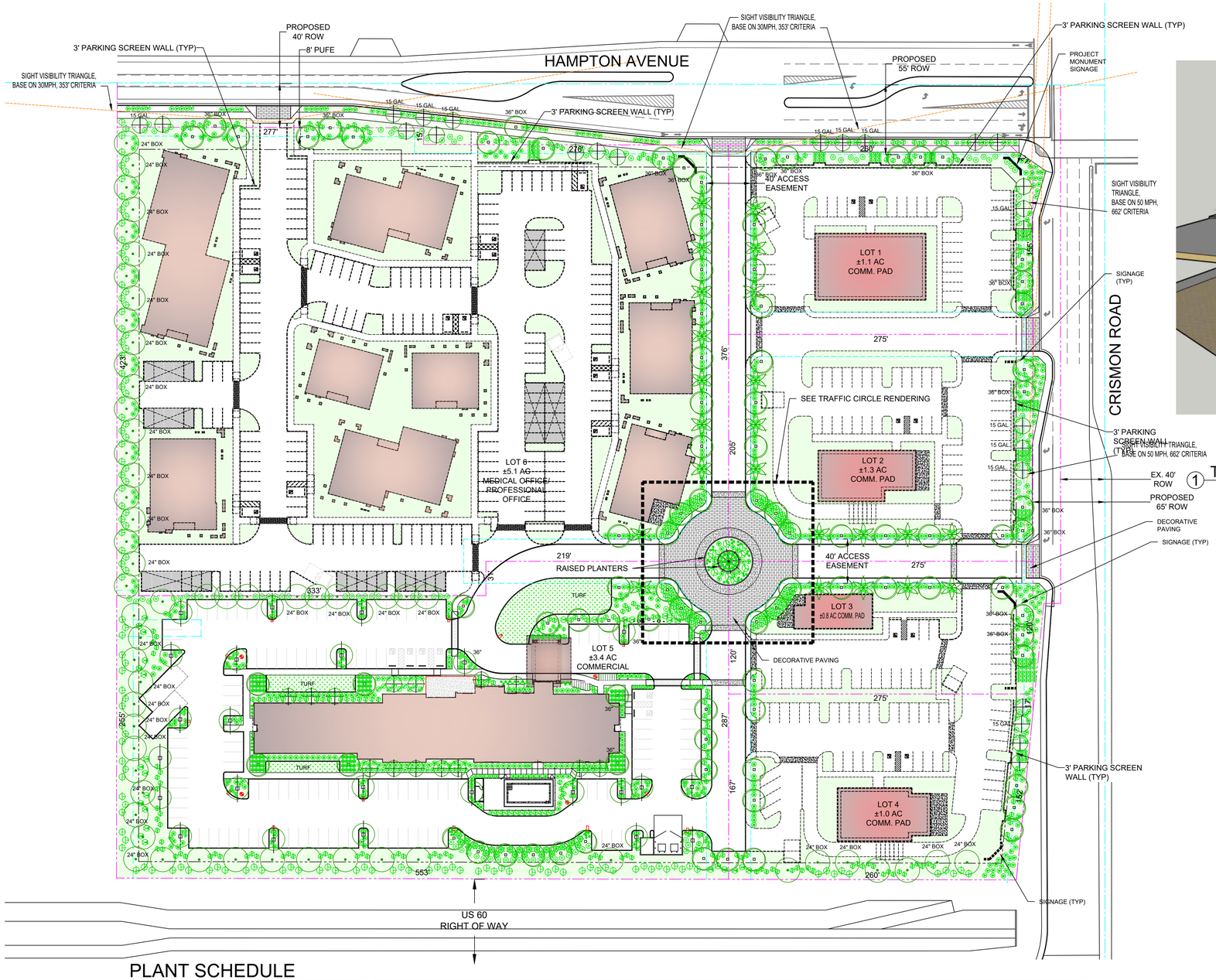
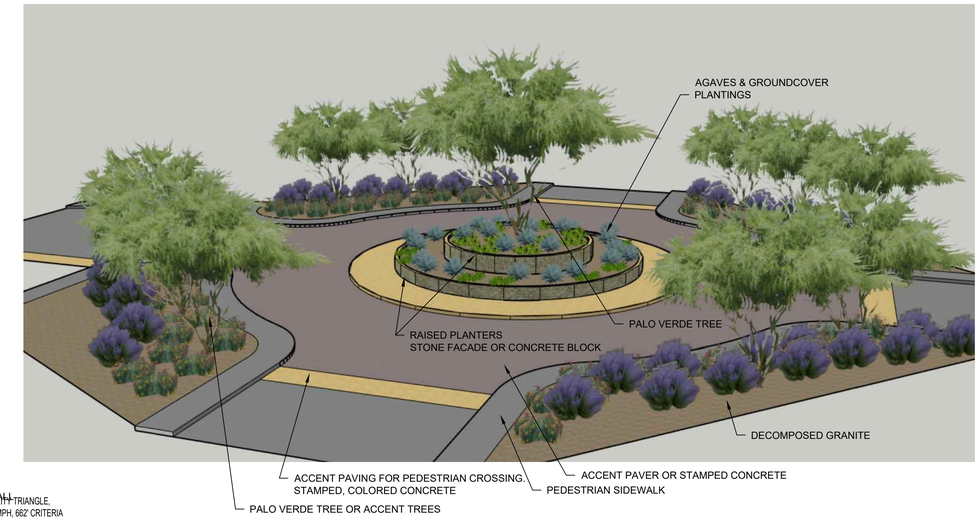
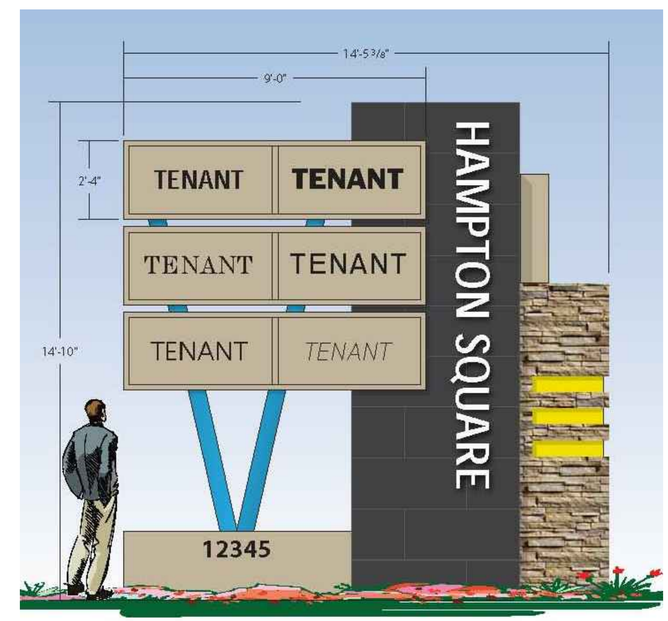




1 TRAFFIC CIRCLE RENDERING

SCALE: NTS



2 PROJECT MONUMENT SIGNAGE

SCALE: NTS

PLANT SCHEDULE

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	LANTANA SPP. 'NEW GOLD' LANTANA
	CONCRETE HEADER
	DECOMPOSED GRANITE "COLOR"
	WEATHERED GRANITE BOULDERS SURFACE SELECT

GENERAL NOTES

1. LANDSCAPING FOR EACH LOT WILL BE IN GENERAL CONFORMANCE TO THE MASTER LANDSCAPE PLAN. FINAL LANDSCAPE DESIGNS AND QUANTITIES WILL BE PART OF CONSTRUCTION DOCUMENTS SUBMITTED FOR CITY REVIEW AS EACH LOTS IS DEVELOPED.
2. ALL LANDSCAPE MATERIAL SIZES AND COUNTS ARE REQUIRED TO MEET THE MINIMUM REQUIREMENTS OF MZO SECTION 11-33.

