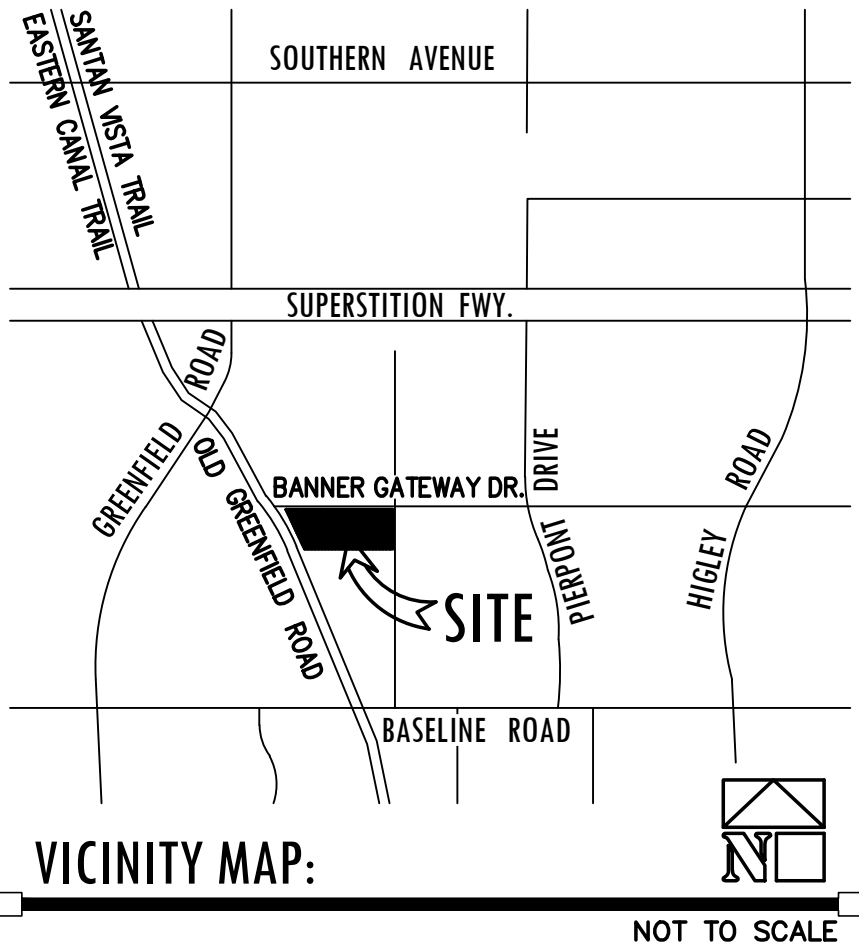




FIRE DEPARTMENT NOTES:

1. SHOP DRAWINGS FOR FIRE SPRINKLER AND ALARM SYSTEMS SHALL BE A DEFERRED SUBMITTAL AND SHALL BE APPROVED PRIOR TO INSTALLATION.
2. THE FIRE LINE BACKFLOW PREVENTER VALVES SHALL BE ELECTRICALLY SUPERVISED BY A TAMPER SWITCH INSTALLED IN ACCORDANCE WITH NFPA 72 & SEPARATELY ANNUNCIATED. IFC 903.4.1 EXC. 2.
3. EACH BUILDING MUST BE WITHIN 250 FEET OF A FIRE HYDRANT. REFER TO IFC APPENDIX B & C FOR FIRE FLOW REQUIREMENTS, NUMBER OF FIRE HYDRANTS AND SPACING REQUIREMENTS (BASED ON CONSTRUCTION TYPE AND SQUARE FOOTAGE). COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33.
4. SAFEGUARDS DURING CONSTRUCTION, AND IFC CHAPTER 33 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.
5. THERE SHALL BE A 20 FEET WIDE FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THIS ROAD SHALL BE AN ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (74,000 LBS./24,000 LBS. PER AXLE) WHEN ROADS ARE WET. THE ACCESS ROAD SHALL BE EXTENDED TO WITHIN 100 OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS", IN RED LETTERS, SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD. ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.
6. APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1,500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.

