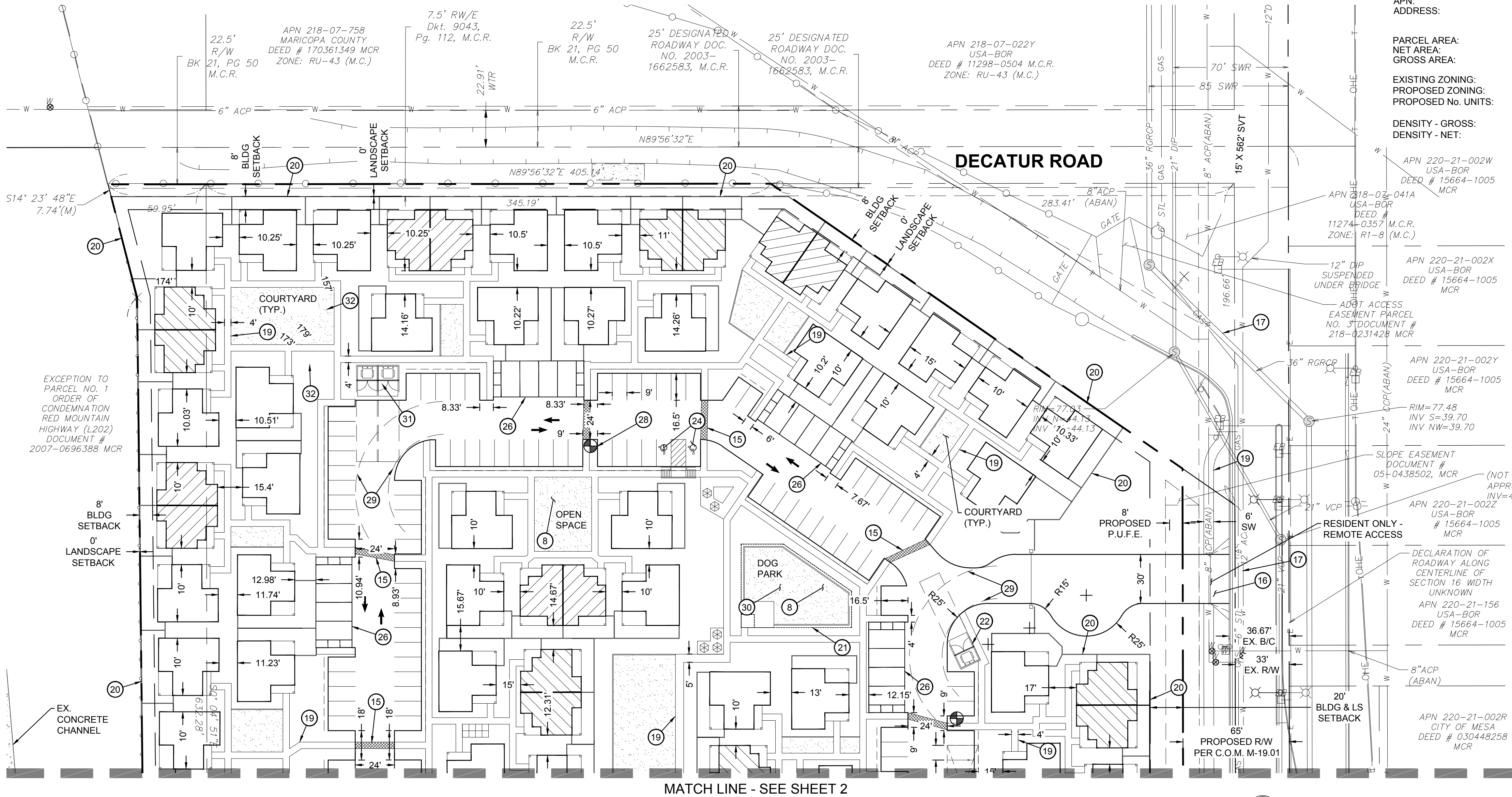


SITE PLAN FOR:
VITA COMMUNITIES - 202 & UNIVERSITY
526 NORTH ELLSWORTH ROAD
CITY OF MESA, 85207, ARIZONA

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 7 EAST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



LEGEND & ABBREVIATIONS

BLDG	BUILDING	ROW	RIGHT-OF-WAY
ESMT	EASEMENT	B/C	BACK OF CURB
EX	EXISTING	OS	OPEN SPACE
F/C	FACE OF CURB	TYP	TYPICAL
LS	LANDSCAPE	SW	SETBACK
PUFE	PUBLIC UTILITY	BS	BUILDING
PROP	PROPOSED	EOP	EDGE OF PAVEMENT
BOUNDARY			
EX PROPERTY LINE			
CENTERLINE			
SETBACK			
EASEMENT			
FENCE			
ACCESSIBLE ROUTE			
STREET LIGHT			
PROPOSED FIRE HYDRANT			
SIDEWALK RAMP			
MAINTENANCE GARAGE			
UNITS WITH FIRE SPRINKLERS TO EXCEED 150' FIRE HOSE LAY			

