

FEMA INFORMATION

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C XXXXX (EFFECTIVE REVISED DATE OCTOBER 16, 2013), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE____

ZONE: X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

ZONE: A IS DEFINED AS NO BASE FLOOD ELEVATIONS DETERMINED.

ZONE: AE ARE DEFINED AS BASE FLOOD ELEVATIONS DETERMINED.

ZONE: AH IS DEFINED AS FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED.

ZONE: AQ IS DEFINED AS FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED.

ZONE: AR IS DEFINED AS SPECIAL FLOOD HAZARD AREA FORMERLY PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD BY A FLOOD CONTROL SYSTEM THAT WAS SUBSEQUENTLY DECERTIFIED. ZONE AR INDICATES THAT THE FORMER FLOOD CONTROL SYSTEM IS BEING RESTORED TO PROVIDE PROTECTION FROM THE 1% ANNUAL CHANCE OR GREATER FLOOD.

ZONE: A99 IS DEFINED AS AN AREA TO BE PROTECTED FROM 1% ANNUAL CHANCE FLOOD BY A FEDERAL FLOOD PROTECTION SYSTEM UNDER CONSTRUCTION; NO BASE FLOOD ELEVATIONS DETERMINED.

ZONE: D IS DEFINED AS AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

LEGAL DESCRIPTION

REAL PROPERTY IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, DESCRIBED AS FOLLOWS:
THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

