

# Gallery Park

NEC Power and Ray

## Citizen Participation Plan

---

September 24, 2018

### Purpose

The purpose of this Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform residents and property owners, neighborhood associations concerning the following development requests:

- 1) **Rezoning** of approximately 40 acres from Maricopa County AD-2 (Airport District II) to City of Mesa MX-AF PAD, Mixed Use zoning with an Airfield and Planned Area Development Overlay.

In conjunction with the rezoning, the following approvals are also requested:

- (a) **PAD** for modification to the parking lot landscaping.
  - (b) **Council Use Permit** for multi-family residential in the AOA-2 zone
  - (c) **Council Use Permit** for three freeway monument signs with options for digital displays and/or a digital bill board.
  - (d) **Special Use Permit** for a parking reduction and/or an **Administrative Use Permit** through a shared use parking agreement plan.
- 2) **Site Plan** approval for the development of 40 acres and specific site plan PAD approvals.
- 3) **Design Review** approval of GALLERY PARK development standards and design guidelines
- 4) **Preliminary Plat** of 40 acres for a mixed-use commercial subdivision.

By providing opportunities for citizen participation, the Applicant will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed plan.

## Contact

Those coordinating the Citizen Participation activities are listed as follows:

Pew & Lake, PLC.  
1744 S. Val Vista Drive,  
Suite 217  
Mesa, AZ 85204  
(480)461-4670 (office)  
(480)461-4676 (fax)

Ralph Pew  
[ralph.pew@pewandlake.com](mailto:ralph.pew@pewandlake.com)

VIVO Development  
Partners  
4650 E. Cotton Center Blvd,  
Suite 200  
Phoenix, AZ 85040  
(602) 393-9370

Jose Pombo  
[jpombo@vivopartners.com](mailto:jpombo@vivopartners.com)  
  
Devan Wastchak  
[dwastchack@vivopartners.com](mailto:dwastchack@vivopartners.com)

## Neighborhood Meeting

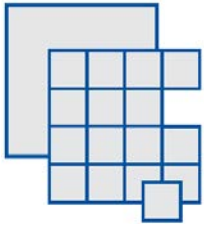
A neighborhood meeting will be held regarding these development requests. Notices will be mailed to those individuals listed on the contact list, including all property owners within 1000' of the subject property. Registered neighborhood contacts/HOAs within 1-mile of the property will also be notified. (A registered neighborhood contacts list will be provided by the City of Mesa Neighborhood Outreach Division.) A draft of the notification letter for the neighborhood meeting is included with this Citizen Participation Plan. Meeting minutes and sign-in sheets of the meeting will be submitted to the City Staff after the meeting is held.

## Attached Exhibits

- 1) Neighborhood Meeting Materials
  - a. Notification letter (Draft)
  - b. Notification Map of surrounding property owners
  - c. List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property

### ***Schedule:***

Formal Submittal to City	September 24, 2018
1st Neighborhood Meeting	October 2018
Follow-Up Submittal	November 6, 2018
Planning & Zoning Public Hearing	December 19, 2018
City Council Introduction	TBD (January 2019)
City Council Final Action	TBD (January 2019)



**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**  
Certified Real Estate Specialist  
**Sean B. Lake**  
**Reese L. Anderson**

Dear Neighbor:

Together with our client, VIVO Development Partners, we are pleased to invite you to a neighborhood meeting to receive your comments on our application to the City of Mesa for the development of approximately 40 acres at the northeast corner of Power and Ray Roads (APN: 304-30-012E).

The development requests to the City include the following:

- 1) **Rezoning** of approximately 40 acres to Mixed Use (MX) with an Airfield and PAD Overlay
- 2) **Council Use Permit** for multi-family residential in the AOA-2 zone
- 3) **Special Use Permit** for a parking reduction and/or an **Administrative Use Permit** through a shared use parking agreement plan.
- 4) **Site Plan and Preliminary Plat approval** for the mixed use development.

