



## INDIVIDUAL COMPREHENSIVE SIGN PLAN FOR THE POINT AT EASTMARK

POINT TWENTY-TWO BLVD. & SIGNAL BUTTE RD. | MESA, AZ 85226

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This Individual Comprehensive Sign Plan has been prepared in compliance with Section 16.5 of the Eastmark Community Plan. This Individual Comprehensive Sign Plan is intended to provide a flexible sign criteria to promote superior sign design that allows for variation and individuality.

GENERAL INFORMATION

PROJECT

THE POINT  
Point Twenty-Two Blvd. & Signal Butte Rd.  
Mesa, AZ 85226

PROPERTY OWNERS

Evergreen-Point 22 & Signal Butte, L.L.C.  
2390 E. Camelback Rd.  
Suite 410  
Phoenix, AZ 85016

Safeway Inc  
1371 Oakland Blvd.  
STE. 200  
Walnut Creek, CA 94596

PARCEL INFORMATION

PARCEL NUMBERS

304-34-974  
304-34-975A  
304-34-975B  
304-34-975C

AREA IN ACRES

14.46 +/-

ZONING

LUG D - District Land Use

DEVELOPER

Evergreen-Point 22 & Signal Butte, L.L.C.  
2390 E. Camelback Rd.  
Suite 410  
Phoenix, AZ 85016

-----  
Cameron Miller - Senior Development Manager  
CMiller@evgre.com  
602-808-8600

NARRATIVE

The Point is a proposed 629,956 sq +/- mix of modern retail space comprised of 10 freestanding buildings near downtown Mesa at Point Twenty-Two Blvd. & Signal Butte Rd., Mesa, AZ 85226. The purpose of this Sign Package is to set a visually consistent fabrication and location sign standard for all future exterior signs at this site.

SIGNAGE CONSULTANT

Trademark Visual, Inc.  
3825 S. 36th St.  
Phoenix, AZ 85040  
602-272-5055  
-----  
Jim Bacher  
JBacher@trademarkvisual.com

SIGN CRITERIA

These criteria have been developed to insure design compatibility among all signs at The Point located at Point Twenty-Two Blvd. & Signal Butte Rd., Mesa Arizona. These criteria exist to maintain a continuity of quality and aesthetics throughout the Shopping Center for the mutual benefit of all tenants, and to comply with the regulations of the Eastmark Community Plan and electrical codes. Conformance to these criteria will be strictly enforced. Any sign installed that is non-conforming to these criteria not approved by Landlord must be removed or brought into conformance by the Tenant and/or its sign contractor.

Landlord shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for code compliance. Sign permits must be obtained from the City of Mesa prior to the installation of any sign.

I. GENERAL SIGNAGE REQUIREMENTS

- 1. The Landlord shall review the detailed shop drawings indicating the location, size, layout, design color, illumination materials and method of attachment (2 sets) and return one (1) set to Tenant marked "Approved", "Approved as Noted", or "Revise and Re-Submit".
- 2. "Revise and Re-Submit" drawings will be returned to the Tenant with comments. These drawings shall be revised by Tenant and re-submitted to Landlord for its approval.
- 3. Upon receipt of Landlord approval, Tenant shall proceed with City of Mesa permit process. No sign shall be installed prior to City approval.
- 4. No signs, advertisements, notices or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of Landlord.
- 5. Tenant and/or its representatives shall obtain all permits for its exterior signs and their installation. Tenant shall be responsible for all requirements, specifications and costs.
- 6. Tenant shall have the sole responsibility for compliance

with all applicable statutes/codes, ordinances or other regulations for all work performed on the premises by or on behalf of the Tenant.

- 7. The Landlord's approval of Tenant's plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by Landlord that said items are in compliance with applicable statutes, codes, ordinances or other regulations.
- 8. All signage is subject to City of Mesa approval, this master sign exhibit, and the Eastmark Community Plan. Landlord will support all applications for signs in compliance with this exhibit but cannot guarantee City approval.
- 9. All signage shall be constructed and installed at Tenant's expense.
- 10. Tenant and the Tenant's contractor shall be responsible for the repair of any damage caused by installation or removal of any sign.
- 11. Temporary advertising devices such as attraction boards, posters, banners and flags shall be permitted.
- 12. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated. Signs shall be designed and installed so that there is no interference with the architectural features (including, but not limited to, windows, balconies, cornices, or parapets) of the base building.
- 13. All signs shall be fabricated using full welded construction.
- 14. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- 15. All exposed metals shall be painted to render them inconspicuous.
- 16. No exposed raceways, crossovers, tubing or conduit will

be permitted. All conductors, transformers, and other equipment shall be concealed.

- 17. All electrical signs shall bear the UL label.
- 18. All signs shall conform to International Building Code Standards.
- 19. All electrical signs shall conform to National Electrical Code Standards.
- 20. Tenant shall be liable for the operation of their sign contractor. Tenant shall be responsible for selecting a sign company that carries workers' compensation and commercial general liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs with limits of liability satisfying the requirements of the Lease.
- 21. Flashing, moving, or audible signs will not be permitted.
- 22. Tenant logo styled letters may be used. With the exception of the Major Tenant, copy content of the signage shall not include the product sold without prior approval of Landlord.

II. SHOP/IN-LINE TENANT WALL SIGNS

- 1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Landlord.
- 2. Under no circumstances shall any signage be directly



Fig. II-2

mounted to the building. Tenants are to use the provided Mounting Ledge for signage installation (see fig. II-2 below). Mounting directly to the brick or architectural features will cause damage to the building and the tenant will be responsible for any and all costs of repair.

- 3. Wall signs shall consist of individual LED illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. FCO Aluminum may be used for smaller letters if necessary. Cabinet signs may be used provided that they are approved by Landlord, and are non-rectangular.
  - 4. All sign materials shall be quality in nature and include Aluminum, Steel, Stainless Steel, Acrylic, and Polycarbonate.
  - 5. Corporate Letterstyles, Logotype, Logo, and Colors may be used per Landlord Approval.
  - 6. The total sign area shall not exceed two (2) square feet for each front foot of building occupancy. See pg. 7 of this document for the breakdown of allowable signage area per building within the retail center.
  - 7. All Tenant Wall Signs must be approved by the Landlord and the Design Review Board prior to proceeding with the City of Mesa permit process.
- III. ANCHOR TENANT WALL SIGNS
- 1. All sign locations directed by the Anchor Tenant.
  - 2. Signs may be installed directly to the building, ledges, or window areas.
  - 3. Wall signs shall consist of LED illuminated or non-illuminated pan channel or reverse channel letters, and non-rectangular cabinets with 2.5” to 5” returns. FCO Aluminum may be used for smaller letters if necessary.
  - 4. All sign materials shall be quality in nature and include Aluminum, Steel, Stainless Steel, Acrylic, and Polycarbonate.

SIGN CRITERIA

5. Corporate Letterstyles, Logotype, Logo, and Colors may be used per Anchor Tenant Approval.

6. The total sign area shall not exceed two (2) square feet for each front foot of building occupancy. There is no limit on the quantity of signs. See pg. 7 of this document for the break-down of allowable signage area per building within the retail center.

7. All Anchor Tenant Wall Signs must be approved by the Landlord and the Design Review Board prior to proceeding with the City of Mesa permit process.

IV. FUEL CENTER TENANT WALL SIGNS

1. Logos can exceed the roof line of the convenience store and fuel canopy.

2. Fuel pricing is to be LED digitally displayed and allowed on the fuel canopy.

3. The total sign area shall not exceed two (2) square feet for each front foot of building or fuel canopy. There is no limit on the quantity of signs. See pg. 7 of this document for the breakdown of allowable signage area per building within the retail center.

4. Sign area will be calculated by enclosing each element of the signs (i.e. logo, letters, and fuel pricing displays) and calculated separately.

V. STORE FRONT GRAPHICS

1. Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. All window graphics and displays shall be subject to the approval of the Landlord prior to fabrication or implementation. Not to exceed 25% of each window area.

2. Corporate Letterstyles, Logotype, Logo, and Colors may be used with Landlord Approval.

3. All Store Front Graphics are to be installed 1st surface to Tenant frontage windows/doors.

4. All window signs shall meet the requirements of the City of Mesa.

VI. MULTI-TENANT MONUMENT SIGN PANELS

1. Five (5) Double-Faced Multi-Tenant Monuments are located within the shopping center.

2. Monument Sign Panels are to be fabricated of routed aluminum backed with acrylic. All panel faces are to be painted to monument cabinet color. Safeway and logo copy will be 1” push-thru Acrylic with 1st surface vinyl.

3. Corporate Letterstyles, Logotype, Logo, and Colors may be used. In instances where a Tenant has no corporate color or identity; text is to be in a color that contrasts the face of the monument sign panel.

4. Tenant copy/logo not to exceed the monument face panel boundary.

5. All Multi-Tenant Monument Sign Panels must be approved by the Landlord prior to proceeding with the City of Mesa permit process.

VII. MULTI-TENANT FUEL MONUMENT SIGN PANELS

1. One (1) Double-Faced Multi-Tenant Fuel Monument Sign is located within the shopping center. The main purpose of this sign is to display fuel pricing, but also provides space for tenant panels. Tenant Monument Panel location/usage is to be directed by Landlord.


2. Monument Sign Panels are to be fabricated of routed aluminum backed with acrylic. All panel faces are to be painted to monument cabinet color. Safeway and logo copy will be 1” push-thru Acrylic with 1st surface vinyl.

3. Corporate Letterstyles, Logotype, Logo, and Colors may be used per Landlord Approval. In instances where a Tenant has no corporate color or identity; text is to be in a color that contrasts the white face of the monument sign panel.

4. Fuel pricing is to be digitally displayed, allowing for pricing copy to be easily changeable.

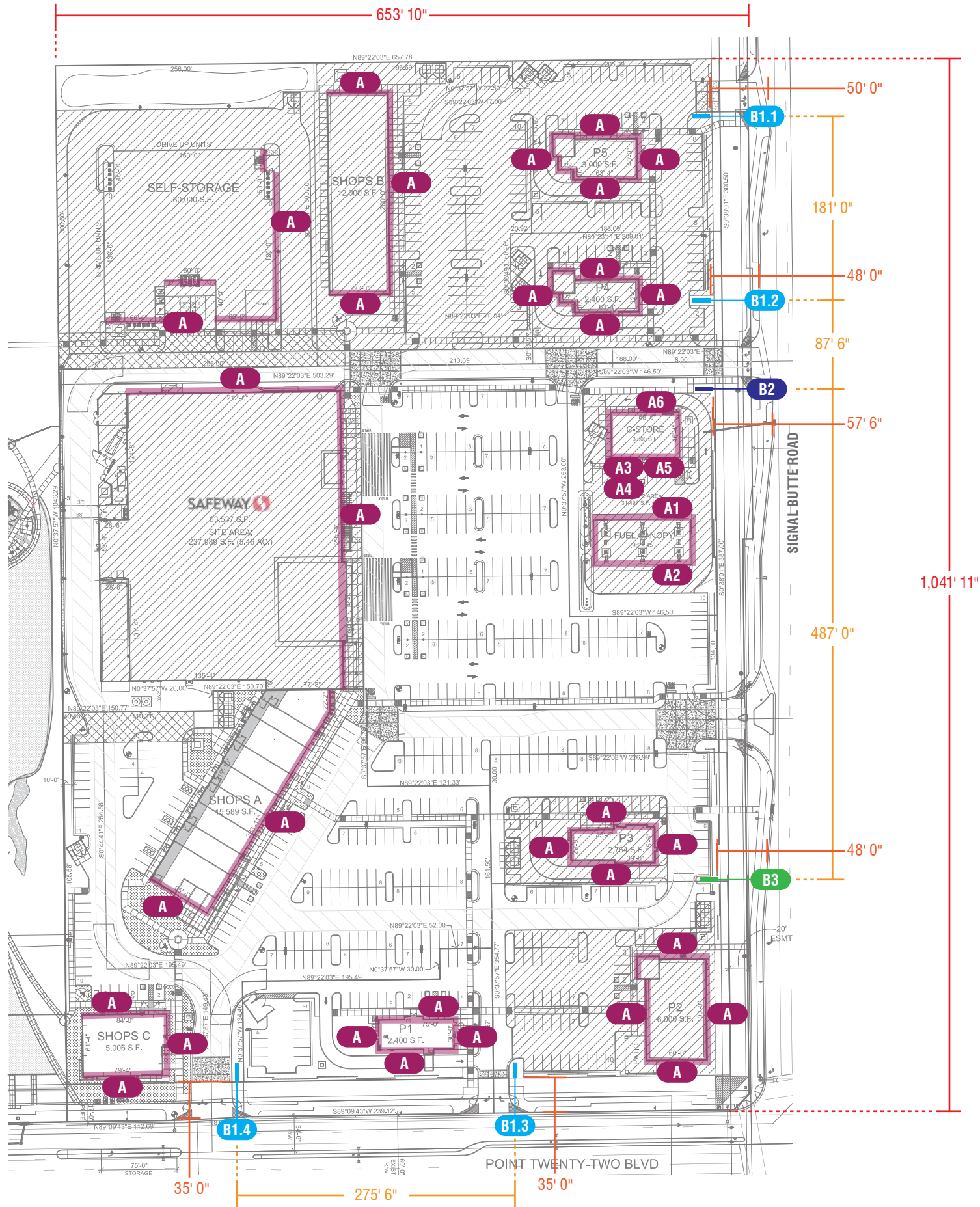
5. Tenant copy/logo not to exceed the monument face panel boundary.

6. All Multi-Tenant Fuel Monument Sign Panels must be approved by the Landlord prior to proceeding with the City of Mesa permit process.