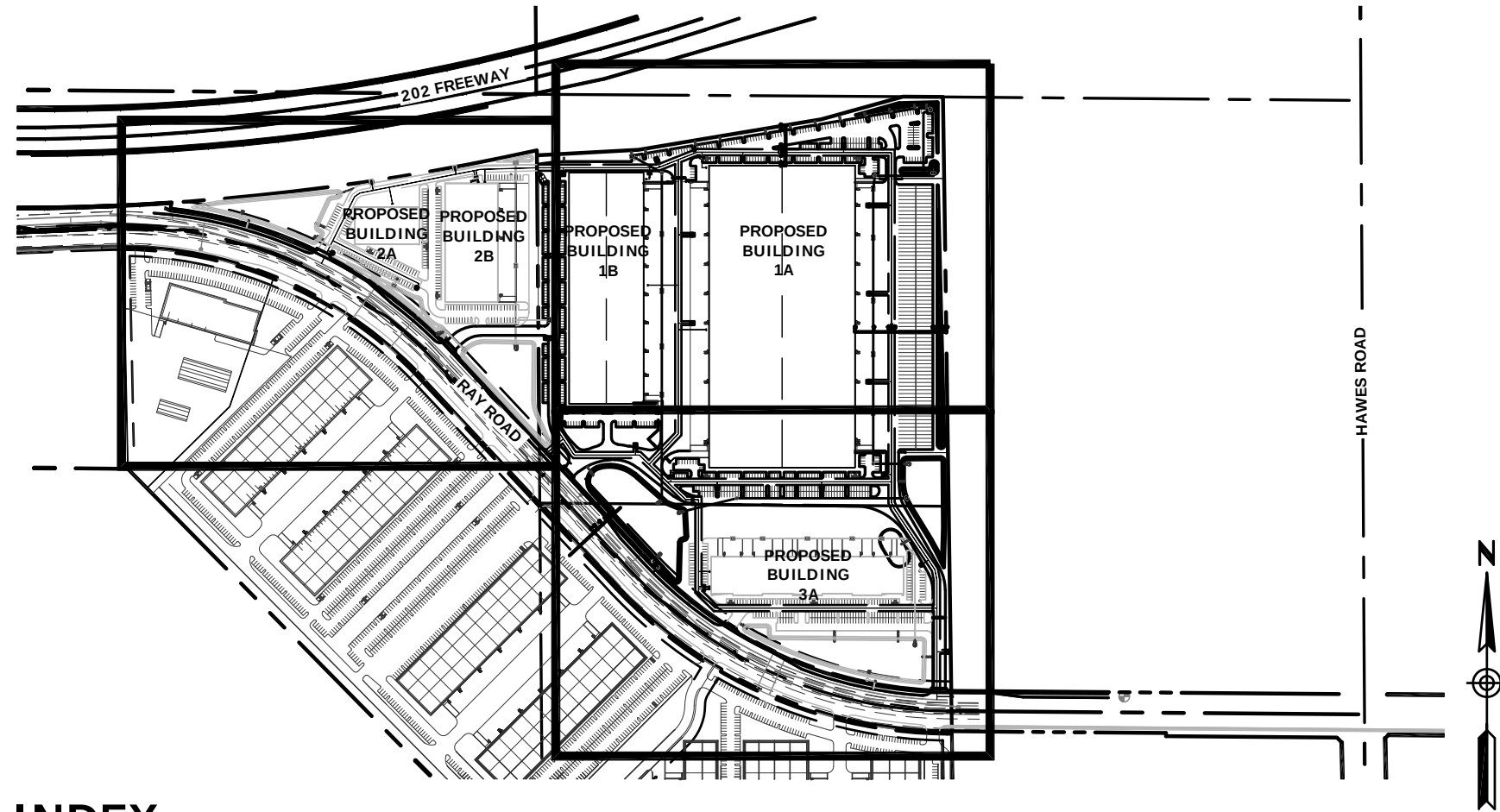
ABBREVIATIONS

APN	ASSESSOR PARCEL NUMBER	P	PAVEMENT
B/C	BACK OF CURB	PAE	PUBLIC ACCESS EASEMENT
BOT	BOTTOM	PDE	PUBLIC DRAINAGE EASEMENT
BRW	BOTTOM OF RETAINING WALL	P	PROPERTY LINE
BVC	BEGINNING OF VERTICAL CURVE	POB	POINT OF BEGINNING
C	CONCRETE	POC	POINT OF COMMENCEMENT
C	CENTERLINE	PUE	PUBLIC UTILITY EASEMENT
CF	CUBIC FEET	PUFE	PUBLIC UTILITY FACILITIES EASEMENT
C&G	CURB & GUTTER	PVI	POINT OF VERTICAL INTERSECTION
CY	CUBIC YARD	PVMT	PAVEMENT
DE	DRAINAGE EASEMENT	P\VC	PAVEMENT/CONCRETE
DW	DRYWELL	RCW	RECLAIMED WATER
EA	EACH	R/W	RIGHT OF WAY
EL	ELEVATION	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SF	SQUARE FEET
ESMT	EASEMENT	SS	SANITARY SEWER
EVC	END OF VERTICAL CURVE	S/W	SIDEWALK
EX	EXISTING	STA	STATION
EXG	EXISTING GRADE	SY	SQUARE YARDS
F/C	FACE OF CURB	TC	TOP OF CURB
FF	FINISH FLOOR	TEL	TELEPHONE
FG	FINISH GRADE	TF	TOP OF FOOTING
FL	FLOWLINE	THR	TOP OF HANDRAIL
FT/FT	FOOT PER FOOT	TPOB	TRUE POINT OF BEGINNING
FM	FORCE MAIN	TRW	TOP OF RETAINING WALL
G	GUTTER	TS	TRAFFIC SIGNAL
GB	GRADE BREAK	TW	TOP OF WALL
GR	GRATE	UGFO	UNDERGROUND FIBER OPTIC
HP	HIGH POINT	UGE	UNDERGROUND ELECTRIC
HW	HIGH WATER	UGT	UNDERGROUND TELEPHONE
IE	INVERT ELEVATION	UTS	UNDERGROUND TRAFFIC SIGNAL
IRR	IRRIGATION	VCP	VITRIFIED CLAY PIPE
LF	LINEAR FEET	VG	VALLEY GUTTER
LIE	LANDSCAPE IRRIGATION EASEMENT	VNAE	VEHICULAR NON-ACCESS EASEMENT
LP	LOW POINT	VOL	VOLUME
MCR	MARICOPA COUNTY RECORDER	VP	VOLUME PROVIDED
ML	MATCH LINE	VR	VOLUME REQUIRED
M	MONUMENT LINE	W	WATER
MUTE	MULTI USE TRAIL EASEMENT	WLE	WATER LINE EASEMENT
NTS	NOT TO SCALE	WTP	WATER TREATMENT PLANT
OHE	OVERHEAD ELECTRIC	WWTP	WASTEWATER TREATMENT PLANT

CONCEPTUAL GRADING,
DRAINAGE AND UTILITY PLAN

FOR
THE LANDING 202
EAST RAY ROAD
MESA, ARIZONA

REAL PROPERTY IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;