SYMBOLS - SITE PLAN:

- PROPERTY LINE
- NO. OF PARKING SPACES
- ACCESSIBLE PARKING OR ANSI TYPE 'A' DWELLING UNIT
- EXISTING FIRE HYDRANT

GENERAL NOTES:

1. POOL AND EQUIPMENT SHALL BE SUBMITTED UNDER SEPARATE PERMIT.
2. SIGNAGE/MONUMENT SIGN SHALL BE SUBMITTED UNDER SEPARATE PERMIT.
3. PER CITY OF MESA ENGINEERING AND DESIGN STANDARDS CHAPTER 6 & 7 604.3 - ALL NEW ELECTRIC SERVICES AND SERVICE CHANGES, MODIFICATIONS OR UPGRADES MUST BE LOCATED UNDERGROUND.
- 705.6 ALL EXISTING OVERHEAD FACILITIES, TWELVE KILOVOLT (12KV) OR LESS WITHIN PUBLIC RIGHT-OF-WAY ADJACENT TO DEVELOPING PROPERTIES, SHALL BE RELOCATED UNDERGROUND. THIS REQUIREMENT SHALL APPLY TO ALL UTILITIES INCLUDING ELECTRIC DISTRIBUTION LINES, ELECTRIC SERVICE, TELEPHONE AND OTHER COMMUNICATION SYSTEMS SUCH AS CABLE TRANSMITTED TELEVISION, UNDERGROUND INSTALLATION SHALL COMPLY WITH ALL UTILITY COMPANY'S REQUIREMENTS.
4. TO ENSURE VISIBILITY TRIM AND MAINTAIN ALL TREES TO AT LEAST 8 FT. OVER THE SIDEWALKS AND 14 FT. OVER THE STREETS OR PUBLIC PLACES FRONTING OR BORDERING THE PROPERTY, PER CITY CODE 8.6.3(D).
5. PROVIDE 24' OF ASPHALT PAVEMENT ALONG THE OLD GREENFIELD FRONTAGE AND CONNECT TO EXISTING PAVEMENT ON THE SOUTH SIDE OF THE DRIVEWAY AT BANNER GATEWAY DR.

KEYNOTES

1. 9'x18' STANDARD TYPICAL PARKING SPACE PER DETAIL 1/A1.20.
2. 11'x18' ACCESSIBLE TYPICAL PARKING SPACE, PER DETAIL 5/A1.20.
3. ACCESSIBLE DRIVEWAY CROSSING MARKING.
4. ACCESSIBLE CURB RAMP, PER DETAIL 3/A1.20.
5. INDICATES LOCATION OF CARPORT PARKING STRUCTURE, PER DETAIL 6/A1.20.
6. TRASH COMPACTOR ENCLOSURE SURROUNDED BY 8' HIGH CMU WALL, PER DETAIL 10/A1.20.
7. SINGLE RECYCLE ENCLOSURE SURROUNDED BY 6' HIGH CMU WALL, PER DETAIL 10/A1.20.
8. PEDESTRIAN ENTRY GATE, PER DET. 26/A1.21.
9. PEDESTRIAN ENTRY POOL GATE, PER DET. 24/A1.21.
10. TUBE STEEL VIEW FENCE, PER DETAIL 22/A1.21.
11. CMU PARKING SCREEN WALL, PER DET. 17/A1.21.
12. CMU PERIMETER WALL, PER DETAIL 23/A1.21.
13. 4' MINIMUM SIDEWALK ON SITE, TYPICAL.
14. MONUMENT SIGN PER LANDSCAPE DETAIL, SEE SHEET L1.00.
15. BICYCLE PARKING, PER DETAIL 27/A1.21.
16. UNDERGROUND IRRIGATION PIPE, PER CIVIL.
17. FIRE TRUCK TURNING RADIUS.
18. AMENITY AREA, SEE LANDSCAPE SHEET L1.00.
19. 26' WIDE FIRE APPARATUS ACCESS ROAD FIRE LANE "NO PARKING" ON EITHER SIDE.

LEGAL DESCRIPTION:

THAT PART OF THE NORTH 262 FEET OF THE SOUTH 1320.68 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING EAST OF THE EASTERN CANAL. APN 140-68-003P

DEVELOPMENT DATA:

PROJECT DESCRIPTION:
TWO/THREE STORY WOOD FRAME STUCCO AND STONE INDEPENDENT/ASSISTED LIVING AND MEMORY CARE, SENIOR LIVING CENTER, THERE WILL BE 121 UNITS. PARKING PROVIDED WITH ELEVATOR AND STAIR ACCESS

AREA: GROSS: 4.8661 AC./211,967 S.F.
NET: 4.1096 AC./179,015 S.F.