HAMPTON SQUARE

MESA, AZ

PREPARED FOR: CRISMON BFC, LLC

MASTER LANDSCAPE PLAN

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SCALE: 1" = 50'
DATE: 4.17.19
GPLA JOB# 17055

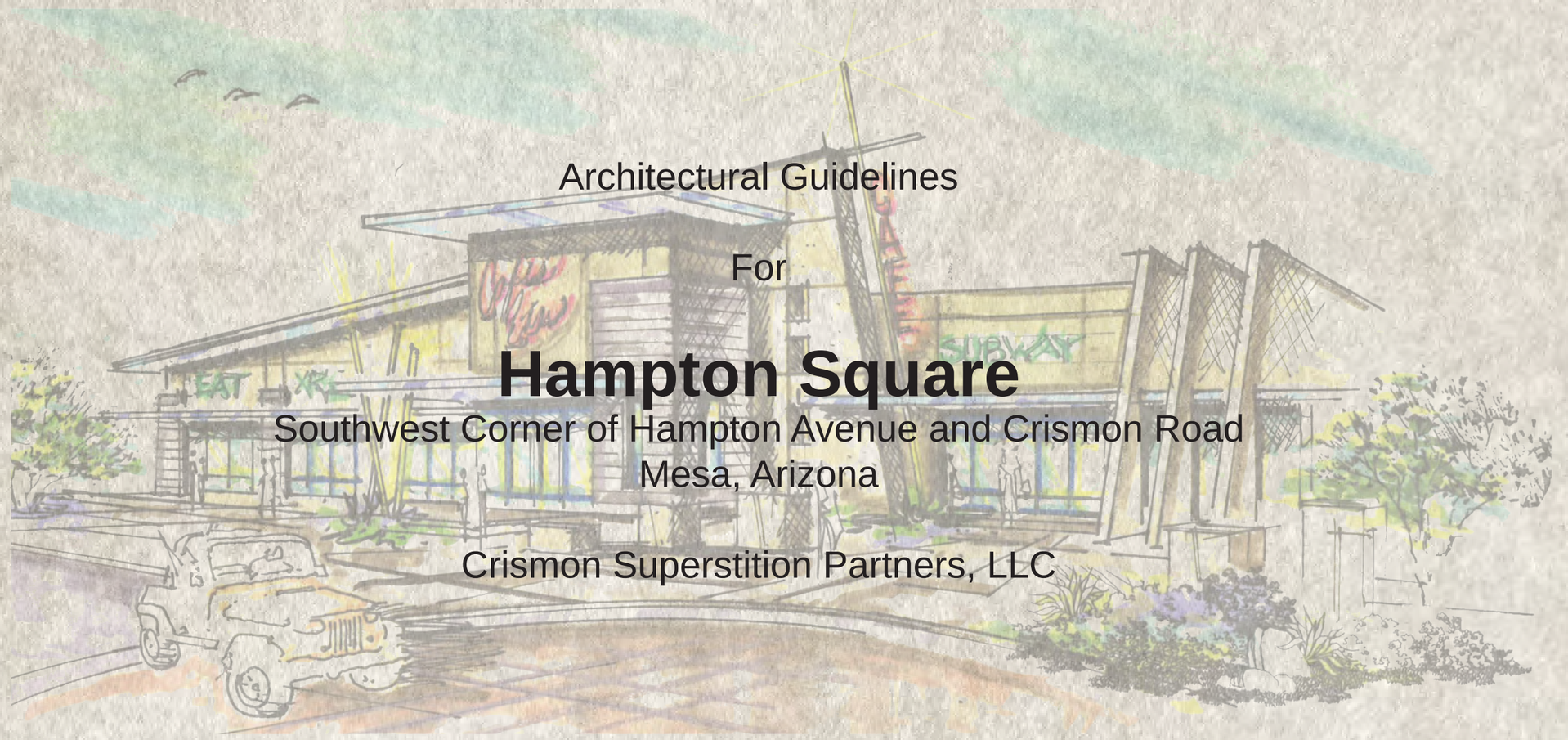
0' 25' 50' 100' 200'

NORTH

GILMORE
PLANNING & LANDSCAPE ARCHITECTURE
2211 N. 7th Street T 602.266.5622
Phoenix, Az 85006 www.getgilmore.com

EXHIBITS

1. Vicinity Map
2. Existing Surrounding Land Uses / Existing Zoning
3. Preliminary Development Site Plan
4. Hotel Site Plan – A1.0
5. Sight Lines – A1.0b
6. Exterior Elevations – A5.01
7. Exterior Elevations – A5.02
8. Conceptual Landscape Plan



Architectural Guidelines

For

Hampton Square

Southwest Corner of Hampton Avenue and Crismon Road
Mesa, Arizona

Crismon Superstition Partners, LLC

Prepared by Lamb Architects, LLC
4/17/2019

Sheet Index

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Design Guidelines General Requirements ..... *Page 2*
Typical Site Elements ..... *Page 3*
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Hotel character studies ..... *Page 11*
Site Plan ..... *Page 12*
Landscape Theme ..... *Page 13*
Master Plant Schedule ..... *Page 14*
Landscape Concept ..... *Page 15*

Note: The Architectural Guidelines outlined herewithin are for the project developers internal review only. Refer to City of Mesa Architectural Design Standards for additional information. All projects are subject to review by the City of Mesa Design Review Board.

LAMB ARCHITECTS

Architectural Design Guidelines

Objective:

The objective of the Hampton Square Architectural Review Committee is to assist property owners and tenants in developing, preserving and improving their commercial property in a manner that is beneficial to and compatible with all property owners within the development.
The goal of the Committee is:

- To promote architectural and site design treatments which enhance the visual appearance of commercial development within Hampton Square.
- To ensure compatibility and appropriate visual and physical screening of parking and service areas in association with respective uses.
- To maintain and enhance the attractiveness of the streetscape bordering the development.
- To create and maintain a strong community image and identity by providing for architectural and landscaping treatments that enhance the visual impact and contribution of commercial development within Hampton Square.
- To require articulation that reduces the mass, scale and/or potentially uniform, monolithic appearance of proposed buildings, and ensure that projects incorporate architectural and landscaping features that provide visual interest while allowing design flexibility.

Architectural design standards are applicable to new development as well as modifications to or remodels of previously approved designs.

General Requirements:

Architectural Consistency within the development -

Primary Facades shall be architecturally compatible and consistent in character within the development. Corporate prototype designs will be evaluated on a case by case basis.

Architectural Consistency in Multi-Tenant Buildings -

Secondary Facades on the same building shall not be permitted.

Alternatives to Windows and Entrances-

In lieu of actual windows or entrances, designs may incorporate niches and alcoves with significant architectural delineation and definition to avoid expansive monotonous building facades.

Corporate Colors –

The use of corporate colors that enhance brand identity is permitted provided that such colors are not patterned so as to compete for visual attention. The use of corporate colors shall be compatible with development standards.

Building exterior surfaces may not incorporate electric, fluorescent or neon color schemes. Buildings are limited to a maximum of three colors. One additional color may be incorporated for trim and cornice features. The three-color scheme may be repeated when a visually-distinctive break or separation of architectural plane is provided. Unpainted natural stone, “cultured” stone or roofing material is exempt from these restrictions.

Prototype Designs and Architectural Theming-

Corporate prototype designs are permitted but must be compatible and conform to Hampton Square development standards. Corporate prototype designs will be evaluated on a case by case basis.