KEY NOTES

- PROJECT MONUMENT SIGN
- LEASING OFFICE
- MAILBOXES
- POOL
- SPA
- POOL EQUIPMENT ROOM
- BBQ GRILL
- TURF AREA
- SHADE SAIL
- PEDESTRIAN/PET FOUNTAIN
- VISITOR CALL BOX IN LANDSCAPE ISLAND
- SIGN DIRECTORY BOARD
- VEHICLE ACCESS GATE WITH AUTOMATIC GATE OPTICAL SENSOR PER FIRE PREVENTION DETAIL 503.6 AND 506.1
- PEDESTRIAN ENTRANCE GATE
- ENHANCED PAVEMENT / CROSSWALK
- DRIVEWAY PER CITY OF MESA STD DTL M-42
- SIGHT VISIBILITY TRIANGLE PER CITY OF MESA ENGINEERING & DESIGN STANDARDS, SECTION 211
- RESIDENCE CLUBHOUSE
- SIDEWALK, WIDTH AS NOTED
- 6' HIGH BLOCK WALL
- 6' HIGH VIEW FENCE
- TRASH ENCLOSURE PER CITY OF MESA STD DTL M-62.02.1. 12' WIDE WITH 50' CLEARANCE AT 30° ANGLE.
- LAWN GAMES
- ACCESSIBLE PARKING STALL
- PARKING CANOPY
- PARKING GARAGE
- REAR YARD GATE
- FIRE HYDRANT
- FIRE DEPT. TURNING RADII (55' OUTER RADII, 35' INNER RADII)
- DOG PARK
- TRASH & RECYCLING (DOUBLE-WIDE BIN) ENCLOSURE PER CITY OF MESA STD DTL M-62.02.1. 24' WIDE WITH 50' CLEARANCE.
- FIRE HOSE LAY

NOTES

- TURNING RADII ARE 35'/55' MIN. SEE C.O.M. FIRE DETAIL 503.3.
- RED PAINTED CURBS INDICATING FIRE ACCESS LANE RESTRICTIONS WILL BE REQUIRED IN AREAS WHERE THERE ARE NO DESIGNATED PARKING SPACES. SEE C.O.M. FIRE CODE 503.7.
- DIMENSIONS PROVIDED ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

SOLID WASTE

135 UNITS X 0.5 CY/UNIT = 67 CY TOTAL / WEEK
WEEKLY HAUL X 2 = 33.5 CY STORAGE
33.5 CY / 6 CY / BIN = 5.6 BINS.
TOTAL BINS REQUIRED = 6 BINS.

ANNEXATION

EXISTING PARCELS TO BE ANNEXED INTO CITY OF MESA

BUILDING AREA CALCULATIONS

BUILDING TYPE	NO.	AREA (SF)	TOTAL (SF)	TYP. PRVT. OS (SF)
ALL SINGLE STORY	23 (46 DU)	1,536	70,656	330
1-BED DUPLEX (34%)	23 (46 DU)	1,536	70,656	330
2 BED (66%)	89	1,062	94,518	445
SUB-TOTAL	135 DU		165,174 SF	

GARAGE	10	1,217	12,170
LEASING OFFICE	1	848	848
CLUBHOUSE	1	1,656	1,656
GRAND TOTAL			179,848 SF

PARKING

REQUIRED	PROVIDED
2.1 SPACES x DWELLING UNIT (2.1 x 135)	284 SPACES

UNCOVERED	96
UNCOVERED ADA	8
CANOPY	142
GARAGE	40
TOTAL	284 SPACES

STALL SIZE: 9' X 18' REQUIRED
PAD PROPOSES 9' X 16.5' (PAVED) WITH 2.5' OVERHANG

SITE INFO:

APN:	218-07-038A, 040A & 041C
ADDRESS:	526 N. ELLSWORTH RD. MESA, ARIZONA, 85207
PARCEL AREA:	13.44 AC (585,519 S.F.)
NET AREA:	12.89 AC (561,551 S.F.)
GROSS AREA:	14.23 AC (620,074 S.F.)
EXISTING ZONING:	RU-43 & R1-8 (MARICOPA COUNTY)
PROPOSED ZONING:	RM-2/PAD (MULTIPLE RESIDENCE)
PROPOSED No. UNITS:	134 DWELLING UNITS
DENSITY - GROSS:	9.4 DU/AC
DENSITY - NET:	10.4 DU/AC

