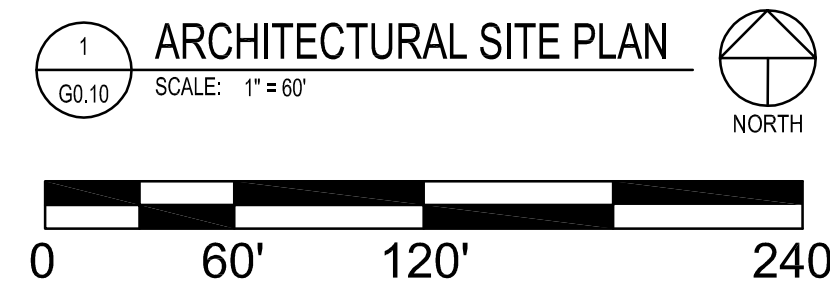


BUILDING AREA MATRIX		BUILDING AREA (SQ FT)
BUILDING NUMBER	BUILDING TYPE	
1	BUILDING TYPE Z30	34,731
2	BUILDING TYPE G24E	24,458
3	BUILDING TYPE G24E	24,458
4	BUILDING TYPE G24E	24,458
5	BUILDING TYPE Z30	34,731
6	BUILDING TYPE Z30	34,731
7	BUILDING TYPE Z30	34,731
	MAINTENANCE / FHA GARAGE	1,505
	GARAGE 6GS (6 BAY w/ STORAGE)	1,834
	TRASH ENCLOSURE	854
	CLUBHOUSE	4,332
	MAIL KIOSK	72
TOTAL BUILDING AREA		220,895

RESIDENTIAL UNIT MATRIX						
UNIT TYPE	BEDRM QTY.	BATHRM QTY.	COND. SQFT	BLDG TYPE G24E UNIT QTY.	BLDG TYPE Z30E UNIT QTY.	TOTAL UNITS
1DC*	1	1	761	6		6
1DO	1	1	830	6		6
1GC*	1	1	780	5		5
1GCA**	1	1	780	1		1
1GO	1	1	855	6		6
2DC	2	2	1054	3		3
2DO	2	2	1123	3		3
2GC*	2	2	1029	12		12
2GO	2	2	1106	12		12
3GC*	3	2	1279	3		3
3GO	3	2	1346	3		3
S1*	1 (STUDIO)	1	518	6		6
SO	1 (STUDIO)	1	585	6		6
1T*	1	1	839		36	36
2T*	2	2	1164		24	24
2TA**	2	2	1164		3	3
3T*	3	2	1376		12	12
G*	1 (STUDIO)	1	605		6	6
GU	1 (STUDIO)	1	605		16	16
TOTALS			16589	72	75	147

** (8) UNITS (2% OF TOTAL UNITS) TO COMPLY WITH 1107.6.2.1 (ADA UNITS):
(2) 1GCA, (4) 2DCA, AND (2) 3GCA. SEE SITE PLAN FOR LOCATIONS
2% OF RESIDENTIAL UNITS SHALL PROVIDE COMMUNICATION FEATURES
COMPLYING WITH 233.4.1/809.5 (2010 ADA/GA ACCESSIBILITY CODE)