MAP INDEX

SHEET INDEX

COVER SHEET.	C1
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EXISTING LEGEND

RIGHT OF WAY	---
PROPERTY LINE	---
CENTERLINE	---
EASEMENT LINE	---
WATER LINE	---
WATER LINE	---
SANITARY SEWER LINE	---
SPOT ELEVATION	+1349.16
FIRE HYDRANT	+
WATER VALVE	+
IRRIGATION CONTROL VALVE	+
SANITARY SEWER MANHOLE	+
SANITARY SEWER CLEANOUT	+
SIGN	+
LIGHT POLE	+
ELECTRICAL RISER	+
ELECTRICAL CABINET	+

PROPOSED LEGEND

DIRECTION OF SLOPE	←
SEWER LINE	---
WATER LINE	---
FIRE LINE	---
EASEMENT	---
SAWCUT	---
GRADE BREAK	---
CATCH BASIN	---
DRYWELL	---
SPOT ELEVATION	90.50P
SECTION CALLOUT	---
FLOW LINE	---
BACKFLOW PREVENTOR	---
TAPPING SLEEVE & VALVE	---
SANITARY SEWER CLEANOUT	---

OWNER

MARWEST ENTERPRISES, LLC
6710 N. SCOTTSDALE RD 140
SCOTTSDALE, ARIZONA 85253
CONTACT: DAVID MARTENS, JD/MTA
PHONE: (602) 390-5403

ARCHITECT

WARE MALCOMB
8181 N VIA DE NEGOCIO
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 800-5291
PHONE: (480) 767-1001
CONTACT: ERIC ZITNY, AIA
EMAIL: EZITNY@WAREMALCOMB.COM

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE #200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
CONTACT: LARRY TALBOTT, V.P.
EMAIL: LTALBOTT@HUNTERENGINEERINGPC.COM

RETENTION CALCULATIONS

SITE AREA: 56.17 AC

RETENTION REQUIRED:

$$V_R = (C) * (P/12) * (A) \quad P=2.2$$
$$V_R = (0.90) * (2.2/12) * (56.17) * (43,560) = 403,716 \text{ CF}$$

TOTAL REQUIRED = 403,716 CU.FT.

RETENTION PROVIDED:

BASIN 1.	97,145 CF
BASIN 2.	16,092 CF
BASIN 3.	92,134 CF
BASIN 4.	7,359 CF
BASIN 5.	67,600 CF
BASIN 6.	5,189 CF
BASIN 7.	6,232 CF
BASIN 8.	3,663 CF
BASIN 9.	6,700 CF
BASIN 10.	25,428 CF
BASIN 11.	149,212 CF
BASIN 12.	3,836 CF
BASIN 13.	15,150 CF
TOTAL PROVIDED.	495,740 CF

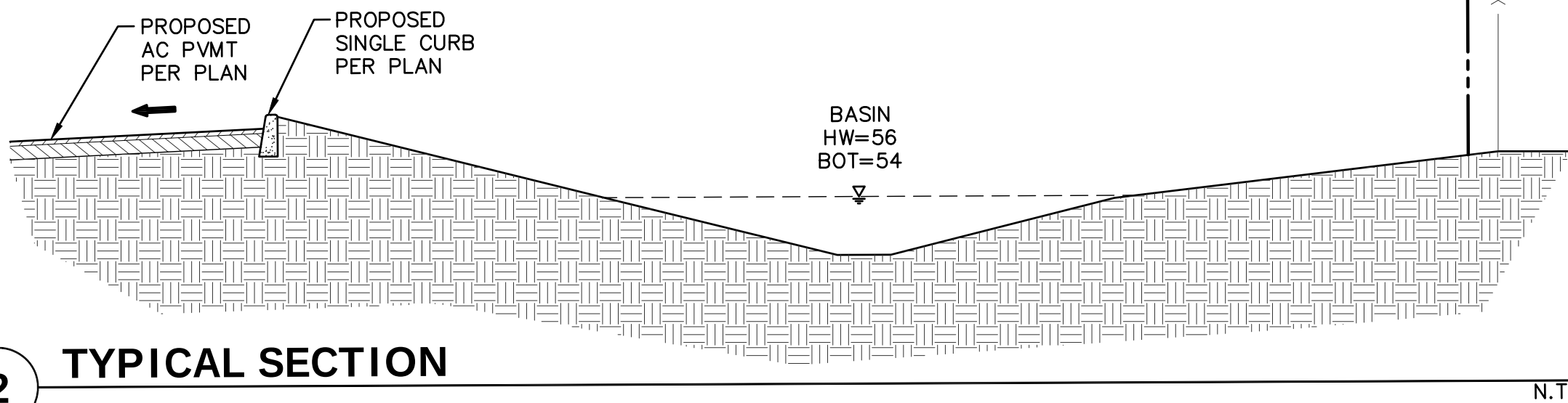
RETENTION TOTALS:

TOTAL REQUIRED	403,716 CF
TOTAL PROVIDED	495,740 CF
TOTAL EXCESS	92,024 CF

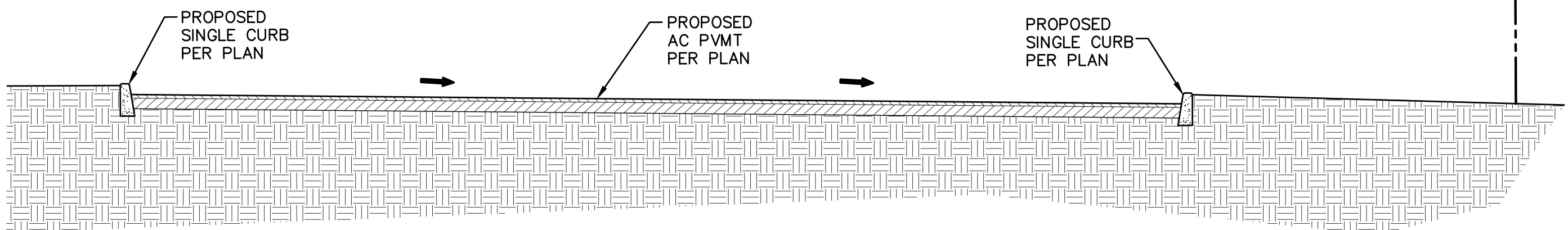
RETENTION NOTE

RETENTION IMPROVEMENTS WILL BE PHASED AS NECESSARY. FULL BASINS MAY BE CONSTRUCTED ON FUTURE PHASES OR TEMPORARY BASINS MAY BE UTILIZED. ALL BASINS WILL FOLLOW THE CITY OF MESA DESIGN REQUIREMENTS.

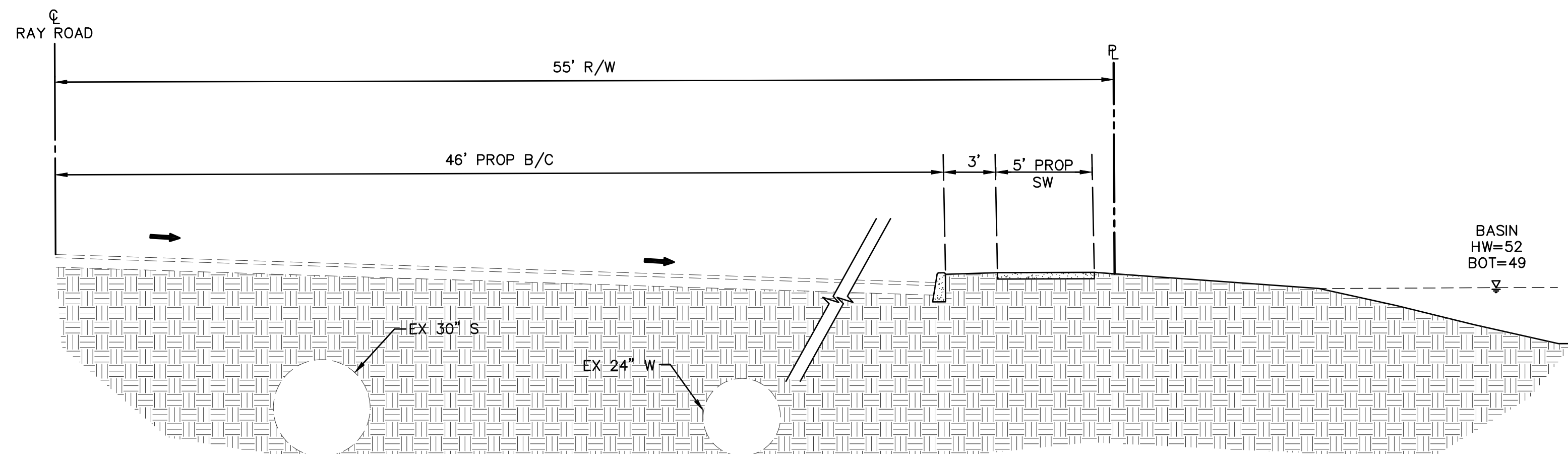
SUBSTANTIAL EXCESS VOLUMES ARE SHOWN ON THESE PLANS. BASINS MAY BE MODIFIED OR SHALLOWED IN THE FUTURE TO REDUCE THE EXCESS VOLUME.