LUG D – District			
	General Signage Character	Attached Signs	
	Varies from residential (small) scaled, exterior or halo lighted to that of typical neighborhood commercial centers with enhanced pedestrian directional and commercial signage. Minor signage for business components for live-work units  Standard commercial signage (lighted) for minor mixed-use neighborhoods or structures	Total Sign Area	0.2 sf / each front foot of building occupancy along service lanes and neighborhood streets 2 sf / each front foot of building occupancy along arterial or district streets
		Types Permitted	Wall, mural, cabinet (along district and arterial streets only), awning, canopy, blade, shingle, plaque, banner
		Detached Signs	
		Total Sign Area	0.2 sf / lf of street frontage along service lanes and neighborhood streets 1 sf / lf of street frontage along arterial or district streets
		Maximum Sign Height	8 feet along service lanes and neighborhood streets 1 ft / 10 feet of street frontage along arterial or district streets
		Maximum Individual Sign Size	32 sf, 8 ft high along service lanes and neighborhood streets 80 sf, 12 ft high along arterial or district streets
		Temporary Retail / Portable Signs	
		Permitted	
		Other Permitted Sign Types	
			Window signs or applied graphics, menu signs/boards/cabinets, incidental signage, address, back of house, directional



SITE MAP



KEY

THE POINT SIGNS

ATTACHED SIGNS

**A** Building Tenant ID Signs

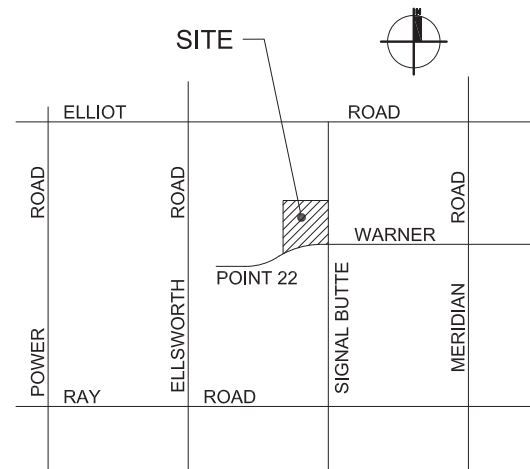
DETACHED SIGNS

**B1** Multi-Tenant Monument Sign

**B2** Anchor Tenant Monument Sign

**B3** Multi-Tenant Fuel Monument Sign

VICINITY MAP



ATTACHED SIGNS

A BUILDING TENANT ID SIGNS - WALL SIGNS  
Shop/In-Line Tenants

Height not to Exceed 70%  
of Vertical Dimension of  
Sign Band or Wall Space  
on Which Sign is Placed



Length not to Exceed 80% of Elevation of Tenant/User's Suite on Which the Sign is Placed

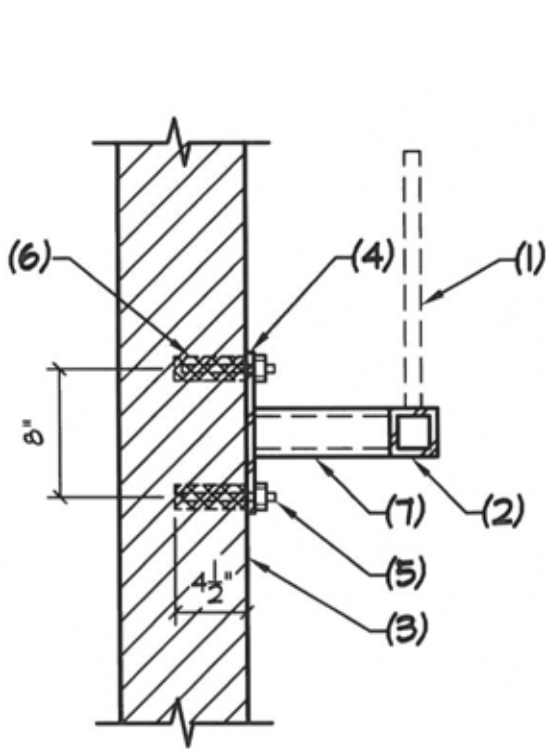
**MOUNTING LEDGE**  
3" x 3" Continuous Aluminum Square Tube  
Mounted Flush to Existing  
3" x 3" x 1/4 HSS Out-Riggers  
(By G.C./Landlord - See Details Below)  
Painted; Satin Finish  
MP to Match Building (TBD ■)

**REAR LOW-PROFILE WIREWAY**  
8" x 4" Aluminum Wireway  
Access Panel at Top  
Painted; Satin Finish  
MP to Match Building (TBD ■)

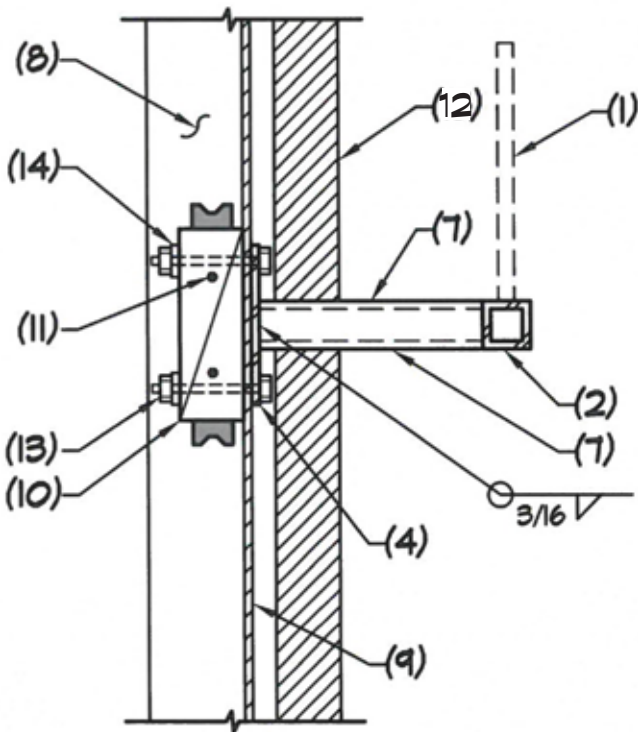
**CHANNEL LETTER**  
**FACE**  
White Acrylic/Polycarbonate or  
Aluminum  
**RETURNS**  
5" Deep Aluminum Returns  
Painted; Satin Finish  
**TRIM CAP**  
3/4" Trim Cap  
Painted; Satin Finish  
**BACKS (ILLUMINATED PAN CHANNEL LETTERS)**  
Aluminum Backs  
Painted; Satin Finish  
**BACKS (ILLUMINATED REVERSE PAN CHANNEL LETTERS)**  
Clear Acrylic/Polycarbonate  
**BACKS (NON-ILLUMINATED REVERSE PAN CHANNEL LETTERS)**  
Aluminum Backs  
Painted; Satin Finish  
**ILLUMINATION**  
LED or Neon

NOTE: UNDER NO CIRCUMSTANCES  
SHALL ANY SIGNAGE BE DIRECTLY  
MOUNTED BUILDING. MOUNTING  
DIRECTLY TO THE BRICK OR ACM WILL  
CAUSE DAMAGE TO THE BUILDING AND  
THE TENANT WILL BE RESPONSIBLE FOR  
ANY AND ALL COSTS OF REPAIR.

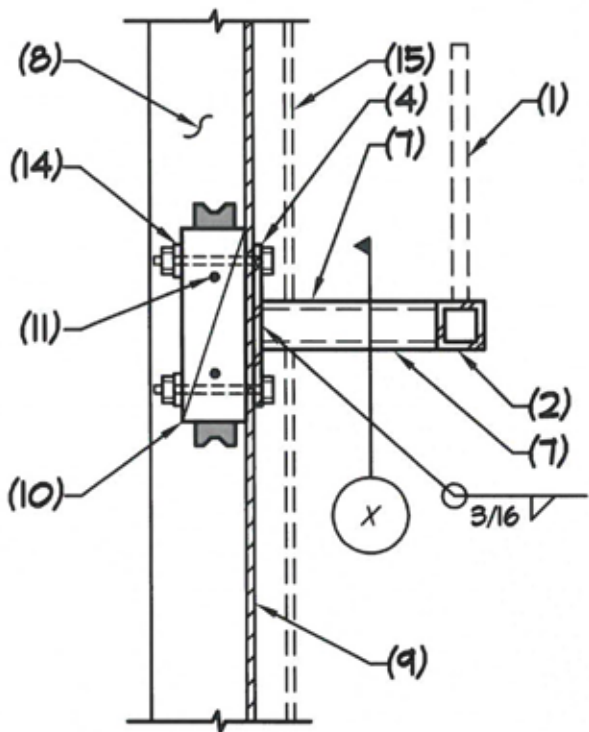
A Typical Sign Detail  
SCALE 3/8" = 1'0"



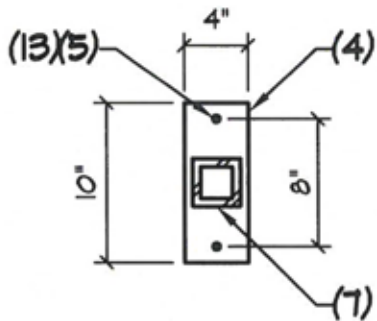
AT CMU



AT WOOD STUD/BRICK VENEER



AT WOOD STUD/ACCENT PANEL



- NOTES:**
1. SIGN BY OTHERS.
  2. CONTINUOUS TUBE BY SIGN MANUFACTURER.
  3. MASONRY WALL.
  4. 1/2"x10"x4" STEEL PLATE (LLV).
  5. (2) 1/2"φ EPOXY ANCHORS.
  6. DRILL AND EPOXY WITH SIMPSON SET-XP, 4 1/2" EMBEDMENT.
  7. HSS 3x3x1/4 OUT-RIGGER AT 24" O.C. MAX.
  8. WOOD STUD WALL.
  9. PLYWOOD SHEATHING.
  10. 4x12 BLOCK WITH SIMPSON A34 TOP AND BOTTOM - EACH SIDE.
  11. (2) 1/2"φ LAG BOLTS, 2" EMBEDMENT INTO 4x BLOCK.
  12. BRICK VENEER.
  13. (2) 1/2"φ THRU-BOLTS.
  14. 1/8"x2"x2" STEEL PLATE WASHER.
  15. ACCENT PANEL PER ARCH'L.

B Mounting Detail - Landlord Provided Out-Riggers  
NTS



ATTACHED SIGNS

**A BUILDING TENANT ID SIGNS - WALL SIGNS**

*Building Elevations With Conceptual Signage &  
Proposed Sign Envelopes*



**A** BUILDING TENANT ID SIGNS - WALL SIGNS

Allowable Signage Area Per Building

BUILDING	TOTAL BUILDING FRONTAGE: ARTERIAL	TOTAL BUILDING FRONTAGE: SERVICE DRIVES	TOTAL ATTACHED BUILDING SIGNAGE ALLOWED
C-STORE	113 FT.	113 FT.	249 SQ. FT. MAX.
FUEL CANOPY	141 FT.	141 FT.	310 SQ. FT. MAX.
P1	105 FT.	105 FT.	231 SQ. FT. MAX.
P2	160 FT.	160 FT.	352 SQ. FT. MAX.
P3	118 FT.	112 FT.	259 SQ. FT. MAX.
P4	95 FT.	95 FT.	209 SQ. FT. MAX.
P5	118 FT.	118 FT.	259 SQ. FT. MAX.
SAFEWAY (ANCHOR)	430 FT.	496 FT.	959 SQ. FT. MAX.
SELF-STORAGE	290 FT.	290 FT.	638 SQ. FT. MAX.
SHOPS A	349 FT.	219 FT.	741 SQ. FT. MAX.
SHOPS B	260 FT.	200 FT.	560 SQ. FT. MAX.
SHOPS C	140 FT.	84 FT.	296 SQ. FT. MAX.

The building signage allowances are predicate on the latest site plan on Page Four of this Comprehensive Sign Plan. They are subject to change based on the final users, but will be calculated in the same manner as the adjacent chart.

As a general rule, whenever an interior building pad elevation is adjacent to a Service Drive, but facing an Arterial Street, the Arterial Street is used in calculating allowable building signage of that elevation.

An example of the calculation used in the adjacent table is as follows (using the Shops C Building):

The east elevation facing Signal Butte Rd. and the south elevation facing Point Twenty-Two Blvd. are both deemed Arterial Frontage. The combined lineal building feet of frontage is 140' and it's multiplied by 2 square feet.

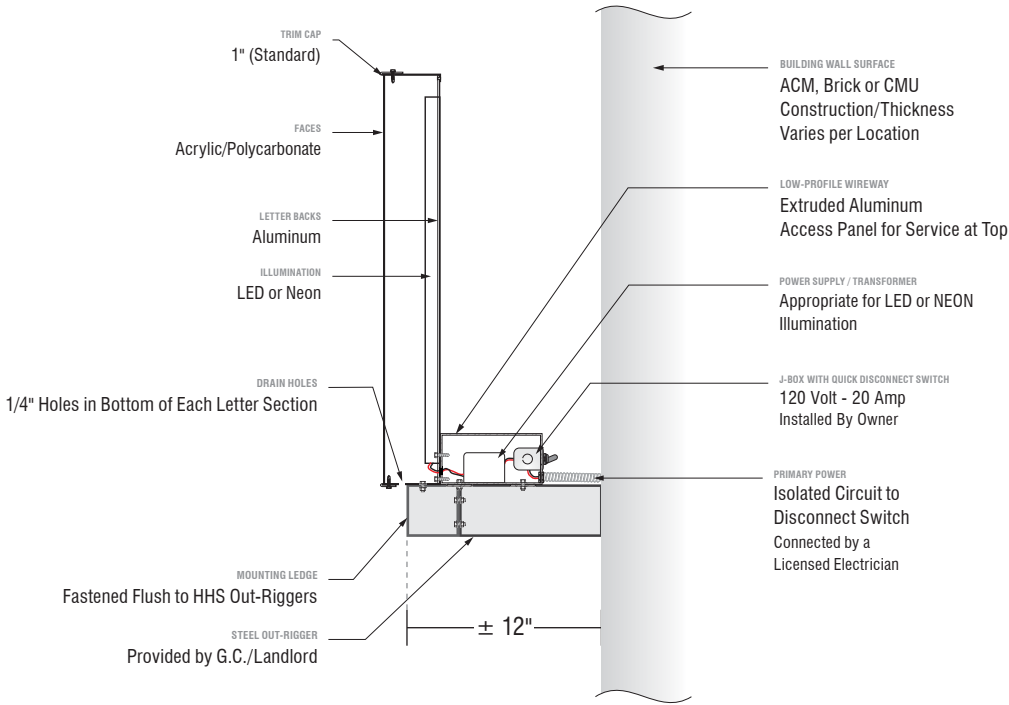
The north building elevation is 84' feet long and it's multiplied by .2 square feet. This means Shops C has a 296 square foot maximum for its Total Attached Building Signage Allowed.