APN 220-21-002W USA-BOR DEED # 15664-1005 MCR	APN 220-21-002X USA-BOR DEED # 15664-1005 MCR	APN 220-21-002Y USA-BOR DEED # 15664-1005 MCR	APN 220-21-002Z USA-BOR DEED # 15664-1005 MCR	APN 220-21-156 USA-BOR DEED # 15664-1005 MCR	APN 220-21-002R CITY OF MESA DEED # 030448258 MCR
--	--	--	--	---	--

DEVELOPMENT STANDARDS (RM-3 / PAD)

	REQ.	PROV.
MIN. LOT WIDTH (MULTIPLE RESIDENCE) (FT)	60	>60
MIN. LOT DEPTH (MULTIPLE RESIDENCE) (FT)	94	>94
MAX. DENSITY (DU / NET AC)	-	10.5
MAX. DENSITY (DU / GROSS AC)	20	9.5
MIN. LOT AREA / DU (S.F.)	2,183	4,160
MAX. BUILDING HEIGHT (FT)	40	<40
MAX. BUILDING COVERAGE (% OF LOT)	50	±42

MIN. BUILDING SETBACKS (FT)		
FRONT AND STREET FACING SIDE:		
• FRONT, 4-LANE ARTERIAL (ELLSWORTH RD.)	20	20
• REAR, FREEWAYS (LOOP 202)	30	8
• NORTH, LOCAL STREET (DECATUR RD.)	20	8

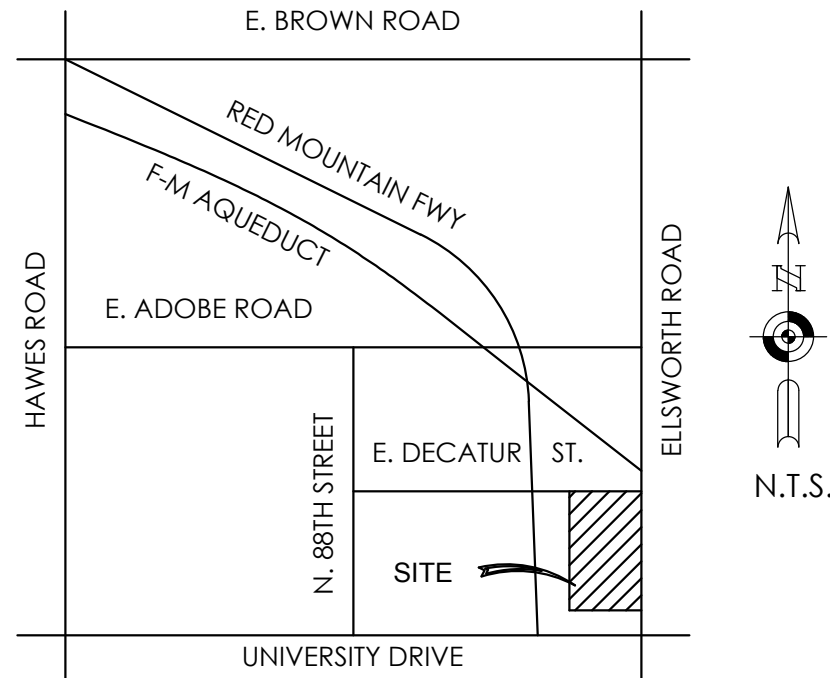
INTERIOR SIDE & REAR FOR 3+ UNITS ON A LOT (SINGLE STORY):		
• SOUTH	20	20

MIN. LANDSCAPE SETBACKS (FT)		
• FRONT (EAST, ELLSWORTH RD.)	20	20
• REAR (WEST, LOOP 202)	30	0
• FRONT (NORTH, DECATUR RD.)	20	0
• SIDE (SOUTH)	20	0

MIN. SEPARATION BETWEEN BUILDINGS ON SAME LOT (1-STORY)	25	10
---	----	----

MIN. OPEN SPACE (SF / UNIT)	175	±1280
TOTAL OPEN SPACE (SF)	23,625	±170,000
COMMON OPEN SPACE (SF)	30	±107,000
TOTAL PRIVATE OPEN SPACE (SF)	-	±63,500
PRIVATE OPEN SPACE (SF / UNIT)		
• 1-BEDROOM	60	356
• 2-BEDROOM	100	469
MIN. PRIVATE OPEN SPACE DIMENSION (FT) (GROUND FLOOR UNIT)	10	10