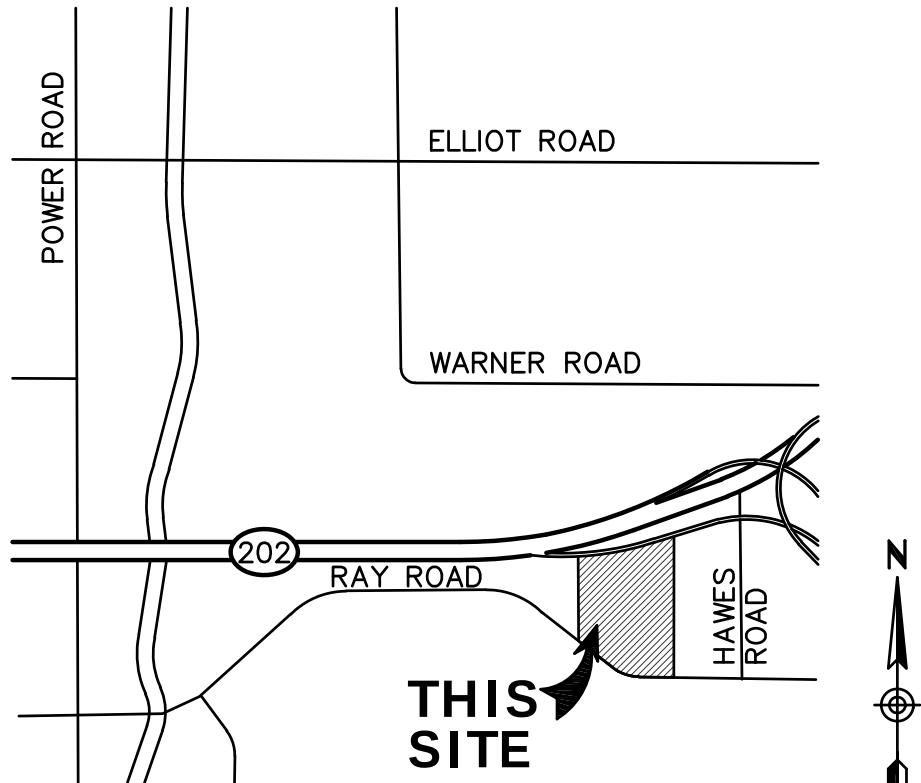
2 TYPICAL SECTION



1 TYPICAL SECTION



3 TYPICAL SECTION



VICINITY MAP

APN #

304-30-020K, 025L, 025M, 025N & 014A

BENCHMARK

CITY OF MESA BRASS TAG ON TOP OF CURB AT THE NORTHEAST CORNER OF HWY 202 FREEWAY AND POWER ROAD. ELEVATION= 1324.10 (CITY OF MESA NAVD88 DATUM)

ONSITE BENCHMARK #1:

IRON BAR IN MEDIAN OF RAY ROAD, 1600"± WEST OF PROPERTY. ELEVATION= 1346.71.

ONSITE BENCHMARK #2:

NORTH BOLT ON FIRE HYDRANT WITH TAG STAMPED "BURY". ELEVATION= 1354.88.

BASIS OF BEARING

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 7 EAST WHICH BEARS.