The Total Attached Building Signage allowed for each building can be allocated on any of the approved Building Tenant ID Sign elevations (denoted with an "A") as shown on the site plan on Page Four of this Comprehensive Sign Plan.

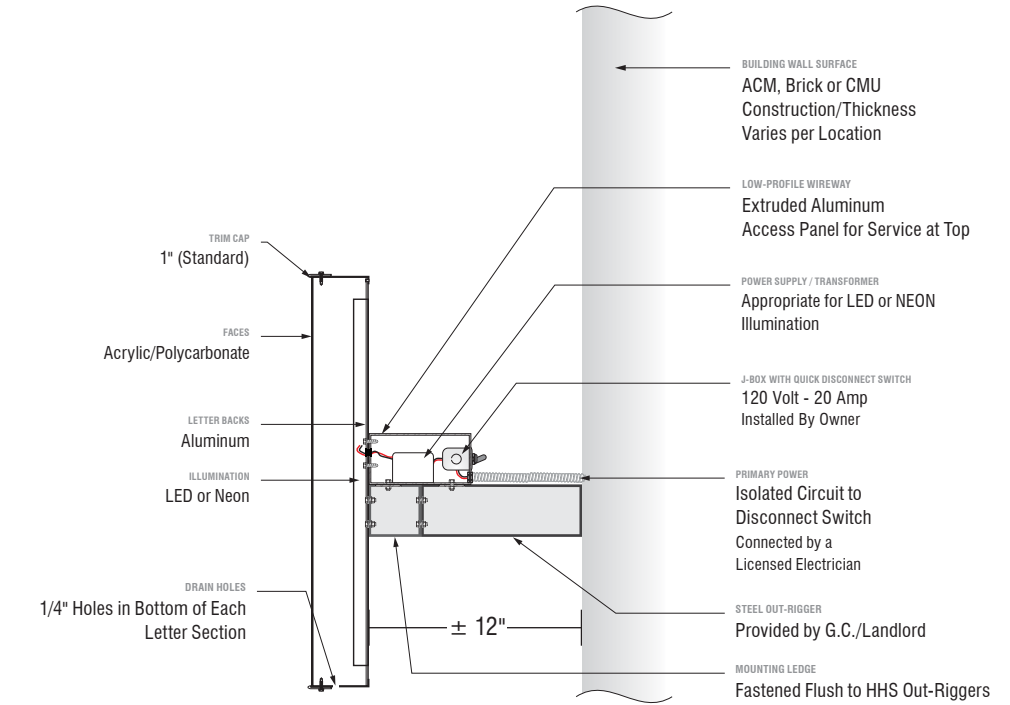
ATTACHED SIGNS

**A** BUILDING TENANT ID SIGNS - WALL SIGNS

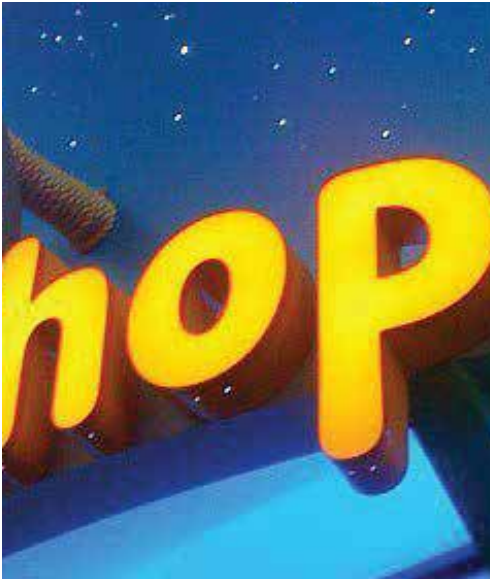
Section Details - Recommended Sign Types



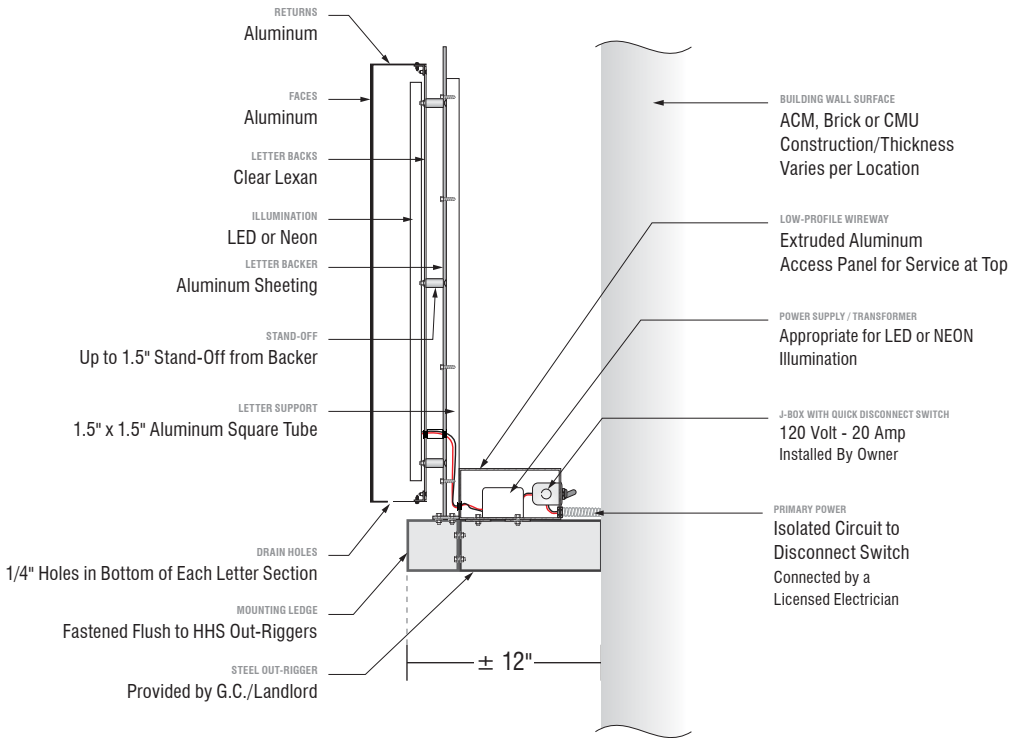
Section Detail - Letters on Top of Mounting Ledge (Typical)  
Pan Channel Letter / Internally-Illuminated



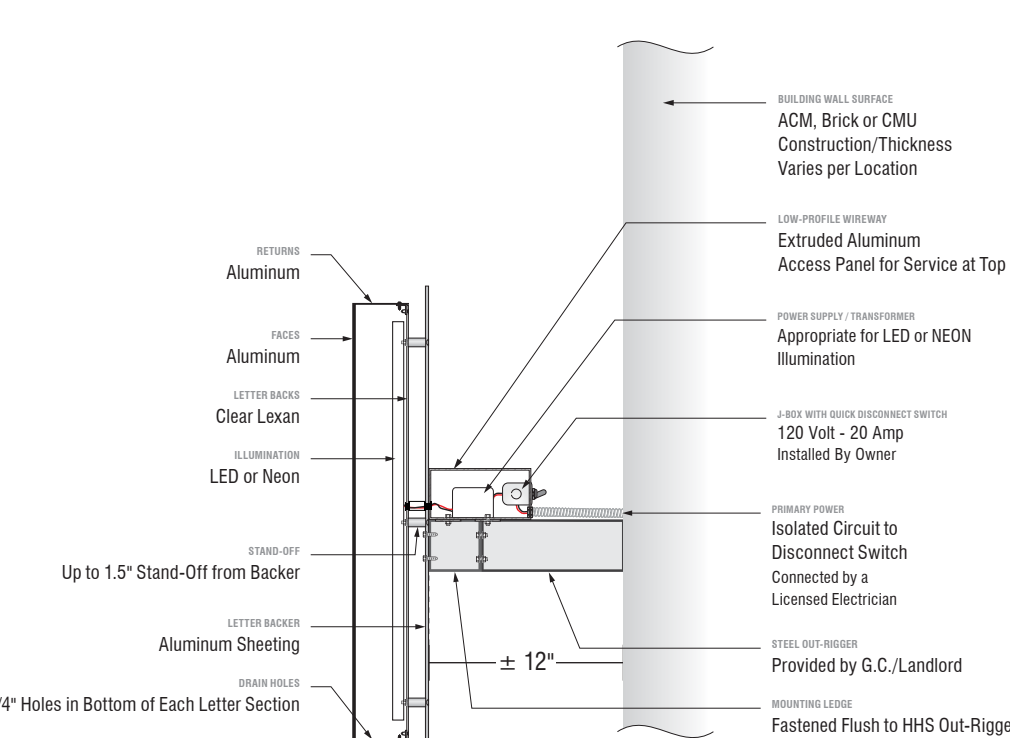
Section Detail - Letters in Front of Mounting Ledge (Typical)  
Pan Channel Letter / Internally-Illuminated



Pan Channel Letter  
Internally Illuminated



Section Detail - Letters on Top of Mounting Ledge (Typical)  
Reverse Pan Channel Letter / Halo-Illuminated



Section Detail - Letters in Front of Mounting Ledge (Typical)  
Reverse Pan Channel Letter / Halo-Illuminated



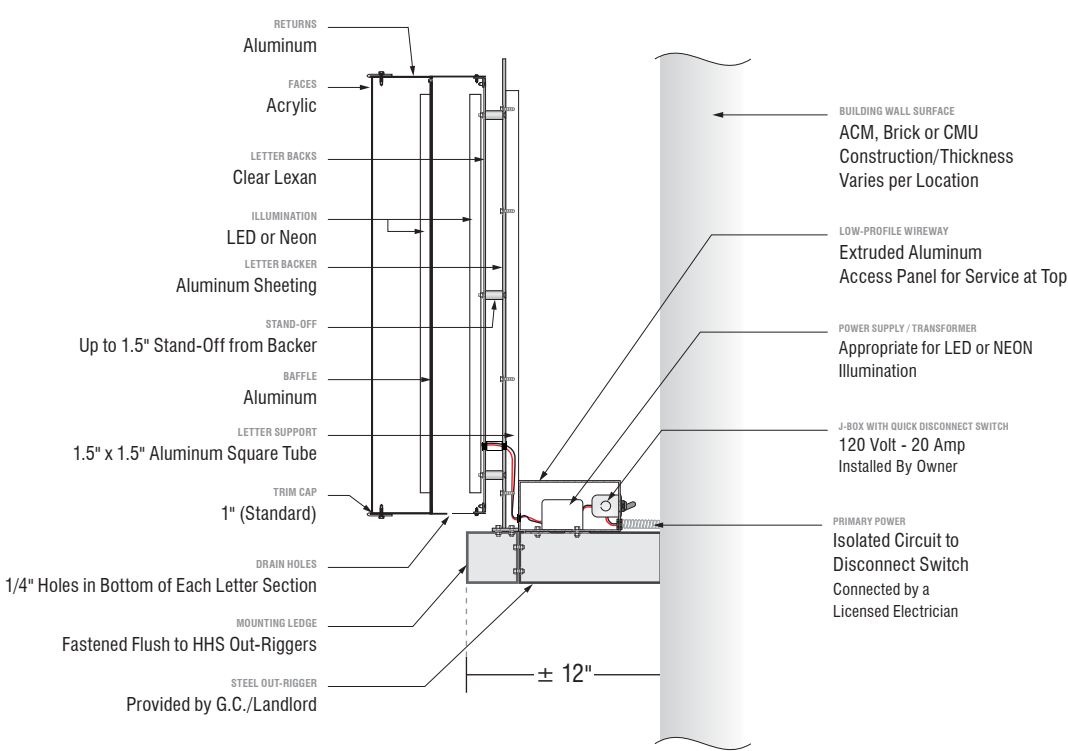
Reverse Pan Channel Letter  
Halo Illuminated