Design Guidelines General Requirements

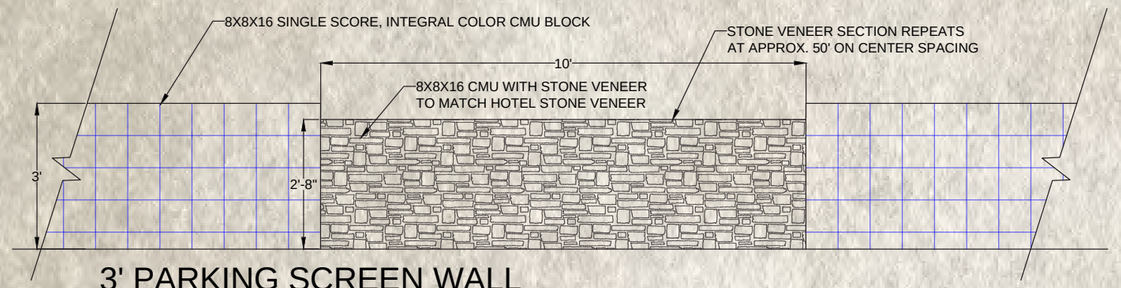
1. **Pedestrian Areas (Z10-024)**

- Pedestrian circulation will be encouraged from one end of the property to the other along the central street as well as side-walks along the public rights-of-way. End users of individual parcels should design their buildings to connect easily to these common areas to facilitate pedestrian connections and activity.
- The primary pedestrian gathering area is planned to create a pleasant and inviting pedestrian environment. Users of parcels adjoining this area are expected to design their buildings to interact with this area for mutual benefit.
- Where pedestrian pathways meet and cross vehicle pathways, decorative and / or textured pavements will be used. Barrier posts, bollards, screen walls, or large potted plants are to be used to provide safety to pedestrians from vehicular traffic.

2. **Architectural Design Standards (Z10-024)**

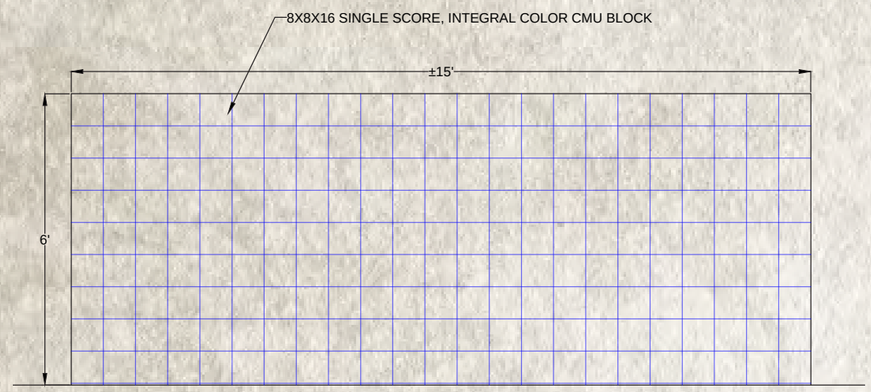
- In keeping with the design theme of the property, architectural forms shall be visually interesting, with a mixture of creative modern structures utilizing the colors, materials, and finishes provided in the examples in these guidelines. Building details should reflect a contemporary order of architecture. Expansive building masses should be avoided, and entries should be recessed and defined with special architectural features. The building should be integrated with the site and landscape, designed with the pedestrian environment in mind. Elevations should include architectural elements that complement the building aesthetics and should use such features as overhangs, awnings, pop-outs, trellises, and arbors for shade above entrances and walkways signage should be integrated into the overall design of the building wherever possible.

Typical Site Elements



3' PARKING SCREEN WALL

NTS



6' TRASH ENCLOSURE WALL

NTS

GENERAL NOTES

1. ALL STREET IMPROVEMENTS FINAL DESIGN AND CONSTRUCTION TO BE PER ALL CITY OF MESA ENGINEERING & DESIGN STANDARDS, SUBDIVISION REGULATIONS, AND MESA STANDARD DETAILS AND SPECIFICATIONS.
2. THE SOLID WASTE FINAL DESIGN, INSTALLATION, CONSTRUCTION, LOCATION, NUMBER, ACCESS ROUTE AND COLLECTION VEHICLE TURNING RADIUS SHALL COMPLY WITH CITY OF MESA STANDARD DETAIL M-62.01 THROUGH M-62.07
3. THE FIRST PHASE WILL BE REQUIRED TO INSTALL ALL PERIMETER IMPROVEMENTS FOR THE OVERALL SITE, INCLUDING ALONG CRISMON ROAD AND HAMPTON AVENUE.

Retail character studies

Retail signange to be unique and integrated as a contemporary architectural element.

Use of complimentary materials including pre-cast concrete, masonry, stone and porcelain tile, scored EIFS, wood look, and metal accents all expressed vertically and horizontally is desired.

Varying types of awnings at entrances with transparent windows of different shapes and sizes are required.

Drive throughs should be fully covered.

Stand alone single pad retail/restaurant should have distinctive tower features at entries.

Built in architectural lighting at awnings, canopies, and facades are an integral component to project theme.

Each elevation requires a 3 color palette.

Retail character studies

Discouraged
Unarticulated rear elevations, ‘4-sided’ architecture required.

Facades with monochromatic color & materials.

Multi-tenant buildings

Encouraged
Modern, contemporary shapes.

Variable recessed facades- pedestrian in scale and circulation. Vertical, horizontal, and angled building rooflines, towers with canopies add visual interest and shade/shadow, articulation.

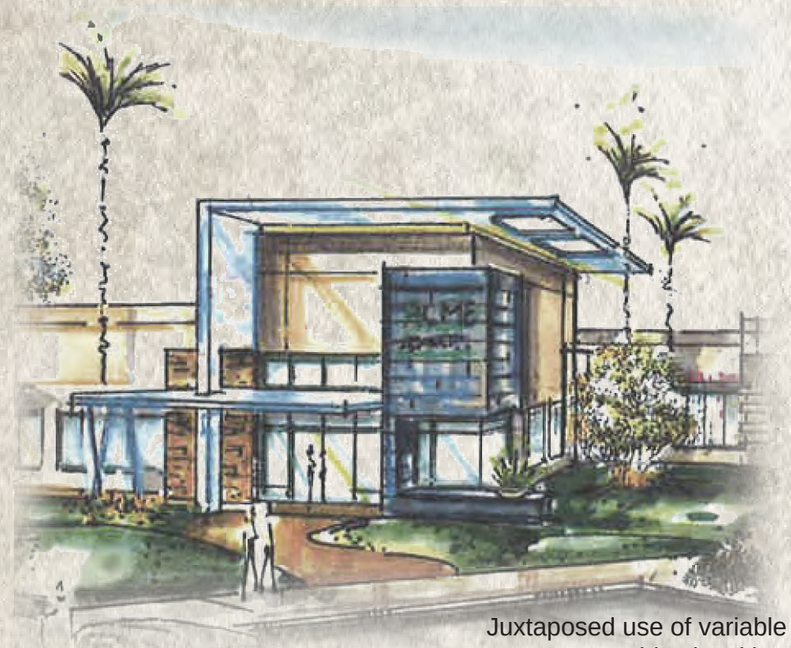
Office character studies

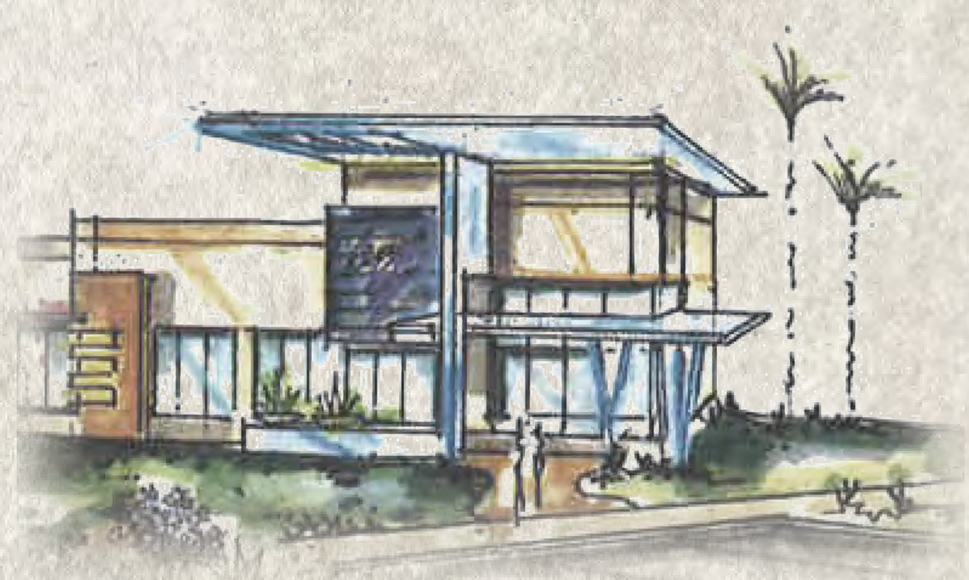
Discouraged
Unarticulated, flat ‘box like’ buildings with repetitive window blocks & homogeneous storefront glazing.