MAX. WALL HEIGHT		
FRONT (FT)	3.5	6
SIDE & REAR (FT)	6	6



VICINITY MAP

DEVELOPER / APPLICANT

VITA COMMUNITIES, LLC
1017 N. CENTRAL AVE., SUITE 2
PHOENIX, ARIZONA, 85004

CONTACT: JIM STOCKWELL
PHONE: (760) 413 5435
EMAIL: JIMS@GLASIRCP.COM

PROPERTY OWNER

ELLSWORTH - UNIVERSITY, LLC
5730 ECHO CANYON DR.
PHOENIX, ARIZONA, 85018

ARCHITECT

FELTEN GROUP
18325 N. ALLIED WAY, SUITE 200
PHOENIX, ARIZONA, 85054

CONTACT: PAUL KNITTER
PHONE: (602) 867 2500
EMAIL: PAUL.KNITTER@FELTENGROUP.COM

LANDSCAPE ARCHITECT

McGOUGH ADAMSON
11110 N. TATUM BLVD. SUITE 100
PHOENIX, ARIZONA, 85028

CONTACT: NICK ADAMSON
PHONE: (602) 997 9093
EMAIL: NICKA@MG-AZ.COM

CIVIL ENGINEER

TERRASCAPE CONSULTING, LLC
1102 E. MISSOURI AVE.
PHOENIX, ARIZONA, 85004

CONTACT: DAVE SOLTYSIK, P.E.
PHONE: (602) 297 8732
EMAIL: DSOLTYSIK@TERRASCAPE.US

BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS A 3 INCH MARICOPA COUNTY HIGHWAY DEPARTMENT BRASS CAP IN HANDHOLE AT THE INTERSECTION OF ELLSWORTH ROAD AND UNIVERSITY DRIVE. THE SOUTHEAST CORNER OF SECTION 16, T.1N.-R.7E.

ELEVATION= 1554.436 (NAVD88 DATUM)

BASIS OF BEARING

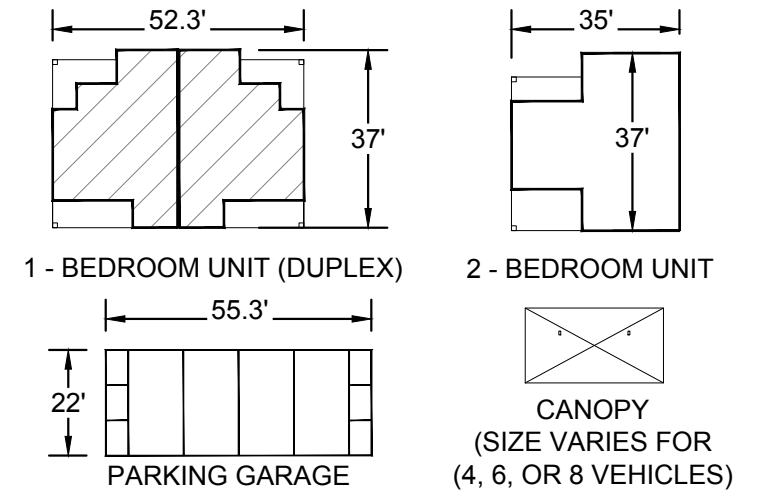
S00°05'56"W ALONG THE MONUMENT LINE OF ELLSWORTH ROAD AS MEASURED BETWEEN A CITY OF MESA BRASS CAP IN HANDHOLE FOR THE EAST 1/4 CORNER SECTION 16, T.1N. R.7E., AND A MARICOPA COUNTY HIGHWAY DEPT. BRASS CAP IN HANDHOLE AS THE SOUTHEAST CORNER SECTION 16, T.1N.-R.7E.

FLOOD ZONE

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAP, MAP NUMBERS 04013C2295L, MARICOPA COUNTY PANEL 040037 OF 2295, CITY OF MESA PANEL 040048 OF 2295, DATED OCTOBER 16, 2013.

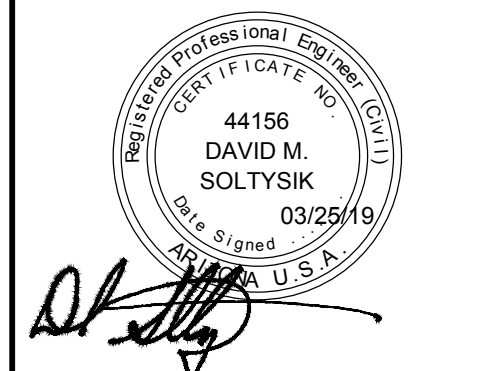
ZONE "X" - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

TYPICAL FLOOR PLANS



consulting
Terrascope
civil engineering • surveying • urban planning

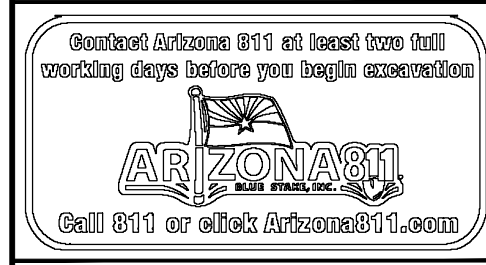
1102 East Missouri Ave., Phoenix, Arizona 85014 • 575 West Chandler Blvd. #123, Chandler, Arizona 85225
P: 402.297.8732 • F: 402.230.8458 • info@terrascapeconsulting.com • terrascapeconsulting.com