- ① ADA UNITS
- ② UPGRADE BUILDINGS



ARCHITECTURE SITE PLAN FOR
INFORMATION ONLY - REFER TO CIVIL



SEAL _____

#	DATE	DESCRIPTION
	11/29/18	DBR SET

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PROJECT _____

MESA, AZ

CLIENT _____



CONTINENTAL 452 FUND
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

DRAWING TITLE _____ CC/MT

SHEET NUMBER _____

G0.10

5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616



PHILLIPS

CONSULTANT

SEAL

ISSUE & REVISION RECORD

DATE DESCRIPTION

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PROJECT

C452
FUND PROJECT

CLIENT MESA, AZ



CONTINENTAL 452 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 1833112

ISSUE DATE 11/29/18

DRAWN BY/CHECKED BY CC / MT

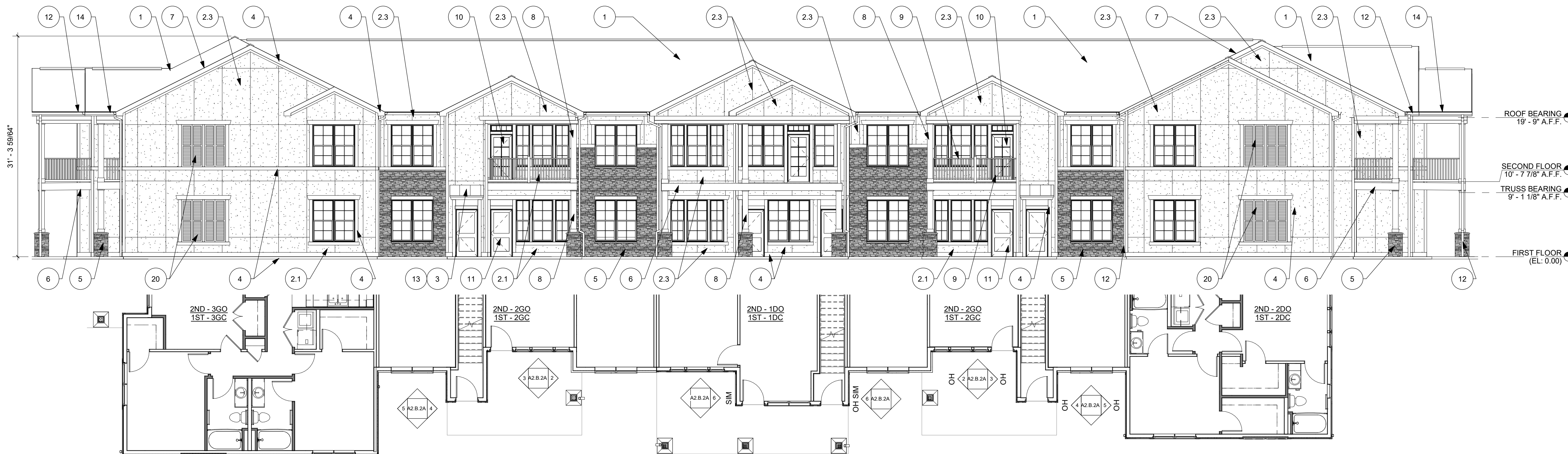
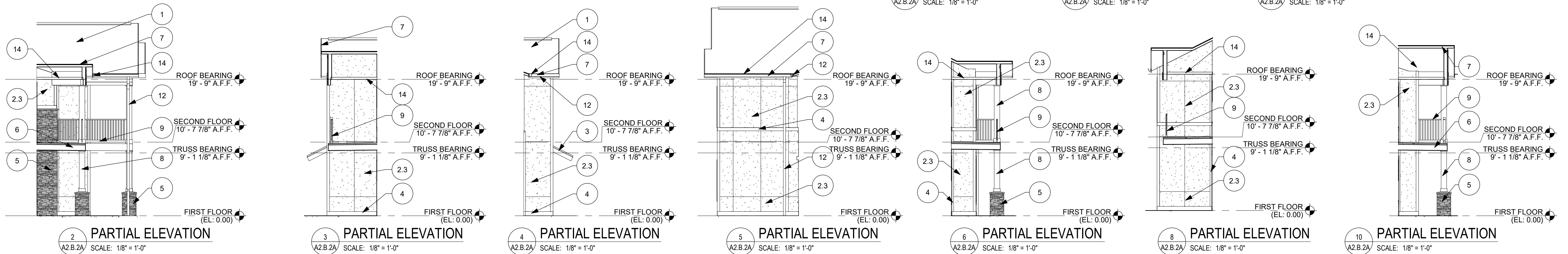
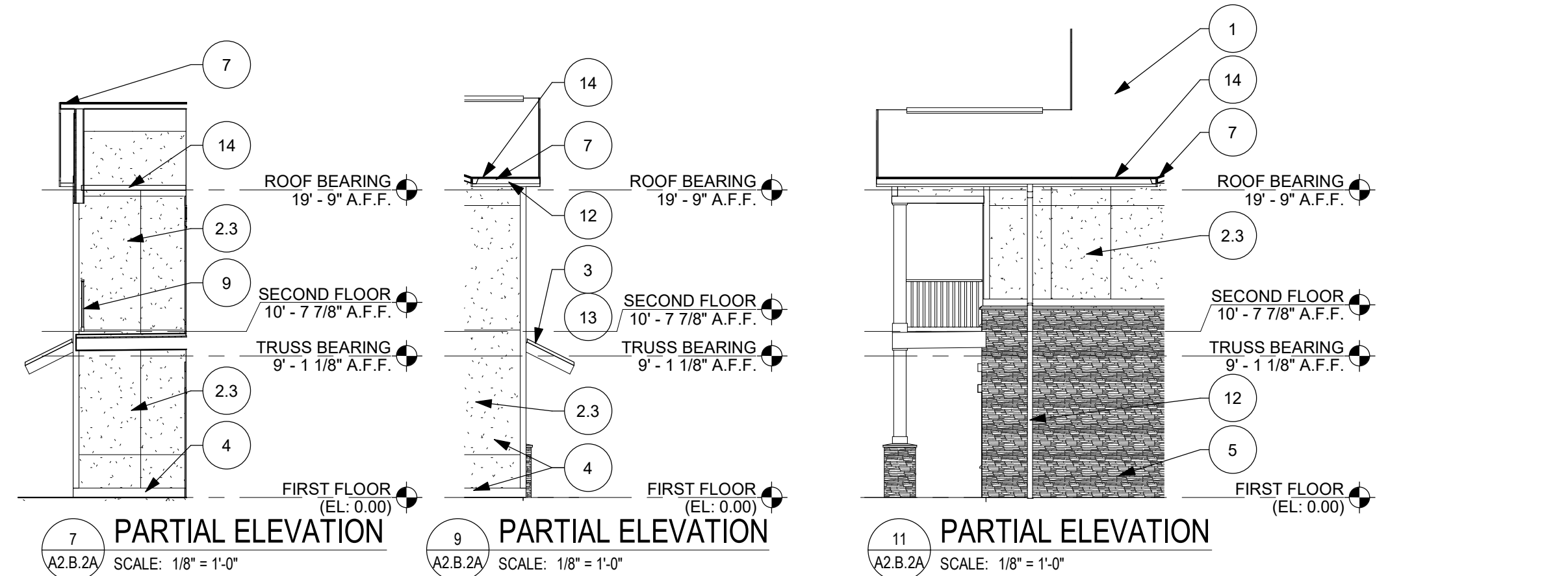
DRAWING TITLE

EXTERIOR ELEVATIONS
- BUILDING TYPE G24 -
SCHEME 'A'

SHEET NUMBER

A2.B.2A

5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616



1 REAR ELEVATION-BUILDING TYPE G24 - SCHEME A
A2.B.2A SCALE: 1/8" = 1'-0"

ELEVATION LEGEND	GENERAL NOTES	KEYED NOTES: FINISH SCHEDULE - SCHEME 'A'				KEY PLAN																					
<div><div>XX</div><div>WINDOW TYPE - REFER TO SHEET A6.01</div><div>DRYER/BATHROOM EXHAUST VENT - REFER TO SHEET A5.26 FOR DETAILS. COLOR TO MATCH ADJACENT MATERIAL.</div><div>XX</div><div>KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION.</div></div>	<div>1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.</div> <div>2. REFER TO FLOOR PLANS AND SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS.</div> <div>3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.</div> <div>4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.</div> <div>5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.</div> <div>6. KEYED NOTES FOR FINISH COLOR ONLY. REFER TO BUILDING ASSEMBLIES ON A3-11 to A3.14 SHEETS FOR CONSTRUCTION METHOD.</div>	<div>1 30 YR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR WEATHERED WOOD ON 15# FELT ON 7/16" OSB ROOF SHEATHING W/ METAL "H" CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS - REFER TO STRUCTURAL).</div> <div>2.1 SIDING 1: STUCCO W/ 3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2846 'ROYCROFT BRONZE GREEN'</div> <div>2.2 NOT USED</div> <div>2.3 SIDING 3: STUCCO W/ 3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2821 'DOWNING STONE.'</div> <div>3 PAC-CLAD STANDING SEAM ROOF SYSTEM, PROFILE: 'SNAP CLAD' 22-GA ON 30# FELT OVER ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES WITH CEDAR RAFTER TAILS AND TRIM. REFER TO NOTE 13. COLOR 'GALVALUME'</div>	<div>4 HARDITRIM (SMOOTH) - AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #6148 'WOOL SKEIN' INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.