Long, monotonous building elevations with no material variations.

Encouraged
Building entrances should be shaded providing sun and rain protection.

Design style and detailing themes are continued from the primary building elevations to the secondary building elevations.





Juxtaposed use of variable materials including metal, tile, stone, and masonry provide visual interest and tie the building facades together.

Every main entrance is required to have special emphasis when compared to other portions of the building.

Office character studies

2-3 story volumes with unique glass treatments.

Horizontal metal canopies at tower elements anchor the buildings in a campus like site design.

Public entrances are identified by building forms and shade.

Office character studies

Building massing avoids ‘box like’ forms and is broken down through the use of projecting wall planes and varied roof heights.

Elements that artistically capture shadow and light add visual interest and enhance the pedestrian experience include: punched openings, recessed openings, projecting elements, wall offsets, and textural changes.

Shade elements such as arcades and canopies are integral elements.

Shade structures and landscaping that casts shadows on walkways and walls are encouraged.

Hotel character studies

Discouraged
Single plane, homogeneous wall treatments that are void of interest, shade opportunities and shadow effects.

Discouraged
Long monotonous roofline expanses

Encouraged
Building layering: layers and various vertical and horizontal planes providing shade, shadow, and visual interest.

Variable parapet heights.

Building massing avoids ‘big box’ forms and is broken down with the use of projecting wall planes and varied roof heights.

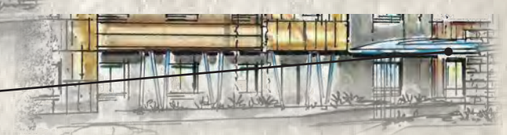
Metal perforated awnings over windows provide shade.

Hotel character studies

Offsets in building components can be enhanced through a change of materials.

Horizontal and angled tower elements with metal canopies and integrated architectural lighting features (dark sky compliant) provide visual interest from street and freeway.

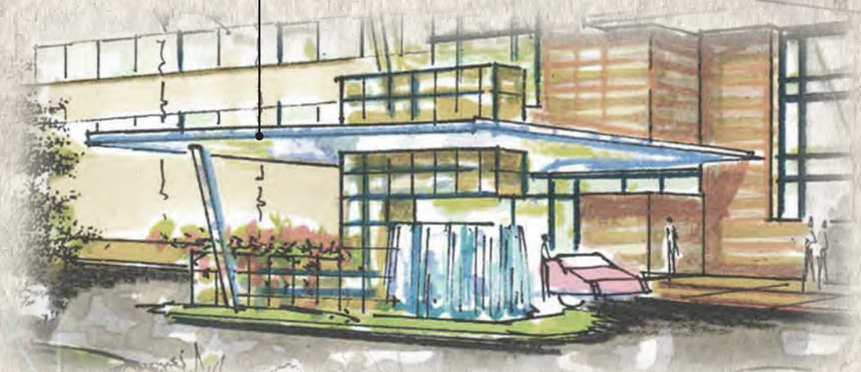
Lighting that is an integral component of the architectural theme of the project is desired.



Overhangs provide pedestrian shade and detail at base of building.
Inset windows provide shade and shadows.

Hotel character studies

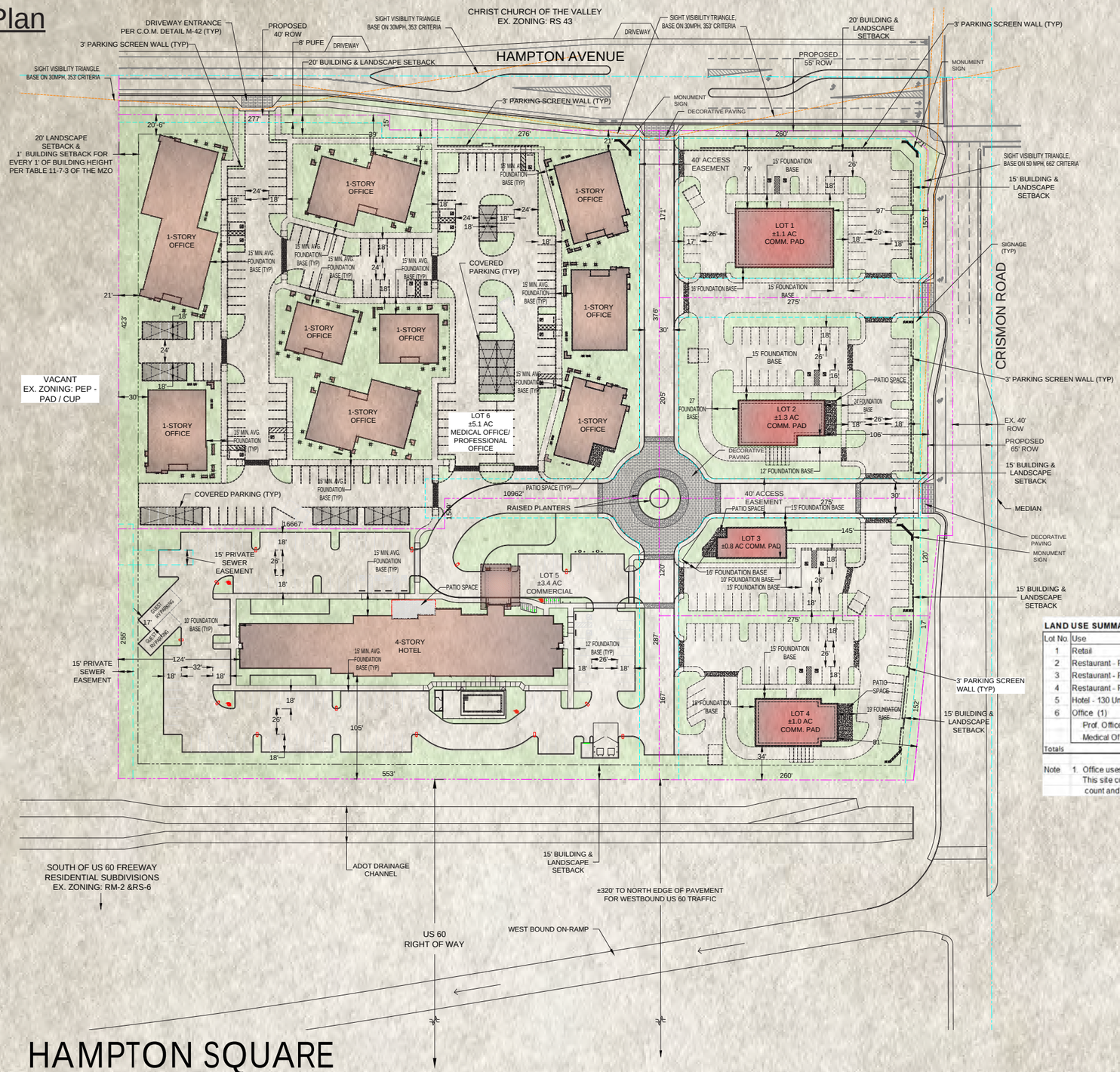
Fully covered porte cochere at 2 story lobby entry is required. Integrated into landscape/feature walls, and or water features is desired.