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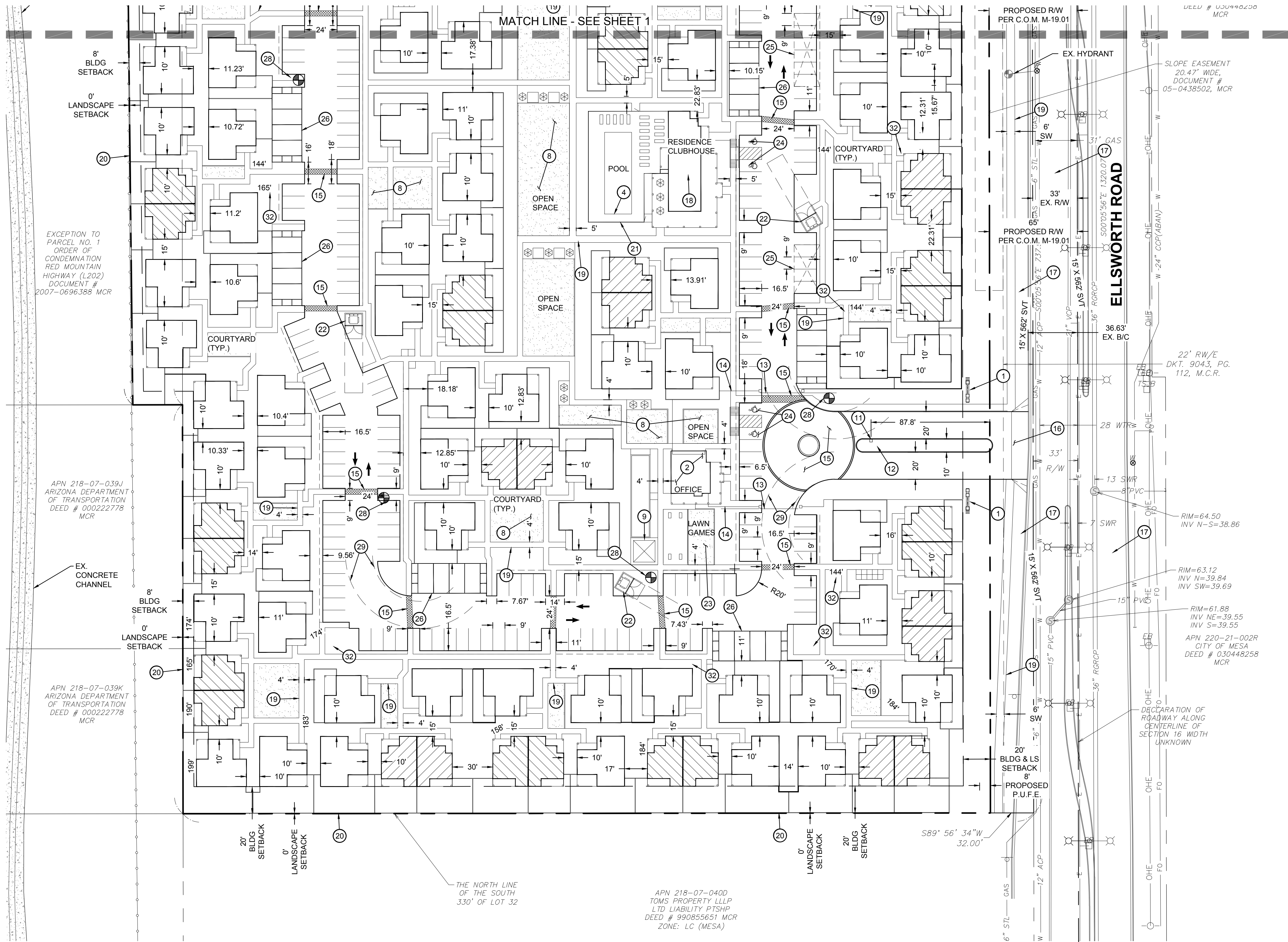
PRELIMINARY