</div> <div>5 MANUFACTURED STONE VENEER, CORONADO, SERIES: 'LEDGESTONE QUICK STACK'. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: 'CAPE COD GREY'. MORTAR COLOR TO MATCH STONE. INSTALL STONE CAPS - STYLE: CHISELED STONE, FINISH: LOMPOC FOR COLUMNS BASES. INSTALL STONE LINTELS FOR WINDOWS/DOORS. STONE SILLS FOR EXTERIOR WALL.</div> <div>6 FIBER CEMENT FASCIA AT BALCONY EDGE, PRE-FINISHED COLOR: SW #6148 'WOOL SKEIN.'</div> <div>7 PRE-FINISHED METAL DRIP EDGE OVER 5/4x8 FASCIA BOARD WRAPPED IN ALUMINUM. TO MATCH GUTTER COLOR:--MASTIC 'ALMOND.'</div> <div>8 HARDIPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN W/ SQUARE CAP AND BASE OVER 4x4 TREATED POST. COLOR: SW #6148 'WOOL SKEIN'. INSTALLED PER MFR. RECOMMENDATIONS.</div> <div>9 PATIO/BALCONY GUARDRAIL - PRE-FINISHED VINYL COATED, SOLID STEEL-REINFORCED GUARDRAIL ASSEMBLY. TOP OF RAIL AT 43" AFF. STYLE AS SELECTED BY OWNER. COLOR: SW #6148 'WOOL SKEIN'</div>	<div>10 PRE-FINISHED INSULATED PATIO DOOR W/ GLASS LITES. SEE DOOR SCHEDULE. COLOR: SW #2486 'WOOL SKEIN.'</div> <div>11 PRE-FINISHED INSULATED DOOR. REFER TO DOOR SCHEDULE. COLOR: SW #6356 'COPPER MOUNTAIN.'</div> <div>12 MASTIC PRE-FINISHED ALUMINUM 6" GUTTER AND 3"x4" DOWNSPOUT. TIE DOWNSPOUT INTO STORM SYSTEM STYLE: K. COLOR: 'ALMOND.'</div> <div>13 ENTRY CEILINGS AT 3X8 CEDAR RAFTERS TO BE EXPOSED AT UNDERSIDE. PAINT GRADE PLYWOOD, PAINT PLYWOOD AND RAFTERS SW #6148 'WOOL SKEIN'. COORDINATE SEAMS WITH RAFTERS. RE. DETAIL 5/A5.23.</div> <div>14 VENTED VINYL SOFFIT: CERTAINTED OR APP. EQ.) STYLE: TRIPLE 3-1/3" INVISIVENT VINYL, COLOR: 'HERRINGBONE.'</div>	<div>15 NOT USED</div> <div>16 EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL #P5881-31WB.</div> <div>17 ENTRY STOOPS AND PATIO: BROOM FINISH CONCRETE.</div> <div>18 AREA FOR MOUNTING OF UTILITY EQUIPMENT. MATCH COLOR OF ADJACENT SIDING. EQUIPMENT TO BE PAINTED TO MATCH ADJACENT BASE MATERIAL. COORDINATE ELECTRICAL, TELEPHONE, AND CABLE BOX LOCATIONS ON BUILDING IN FIELD WITH UTILITY LOCATIONS. REFER TO MOUNTING DETAILS ON SHEET A5.26.</div> <div>19 CEDAR POST, BEAMS AND RAFTERS W/ WATER REPELLANT TREATMENT.</div> <div>20 FAUX WINDOW, SEE DETAIL ON SHEET A5.24</div>	<div><div>1</div><div></div></div> <div><table><tr><th colspan="7">BUILDING NUMBER</th></tr><tr><td>G24</td><td>2A</td><td>3B</td><td>4A</td><td></td><td></td><td></td></tr><tr><td>Z30</td><td>1B</td><td>5B</td><td>6A</td><td>7A</td><td></td><td></td></tr></table></div>	BUILDING NUMBER							G24	2A	3B	4A				Z30	1B	5B	6A	7A		
BUILDING NUMBER																											
G24	2A	3B	4A																								
Z30	1B	5B	6A	7A																							