ZONING: APN 140-68-003P
CURRENT: AG PROPOSED: RM-4

COVERAGE: PROVIDED: 57,919 ÷ 179,015 = 32.35%

OPEN SPACE: PROVIDED: 73,829 ÷ 179,015 = 41.24 %

COMMON OPEN SPACE PER UNIT (S.F.):
REQUIRED PROVIDED
IND./ASSIST.LIVING 91 x 150 = 13,650 11,620
MEMORY CARE 30 x 150 = 4,500 2,659

PRIVATE OPEN SPACE PER UNIT (S.F.) - M.C. NOT INCLUDED:
REQUIRED PROVIDED
STUDIO/1 BED. 79 BD.x 60 = 4,740 2,592
2 BED. 12 BD.x100 = 1,200 600

DENSITY: REQUIRED: 30 DU/AC
PROPOSED: 121 ÷ 4.1096 = 29.44 DU/AC

BUILDING SETBACKS:

FRONTAGE ST.FACING INTERIOR REAR
O.GREENFIELD BANNER G.DR. SOUTH EAST
REQUIRED: 25' MIN. 45' 45' 15'
PROVIDED: 138' 20' 67' 63'

BUILDING DATA:

CONSTRUCTION TYPE: V-A
AREA: 129,411 S.F.
HEIGHT: REQUIRED: 40' MAX.
PROVIDED: 40'/3 STORY
OCCUPANCY: R-2, I-1, I-2, A-3 & B
BUILDING DESIGN: SEPARATED
FIRE SPRINKLERS: NFPA 13

BUILDING AREAS:

	AREA S.F. / FLOOR			TOTAL
	1ST	2ND	3RD	
EAST WING - M.C.	24,614			24,614
EAST WING - A.L.		24,293		24,293
WEST WING - A.L./I.L.	18,689	18,631	18,632	55,952
COMMONS	13,704	8,794	198	22,696
EXTERIOR COVERED	1,087	769		1,856
TOTAL	58,094	52,487	18,830	129,411

UNIT MIX

WEST WING - ASSISTED LIVING/INDEPENDENT LIVING
1st & 2nd FLR. ASSISTED LIV. / 3rd FLR. INDEPENDENT LIV.

	AREA S.F.	QTY. UNITS / FLOOR			TOTAL UNITS	TOTAL AREA S.F.
		1ST	2ND	3RD		
IL-A2	983	2	2	2	6	5,898
IL-A3	857	2	2	2	6	5,142
IL-A4	653	11	11	11	33	21,549
IL-B1	1,142	3	3	3	9	10,278
IL-B2	1,149	1	1	1	3	3,447
TOTAL		19	19	19	57	46,314

EAST WING - ASSISTED LIVING / MEMORY CARE

1st FLR. MEMORY CARE / 2nd FLR. ASSISTED LIVING

	AREA S.F.	QTY. UNITS / FLOOR			TOTAL UNITS	TOTAL AREA S.F.
		1ST	2ND	3RD		
AL-S	443		20		20	8,860
AL-A1	795		8		8	6,360
AL-A1m	795		6		6	4,770
TOTAL A.L.			34		34	19,990
MC-S	412	14			14	5,768
MC-Sm	420	4			4	1,680
MC-A1	639	4			4	2,556
MC-A1m	650	8			8	5,200
TOTAL M.C.		30			30	15,204