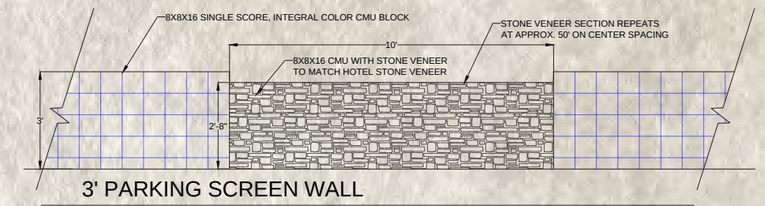


Weak relationship to site design is discouraged.

Hotel main entrance should be emphasized with more glass and visual interest.

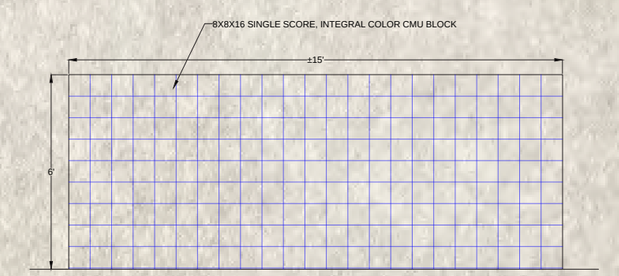
Site Plan





3' PARKING SCREEN WALL

SCALE:1/2"=1'



6' TRASH ENCLOSURE WALL

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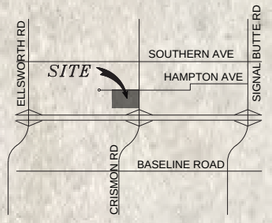
LAND USE SUMMARY

Lot No.	Use	Lot Area (Ac.)	Building SF	Pkg Req'd	Pkg Prov.	Coverage	FAR
1	Retail	1.1	6,500	18	32	12.4%	0.12
2	Restaurant - FF	1.3	4,000	41	41	7.1%	0.07
3	Restaurant - FF	0.8	2,400	27	27	6.0%	0.07
4	Restaurant - FF	1.0	3,900	40	40	9.4%	0.09
5	Hotel - 130 Units	3.4	69,311	141	143	13.3%	0.47
6	Office (1)	5.1		173	173	29.0%	0.29
	Prof. Office		16,233	44	44		
	Medical Office		30,146	151	150		
Totals		12.7	132,490	440	456	15.0%	0.24

Note 1. Office uses require 1 coverd parking space per office or suite plus 1 add'l space. This site conceptual plan for Lot 6 indicates 43 covered spaces. Final required count and placement will be resolved with Design Review Approval for Lot 6.

Dimension Requirements and Bulk Regulations		
Bulk Regulations:	*Current PAD*	*PAD Amendment*
Minimum Site Area:	.75 acre	.75 acre
Minimum Lot Width:	100 ft.	100 ft.
Minimum Lot Depth:	100 ft.	100 ft.
Maximum Building Height:		
Lots 1-4 Commercial Pads	30 ft.	30 ft.
Lot 5 Hotel	45 ft.	60 ft.
Lot 6 Office / Commercial	30 ft.	30 ft.
Minimum Building Setbacks		
Crismon Road:	15 ft.	15 ft.
Hampton Avenue:	20 ft.	20 ft.
US 60:	15 ft.	15 ft.
West PAD Boundary	20 ft.	20 ft.
Minimum Landscape Setbacks:		
Crismon Road:	15 ft.	15 ft.
Hampton Avenue:	20 ft.	20 ft.
US 60:	15 ft.	15 ft.
West PAD Boundary	20 ft.	20 ft.
Site Coverage	13-16%	14-18%
Floor Area Ratio	.26 - .30	.26 - .30



VICINITY MAP

NTS

North

HAMPTON SQUARE

MESA, AZ

PREPARED FOR: CRISMON BFC, LLC

DEVELOPMENT SITE PLAN

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SCALE: 1" = 50'
DATE: 4.17.19
GPLA JOB# 17055

0' 25' 50' 100' 200'

NORTH

GILMORE
PLANNING & LANDSCAPE ARCHITECTURE
2211 N. 7th Street
Phoenix, Az 85006
T. 602.266.5622
www.getgilmore.com

Landscape Theme

A Conceptual Master Landscape Theme is designed for both the project's perimeter streetscape and typical conditions for the common area open spaces. Proposed landscape standards for the project will equal or exceed the size and quantities of plant material referenced in the Mesa Zoning Ordinance. Details of the proposed landscape theme with layout, quantities, and sizes of plant material will be submitted for review and approval for each development when submitted for Site Plan Approval. The landscape plans and details in the PAD are conceptual only and may be modified as approved by the City. The goals for the project landscape include the following:

- Create an attractive low water landscape that presents a lush and distinctive landscape, enhancing the perimeter streetscape with the interior development parcels.
- Allow for the spacing and concentration of required quantities to create view corridors into the Property and at strategic locations based on the location's architectural features.
- Design hardscape features and site furniture that can blend with the proposed architecture in a meaningful and complementary manner.
- Design common area open spaces that enhance the entrance experience, yet extend that theme throughout the Project.
- Design the project landscape within the common area open spaces to make the pedestrian network highly visible and convenient with shade.
- Plant material selected for color, texture, scale, and seasonal flowering placed in a thematic pattern can reinforce the landscape theme throughout the project.

Streetscapes

The 'streetscape' for this PAD and the Property begins with the frontage along Crismon Road and Hampton Avenue. A project identity sign/monument will be constructed at this intersection that will begin to establish sense of place for users and guests when traversing the Crismon Avenue frontage. The building material and colors will complement the project architecture for material selection and color. This monument will serve as a project identity feature and potentially list the other users within the Property. A new landscape will compliment this entry monument to frame its line of sight. The two entrances off Crismon Road and Hampton Avenue will also be improved with new signage and a thematic landscape that will use Date Palms as the primary street tree leading to a roundabout that will include a specimen 60" Box tree or a Public Art element. These entrance drives will provide the primary access leading users, employees, and guests into the various projects and interior access drives. The Date Palms and street trees spaced on-center will accentuate the route and provide shade for the pedestrian users. Landscaped areas along street frontages shall be contoured or berms placed to provide variations in grade, visual relief, parking lot screening, and a more pleasing aesthetic value.

In order to present a streetscape that is generally consistent in appearance throughout the development, plant material shall be selected from the Master Plant Schedule in quantities that may exceed the City's standard for quantity and size. Landscaped areas along street frontages shall be contoured or will incorporate berms to provide variations in grade, visual relief, and to screen parking areas. All on-site parking areas shall be screened from street view by a landscaped berm or decorative wall not less than three (3) feet in height. Individual development projects will use the Master Landscape Theme as the basis for design, but are encouraged to enhance solutions to highlight a unique development theme.

The size and quantities of plant material shall meet and exceed the landscape standards in Chapter 33 of the Mesa Zoning Ordinance and the Engineering Design Standards for public streets with minimum heights and caliper as recommended by the Arizona Nurseryman's Association (ANA). The Perimeter Street trees may be Evergreen Elms with background selections that could be Sonoran Palo Verdes and/or Desert Willow. The secondary street trees installed along the two main entrance drives shall be a minimum of 24" Box. Details of the landscape theme and layout with quantities and sizes of plant material will be resolved with Site Plan Approval. Site visibility shall be in accordance with the standards established by Chapter 30-14 of the zoning ordinance.