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PROJECT _____

C452
FUND PROJECT

CLIENT _____ MESA, AZ



CONTINENTAL 452 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 1833112

ISSUE DATE _____ 06/23/17

DRAWING TITLE _____ DWH / MT

EXTERIOR ELEVATIONS
- BUILDING TYPE Z30 -
SCHEME 'A'

SHEET NUMBER

A2.C.1A

5901 PEACHTREE DUNWOODY RD
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616



NOTE TO GC:
ALL EXTERIOR CEILINGS/SOFFITS TO
BE CERTANTEED, COLOR "WHITE" -
AS SHOWN ON THE SCHEDULE
KEYNOTE NO. 14. U.N.O.

ELEVATION LEGEND		GENERAL NOTES	KEYED NOTES: FINISH SCHEDULE - SCHEME 'A'						KEY PLAN																		
<div>XX</div>	WINDOW TYPE - REFER TO SHEET A6.01	<div>1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.</div> <div>2. REFER TO FLOOR PLANS AND SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS.</div> <div>PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.</div> <div>4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.</div> <div>5. SEE GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.</div> <div>6. KEYED NOTES FOR FINISH COLOR ONLY. REFER TO BUILDING ASSEMBLIES ON A3-XX SHEETS FOR CONSTRUCTION METHOD.</div>	<div>1</div> <div>30 YR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR WEATHERED WOOD ON 15# FELT ON 7/16" OSB ROOF SHEATHING W/ METAL "H" CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS - REFER TO STRUCTURAL).</div>	<div>3</div> <div>PAC-CLAD STANDING SEAM ROOF SYSTEM, PROFILE: "SNAP CLAD" 22-GA ON 30# FELT OVER ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES WITH CEDAR RAFTER TAILS AND TRIM, REFER TO NOTE 13. COLOR "GALVALUME"</div>	<div>8</div> <div>HARDIE PANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN W/ SQUARE CAP AND BASE OVER 6x6 TREATED POST, COLOR: SW PAINT # 7006 "EXTRA WHITE" INSTALL PER MANUFACTURER'S RECOMMENDATIONS</div>	<div>14</div> <div>VENTED VINYL SOFFIT: CERTAINTED OR APP. EQ.) STYLE: TRIPLE 3-1/3" INVISIVENT VINYL, COLOR: 'HERRINGBONE.'</div>	<div>15</div> <div>NOT USED</div> <div>16</div> <div>EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL # P5881-31W/B</div> <div>17</div> <div>ENTRY STOOPS AND PATIOS: BROOM FINISH CONCRETE</div> <div>18</div> <div>AREA FOR MOUNTING OF UTILITY EQUIPMENT, MATCH COLOR OF ADJACENT SIDING. EQUIPMENT TO BE PAINTED TO MATCH ADJACENT BASE MATERIAL. COORDINATE ELECTRICAL, TELEPHONE, AND CABLE BOX LOCATIONS ON BUILDING IN FIELD WITH UTILITY LOCATIONS. REFER TO MOUNTING DETAILS ON SHEET A5.26.</div> <div>19</div> <div>CEDAR POST, BEAMS AND RAFTERS W/ WATER REPELLEANT TREATMENT.</div>	<div>3</div> <div></div>	<div>2</div> <div></div>	<div>1</div> <div></div>	<table><tr><th colspan="4">BUILDING NUMBER</th></tr><tr><td>6</td><td>7</td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>	BUILDING NUMBER				6	7										
BUILDING NUMBER																											
6	7																										
<div>XX</div>	DRYER/BATHROOM EXHAUST VENT - REFER TO SHEET A5.26 FOR DETAILS. COLOR TO MATCH ADJACENT MATERIAL.	<div>2.1</div> <div>SIDING 1: STUCCO W/ 3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2846 'ROYCROFT BRONZE GREEN.'</div>	<div>4</div> <div>HARDITRIM (SMOOTH)- AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #6148 'WOOL SKEIN.' INSTALLED PER RECOMMENDATION. PRE-FINISHED METAL FLASHING WHERE REQUIRED.</div>	<div>9</div> <div>PATIO/BALCONY GUARDRAIL - PRE-FINISHED VINYL COATED, SOLID STEEL-REINFORCED GUARDRAIL ASSEMBLY, TOP OF RAIL AT 43" AFF. STYLE AS SELECTED BY OWNER. COLOR: SW # 6148 'WOOL SKEIN'</div>	<div>11</div> <div>PRE-FINISHED INSULATED DOOR. REFER TO DOOR SCHEDULE. COLOR: SW #6356 'COPPER MOUNTAIN.'</div>																						
	KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION.	<div>2.2</div> <div>NOT USED</div>	<div>5</div> <div>MANUFACTURED STONE VENEER, CORONADO, SERIES: 'LEDGESTONE QUICK STACK.' INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: 'CAPE COD GREY.' MORTAR COLOR TO MATCH STONE. INSTALL STONE CAPS - STYLE: CHISELED STONE, FINISH: LOMPOC FOR COLUMN BASES. INSTALL STONE LINTELS FOR WINDOWS/DOORS, STONE SILLS FOR EXTERIOR WALL.</div>	<div>12</div> <div>MASTIC PRE-FINISHED ALUMINUM 6" GUTTER AND 3"x4" DOWNSPOUT. TIE DOWNSPOUT INTO STORM SYSTEM STYLE: K, COLOR: 'ALMOND.'</div>	<div>13</div> <div>ENTRY CEILINGS AT 3x8 CEDAR RAFTERS TO BE EXPOSED AT UNDERSIDE. PAINT GRADE PLYWOOD, PAINT PLYWOOD AND RAFTERS SW # 6148 'WOOL SKEIN.' COORDINATE SEAMS WITH 6x4x8 FRS. SEE DETAIL A6.02.</div>																						