VITA COMMUNITIES



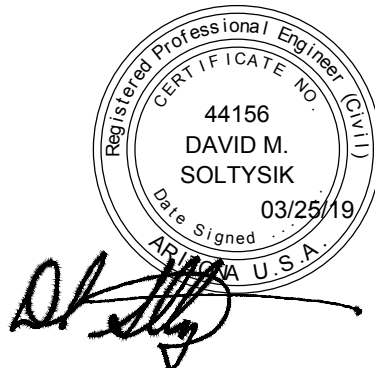
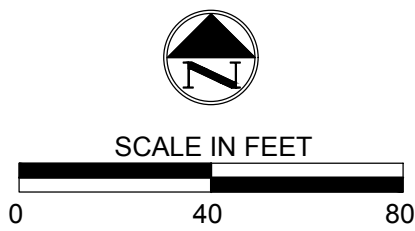
DATE	DESCRIPTION
01/25/19	1ST. SUBMITTAL
03/04/19	2ND. SUBMITTAL
03/19/19	3RD. SUBMITTAL
03/25/19	YARD WALLS UPDATE
CHECKED BY:	DMS
DRAWN BY:	EF
TITLE:	SITE PLAN
SHEET No.	1 of 2
PROJECT No.	0908

Plotted: 03/25/19 - 1:37 PM By: TSC205
File: M0006 VITA Communities - WVC University & Ellsworth - Maricopa County DMV Preliminary 0908 SITE PLAN.dwg -- 0908 SITE PLAN.rvt



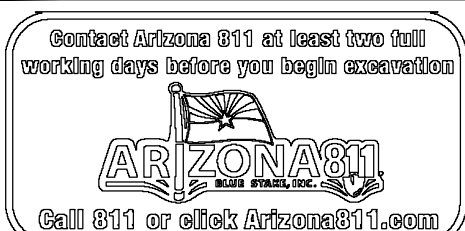
KEY NOTES

- | | | |
|---|--|---|
| 1 PROJECT MONUMENT SIGN | 13 VEHICLE ACCESS GATE WITH AUTOMATIC GATE OPTICAL SENSOR PER FIRE PREVENTION DETAIL 503.6 AND 506.1 | 22 TRASH ENCLOSURE PER CITY OF MESA STD DTL M-62.02.1, 12' WIDE WITH 50' CLEARANCE AT 30° ANGLE. |
| 2 LEASING OFFICE | 14 PEDESTRIAN ENTRANCE GATE | 23 LAWN GAMES |
| 3 MAILBOXES | 15 ENHANCED PAVEMENT / CROSSWALK | 24 ACCESSIBLE PARKING STALL |
| 4 POOL | 16 DRIVEWAY PER CITY OF MESA STD DTL M-42 | 25 PARKING CANOPY |
| 5 SPA | 17 SIGHT VISIBILITY TRIANGLE PER CITY OF MESA ENGINEERING & DESIGN STANDARDS, SECTION 211 | 26 PARKING GARAGE |
| 6 POOL EQUIPMENT ROOM | 18 RESIDENCE CLUBHOUSE | 27 REAR YARD GATE |
| 7 BBQ GRILL | 19 SIDEWALK, WIDTH AS NOTED | 28 FIRE HYDRANT |
| 8 TURF AREA | 20 6' HIGH BLOCK WALL | 29 FIRE DEPT. TURNING RADII (5' OUTER RADII, 35' INNER RADII) |
| 9 SHADE SAIL | 21 6' HIGH VIEW FENCE | 30 DOG PARK |
| 10 PEDESTRIAN/PET FOUNTAIN | | 31 TRASH & RECYCLING (DOUBLE-WIDE BIN) ENCLOSURE PER CITY OF MESA STD DTL M-62.02.1, 24' WIDE WITH 50' CLEARANCE. |
| 11 VISITOR CALL BOX IN LANDSCAPE ISLAND | | 32 FIRE HOSE LAY |
| 12 SIGN DIRECTORY BOARD | | |