A neighborhood meeting has been scheduled to give property owners in the area an opportunity to meet with the applicant and property owner, and to learn more about the proposed project. At the meeting, we will have information available for your review and comment. The details of this meeting are as follows:

**Date: October 2018**

**Time: 6:00 p.m.**

**Place: An Elementary School**  
Multi-Purpose Room  
**Address**  
**Mesa, AZ**

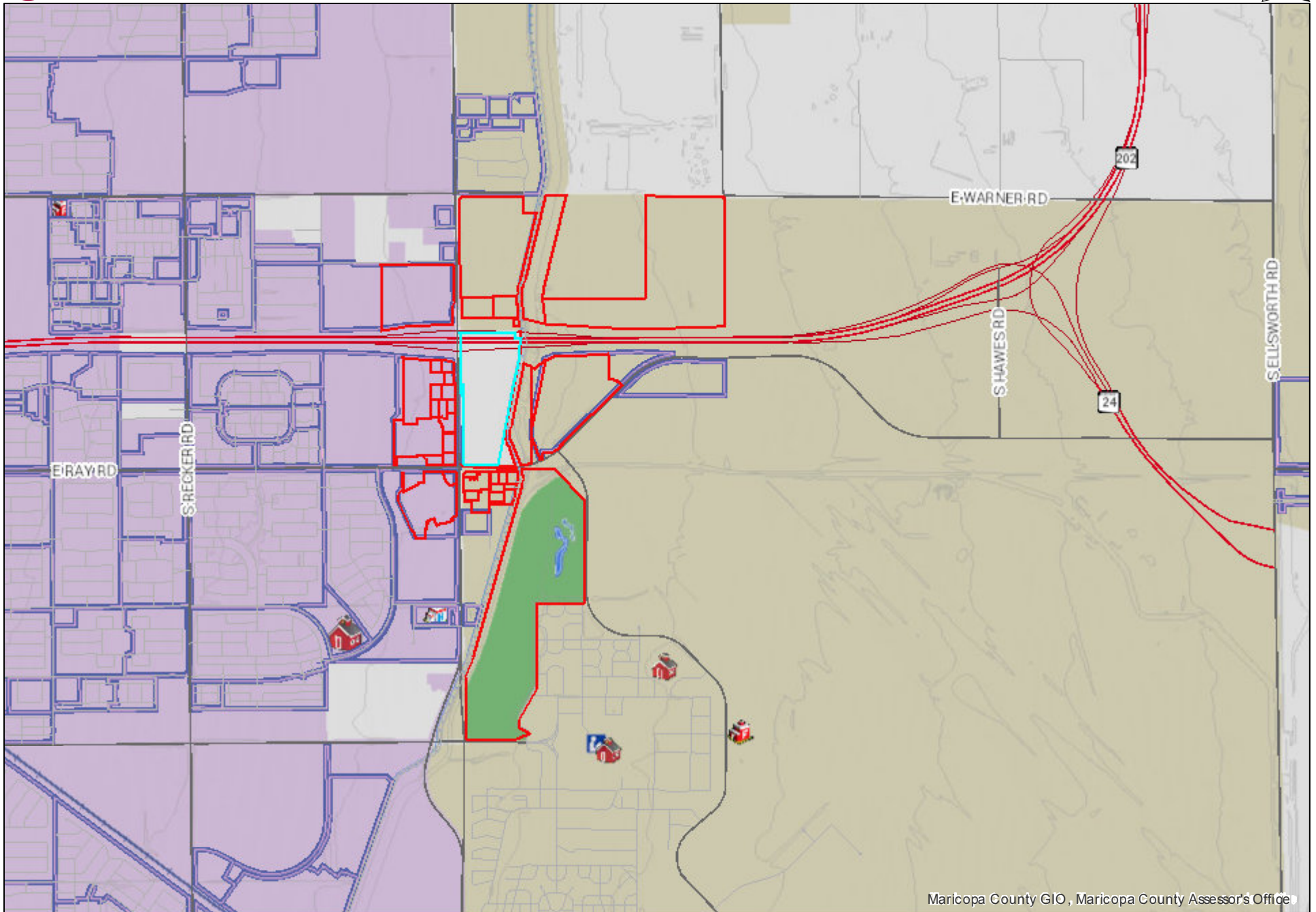
If you have any questions regarding this matter before or after the neighborhood meeting, please contact me at our office (480) 461-4670.