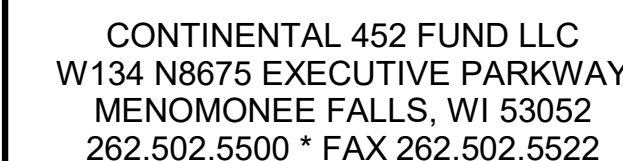
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PROJECT _____

CLIENT _____ MESA, AZ



PHILLIPS JOB NUMBER _____ 4023410

ISSUE DATE 07/10/17

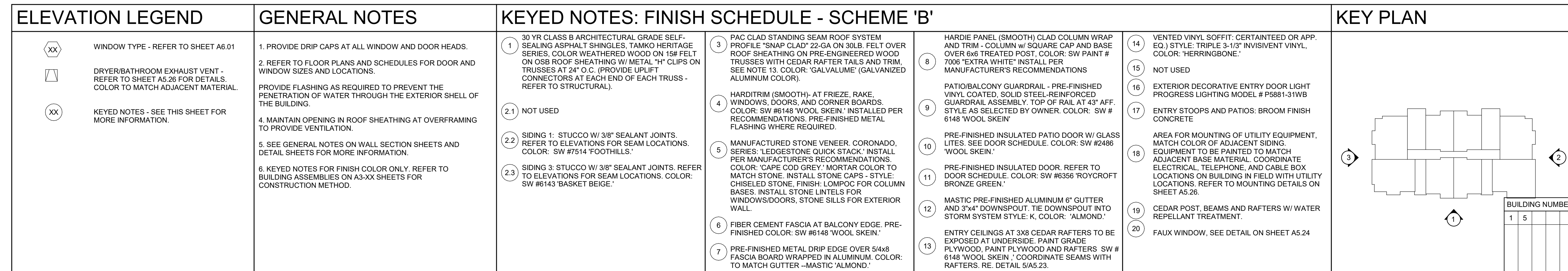
DRAWN BY/CHECKED BY _____ DWH / MT

EXTERIOR ELEVATIONS
- BUILDING TYPE Z30 -
SCHEME 'B'

SHEET NUMBER _____

A2.C.1B

5901 PEACHTREE DUNWOODY RD
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616





SEAI

DAT

DESCRIPTION

PROJECT _____

PROJECT _____

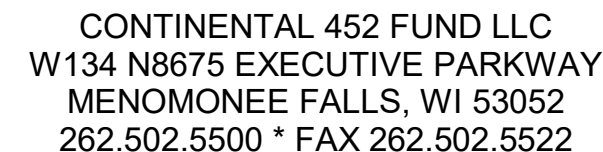
PROJECT _____

PROJECT _____

C452
FUND PROJECT

MESA, AZ

CLIENT



PHILLIPS JOB NUMBER 1833112

ISSUE DATE 06/23/17

DRAWN BY/CHECKED BY _____ DWH / MT

EXTERIOR ELEVATIONS
- BUILDING TYPE Z30 -
SCHEME 'A'

SHEET NUMBER

A2.C.2A

5901 PEACHTREE DUNWOODY RD
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616



ELEVATION LEGEND		GENERAL NOTES	KEYED NOTES: FINISH SCHEDULE - SCHEME 'A'					KEY PLAN
<div>XX</div>	WINDOW TYPE - REFER TO SHEET A6.01	1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.	<div>1</div> <div>30 YR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR WEATHERED WOOD ON 15# FELT ON 7/16" OSB ROOF SHEATHING W/ METAL "H" CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS - REFER TO STRUCTURAL).</div> <div>2.1</div> <div>SIDING 1: STUCCO W/ 3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2846 'ROYCROFT BRONZE GREEN.'</div> <div>2.2</div> <div>NOT USED</div> <div>2.3</div> <div>SIDING 3: STUCCO W/ 3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2821 'DOWNING STONE.'</div>	<div>3</div> <div>PAC-CLAD STANDING SEAM ROOF SYSTEM, PROFILE: "SNAP CLAD" 22-GA ON 30# FELT OVER ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES WITH CEDAR RAFTER TAILS AND TRIM, REFER TO NOTE 13. COLOR "GALVALUME"</div>	<div>8</div> <div>HARDIE PANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN W/ SQUARE CAP AND BASE OVER 6"x6" TREATED POST, COLOR: SW PAINT # 7006 "EXTRA WHITE" INSTALL PER MANUFACTURER'S RECOMMENDATIONS</div>	<div>14</div> <div>VENTED VINYL SOFFIT: CERTAINTEED OR APP. EQ.) STYLE: TRIPLE 3-1/3" INVISIVENT VINYL, COLOR: 'HERRINGBONE.'</div>	<div>15</div> <div>NOT USED</div> <div>16</div> <div>EXTERIOR DECORATIVE ENTRY DOOR LIGHT PROGRESS LIGHTING MODEL # P5881-31WB</div> <div>17</div> <div>ENTRY STOOPS AND PATIOS: BROOM FINISH CONCRETE</div> <div>18</div> <div>AREA FOR MOUNTING OF UTILITY EQUIPMENT. MATCH COLOR OF ADJACENT SIDING. EQUIPMENT TO BE PAINTED TO MATCH ADJACENT BASE MATERIAL. COORDINATE ELECTRICAL, TELEPHONE, AND CABLE BOX LOCATION ON BUILDING EXTERIOR FIELD WITH UTILITY LOCATIONS. REFER TO MOUNTING DETAILS ON SHEET A5.26.</div> <div>19</div> <div>CEDAR POST, BEAMS AND RAFTERS W/ WATER REPELLANT TREATMENT.</div>	<div><div>3</div><div>2</div><div>1</div></div> <div><div>BUILDING NUMBER</div><div>67</div></div>
<div>△</div>	DRYER/BATHROOM EXHAUST VENT - REFER TO SHEET A5.26 FOR DETAILS. COLOR TO MATCH ADJACENT MATERIAL.	<div>4</div> <div>HARDITRIM (SMOOTH) AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #6148 'WOOL SKEIN'. INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.</div>		<div>9</div> <div>PATIO/BALCONY GUARDRAIL - PRE-FINISHED VINYL COATED, SOLID STEEL-REINFORCED GUARDRAIL ASSEMBLY. TOP OF RAIL AT 43" AFF. STYLE AS SELECTED BY OWNER. COLOR: SW # 6148 'WOOL SKEIN'</div>	<div>10</div> <div>PRE-FINISHED INSULATED PATIO DOOR W/ GLASS LITES. SEE DOOR SCHEDULE. COLOR: SW #2486 'WOOL SKEIN.'</div>	<div>11</div> <div>PRE-FINISHED INSULATED DOOR: REFER TO DOOR SCHEDULE. COLOR: SW #6356 'COPPER MOUNTAIN.'</div>		
<div>XX</div>	KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION.	<div>5</div> <div>MANUFACTURED STONE VENEER, CORONADO, SERIES: "LES STAKE" ON INSTANT PER MANUFACTURER'S RECOMMENDATIONS. COLOR: 'CAPE COD GREY'. MORTAR COLOR TO MATCH STONE. INSTALL STONE CAPS - STYLE: CHISELED STONE - FINISH: LOWPOCC FOR COLUMN BASES. INSTALL STONE LINTELS FOR WINDOWS/DOORS, STONE SILLS FOR EXTERIOR WALL.</div>		<div>12</div> <div>MASTIC PRE-FINISHED ALUMINUM 6" GUTTER AND 3"x4" DOWNSPOUT. TIE DOWNSPOUT INTO STORM SYSTEM STYLE: K, COLOR: 'ALMOND.'</div>	<div>13</div> <div>ENTRY CEILINGS AT 3X8 CEDAR RAFTERS TO BE EXPOSED AT UNDERSIDE. PAINT GRADE PLYWOOD, PAINT PLYWOOD AND RAFTERS SW # 6148 'WOOL SKEIN'. COORDINATE SEAMS WITH RAFTERS. RE. DETAIL A5A.23.</div>			
		<div>6</div> <div>FIBER CEMENT FASCIA AT BALCONY EDGE. PRE-FINISHED COLOR: SW #6148 'WOOL SKEIN.'</div>						
		<div>7</div> <div>PRE-FINISHED METAL DRIP EDGE OVER 5/4x8 FASCIA BOARD WRAPPED IN ALUMINUM. TO MATCH GUTTER COLOR--MASTIC 'ALMOND.'</div>						