VITA
COMMUNITIES -
202 &
UNIVERSITY

PRELIMINARY



DATE	DESCRIPTION
01/25/19	1ST. SUBMITTAL
03/04/19	2ND. SUBMITTAL
03/19/19	3RD. SUBMITTAL
03/25/19	YARD WALLS UPDATE

CHECKED BY: DMS

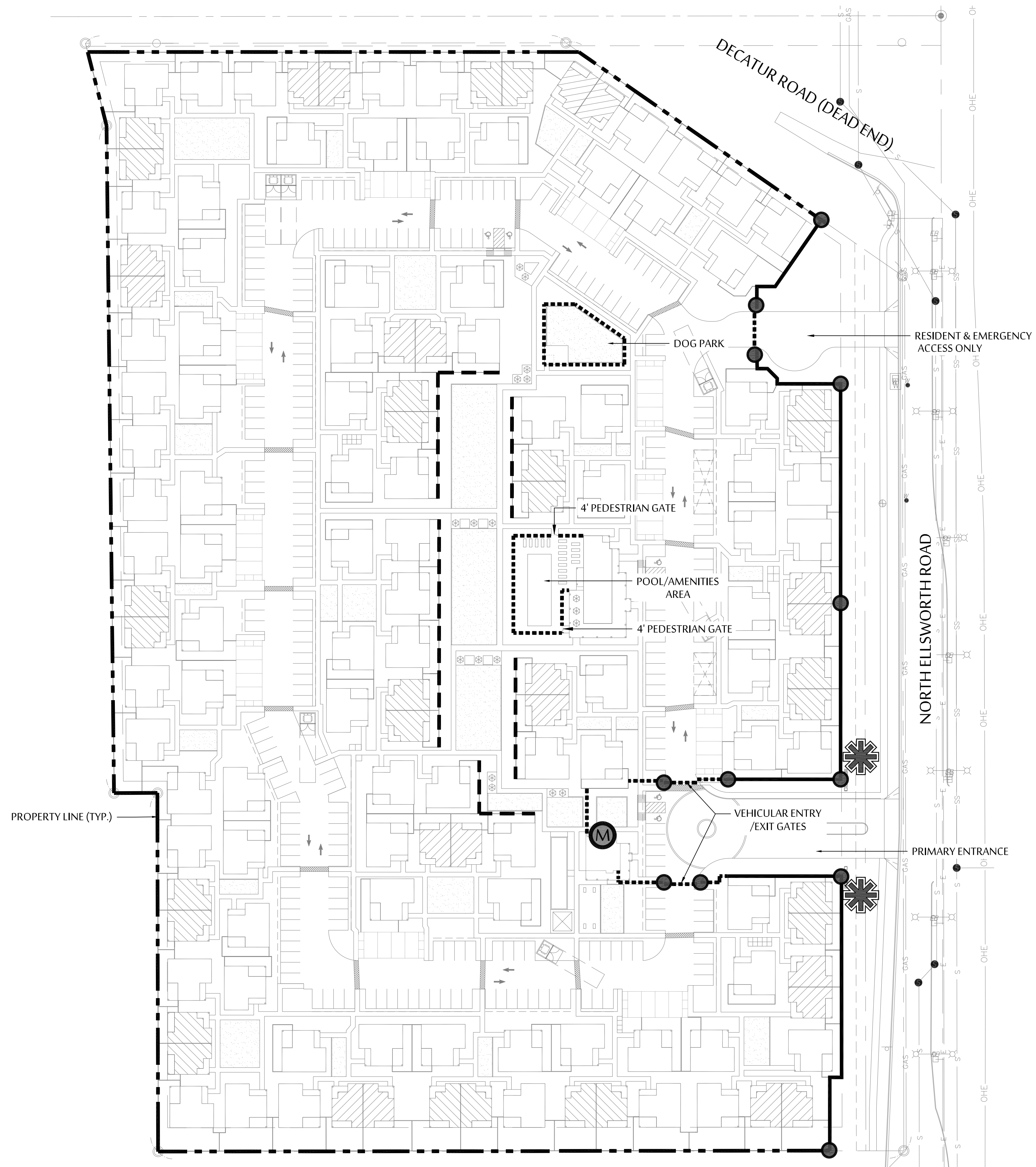
DRAWN BY: EF

TITLE:
SITE PLAN

SHEET No.

2 of 2

PROJECT No.
0908



WALL PLAN LEGEND	
	PROJECT THEME WALL
	PARTIAL VIEW FENCE
	FULL VIEW FENCE
	BUILDER WALL
ALL HOUSING UNIT REAR YARD WALLS NOT NOTED OR DESIGNATED ABOVE TO BE 4" FENCE BLOCK	
	PROJECT THEME COLUMNS
	PROJECT ENTRANCE/SIGN MONUMENT
	COMMUNITY MAILBOX CLUSTER - SEE ARCHITECTURAL PLANS



LAND PLAN SUMMARY

SITE AREA: $\approx$ 13.05 ACRES

UNITS: 135 (10.34 DU/ACRE)

- 1 BEDROOM UNITS: 46 (34%)

- 2 BEDROOM UNITS: 89 (66%)

REQUIRED PARKING: 281 SPACES

PROVIDED PARKING: 282 SPACES

- UNCOVERED: 107 (ESTIMATE)

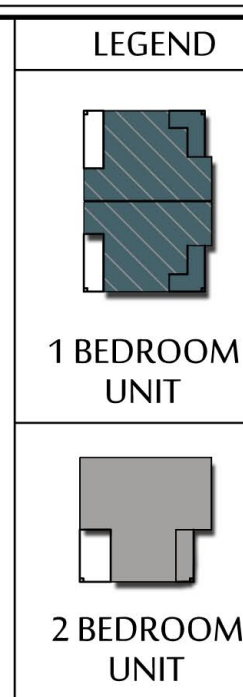
- COVERED: 135 (ESTIMATE)