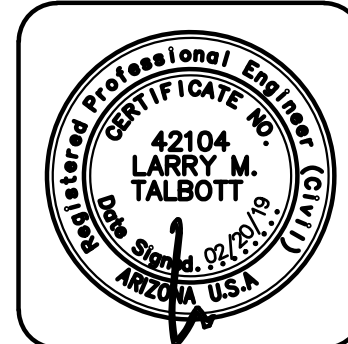
SITE ACREAGE

TOTAL AREA = 56.17

BY	REVISION	DATE	NO.

DESIGN BY: JJN
DRAWN BY: LEW
CHECKED BY: JJN

HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



CONCEPTUAL COVER SHEET
FOR
THE LANDING 202
EAST RAY ROAD
MESA, ARIZONA

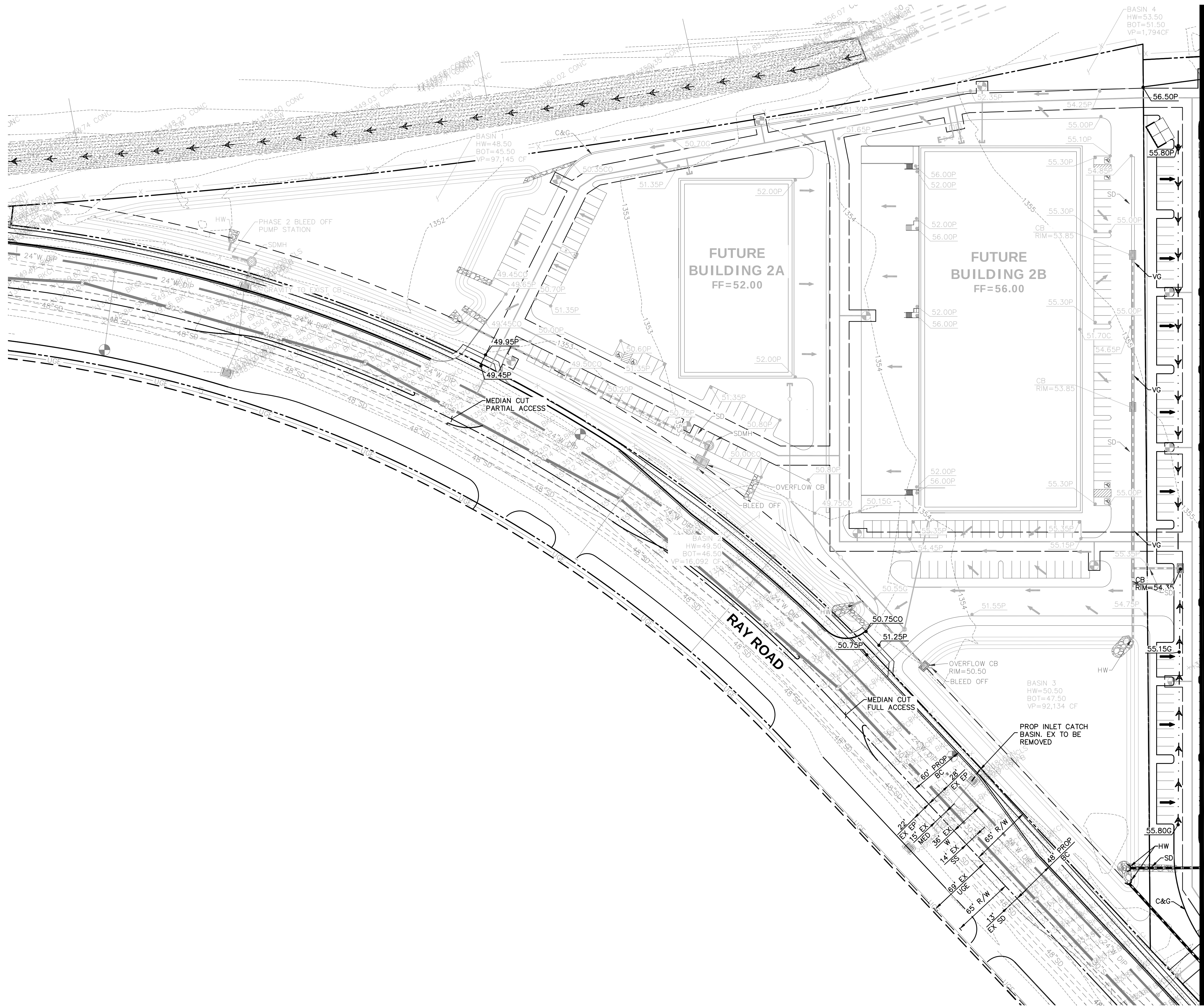


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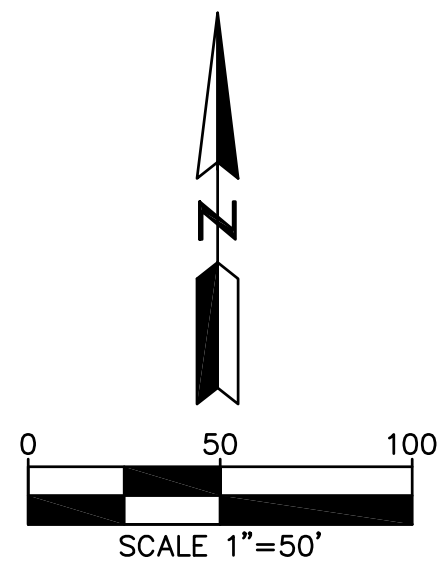
PROJECT NAME:
THE LANDING 202

HE NO.: MARW005
SCALE: NTS

SHEET:
C1



MATCH LINE - SEE SHEET C3



CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
THE LANDING 202
EAST RAY ROAD
MESA, ARIZONA



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PROJECT NAME:
THE
LANDING
202

HE NO.: MARW005
SCALE: 1"=50'

SHEET:
C2

NO.	DATE	REVISION	BY

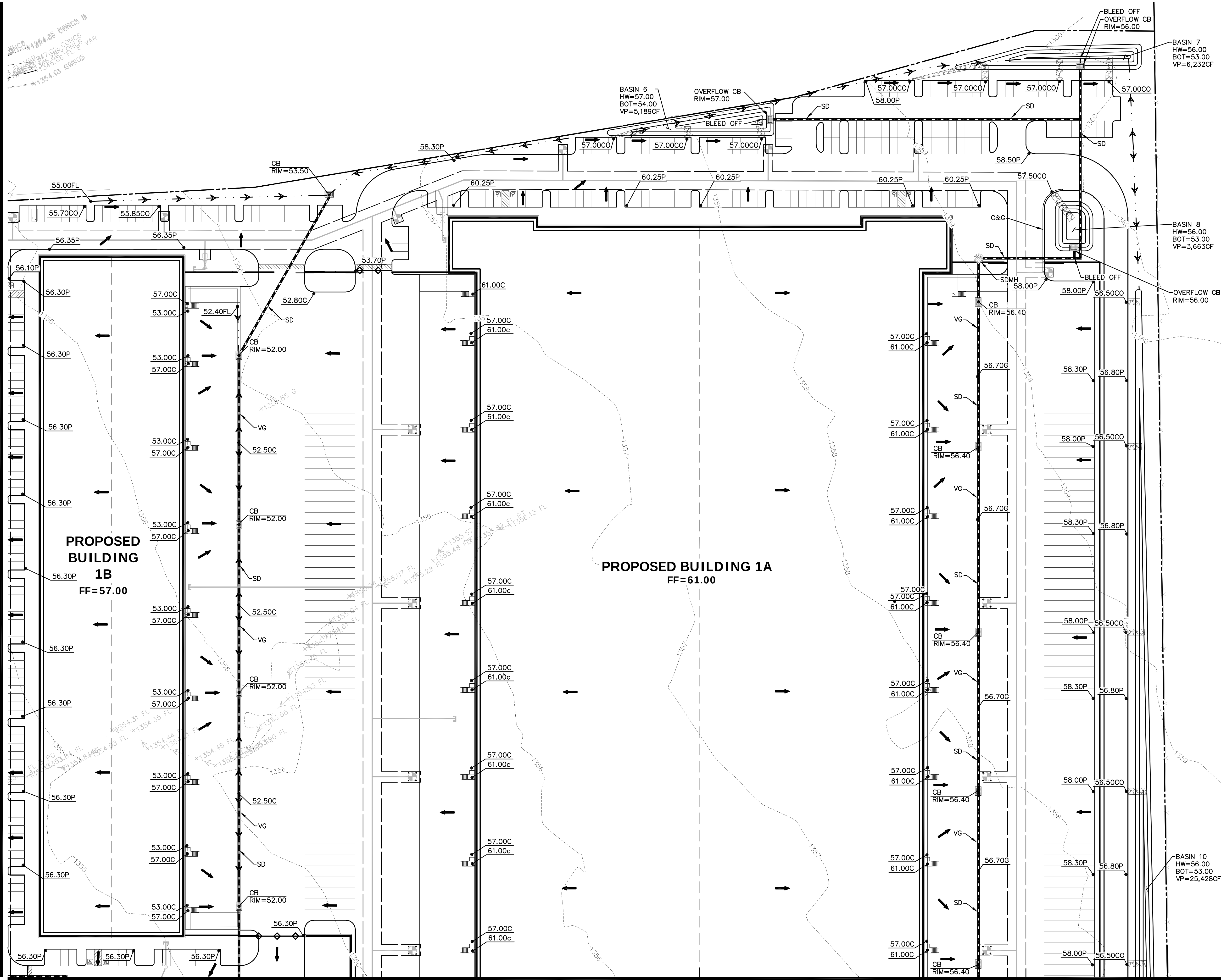
DESIGN BY: JIN
DRAWN BY: LEW
CHECKED BY: JIN