5901 PEACHTREE DUNWOODY RD
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616



CONSULTANT _____

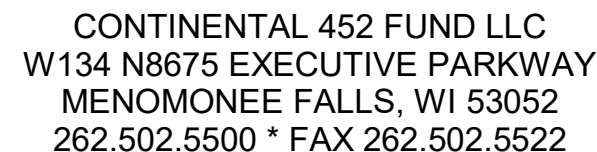
SEAL _____

ISSUE & REVISION RECORD _____

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PROJECT _____

CLIENT _____ MESA, AZ



PHILIPS JOB NUMBER _____

1833112

11/29/18

CC / MT

DRAWING TITLE _____

6GS-2 GARAGE BLDG. PLANS, ELEVATIONS, AND SECTIONS

SHEET NUMBER _____


A1.G.11

5901 PEACHTREE DUNWOODY RD
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616



1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
5. REFER TO GENERAL NOTES ON WALL SECTION SHEETS AND DETAIL SHEETS FOR MORE INFORMATION.

LEGEND

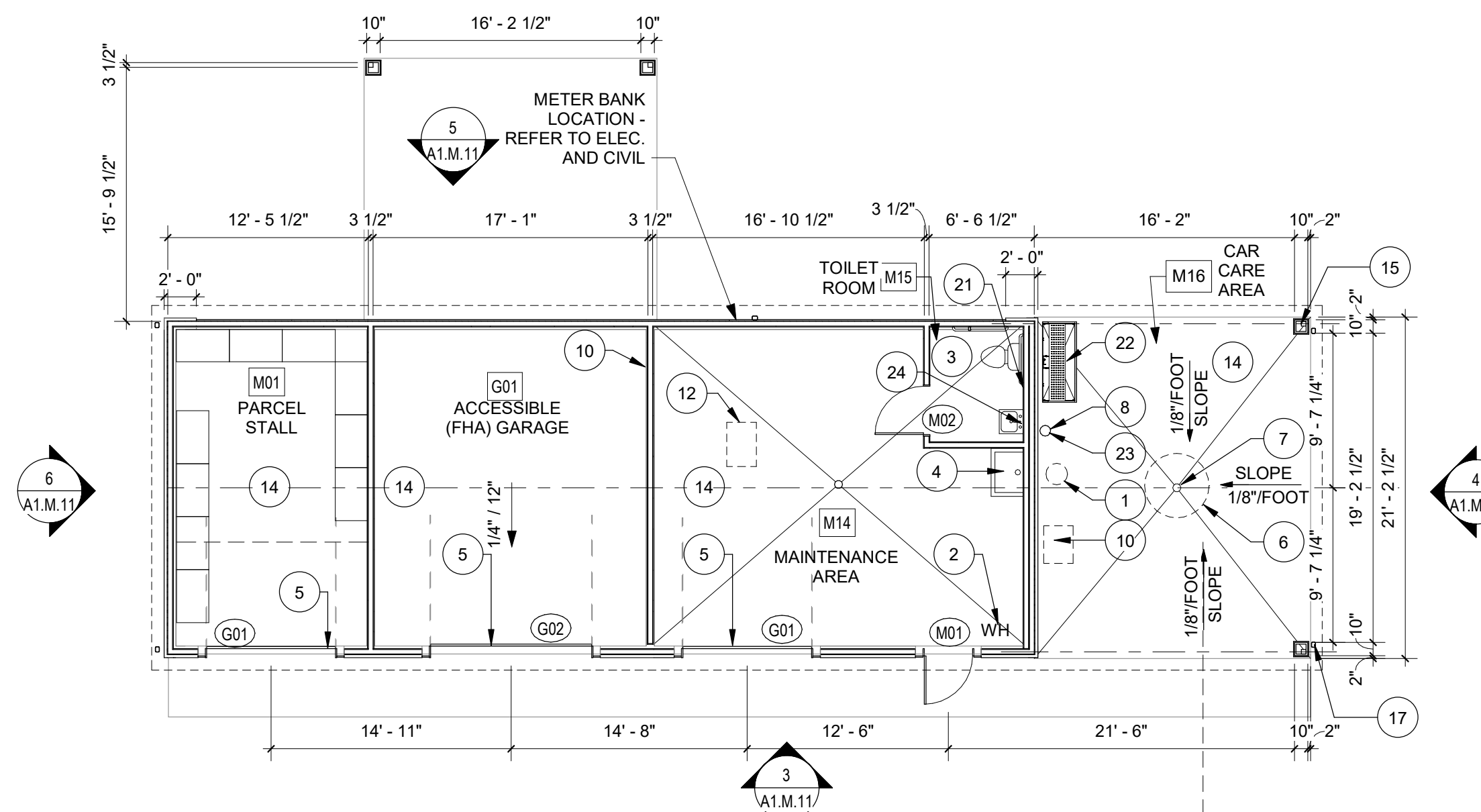
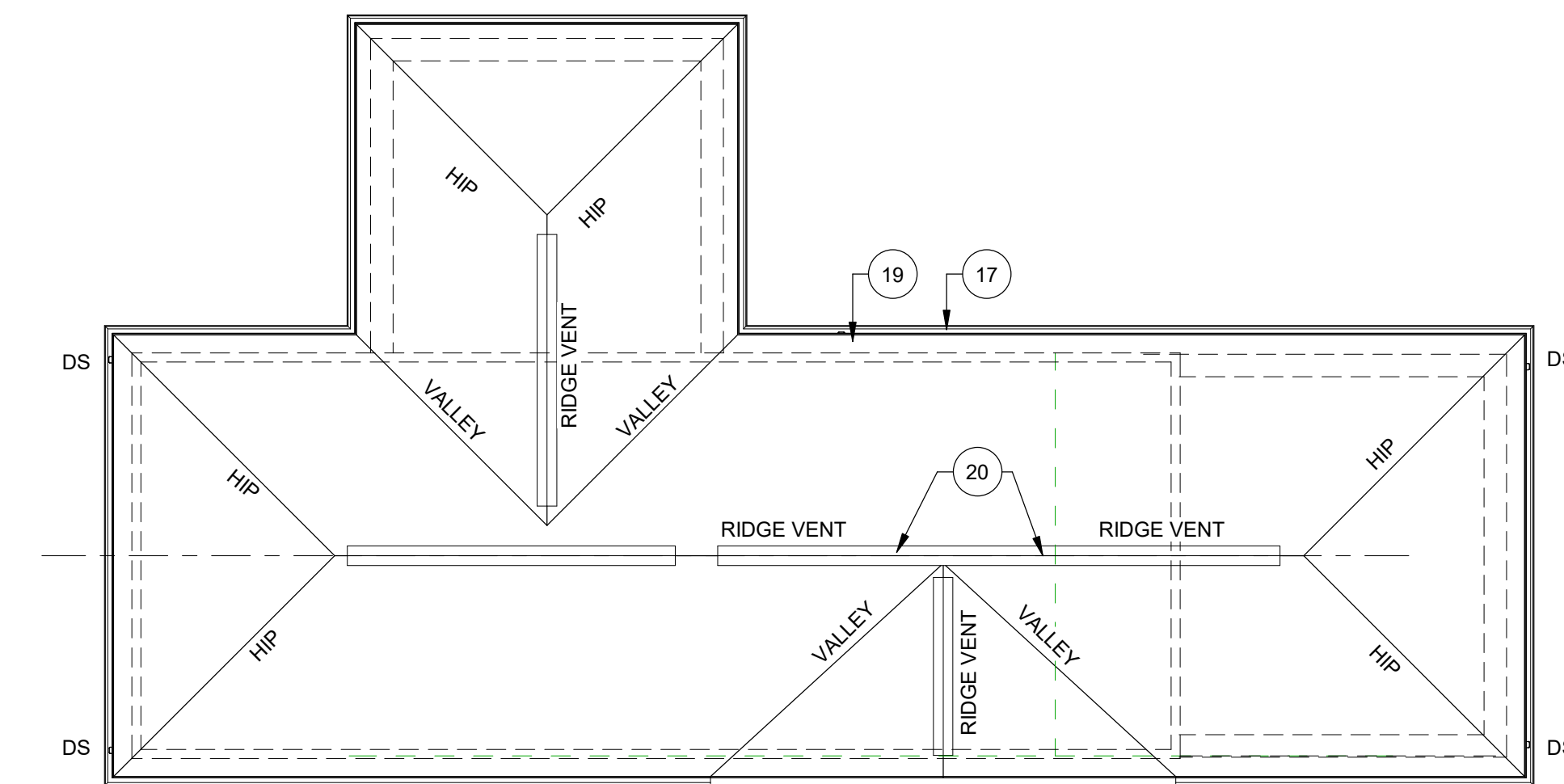
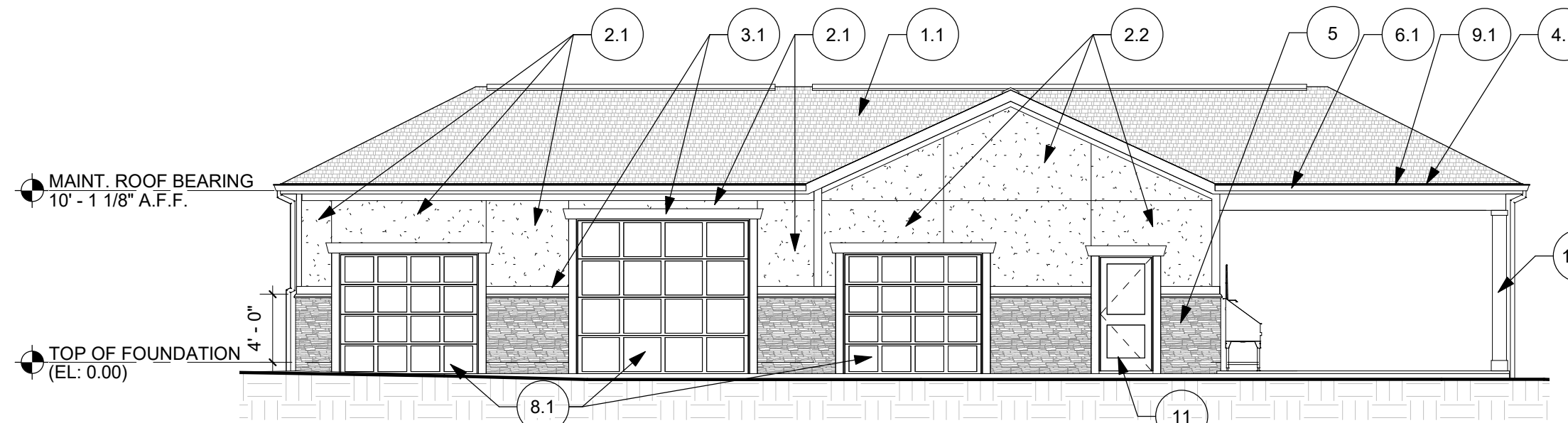
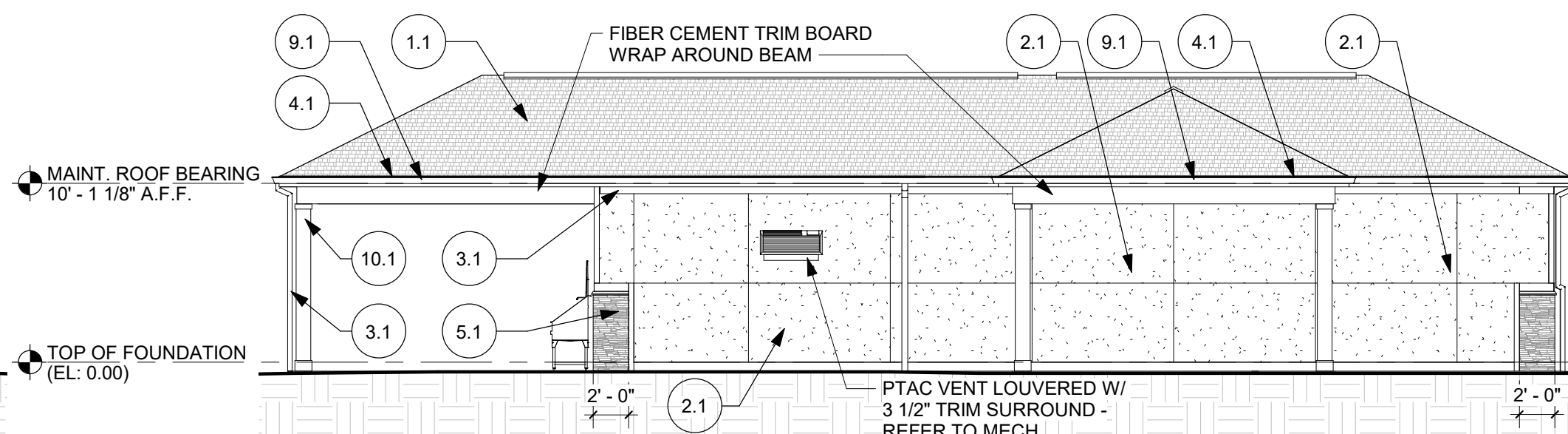
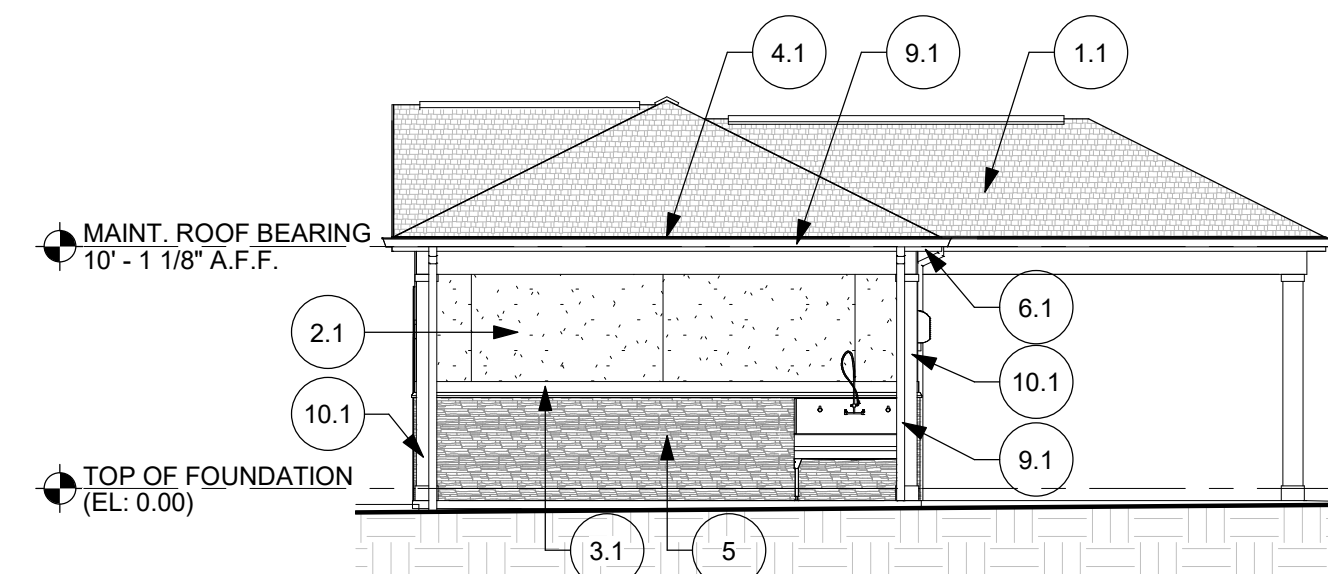
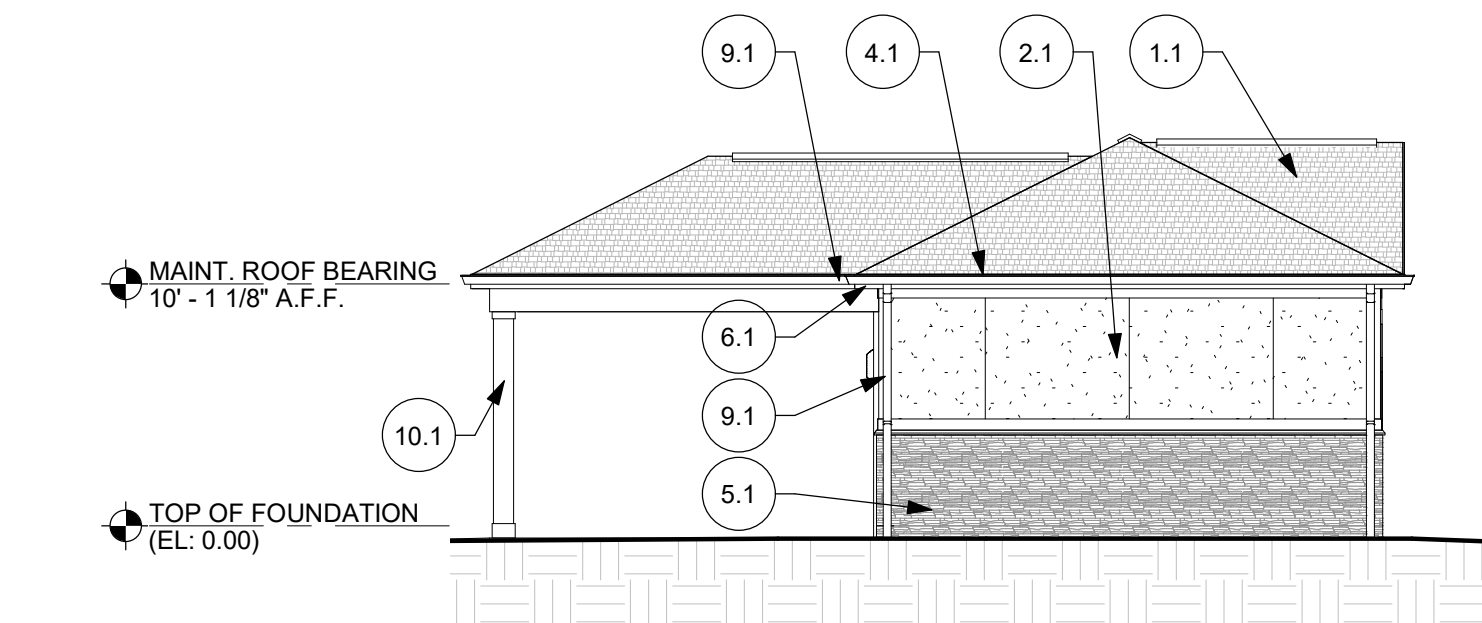
- | | |
|---|-------------------------------|
|  | FIRE EXTINGUISHER AND BRACKET |
| | DOWNSPOUT ASSEMBLY |
| HB | HOSE BIB |