Master Plant Schedule

Trees:

1. Desert Willow/ Chilopsis Linearis (species)
2. Palo Verde/ Parkinsonia (species)
3. Ironwood/ Olneya Tesota
4. Thornless Mesquite/ Prosopis (species)
5. Texas Mountain Laurel/ Sophora Secundiflora
6. Acacia – Willow, Sweet-Podless, Mulga, Palo Blanco/ Acacia (species)
7. Swan Hill Olive/ Olea europaea "Swan Hill"
8. Date Palm/ Phoenix (species)
9. Texas Ebony/ Ebenopsis ebano
10. Evergreen Elms/ Ulmus (species)
11. Pistachio/ Pistacia (species)
12. Heritage Oak/ Quercus virginiana

Shrubs:

13. Desert Milkweed/ Asclepias Subulata
14. Fairy Duster/ Calliandra (species)
15. Cassia/ Cassia species
16. Little Leaf Cordia/ Cordia Parvifolia
17. Black Dalea/ Dalea Frutescens
18. Brittlebush/ Encelia Farinosa
19. Turpentine Bush/ Ericameria Lacricifolia 'Aguirre'
20. Desert Honeysuckle/ Anisacanthus Thurberi
21. Chuparosa/ Justicia californica
22. Mexican Honeysuckle/ Justicia Spicigera
23. Arabian Jasmine/ Jasminum sambac
24. Texas Sage/ Leucophyllum (species)
25. Penstemon/ Penstemon (species)
26. Plumbago/ Plumbago Species
27. Jojoba/ Simmondsia Chinensis
28. Globemallow/ Sphaeralcea (species)
29. Goldeneye/ Viguieria Parishii
30. Hopseed Bush/ Dodonaea Viscosa
31. Eremophila/ Eremophila (species)
32. Candelilla/ Euphorbia Antisyphilitca
33. White Gaura/ Gaura Lindheimeri
34. Hybiscus/ Gossypium (species)
35. Desert Lavender/ Hyptis Emoryi
36. Ruellia/ Ruellia (species)
37. Sage/ Salvia (species)
38. Tecoma/ Tecoma (species)

Accents

39. Agave/ Agave (species)
40. Saguaro/ Carnegia Gigantea
41. Desert Spoon/ Dasylirion Wheeleri
42. Hedgehog Cactus/ Enchinocereus Engelmannii
43. Barrell Cactus/ Ferocactus (species)
44. Ocotillo/ Fouqieria Splendens
45. Yucca/ Hesperaloe (species)
46. Muhlenbergia/ Muhlenbergia (species)
47. Nolina/ Nolina (species)
48. Night Blooming/ Cereus Peniocereus Greggii
49. Aloe/ Aloe (species)
50. Cereus/ Cereus (species)
51. Golden Barrell Cactus/ Enchinocactus Grusonii
52. Gopher Plant/ Euphorbia Rigida
53. Totum Pole Cactus/ Lophcereus (species)
54. Slipper Plant/ Pedilanthus Marcarpus

Vines

55. Purple Orchid Vine/ Mascangnia Lilacania
56. Trumpet Vine/ Podranea (species)
57. Creeper Vine/ Parthenocissus (species)
58. Fig Vine/ Ficus (species)
59. Bougainvilla/ Bougainvilla (species)

Groundcover

60. Desert Marigold/ Bailea Multiradiata
61. Blackfoot Daisy/ Melampodium Leucanthum
62. Sierra Gold/ Dalea Capitata
63. Trailing Indigo Bush/ Dalea Greggii
64. Desert Carpet Acacia/ Acacia Redolens (species)
65. Damianta/ Chrysactinia Mexicana
66. Dwarf Ruellia/ Ruellia Brittoniana 'Katie'
67. Natal Plum/ Carissa Grandiflora (species)
68. Trailing Rosemary/ Rosmarinus (species)
69. Bermuda Grass/ Cynodon (species)
70. Lantana/ Lantana (species)

FINISH SCHEDULE

P1	PAINTED EIFS - SHERWIN WILLIAMS - SW 2848, ROYCROFT PEWTER
P2	PAINTED EIFS - SHERWIN WILLIAMS - SW 7074, SOFTWARE
P3	PAINTED EIFS - SHERWIN WILLIAMS - SW 6073, PERFECT GREIGE
P4	PAINTED EIFS - SHERWIN WILLIAMS - SW 6071, POPULAR GRAY
STN	SIMULATED STONE VENEER - CORONADO STONE STYLE: 6" SPLIT LIMESTONE, COLOR: GENOA SANDS
WP	WOOD PANELS - STONEWOOD PHENOLIC RESIN PANELS STYLE: STONEWOOD SELECT, TEXTURE: SHADWELL OAK 9573-DA

NOTES:
1. ALL WINDOWS FRAMES, LOUVERS, STOREFRONTS TO BE CLEAR ANODIZED ALUMINUM
2. EXTERIOR WALL MOUNTED LIGHT FIXTURES TO BE BLACK.

FRONT ELEVATION
3/32"=1'-0"

RIGHT SIDE ELEVATION
3/32"=1'-0"

LEFT SIDE ELEVATION
3/32"=1'-0"

REAR ELEVATION
3/32"=1'-0"

PRELIMINARY
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

LAMB ARCHITECTS
7114 E. STETSON DRIVE, SUITE 350
SCOTTSDALE, ARIZONA 85251
P: (480) 994-3242 F: (480) 994-9105

A NEW
Hampton Inn & Suites
7456 S. CRIMSON ROAD, MESA AZ
FOR
VIRTUA CRISMON HOTEL, LLC

PRELIMINARY ELEVATIONS

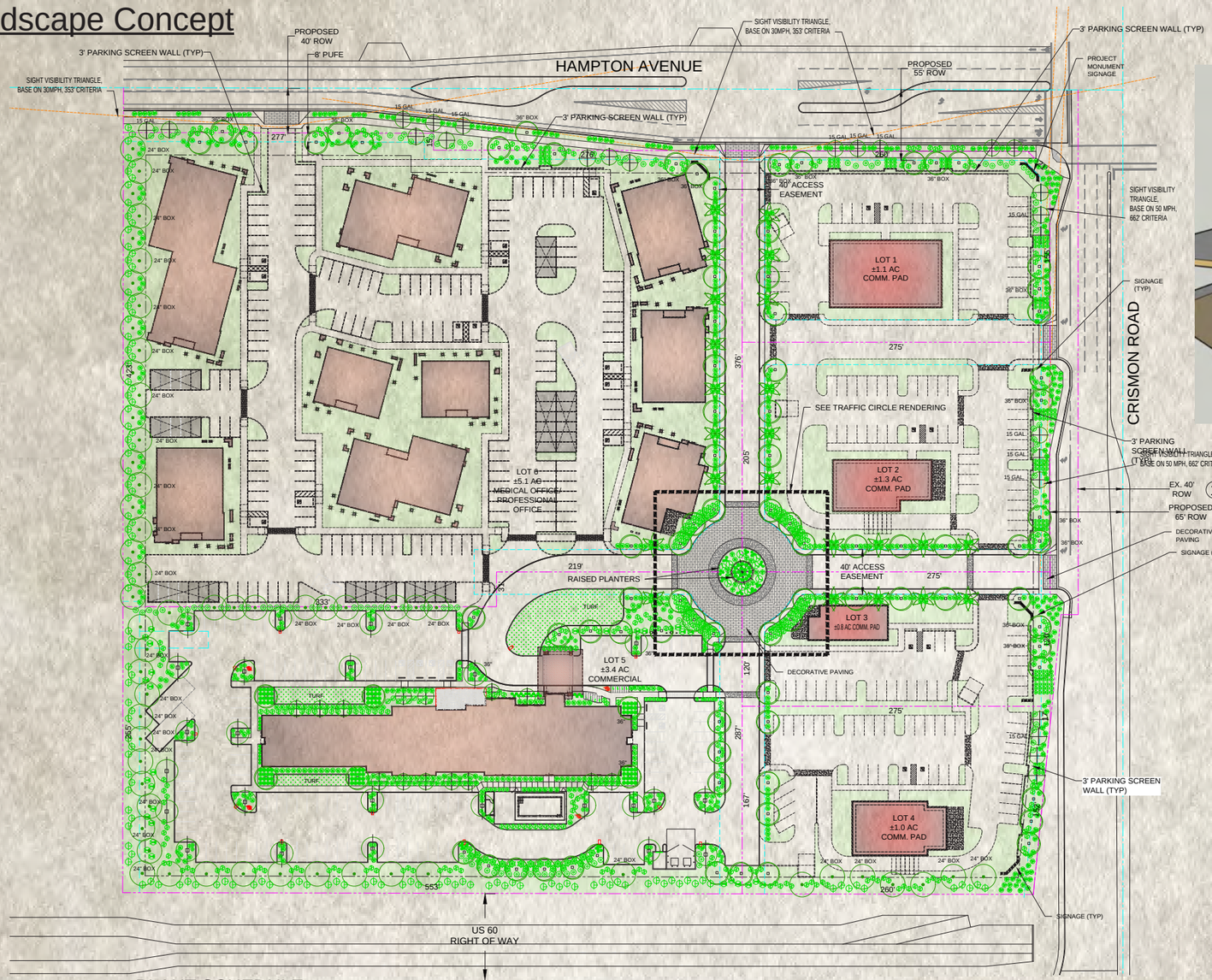
REV:	DATE:	COMMENTS:
1	4/17/19	PLANNING COMMENTS