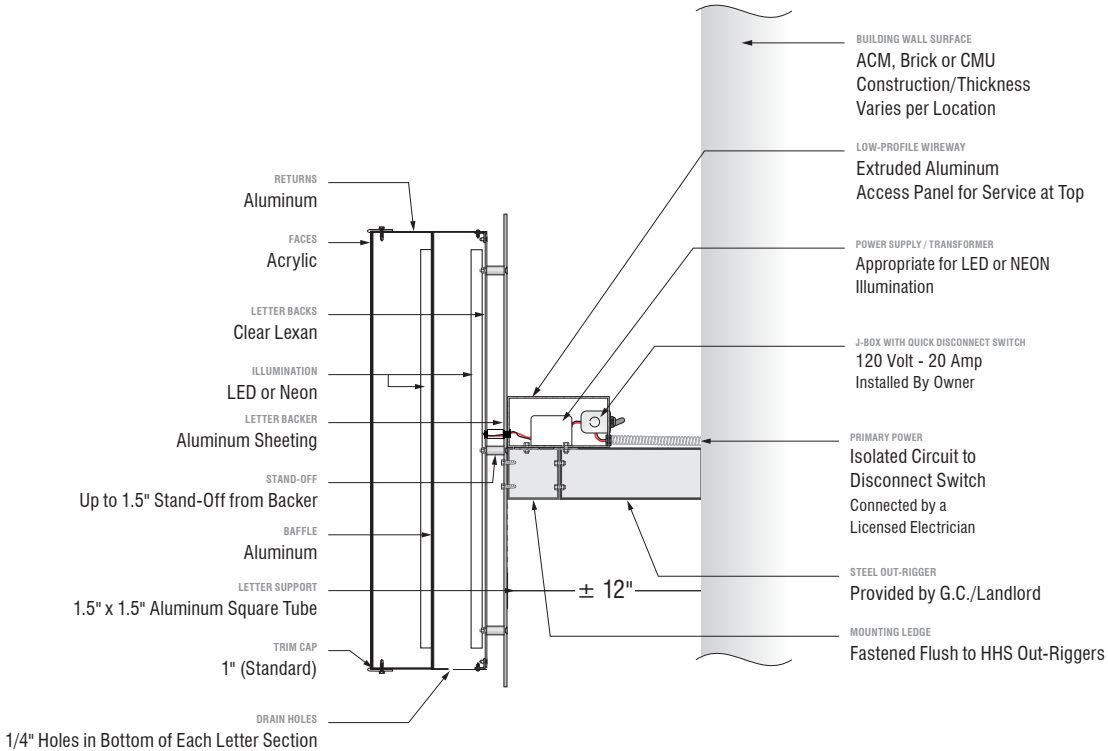
ATTACHED SIGNS

A BUILDING TENANT ID SIGNS - WALL SIGNS

Section Details - Recommended Sign Types



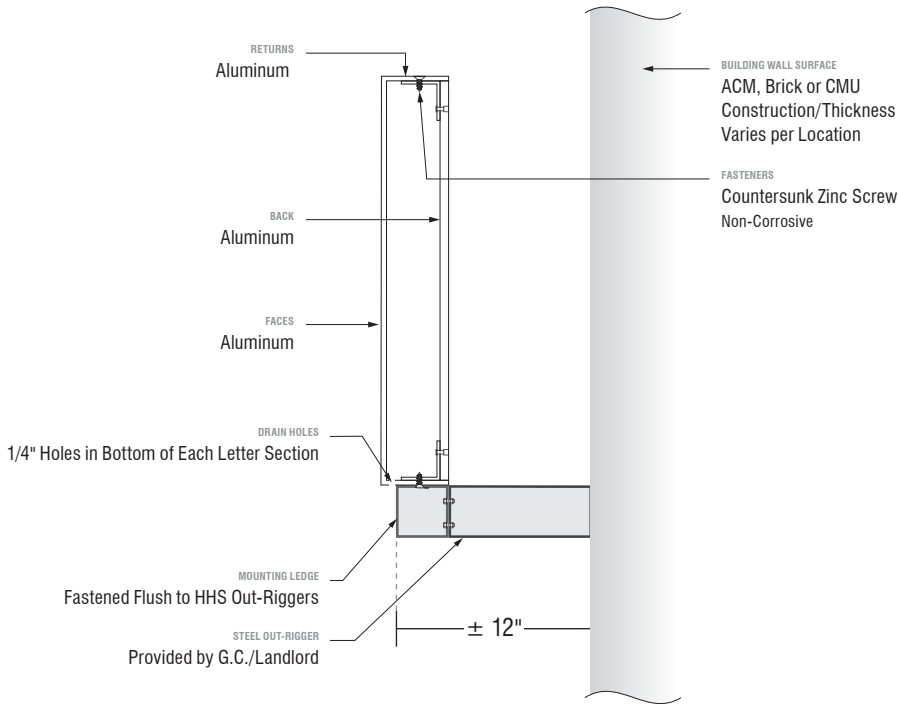
Section Detail - Letters on Top of Mounting Ledge (Typical)  
Channel Letter / Face and Halo Illuminated



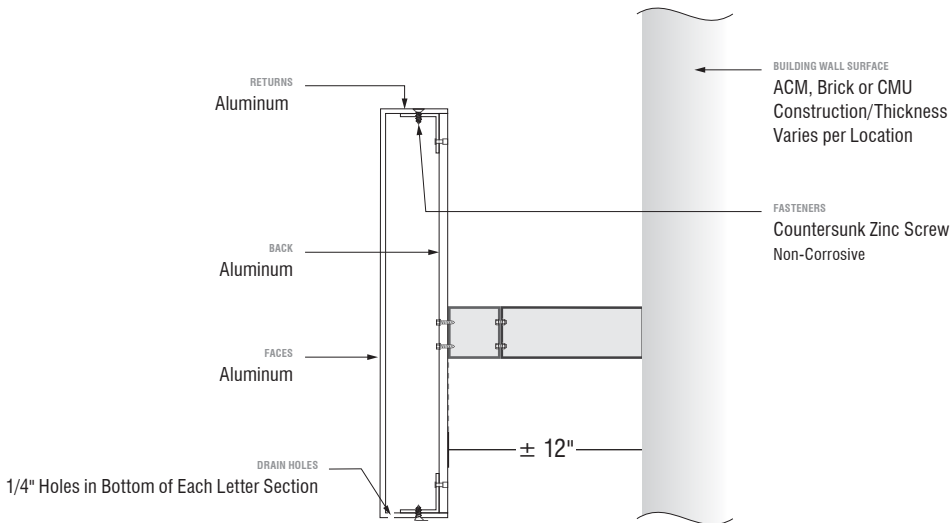
Section Detail - Letters in Front of Mounting Ledge (Typical)  
Channel Letter / Face and Halo Illuminated



Channel Letter  
Face and Halo Illuminated



Section Detail - Letters on Top of Mounting Ledge (Typical)  
Reverse Pan Channel Letter / Non-Illuminated



Section Detail - Letters in Front of Mounting Ledge (Typical)  
Reverse Pan Channel Letter / Non-Illuminated

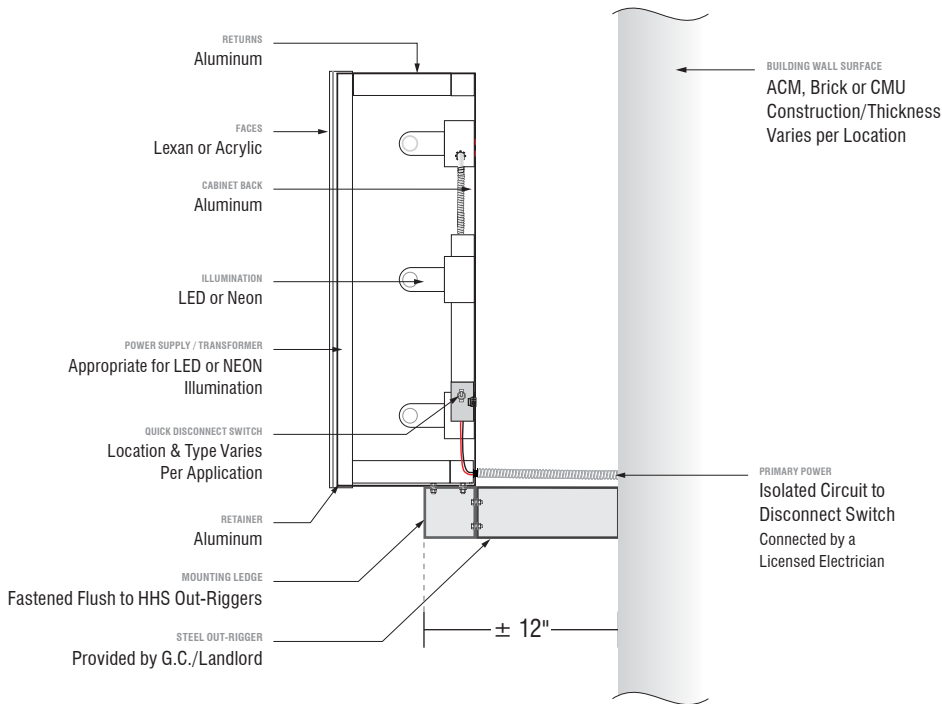


Reverse Pan Channel Letter  
Non-Illuminated

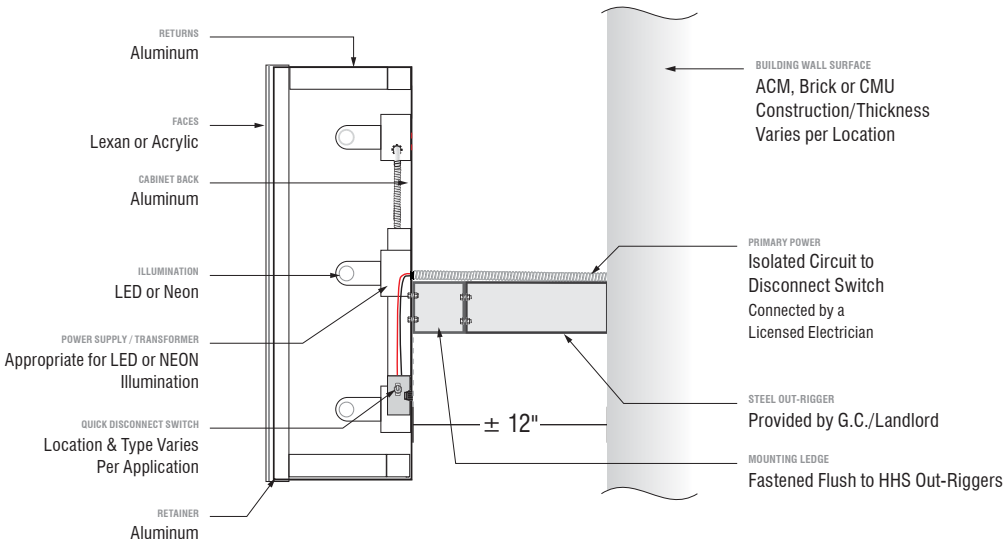
ATTACHED SIGNS

**A BUILDING TENANT ID SIGNS - WALL SIGNS**

Section Details - Recommended Sign Types



Section Detail - Letters on Top of Mounting Ledge (Typical)  
Illuminated Sign Cabinet / Internally Illuminated



Section Detail - Letters in Front of Mounting Ledge (Typical)  
Illuminated Sign Cabinet / Internally Illuminated

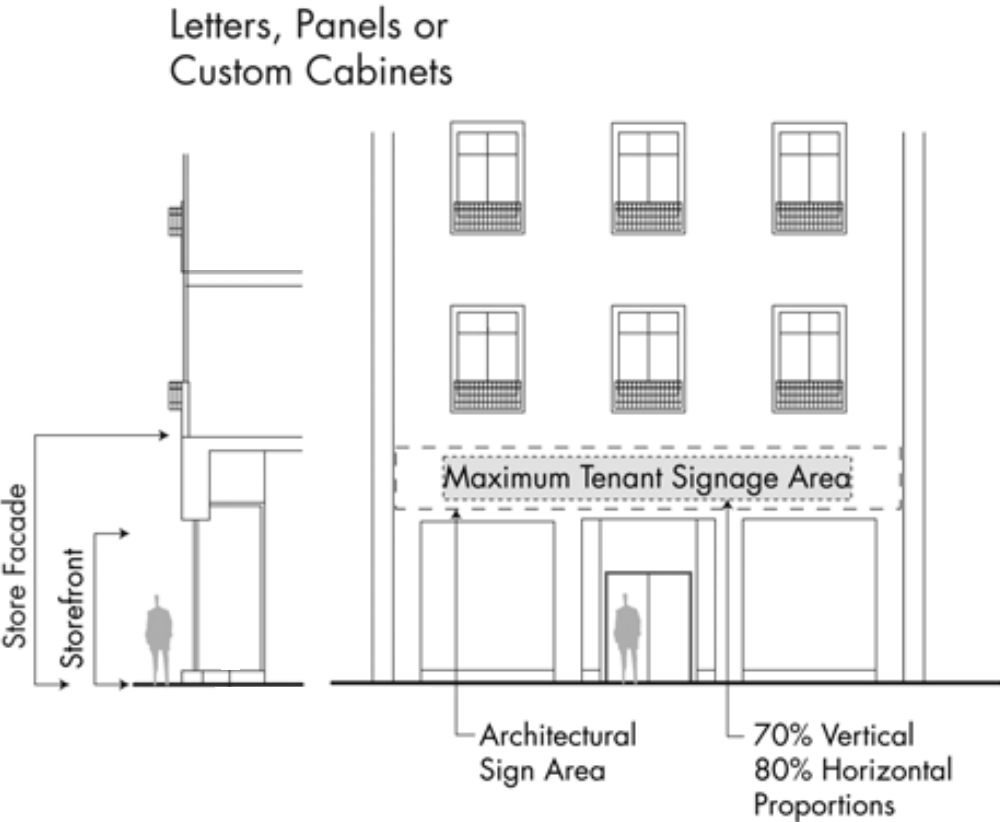


Illuminated Sign Cabinet  
Internally Illuminated

**A BUILDING TENANT ID SIGNS**

**WALL MOUNTED SIGNS**

A wall mounted sign is any sign mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. This does not include window signs. All signs shall fit appropriately into architectural sign areas as depicted below – Wall Signs with a maximum proportion of seventy (70) percent of the vertical height and eighty (80) percent of the horizontal length. Margins left by the sign should generally be in balance around the sign. Color breaks, control joints, high variation in surface texture or other obvious architectural delineation of spaces shall define the architectural sign area. Architecturally integrated signs may use a face material or cabinet which fills the entire sign area as background material.



EXAMPLE WALL MOUNTED SIGNS



A BUILDING TENANT ID SIGNS

MURALS

A mural is painting or pictorial representation applied to or incorporated into a structure or wall, which can be viewed from public places, service lanes and ROW.



EXAMPLE MURAL SIGNS

CABINET SIGNS

A cabinet sign is a sign that contains all the text and/or logo symbols within a single enclosed case. Cabinet signs that are wall mounted must comply with the wall mounted sign requirements of this section.



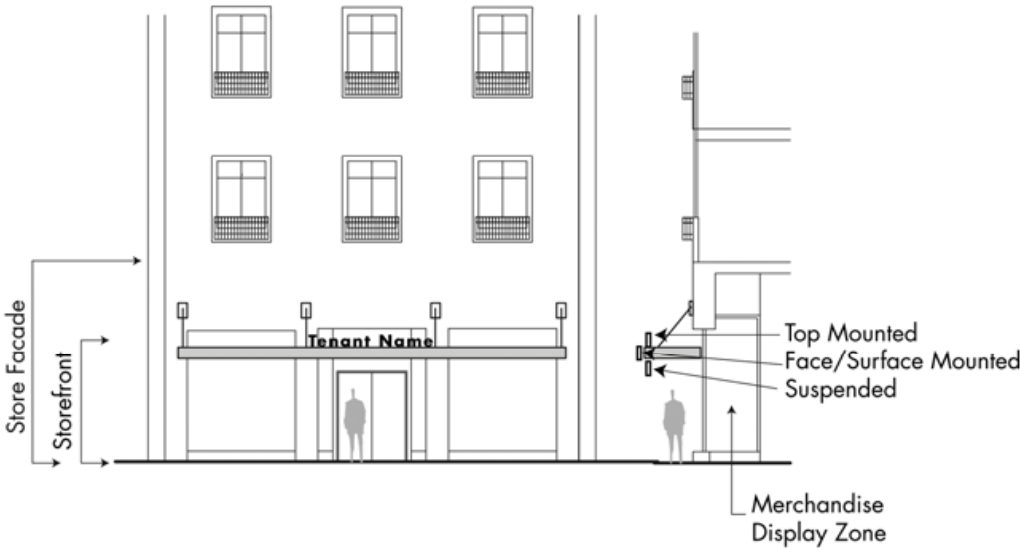
EXAMPLE CABINET SIGNS



**A** BUILDING TENANT ID SIGNS

CANOPY SIGNS

A sign placed on, affixed to, or incorporated into the surface of a canopy (typically rigid structures, or structures with vertical supports) or similar device. Signage may be mounted over, suspended under or face-mounted to the front edge or sides of a canopy. The canopy and associated signage must be at least eight (8) feet above any walkway surfaces. Canopies over four (4) feet deep may be required to provide indirect illumination of the walkway below, this shall not be considered signage illumination. Refer to the illustration below.