INDEPENDENT LIVING UNITS 19
ASSISTED LIVING UNITS 72
MEMORY CARE UNITS 30

GRAND TOTAL 121 81,508

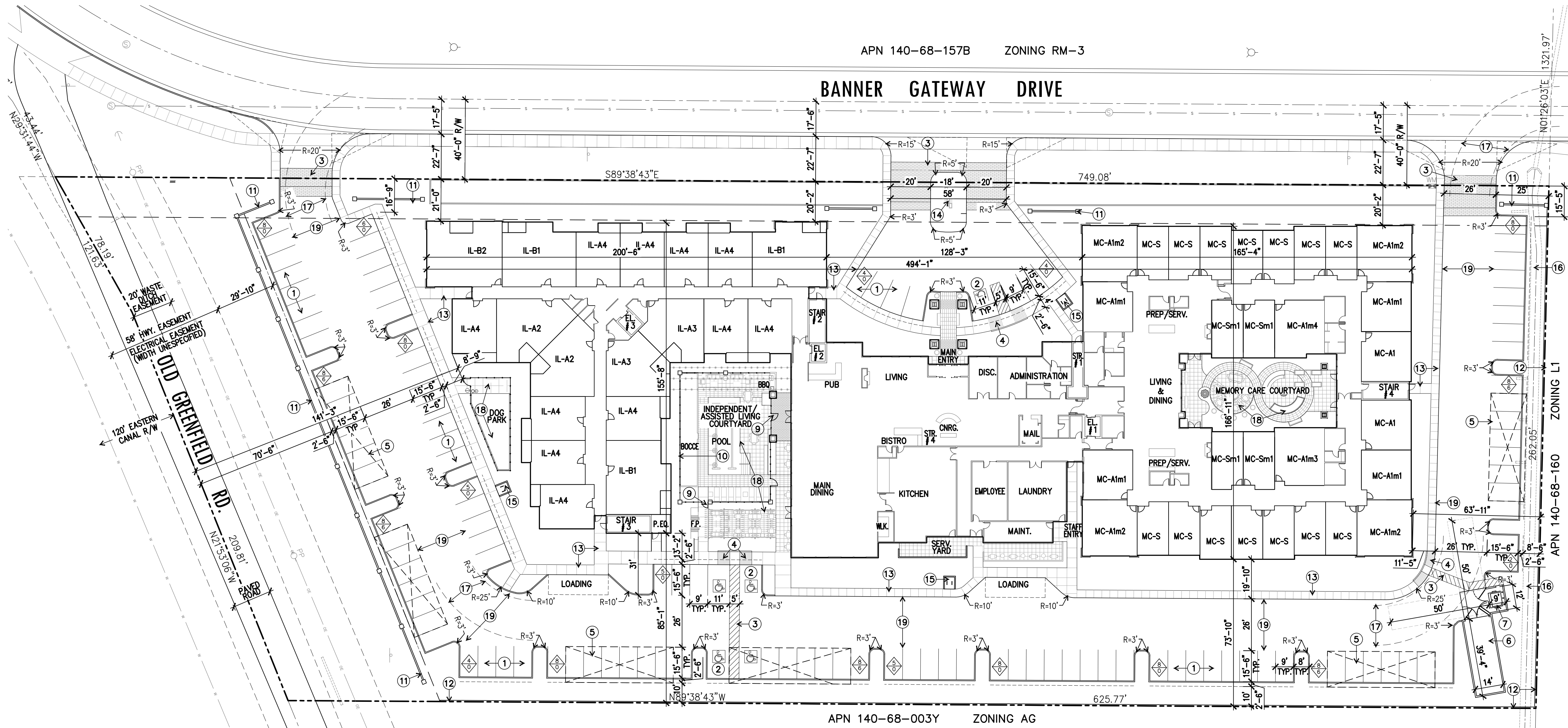
PARKING:

REQUIRED (P.S.):
INDEPENDENT LIVING: 2 PER UNIT (2x19)= 38
ASSISTED LIVING: 1 PER UNIT+2 (1x72)= 74
MEMORY CARE: 1 PER UNIT (1x30)= 30
TOTAL REQUIRED 142
PROVIDED (P.S.):
OPEN 87
CARPORT 36
OPEN (LOADING) 2
TOTAL PROVIDED 125

ACCESSIBLE (P.S.) REQUIRED PER IBC TABLE 1106.1: 5
ACCESSIBLE PROVIDED (P.S.) OPEN 4
CARPORT 1
TOTAL ACCESSIBLE PROVIDED 5

BICYCLE PARKING:

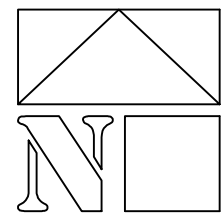
REQUIRED: 1 PER 10 VEHICLE (125÷10) = 13 P.S.
PROVIDED: 14 P.S.



APN 140-68-003Y ZONING AG

SITE PLAN - PRELIMINARY

0' 15' 30' 60'
SCALE: 1" = 30'-0"

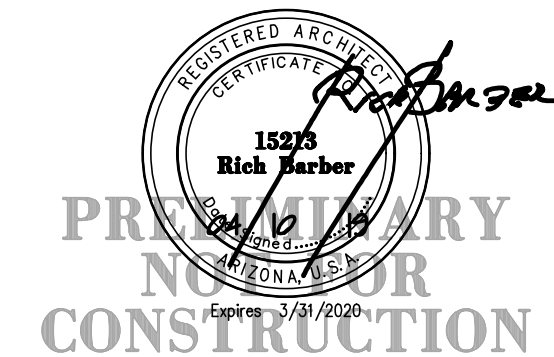


INSPIRA GATEWAY
SENIOR HOUSING

1825 SOUTH OLD GREENFIELD ROAD
MESA, ARIZONA 85206

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com



Inspira
MESA GATEWAY

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SCOTT LATEN

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FAX. 602.490.0535
CONTACT: RICH BARBER

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TEL. 602.490.0535
FAX. 602.490.0535
CONTACT: GEORGE KRALL

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REVISIONS

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DESIGN REVIEW

DATE: APRIL 10, 2019 ORB # 18-228

A1.10

SITE PLAN
PRELIMINARY