Sincerely,

**W. Ralph Pew**  
**PEW & LAKE, PLC**



# Map

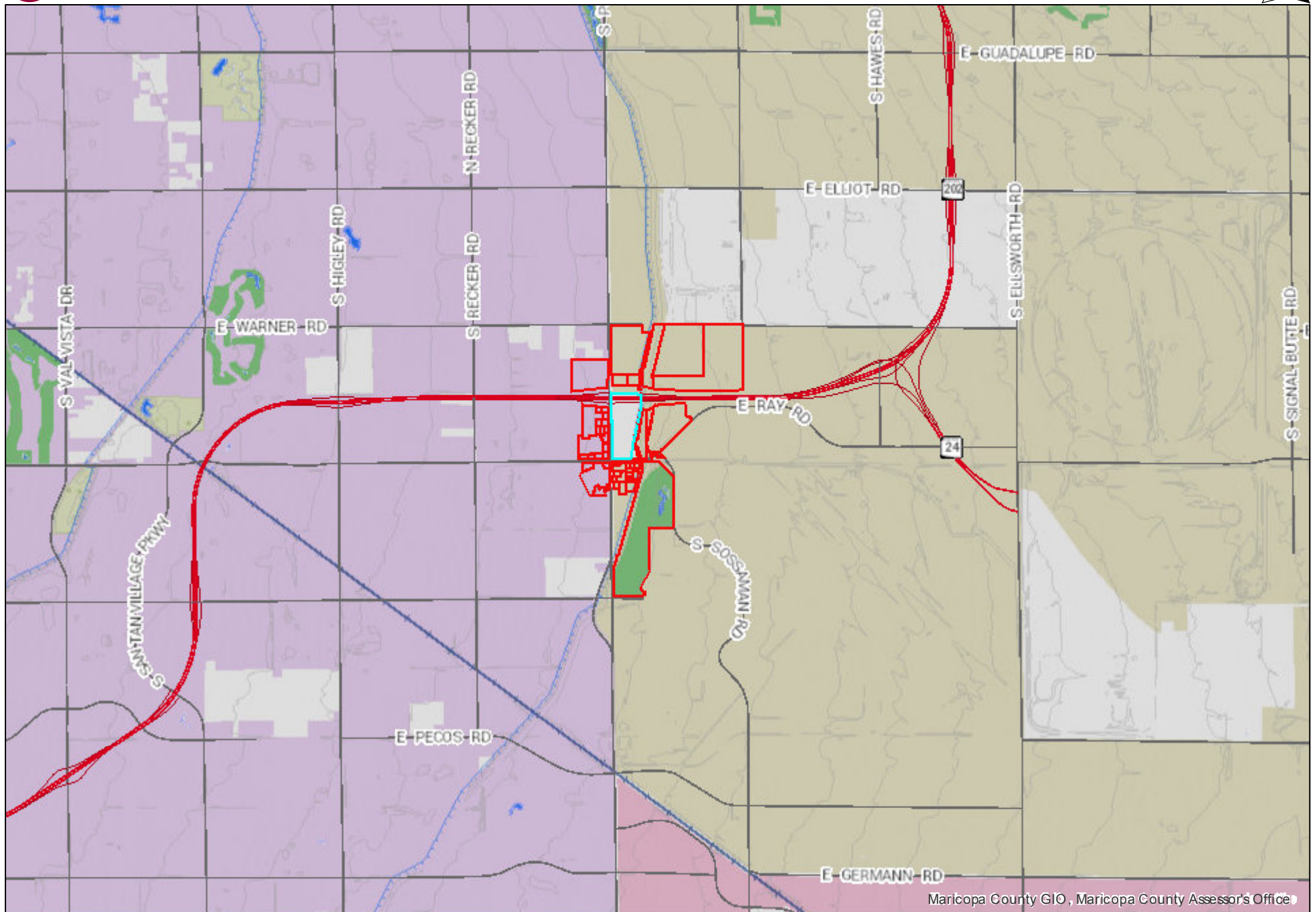


Maricopa County GIO, Maricopa County Assessor's Office





# Map



ALI ADVISOR INC  
2999 N 44TH ST NO 100  
PHOENIX, AZ 85018

ALI ADVISOR INC  
(PROB. DEED/LEGAL)  
2999 N 44TH ST STE 100  
PHOENIX, AZ 85018

AMERICAN FURNITURE WARHOUSE  
8820 AMERICAN WY  
ENGLEWOOD, CO 80112

ARIZONA STATE LAND  
DEPARTMENT  
7332 E BUTHERUS DR  
SCOTTSDALE, AZ 85260

CACTUS GROVE PROPERTIES LLC  
1701 S MILL AVE  
TEMPE, AZ 85281

FLOOD CONTROL DISTRICT OF  
MARICOPA COUNTY  
2801W DURANGO ST  
PHOENIX, AZ 85009

GATEWAY CORNER HOLDINGS LLC  
8840 E CHAPARRAL STE 185  
SCOTTSDALE, AZ 85250

GATEWAY HOSPITALITY GROUP LLC  
7255 E HAMPTON AVE NO 122  
MESA, AZ 85209

GILBERT CHANDLER HEIGHTS 1 LLC  
2425 E CAMELBACK RD STE 750  
PHOENIX, AZ 85016

GILBERT CHANDLER HEIGHTS 1 LLC  
PO BOX 1919  
WICHITA FALLS, TX 76307

GOODWILL INDUSTRIES OF  
CENTRAL ARIZONA INC  
2626 W BERYL AVE  
PHOENIX, AZ 85021

GRANITE FIELD INVESTMENTS LLC  
PO BOX 151  
QUEEN CREEK, AZ 85142

HZ PROPS RE LTD  
4415 HIGHWAY 6  
SUGAR LAND, TX 77478

KCK INVESTMENTS LLC  
4747 S POWER RD  
MESA, AZ 85212