EXAMPLE CANOPY SIGNS



ATTACHED SIGNS

A BUILDING TENANT ID SIGNS

BLADE / PROJECTING SIGNS

A blade or projecting sign shall be a sign attached to a building or other structure and extending in whole or in part more than fifteen (15) inches beyond the building. The blade or projecting sign must be at least eight (8) feet above any walkway surfaces. Maximum projection shall not exceed four (4) feet. Mounting brackets must be decorative elements, compatible with the architecture of the base building.



EXAMPLE BLADE / PROJECTING SIGNS

WINDOW SIGNS

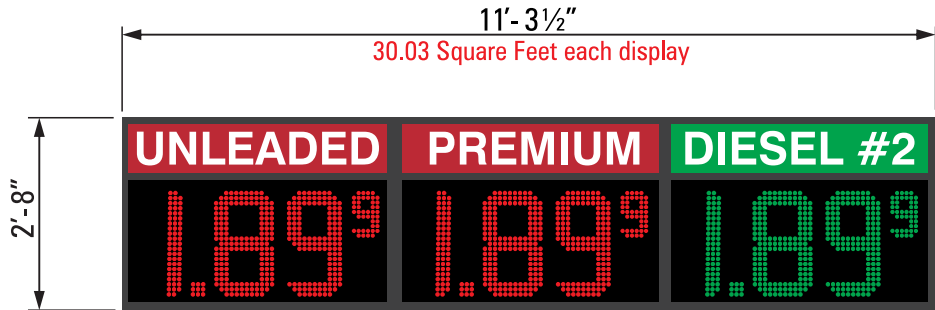
Window signs or applied graphics shall be any sign placed on, affixed to, painted on, sandblasted on, or located within the casement or sill area of a mineral glass window or other glazing. Dimensional letters attached to the glazing must have matching dimensional letters on each side of the glazing or a consistent and permanent opaque finish. Window sign area shall not exceed 25% of each window area. Window signs do not count against the maximum sign area.



EXAMPLE WINDOW SIGNS

ATTACHED SIGNS

A FUEL CENTER TENANT WALL SIGNS



LED ILLUM. 16" CHARACTER GAS PRICE CHANGERS

SCALE: 3/8" = 1' - 0"

**SCOPE OF PROJECT:**  
Manufacture and Install (2) Two LED illuminated Single faced 16" Character gas price changers with Product panels.



A1 FACE ILLUMINATED LOGO & LETTERS - #SLH56/18

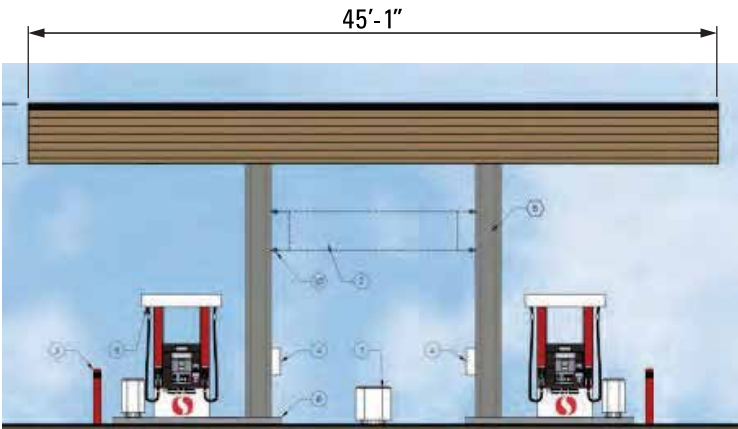
SCALE: 3/8" = 1' - 0"

**A2 SCOPE OF PROJECT:**  
Manufacture and Install (2) Two sets of LED illuminated:

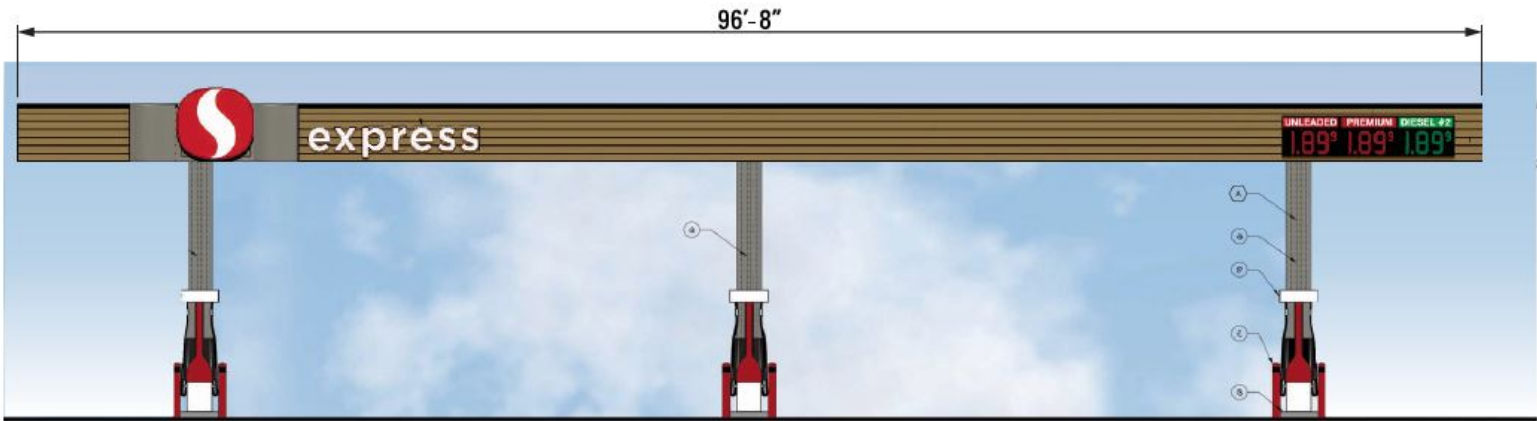
**Pan Channel Logo :**  
.050 aluminum returns ( White ) and retainers ( PMS 186C Red ).  
3/16" White Lexan face with #3630-33 Red vinyl overlay.  
Mounted flush to canopy surface.

**Pan Channel Letters :**  
.050 aluminum returns ( White ).  
3/16" White acrylic faces, Red trim cap with #3630-33 Red vinyl overlay.  
Mounted flush to canopy surface.

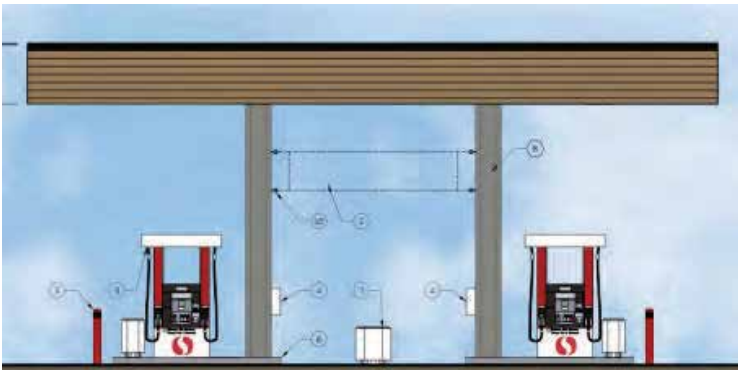
FUEL SIGNAGE SQ. FTG. CALCULATIONS	
LOGO: 4'-8"x 5'-0 1/2"	23.48 Sq. Ft.
LETTERS: 1'-11 1/4" x 11'-2 3/4"	21.65 Sq. Ft.
LED PRICE CHANGER: 2'-8"x 11'-3 1/2"	30.03 Sq. Ft.
TOTAL OF ALL SIGNAGE PER ELEVATION ... 75.16 Sq. Ft.	



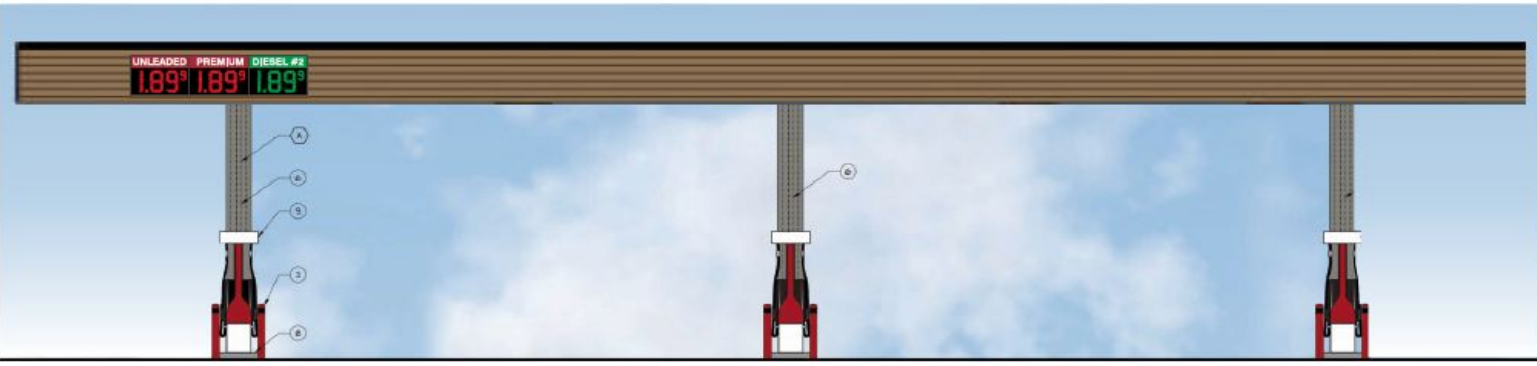
EAST CANOPY ELEVATION



SOUTH CANOPY ELEVATION



WEST CANOPY ELEVATION

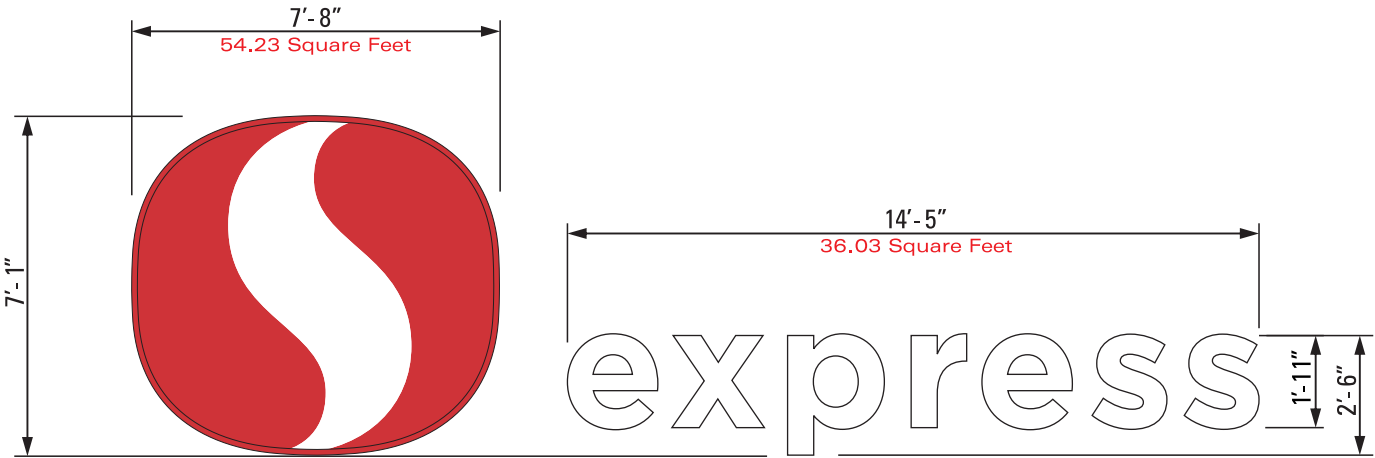
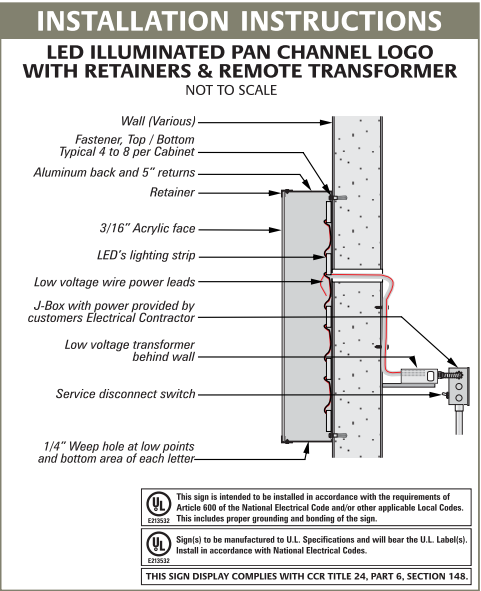
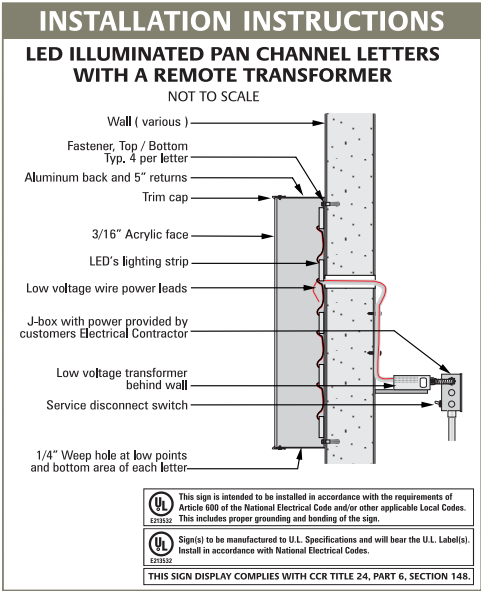