ELEVATION KEYED NOTES

1. 30 YEAR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES, COLOR: WEATHERED WOOD ON 15 "/16" O.S.D. ROOF SHEATHING W/ METAL "4" CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS - REFER TO STRUCTURAL)
2. SIDING 1: STUCCO W/3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2846 'ROYCROFT BRONZE GREEN.'
3. SIDING 2: STUCCO W/3/8" SEALANT JOINTS. REFER TO ELEVATIONS FOR SEAM LOCATIONS. COLOR: SW #2821 'DOWNING STONE.'
4. HARDITRIM (SMOOTH)- AT FREEZE, RAKE, WINDOWS, DOORS, AND CORNER BOARDS. COLOR: SW #6148 'WOOL SKIN.' INSTALLED PER RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.
5. PREFINISHED METAL DRIP EDGE OVER 2x8 FASCIA BOARD WRAPPED IN ALUMINUM. COLOR: TO MATCH GUTTER
6. MANUFACTURED STONE VENEER, CORONADO, SERIES: LEDGESTONE QUICK STACK.' INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: 'CAPE COD GREY.' MORTAR COLOR TO MATCH STONE. INSTALL STONE CAPS - STYLE: CHISELED STONE. FINISH: LOMPOC FOR COLUMN BASES. INSTALL STONE LINTELS FOR WINDOWS/DOORS, STONE SILLS FOR EXTERIOR WALL.
7. VENTED VINYL SOFFIT: CERTAINTED (OR APPROVED EQUAL) STYLE: TRIPLE 3 1/3" INVISIVENT VINYL, COLOR: HERRINGBONE.
8. UNINSULATED METAL OVERHEAD DOOR TRACK, (DOOR IS INSULATED AT MAINTENANCE AREA) WEATHER STRIPPING & AUTO OPER ASSEMBLY. STYLE: COLONIAL, GARAGE DOOR COLOR: OPTIFINISH, TO MATCH SW PAINT #2846 'ROYCROFT BRONZE GREEN' PROVIDE INSULATED OVERHEAD DOOR AT MAINTENANCE AREA ONLY.
9. MASTIC-FINISHED ALUMINUM 6" GUTTER AND 4X3 DOWNSPOUT. TIE DOWNSPOUT INTO STORM SYSTEM. STYLE: K. COLOR: 'ALMOND.'
10. HARDIE PANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN w/ SQUARE CAP AND BASE OVER 6x6 TREATED POST OR STEEL TUBE. COLOR: SW #6148 'WOOL SKIN.' INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
11. PRE-FINISHED INSULATED DOOR. REFER TO DOOR SCHEDULE. COLOR: SW #6356 'COPPER MOUNTAIN.'

PLAN KEYED NOTES

- (1) CAR CARE VACUUM # 9225 BY J.E. ADAMS INDUSTRIES
- (2) PROVIDE HOT WATER HEATER w/ WALL MOUNTED SUPPORT BRACKET AND SHELF ASSEMBLY - PROVIDE PLYWOOD BLOCKING IN WALL
- (3) PROVIDE PLUMBING ROUGH-IN AND INSTALL TOILET, GC TO SUPPLY SINK AND MIRROR PER OWNER SPECIFICATIONS. EXACT LOCATIONS TO BE COORDINATED IN FIELD.
- (4) PROVIDE MOP SINK w/ SHELF AND MOP HOOKS.
- (5) SLOPE SLAB EDGE 1/2" AT GARAGE DOOR
- (6) SWIVEL RACK BY OWNER FOR PRESSURE WASHER.
- (7) SEWER INLET w/ SAND/OIL SEPARATOR. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- (8) 3/4" HOSE BIB - REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- (9) PRESSURE CLEANER - PROVIDE WATER CONNECTION, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- (10) GOLF CART CHARGING STATION. COORDINATE LOCATION IN FIELD - SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- (11) DASHED LINE INDICATES ROOF OVERHANG.
- (12) 22"x36" INSULATED ATTIC ACCESS PANEL WITH LOCK. COORDINATE LOCATION IN FIELD.
- (13) CONCRETE STOOP w/ BROOM FINISH, SEALED.
- (14) POST TENSION SLAB - PROVIDE CONTROL JOINTS AS REQUIRED. SEAL OR STAIN FINISH AS SELECTED BY OWNER.
- (15) HARDIEPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN w/ SQUARE CAP AND BASE OVER 6x6 TREATED POST. COLOR SW PAINT #7036 "ACCESSIBLE BEIGE", INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- (16) PAC-CLAD STANDING SEAM ROOF - REFER TO STRUCTURAL, COLOR: "GALVALUME."
- (17) PREFINISHED 6" ALUMINUM GUTTER w/ 3x4 DOWNSPOUT. PROVIDE DIVERSERS AND SPLASH GUARDS AT CORNERS AND VALLEYS.
- (18) PROVIDE (2) 1 3/4"x11 1/4" LVL HEADER, CLAD WITH FIBER CEMENT TRIM.
- (19) PREFINISHED CONTINUOUS PERFORATED VINYL SOFFIT VENT AROUND PERIMETER OF ROOF.
- (20) RIDGE VENTS, STYLE AS SELECTED BY OWNER, COLOR TO MATCH ROOF SHINGLES.
- (21) TOILET ROOM WALLS" 2x4 WOOD STUD FRAMING @ 16" O.C. WITH MOISTURE RESISTANT GYPSUM BOARD ON TOILET ROOM SIDE OF WALL AND OSB SHEATHING ON MAINTENANCE AREA SIDE OF WALL. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT TOILET ROOM CEILING IN LIEU OF OSB SHEATHING.
- (22) PET GROOMING STATION - GROOMERS BEST 48" WALK-THRU TUB w/ PULL OUT RAMP, LIE DRAIN TO BUILDING SANITARY SYSTEM.
- (23) COORDINATE GC/JP LOCATIONS w/ HOSE BIB LOCATIONS.
- (24) MIRROR ABOVE SINK.



GENERAL NOTES

1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
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LEGEND

- | | | |
|--------------------------|----------|-------------------------------|
| <input type="radio"/> | FEC | FIRE EXTINGUISHER AND BRACKET |
| <input type="checkbox"/> | | DOWNSPOUT ASSEMBLY |
| HB | HOSE BIB | |

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SEAL _____

ISSUE & REVISION RECORD

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PROJECT _____

C452
FUND PROJECT

MESA, AZ

CLIENT _____



CONTINENTAL 452 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53052
262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 1833112

ISSUE DATE 11/20/18

DRAWN BY/CHECKED BY _____ CC / MT

DRAWING TITLE _____

MAINTENANCE
BUILDING (MG-2) PLANS,
ELEVATIONS, SECTIONS

SHEET NUMBER _____

A1.M.11

5901 PEACHTREE DUNWOODY RD
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616



DETAIL VIEW



G24 BUILDING ELEVATION WITH AC SCREENING
BUILDING ELEVATION COLORS ARE CONCEPTUAL AND SUBJECT TO CHANGE