KESTNER JOSEPH A  
PO BOX 47582  
PHOENIX, AZ 85068

KW POWER & RAY LLC  
166 E 14000 SOUTH STE 210  
DRAPER, UT 84020

MASSEY LEONARD R TR/ETAL  
160 E IVANHOE ST  
GILBERT, AZ 85295

MESA 18 LP  
720 3RD ST NO E  
SASKATOON, SK S7H1M3

OL LONELY ENTERPRISES INC  
13820 N TATUM BLVD  
PHOENIX, AZ 85032

PHOENIX-MESA GATEWAY AIRPORT  
AUTHORITY  
600 S POWER RD BLDG 41  
MESA, AZ 85206-5219

PHX-MESA GATEWAY AIRPORT 193  
LLC  
5353 N 16TH ST  
PHOENIX, AZ 85016

POWER & RAY LLC  
PO BOX 130156  
CARLSBAD, CA 92103

ROOSEVELT WATER CONS DIST 5239  
PO BOX 100  
HIGLEY, AZ 85236

ROOSEVELT WATER CONSERVATION  
DISTRICT  
PO BOX 100  
HIGLEY, AZ 85236

STROSCHE RANCH PARTNERSHIP  
32101 COOK LANE  
SAN JUAN CAPISTRANO, CA 92675

TARGET CORPORATION  
PO BOX 9456  
MINNEAPOLIS, MN 55440-9456

UNITED STATES OF AMERICA  
3707 N 7TH ST  
PHOENIX, AZ 85017

VANSICKLE CRAIG E/VICKILYN F  
21072 E CREEKSIDE DR  
QUEEN CREEK, AZ 85142

WAL MART STORES INC  
1301 SE 10TH ST  
BENTONVILLE, AR 72716-0555

WARNER ROAD BUSINESS PARK  
DEVELOPERS LLC  
3 CHARTER OAK PL  
HARTFORD, CT 6106

WILLIAM E CLARK JR AND EVELYN J  
CLARK FAM TR  
P O BOX 182571  
COLUMBUS, OH 43218