- GARAGES: 40

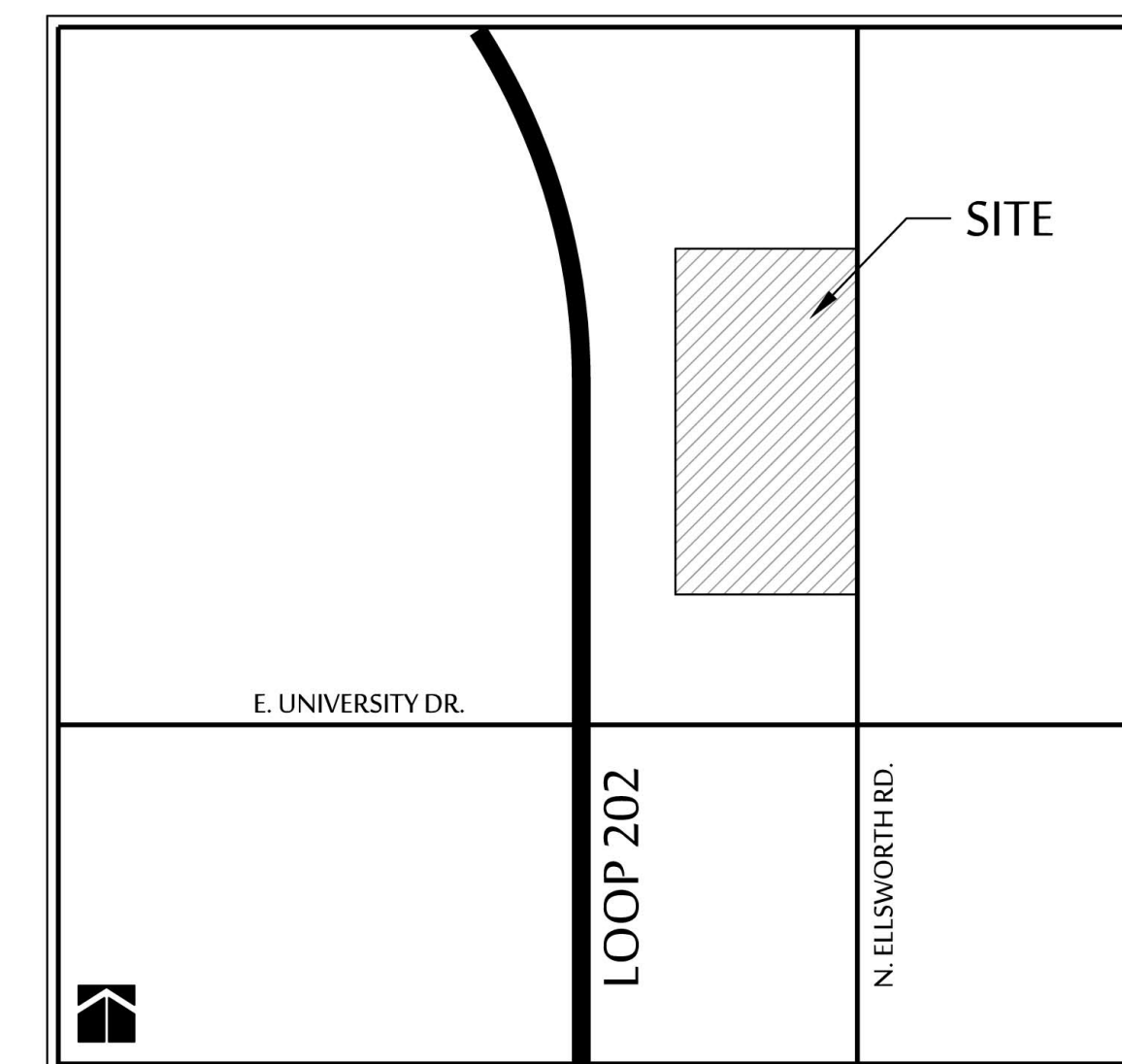
(10' X 20' GARAGES)

- STORAGE UNITS: TO BE BUILT INTO THE ENDS OF THE GARAGE STRUCTURES (3) EACH END. TOTAL QUANTITY: 60

- ACCESSIBLE: 6 SPACES



VICINITY MAP



MCGOUGH
ADAMSON



Landscape
Architects
Land
Planning
Irrigation

VITA
COMMUNITIES

VITA AT THE 202 CONCEPTUAL - SITE LAND PLAN

N/NWC OF UNIVERSITY DR. AND ELLSWORTH ROAD - MESA, AZ

MARCH 25, 2019

SCALE: 1"=50'-0"