NORTH CANOPY ELEVATION



ATTACHED SIGNS

A FUEL CENTER TENANT WALL SIGNS



FACE ILLUMINATED LOGO & LETTERS

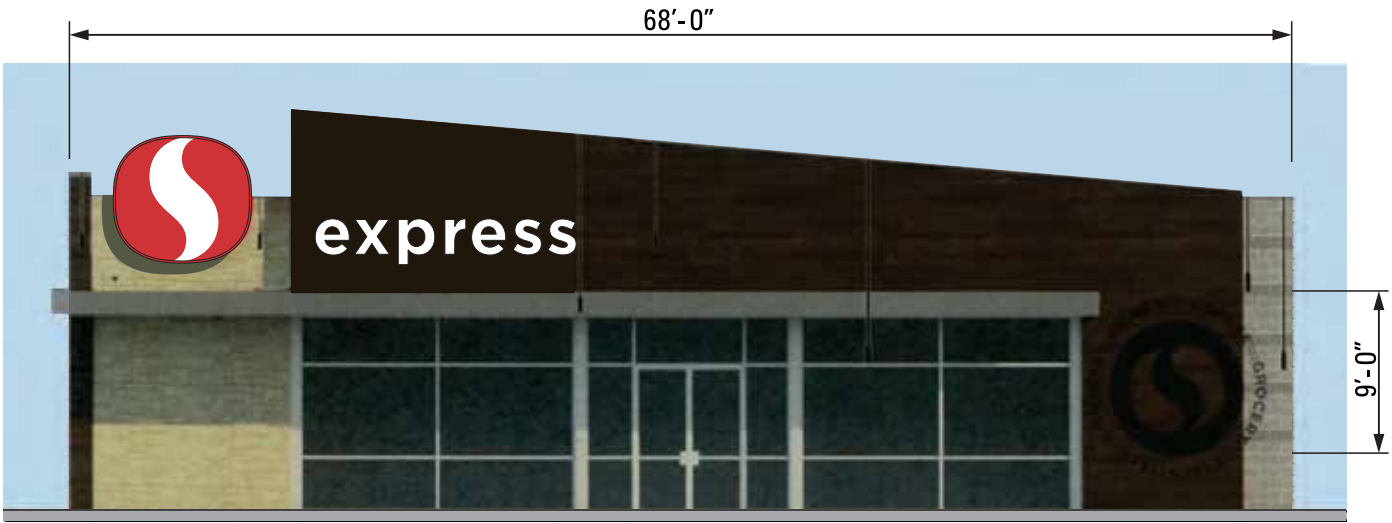
SCALE: 1/4" = 1'-0"

**SCOPE OF PROJECT:**  
*Manufacture and Install (1) One LED illuminated:*

**A3** **Pan Channel Logo :**  
*Aluminum .050 returns ( White ) and retainers ( PMS 186C Red ).  
3/16" White Lexan face with #3630-33 Red vinyl overlay.  
Mounted flush to building surface.*

**A4** **Pan Channel Letters :**  
*.050 aluminum returns ( White ).  
3/16" White acrylic faces, White trim cap.  
Mounted flush to building surface.*

Building - Signage Sq. Ftg. Calculations	
LOGO: 7'-1" x 7'- 8" .....	54.23 Sq. Ft.
LETTERS: 2'- 6" x 14'- 5" .....	36.03 Sq. Ft.
TOTAL OF ALL SIGNAGE PER ELEVATION ... 90.26 Sq. Ft.	



SOUTH BUILDING ELEVATION

SCALE: 3/32" = 1'-0"



NORTH BUILDING ELEVATION

SCALE: 3/32" = 1'-0"

**A** FUEL CENTER TENANT WALL SIGNS



**A5** PAINTED STENCIL GRAPHIC

SCALE: 1/2" = 1'-0"  
**SCOPE OF WORK:**  
Stencil graphic painted on stone surface by others.  
**Font:** Gotham HTF Bold.  
**Paint:** BM #2114-10 Bittersweet Chocolate



**A6** PAINTED STENCIL GRAPHIC

SCALE: 3/8" = 1'-0"  
**SCOPE OF WORK:**  
Stencil graphic painted on stone surface by others.  
**Font:** Gotham HTF Bold.  
**Paint:** BM #2114-10 Bittersweet Chocolate



**SOUTH BUILDING ELEVATION**



**NORTH BUILDING ELEVATION**

ATTACHED SIGNS

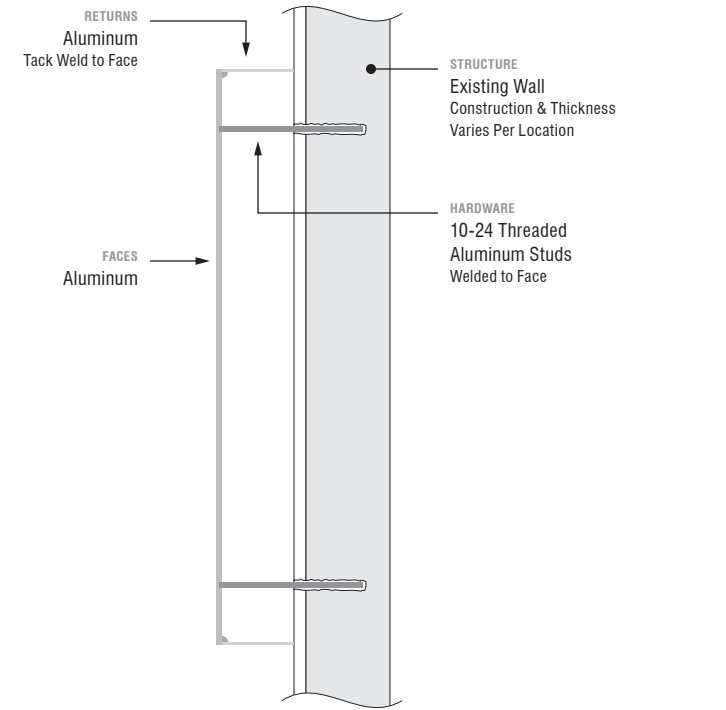
TENANT ID SIGNS

ADDRESS

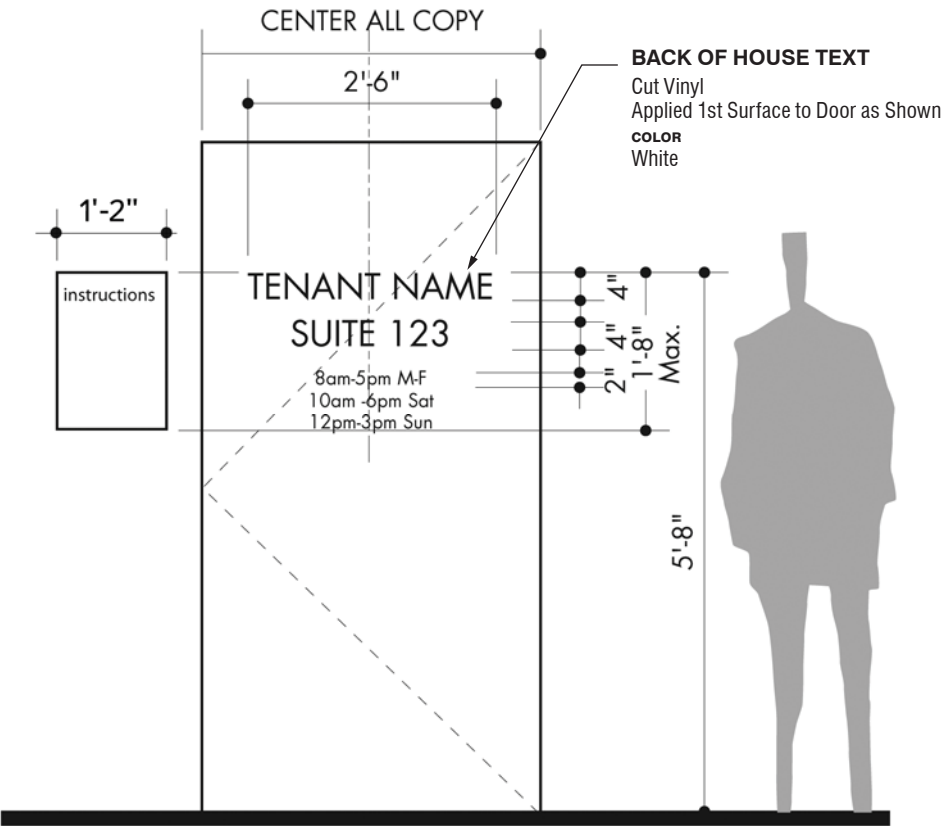
Address signs including street, building and suite numbers which do not exceed six (6) square feet are not regulated by the City Code. Permits are not required for Address Signs. Address signs do not count against the maximum sign area.

BACK OF HOUSE SIGNS

Anchor, Pad, C-Store, and Shop Tenants: Back of house signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown at right, without counting against the maximum sign area.



Section Detail - Typical  
Reverse Pan Channel / Non-Illuminated / Stud Mount Flush





ATTACHED & DETACHED SIGNS

TENANT ID SIGNS

MENU SIGN / BOARD / CABINET

A menu sign is a sign used to inform the public of the list of entrees, dishes, foods and entertainment available. A menu board is permanently mounted external sign displaying the bill of fare. A menu cabinet is a permanently mounted cabinet with front of glass or other glazing in which a menu sign may be displayed and changed often. Menu signs, boards or cabinets shall be mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. Menu signs, boards and cabinets are by their nature pedestrian oriented and shall not count against the maximum sign area, height or quantity allowed. One (1) Menu sign, board or cabinet shall be permitted for and at each entry point. The maximum sign area for a menu sign, board or cabinet shall be six (6) square feet. Menu signs, boards or cabinets must be decorative elements, compatible with the architecture of the base building the plaques are attached to. Such signs are not counted against the detached sign allowance.



EXAMPLE MENU SIGN / BOARD / CABINET

INCIDENTAL SIGNAGE

Incidental signage shall not be limited by the City Code. Text and logos shall be no more than two (2) inches in height. Incidental signage may include the following information that is typically provided for commercial establishments:

- a. The name of the establishment
- b. Hours of operation
- c. Suite numbers
- d. Modifiers of the products sold
- e. Logos and other graphic elements
- f. Credit cards accepted decal
- g. Chamber of commerce membership decal
- h. Open/Closed sign less than one-half (1/2) square foot, not permanently attached to the Storefront glazing
- i. No smoking decals less than one-half (1/2) square foot
- j. Other decals required by Law



EXAMPLE INCIDENTAL SIGNAGE



TEMPORARY RETAIL / PORTABLE SIGNS

A temporary retail or portable sign is any sign or advertising device not secured in place, such as an A-frame or spring-loaded sign. A temporary retail or portable sign is a sign either portable or stationary used to display information relating to a land use or event of limited duration which is intended to be removed upon termination of said land use or event. Temporary retail and portable signs shall not count against the maximum sign area, height or quantity allowed. One (1) temporary retail or portable sign shall be permitted for and at each entry point. The maximum sign area for temporary retail or portable sign shall be eight (8) square feet. Maximum sign height shall not be regulated, but the signs taller than three and a half (3.5) feet must be designed so they do not endanger pedestrians or vehicles by falling over. Temporary retail or portable signs must be decorative elements, compatible with the architecture of the base building, the tenants storefront, or the setting the will be placed in. Temporary retail or portable signs are not permitted to block building entrances or sidewalk clear routes. Permits for temporary retail or portable sign must include the locations where they may be set up. Temporary retail or portable signs are not allowed along arterial streets unless they are part of an Individual Comprehensive Sign Plan.



EXAMPLE TEMPORARY RETAIL / PORTABLE SIGNS



TENANT ID SIGNS

DIRECTIONAL SIGNS

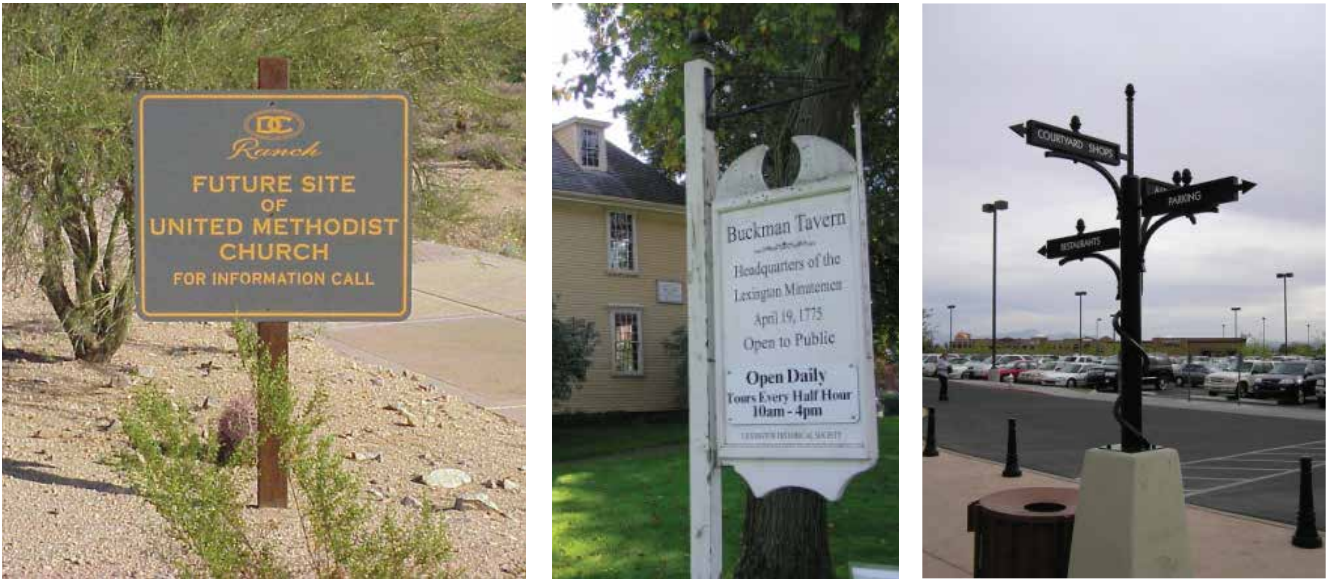
A directional sign shall be a sign which includes copy offering pertinent directional information for the purpose of assisting in the flow of vehicular or pedestrian traffic. Directional signs are not advertising nor commercially oriented and shall not count against the maximum sign area allowed. The maximum sign area for directional signs shall be six (6) square feet unless approved by the City Zoning Administrator or through an Individual Comprehensive Sign Plan. Plaques must be decorative elements, compatible with the architecture or the site they are a part of.