PROJECT NO: 6041
DATE: 10-27-18
DRAWN BY:
CHECKED BY:

SHEET No.
A5.01

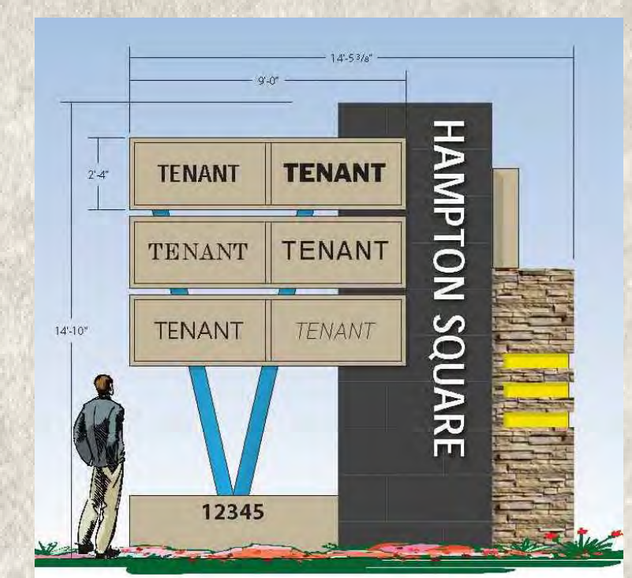
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF LAMB ARCHITECTS, L.L.C. ALL DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR THE USE OF THE APPOINTED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT EXPRESSED WRITTEN PERMISSION OF LAMB ARCHITECTS, L.L.C. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE DRAWINGS BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION OF LAMB ARCHITECTS, L.L.C.

Landscape Concept



① TRAFFIC CIRCLE RENDERING

SCALE: NTS



② PROJECT MONUMENT SIGNAGE

SCALE: NTS

PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME
	TREES
	ACACIA ANEURA MULGA
	PARKINSONIA HYBRID 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE
	PHOENIX DACTYLIFERA DATE PALM
	DALBERGIA SISSOO SISSOO TREE
	OLNEYA TESTOSA IRONWOOD
	PROSOPIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE

SYMBOL	BOTANICAL/COMMON NAME
	SHRUBS
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE
	CASSIA NEMOPHILA DESERT CASSIA
	JUSTICIA SPICIGERA MEXICAN HONEYSUCKLE
	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO'tm RIO BRAVO SAGE
	LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON'tm CIMARRON SAGE

SYMBOL	BOTANICAL/COMMON NAME
	ACCENTS
	AGAVE OVATIFOLIA WHALES TONGUE AGAVE
	AGAVE GEMINIFLORA TWIN-FLOWERED AGAVE
	DASYLIRION WHEELERI DESERT SPOON
	HESPERALOE PARVIFLORA RED YUCCA
	FOUQUIERIA SPLENDENS OCOTILLO
	HESPERALOE PARVIFLORA 'PERPA' BRAKELIGHTS BREAK LIGHTS HERSPERALOE

SYMBOL	BOTANICAL/COMMON NAME
	GROUNDCOVER
TURF	CYNODON DACTYLON 'MIDIRON' MIDIRON HYBRID BERMUDA
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU
	LANTANA SPP. 'NEW GOLD' LANTANA
	CONCRETE HEADER
	DECOMPOSED GRANITE "COLOR"
	WEATHERED GRANITE BOULDERS SURFACE SELECT

GENERAL NOTES

1. LANDSCAPING FOR EACH LOT WILL BE IN GENERAL CONFORMANCE TO THE MASTER LANDSCAPE PLAN. FINAL LANDSCAPE DESIGNS AND QUANTITIES WILL BE PART OF CONSTRUCTION DOCUMENTS SUBMITTED FOR CITY REVIEW AS EACH LOTS IS DEVELOPED.
2. ALL LANDSCAPE MATERIAL SIZES AND COUNTS ARE REQUIRED TO MEET THE MINIMUM REQUIREMENTS OF MZO SECTION 11-33.

HAMPTON SQUARE

MESA, AZ

PREPARED FOR: CRISMON BFC, LLC

MASTER LANDSCAPE PLAN

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SCALE: 1" = 50'
DATE: 4.17.19
GPLA JOB# 17055

0' 25' 50' 100' 200'

NORTH

GILMORE
PLANNING & LANDSCAPE ARCHITECTURE
2211 N. 7th Street T. 602.266.5622
Phoenix, Az 85006 www.getgilmore.com

CITIZEN PARTICIPATION PLAN

In support of a

REZONING APPLICATION

for

QUYP at CRISMON & US 60

On approximately 13 acres, located at the

Northwest Corner of

Crismon Road & US 60

Mesa, Arizona

Submitted April 26, 2019

Submitted By

Gilmore Planning & Landscape Architecture, Inc.
2211 N. Seventh Street
Phoenix, AZ 85006
602-266-5622

PURPOSE OF THE CITIZENS PARTICIPATION

On behalf of Virtua Mesa Crismon Owner LLC, property owner (Owner), Gilmore Planning & Landscape Architecture (Applicant) presents this Citizen Participation Plan (CPP) in conjunction with an application to amend a Planned Area Development (PAD) on approximately 13 acres (the Property) located at the northwest corner of Crismon Road and US 60 in Mesa, Arizona. The Property is currently zoned Planned Employment Park (PEP) with a PAD overlay. This application retains the PEP zoning, and seeks to amend the PAD Overlay to increase the building height from 45' to 60'. This application also includes a joint request for Site Plan Approval.

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, and other registered groups in the vicinity of the Property of a rezoning application. The current PAD for Hampton Square was approved on August 27, 2018, Case No. ZON18-00149. This PAD Amendment seeks only to increase the building height for one architectural feature near the center of the Hotel structure. All other elements of the PAD and site plan remain as approved. This CPP is intended to notify the surrounding property owners and encourage them to participate in the process by providing opportunities to learn about, comment, and share their concerns.

Applicant for the Owner:
Jack Gilmore
Gilmore Planning & Landscape Architecture
2211 N. Seventh Street
Phoenix, Arizona 85006
(602) 266-5622; (602) 266-5707 (FAX)
e-mail: jgilmore@getgilmore.com

Pre-application Meeting: The pre-application meeting with City of Mesa planning staff was held on March 6, 2019. In addition to the Staff review comments for the PAD Amendment application, Staff reviewed previous Site Plan review comments. Staff also reviewed the notification requirements for area residents and nearby registered neighborhoods. Because the land use remains a commercial oriented project with similar mixed uses, and there is no existing single family residential north of the US 60 adjacent to or within ½ mile of the property, a neighborhood meeting will not be scheduled: however; notification letters will be sent with encouragement to call and send e-mails with questions.