EXAMPLE DIRECTIONAL SIGNS

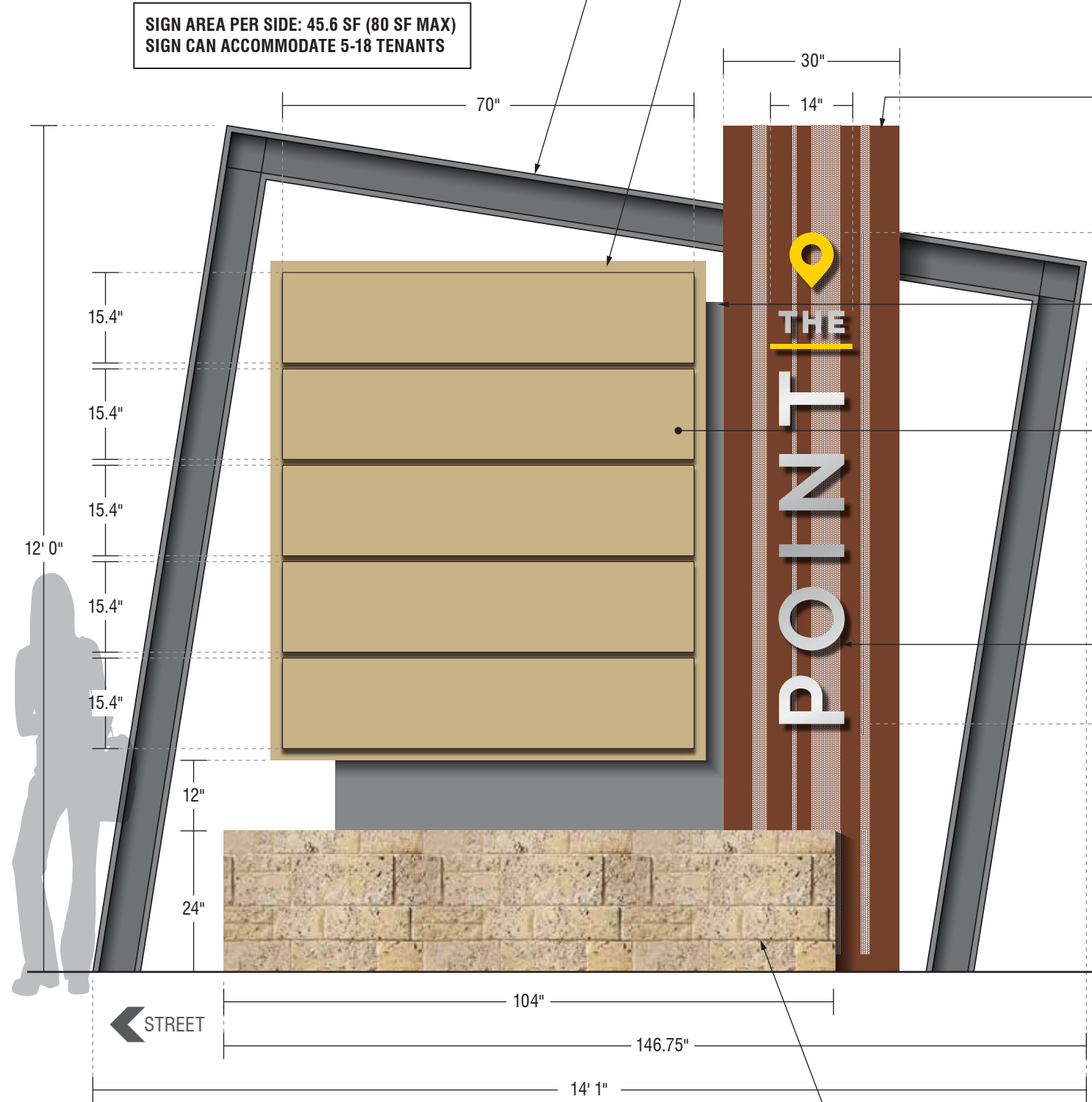
PEDESTRIAN SIGNS

Pedestrian signs are signs that focus their message on pedestrian traffic and generally include directional signs, menu signs/boards/cabinets, temporary retail and portable signs, plaques, shingles or hanging signs and back of house signs.



EXAMPLE PEDESTRIAN SIGNS

## B1 MULTI-TENANT MONUMENT SIGNS



**ACCENT BEAM STRUCTURE**  
Aluminum Construction  
All Sides Painted; Satin Finish  
MP to Match Looking Glass (DE6376 ■)

**TENANT CABINET**  
Aluminum Angle Frame  
1/8" Aluminum Skin  
All Sides Painted; Satin Finish  
MP to Match Gold Building Color (TBD ■)

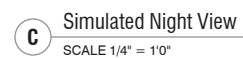
**ILLUMINATED PROJECT CABINET**  
Steel Angle Frame  
Corten AZP Raw Steel Faces  
Perforated Pattern Routed Out Thru Faces  
**BACKER**  
.177 Clear Lexan  
**ILLUMINATION**  
To Wash up Interior of Cabinet  
White LED  
GE TetraMAX 7100K

**REVEAL CABINET**  
Aluminum Angle Frame  
1/8" Aluminum Skin  
All Sides Painted; Satin Finish  
MP to Match Looking Glass (DE6376 ■)

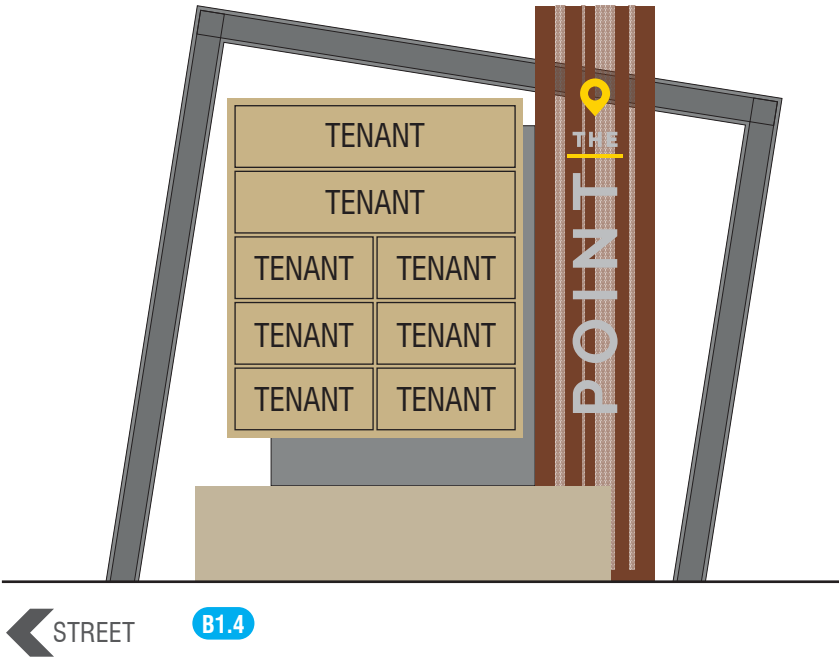
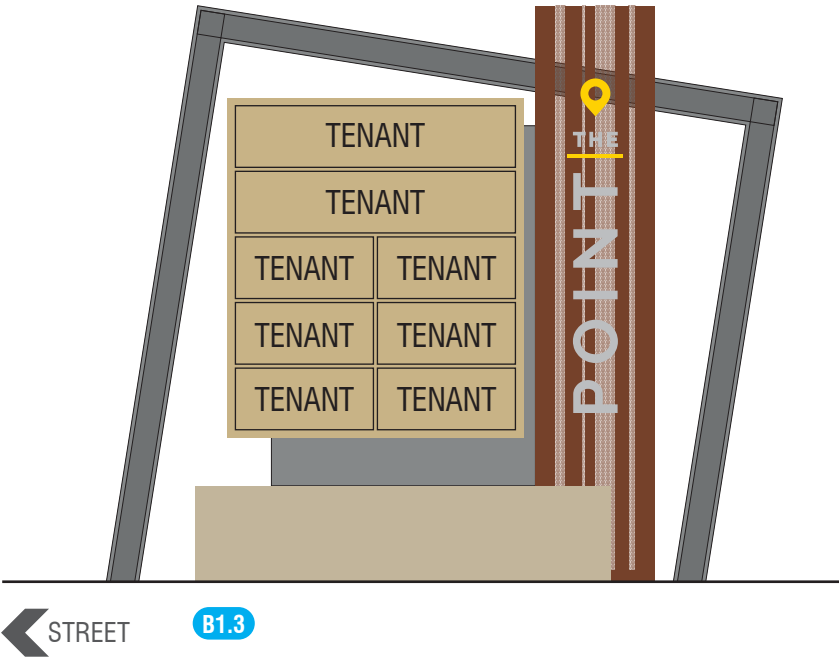
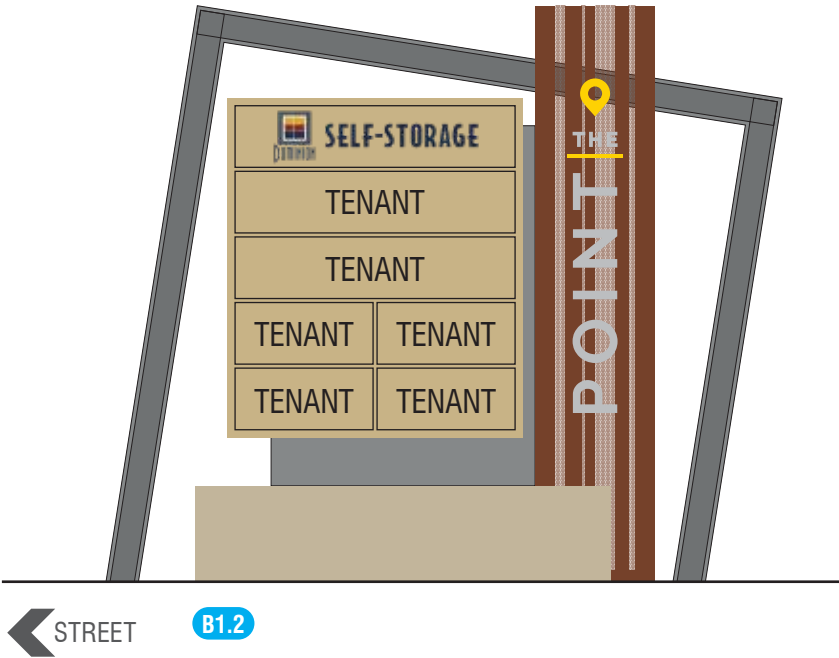
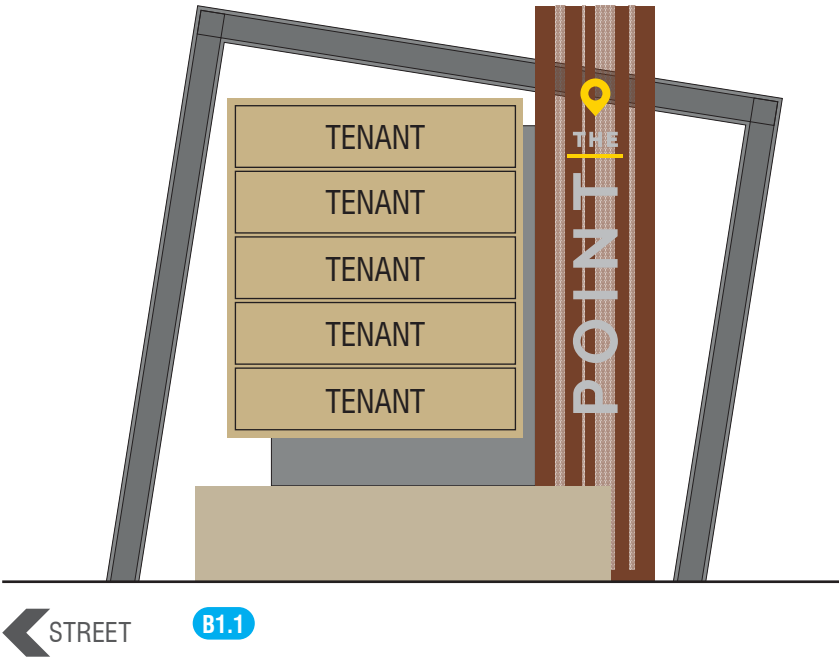
**ILLUMINATED REPLACEABLE TENANT PANELS**  
1/8" Aluminum Face  
1 1/2" Aluminum Returns  
Painted; Satin Finish  
MP to Match Gold Building Color (TBD ■)

**TENANT LOGO**  
Routed From Panel Face  
**BACKER**  
3/16" White Acrylic  
Vinyl Graphics Applied 1st Surface  
*Colors Vary per Tenant*  
**ILLUMINATION**  
White LED  
GE TetraMAX 7100K  
**INSTALLATION**  
Placed on to Sign Cabinet  
with Required Hardware

**ILLUMINATED REVERSE PAN CHANNEL LETTERS/LOGO**  
**FACES**  
1/8" Aluminum  
**RETURNS**  
.063" Aluminum; 2" Deep  
**COLOR**  
Painted; Satin Finish  
Brushed Aluminum (MP ■)  
MP to Match PMS 109 ■  
**BACKS**  
.177 Clear Lexan  
Diffuser 70  
**ILLUMINATION**  
White LED  
GE TetraMAX 7100K  
**INSTALLATION**  
Mounted 1 1/2" Off Cabinet Face  
With Raw Aluminum Spacers