Action Plan: In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts of the development that members of the community may have including:

1. A contact list will be developed for citizens and agencies in this area including:
   - All property owners within 1,000' of the Property. A surrounding ownership map with corresponding mailing labels have also been prepared and attached with this report. It is understood that the City will issue the letters of notification with related exhibits seeking public comment for consideration prior to any public hearings. Public comments and questions may be directed to the applicant, Jack Gilmore, or to the designated Staff Planner for the City of Mesa, Lisa Davis. Contacts will be recorded and notes prepared for consideration and inclusion within the Citizen Participation Final Report.
   - All registered neighborhood associations within one mile of the project.
2. Of particular interest is the relationship with Christ's Church of the Valley on the north side of Hampton Avenue. Since previous application, Hampton East has been constructed, but it is not readily evident if those units are being sold or rented. Team members will contact CCV representatives, Hampton East, and the Bella Encanta developers to the West to seek their input on this PAD Amendment.
3. All persons listed on the contact list will receive a letter describing the project, site plan, and an invitation to call or contact our office to answer any questions regarding the proposed project. As the Applicant, GPLA will prepare a record of calls and correspondence from the surrounding property owners, neighbors and any of the registered interest groups. This record will be included with the Citizen Participation Report.
4. Depending on the character of responses to the letters of notification, the decision to schedule a neighborhood meeting/open house will be determined in consultation with Mesa's Planning Department prior to preparing and submitting the Citizens Participation Report.
5. Presentations will be made to groups of citizens or neighborhood associations upon request. All materials such as sign-in lists, comments, and petitions received will be copied to the City of Mesa.

Communication and Feedback with the Neighbors: With the distribution of the initial Notification Letter, neighbors, registered groups, and any other interested groups or individuals will be encouraged to call, e-mail, or schedule an appointment to meet with the Applicant, Jack Gilmore. Our experience has taught us that open communication that responds quickly to these types of inquiries can be very effective in resolving issues and well as exposing legitimate site planning issues that warrant further consideration within the application. Recording these inquiries and responses is an effective check and balance when these same respondents appear at the public

hearings. This first letter will typically include notification that the Property will be posted with signs indicating the dates for the Public Hearings.

Communication with the Mesa Planning Staff: As the Applicant, our office will record all incoming correspondence including: telephone calls (dates, names, and issues), e-mails, and letters received from neighbors and interested groups. Copies will be scanned and forwarded to Lisa Davis, the Staff Planner assigned as the City's liaison for this PAD Amendment.

Schedule to Complete the Citizen Participation Plan

	Date
1.) Pre-Application Meeting:	March 6, 2019
2.) File PAD Amendment Application:	March 25, 2019
3.) First Review comments provided:	April 9, 2019
4.) Citizen Participation Plan submitted	April 18, 2019
5.) Initial Notification Letters mailed:	April 22, 2019
6.) Follow-up Submittal Deadline:	April 29, 2019
7.) Submit Citizen Participation Report:	May 8, 2019
8.) Planning and Zoning Board Hearing:	June 12, 2019
9.) City Council Introduction:	July 8, 2019
10.) City Council Hearing to Approve	August 19, 2019

OVERVIEW

On behalf of Virtua Mesa Crismon Owner LLC, the property owner (Owner), Gilmore Planning & Landscape Architecture (Applicant) presents this Citizen Participation Report (CPR) in conjunction with an application to amend the previously approved Planned Area Development (PAD) and request Site Plan Approval on approximately 13 acres (the Property) located at the northwest corner of Crismon Road and US 60 in Mesa, Arizona. The Property is currently zoned Planned Employment Park (PEP) with a PAD overlay. This application retains the PEP zoning, and seeks to amend the PAD Overlay to reference building heights as "Plan Specific" in accordance with the PEP Zoning District, with the understanding that the Site Plan Approval process with establish the final building heights. This application also includes a joint request for Site Plan Approval. All other elements of the approved PAD (ZON18-00149) remain as approved.

This report reviews our effort to inform citizens, property owners, neighborhood associations, and other registered groups in the vicinity of the Property of this PAD Amendment and request for Site Plan Approval.

Applicant for the Owner:
Jack Gilmore
Gilmore Planning & Landscape Architecture
2211 N. Seventh Street
Phoenix, Arizona 85006
(602) 266-5622; (602) 266-5707 (FAX)
e-mail: jgilmore@getgilmore.com

Designated Staff Planner for the City of Mesa
Lisa Davis
City of Mesa Planning Dept.
55 N. Center St., First Floor
Mesa, AZ 85201
(480) 644-3594
e-mail: Lisa.Davis@MesaAZ.gov

Action Plan:

In order to provide effective citizen participation in conjunction with this application, the following actions have been taken to provide opportunities to understand and address any real or perceived impacts of the development that members of the community may have including:

1. Separate contact lists were developed for citizens within 500' and 1,000' of the Subject Property. Copies have been included with this submittal along with an area map illustrating the ownership within both the 500' perimeter and the 1,000' perimeter boundaries.
2. The area north of Hampton Avenue is zoned RS-43, which is single family on one acre lots. This is typically a holding zone that is amended when a developer commits to a different land use requiring a rezoning action. The Christ's Church of the Valley is a religious institution which is an allowable land use within residential districts. Northwest of the Property is Hampton East with 142 detached rental units on 18.6 acres. The closest residing resident north of US 60 is located along the north side of Southern Avenue west of Crismon Road in Crismon Manor, a single family subdivision that is approximately 1,435' north of the Subject Property. Immediately south of US 60 is all residential development including Crismon Creek Village (RM-2), Augusta Casitas (RM-2), and Sierra Ranch (RS-6). The Augusta Casitas are aligned directly south with the closest unit at approximately 670' on the west side and 690' on the east side. This extensive residential area is separated by US 60 and the interchange with Crismon Road. We don't believe this project will have any impact on any of these existing residential properties. For these reasons, and similar to our previous rezoning ZON18-00149, Staff agreed that a Neighborhood Meeting would not be required.

Communication and Feedback with the Neighbors:

1. Hud Hassel is the Owner of Bela Flora, a development company that is the current property owner of the 24 acres that comprises the balance of the original PAD Project area, for Sole'. There have been numerous communications between Mr. Hassel and my client, as well as with Reese Anderson, zoning attorney for Mr. Hassel. Our office forwarded copies of the current site plan and Hotel elevations to Mr. Anderson requesting comments and any questions regarding this PAD Amendment. To date, Mr. Hassel has been in full support of Hampton Square and sees this project as providing commercial support for the residential project, Bella Encanta, that he is proposing on the adjacent 24 acres.
2. Of particular interest is the relationship with Christ's Church of the Valley which is located immediately north of Hampton Avenue. Team members did contact CCV representatives to seek their input on these intended uses. Jerry Patton is the designated construction liaison for the CCV's campus properties. Jerry's primary concern was the location of our access points off Hampton Avenue not conflicting with their current circulation. The current site plan has not changed the access and/or circulation along Hampton Avenue. Based on the prior

uses identified in the approved PAD, Jerry indicated that he could not see any conflicts with our proposed project.

3. There has been no other communication with any other area property owners. The notification letters prepared by our office will be issued later this week by City Staff. All persons listed on the contact list will receive a letter describing the project, site plan, and an invitation to call or contact our office to answer any questions regarding the proposed project. That letter also references the Planning and Zoning Board Hearing on June 12th and invites them to attend. As the Applicant, GPLA will prepare a record of any calls and correspondence from the surrounding property owners, neighbors and any of the registered interest groups. This record will be shared with Lisa Davis as soon as the communication occurs.

Schedule to Complete the Citizen Participation Plan

	Date
1.) Pre-Application Meeting:	March 6, 2019
2.) File PAD Amendment Application:	March 25, 2019
3.) First Review comments provided:	April 9, 2019
4.) Post App Staff Meeting to review comments:	April 15, 2019
5.) Citizen Participation Plan submitted	April 18, 2019
6.) Second Submittal Deadline:	April 29, 2019
7.) Initial Notification Letters submitted:	April 29, 2019
8.) Second Review Comments provided:	May 8, 2019
9.) Third Submittal Deadline:	May 13, 2019
10.) Property Posted:	May 27, 2019
11.) Sealed Letters delivered:	May 22, 2019
12.) Submit Citizen Participation Report:	May 29, 2019
13.) Planning and Zoning Board Hearing:	June 12, 2019
14.) City Council Introduction:	July 1, 2019 (target date)
15.) City Council Hearing to Approve	July 15, 2019 (target date)