B1 MULTI-TENANT MONUMENT SIGNS

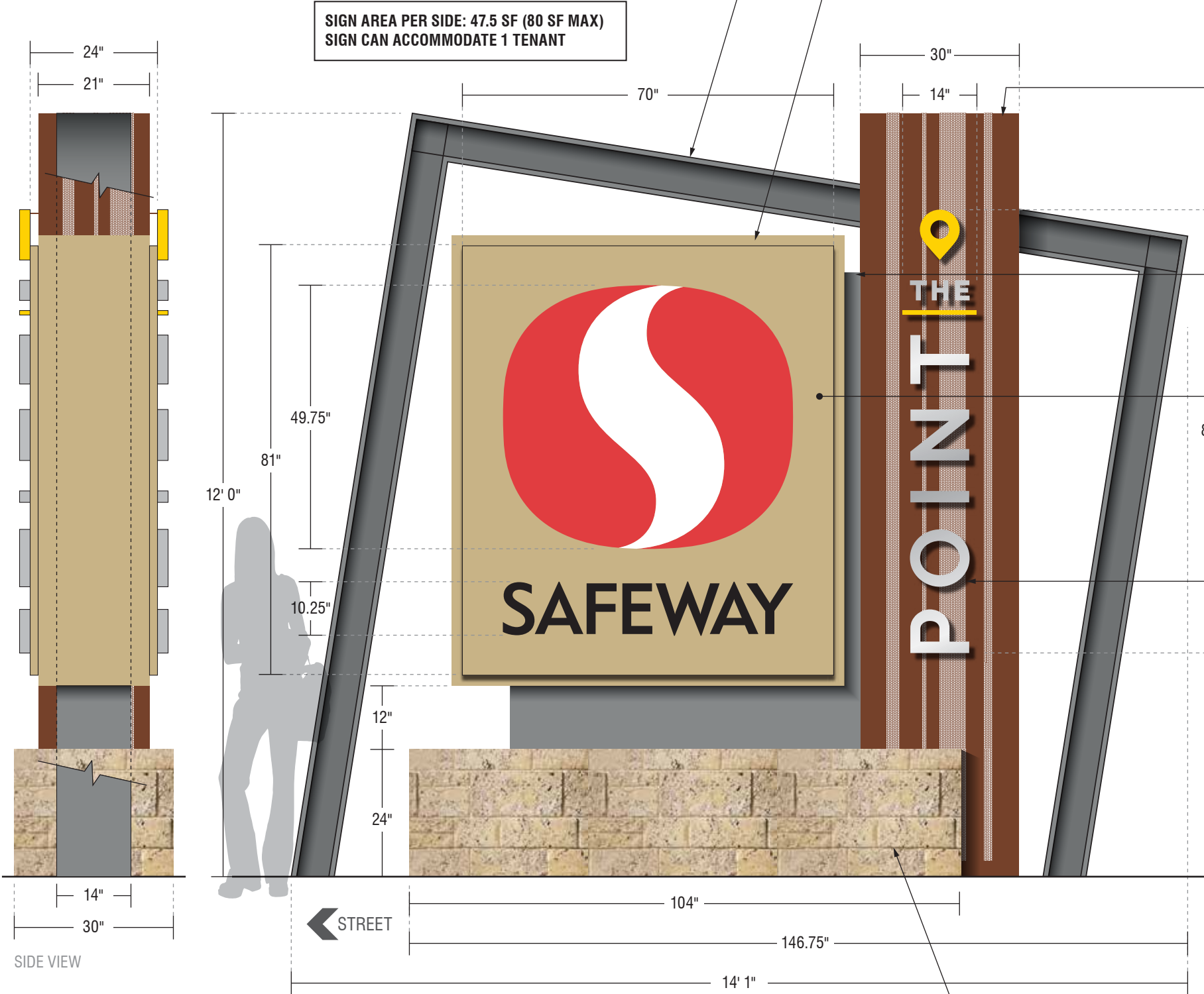


D Tenant Panel Variations  
SCALE 1/4" = 1'0"



DETACHED SIGNS

B2 ANCHOR TENANT MONUMENT SIGN



ACCENT BEAM STRUCTURE

Aluminum Construction  
All Sides Painted; Satin Finish  
MP to Match Looking Glass (DE6376 ■)

TENANT CABINET

Aluminum Angle Frame  
1/8" Aluminum Skin  
All Sides Painted; Satin Finish  
MP to Match Gold Building Color (TBD ■)

ILLUMINATED PROJECT CABINET

Steel Angle Frame  
Corten AZP Raw Steel Faces  
Perforated Pattern Routed Out Thru Faces  
**BACKER**  
.177 Clear Lexan  
**ILLUMINATION**  
To Wash up Interior of Cabinet  
White LED  
GE TetraMAX 7100K

REVEAL CABINET

Aluminum Angle Frame  
1/8" Aluminum Skin  
All Sides Painted; Satin Finish  
MP to Match Looking Glass (DE6376 ■)

ILLUMINATED REPLACEABLE TENANT PANELS

1/8" Aluminum Face  
1 1/2" Aluminum Returns  
Painted; Satin Finish  
MP to Match Gold Building Color (TBD ■)  
**TENANT LOGO**  
Routed From Panel Face  
**BACKER**  
3/16" White Acrylic  
Vinyl Graphics Applied 1st Surface  
Black Perforated Vinyl (3M 3635-222 ■)  
Red Translucent Vinyl (3M 3630-33 ■)  
**ILLUMINATION**  
White LED  
GE TetraMAX 7100K  
**INSTALLATION**  
Placed on to Sign Cabinet  
with Required Hardware

ILLUMINATED REVERSE PAN CHANNEL LETTERS/LOGO

**FACES**  
1/8" Aluminum  
**RETURNS**  
.063" Aluminum; 2" Deep  
**COLOR**  
Painted; Satin Finish  
Brushed Aluminum (MP ■)  
MP to Match PMS 109 ■  
**BACKS**  
.177 Clear Lexan  
Diffuser 70  
**ILLUMINATION**  
White LED  
GE TetraMAX 7100K  
**INSTALLATION**  
Mounted 1 1/2" Off Cabinet Face  
With Raw Aluminum Spacers

MASONRY BASE

To Match Architectural Elements of Building.  
Lauder Stone - Buff (Roughback)

Qty: 1



B Side B  
SCALE 1/4" = 1'0"

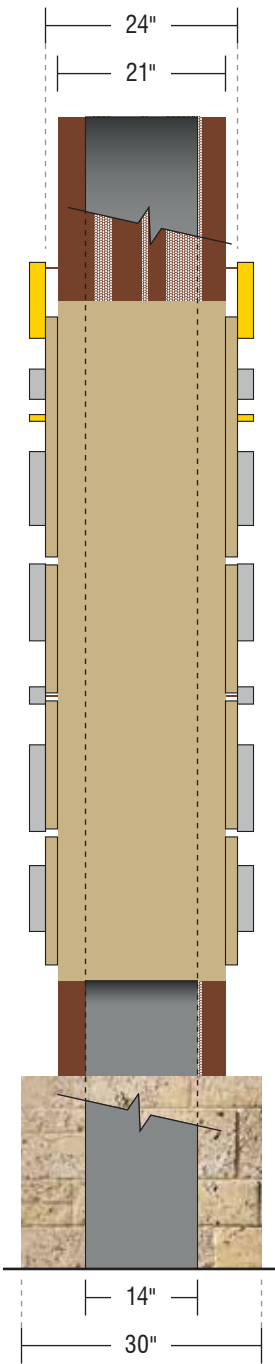


C Simulated Night View  
SCALE 1/4" = 1'0"

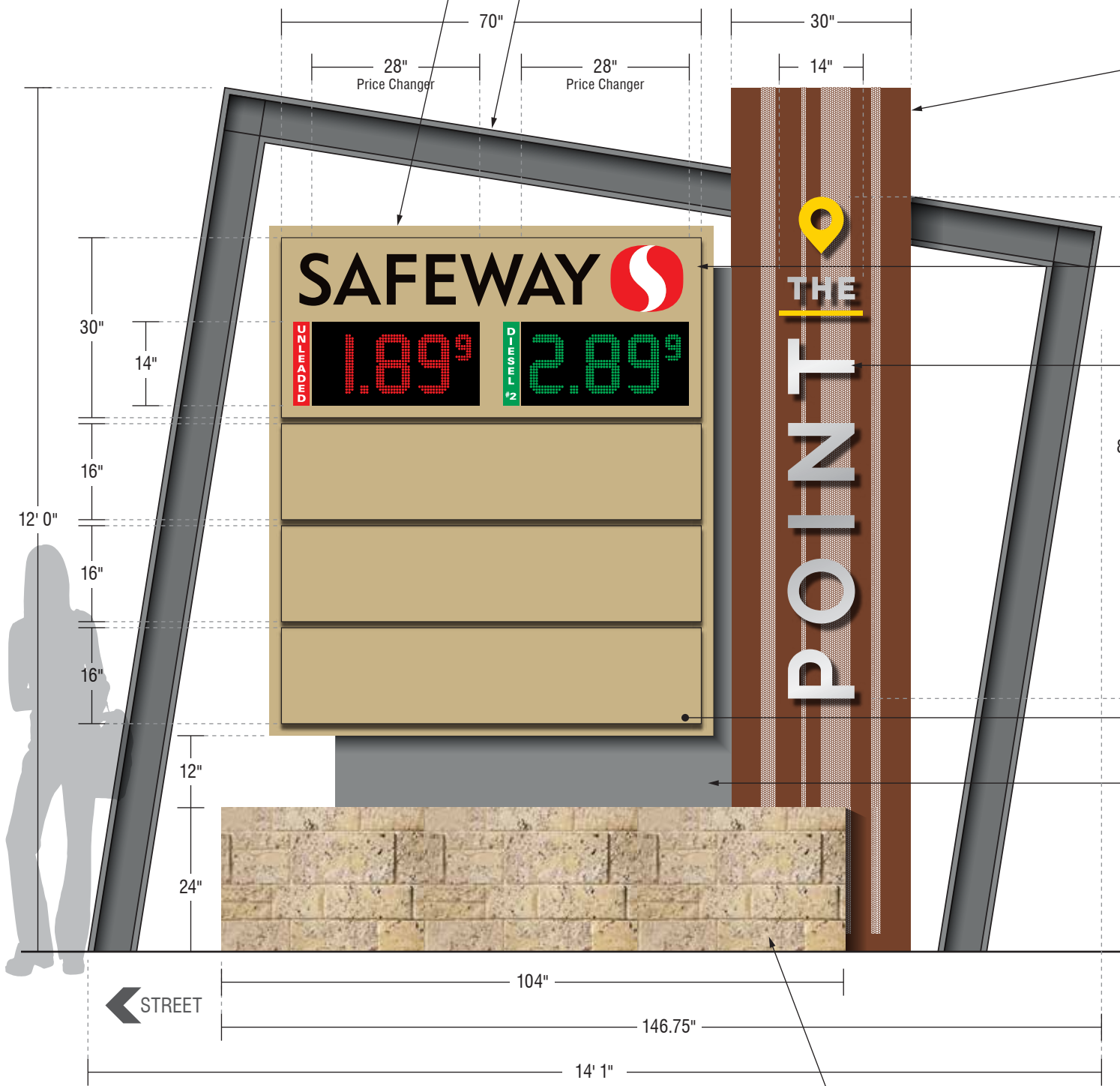
A Project Detail (Side A)  
SCALE 1/2" = 1'0"

DETACHED SIGNS

B3 MULTI-TENANT FUEL MONUMENT SIGN



SIDE VIEW



SIGN AREA PER SIDE: 46.05 SF (80 SF MAX)  
SIGN CAN ACCOMMODATE 4-7 TENANTS

A Project Detail (Side A)  
SCALE 1/2" = 1'0"

ACCENT BEAM STRUCTURE

Aluminum Construction  
All Sides Painted; Satin Finish  
MP to Match Looking Glass (DE6376 ■)

ILLUMINATED  
TENANT CABINET

Aluminum Angle Frame  
1/8" Aluminum Skin  
All Sides Painted; Satin Finish  
MP to Match Gold Building Color (TBD ■)  
**ILLUMINATION**  
White LED  
GE TetraMAX 7100K

ILLUMINATED  
PROJECT CABINET

Steel Angle Frame  
Corten AZP Raw Steel Faces  
Perforated Pattern Routed Out Thru Faces  
**BACKER**  
.177 Clear Lexan  
**ILLUMINATION**  
To Wash up Interior of Cabinet  
White LED  
GE TetraMAX 7100K

ANCHOR TENANT PANEL

1/8" Aluminum Face  
1 1/2" Aluminum Returns  
Painted; Satin Finish  
MP to Match Gold Building Color (TBD ■)  
**TENANT LOGO/FUEL LABELS**  
Routed From Panel Face  
**BACKER**  
3/16" White Acrylic  
Vinyl Graphics Applied 1st Surface  
Black Perforated Vinyl (3M 3635-222 ■)  
Red Translucent Vinyl (3M 3630-33 ■)  
Kelly Green Translucent Vinyl (3M 3630-146 ■)  
**FUEL PRICE CHANGER**  
(2) LED Displays - 10" Character

ILLUMINATED REVERSE  
PAN CHANNEL LETTERS/LOGO

**FACES**  
1/8" Aluminum  
**RETURNS**  
.063" Aluminum; 2" Deep  
**COLOR**  
Painted; Satin Finish  
Brushed Aluminum (MP ■)  
MP to Match PMS 109 ■  
**BACKS**  
.177 Clear Lexan  
Diffuser 70  
**ILLUMINATION**  
White LED  
GE TetraMAX 7100K  
**INSTALLATION**  
Mounted 1 1/2" Off Cabinet Face  
With Raw Aluminum Spacers

ILLUMINATED REPLACEABLE  
TENANT PANELS

1/8" Aluminum Face  
1 1/2" Aluminum Returns  
Painted; Satin Finish  
MP to Match Gold Building Color (TBD ■)  
**TENANT LOGO**  
Routed From Panel Face  
**BACKER**  
3/16" White Acrylic  
Vinyl Graphics Applied 1st Surface  
*Colors Vary per Tenant*  
**INSTALLATION**  
Placed on to Sign Cabinet  
with Required Hardware

REVEAL CABINET

Aluminum Angle Frame  
1/8" Aluminum Skin  
All Sides Painted; Satin Finish  
MP to Match Looking Glass (DE6376 ■)

MASONRY BASE

To Match Architectural Elements of Building.  
Lauder Stone - Buff (Roughback) Qty: 1



B Side B  
SCALE 1/4" = 1'0"



C Simulated Night View  
SCALE 1/4" = 1'0"