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ENGINEERING
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SCOTTSDALE, AZ 85258
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F 480 991 3986

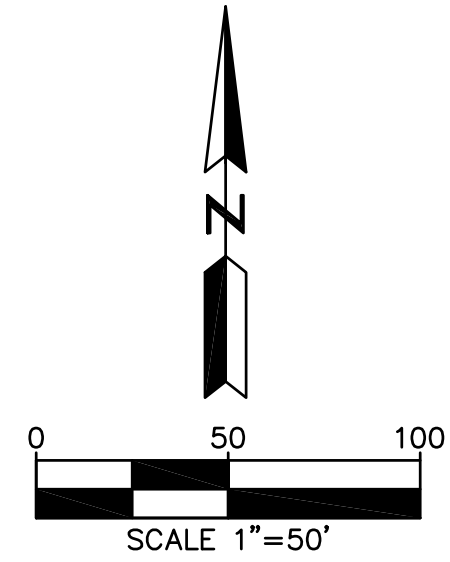


CONCEPT SBMTL 2-20-19

MATCH LINE - SEE SHEET C2



MATCH LINE SEE SHEET 4



NO.	DATE	REVISION	BY

PURPOSE: 2ND CONCEPT SBMTL 2-20-19

DESIGN BY: JIN
DRAWN BY: LEW
CHECKED BY: JIN

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ENGINEERING
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SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986
CIVIL AND SURVEY



CONCEPTUAL GRADING AND DRAINAGE PLAN
FOR
THE LANDING 202
EAST RAY ROAD
MESA, ARIZONA



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PROJECT NAME:
THE LANDING 202

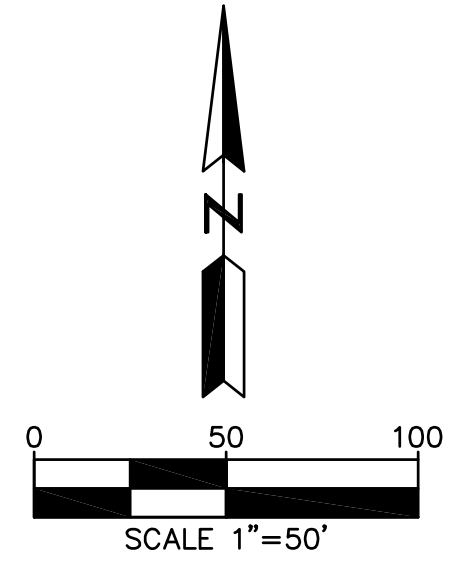
HE NO.: MARW005
SCALE: 1"=50'

SHEET:
C3

MATCH LINE - SEE SHEET C3

PROPOSED BUILDING 1A
FF=61.00

FUTURE BUILDING 3A
FF=59.00



NO.	DATE	REVISION	BY

PURPOSE: 2ND CONCEPT SBMTL 2-20-19

DESIGN BY: JIN
DRAWN BY: LEW
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ENGINEERING
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SCOTTSDALE, AZ 85258
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CONCEPTUAL GRADING AND DRAINAGE PLAN
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EAST RAY ROAD
MESA, ARIZONA



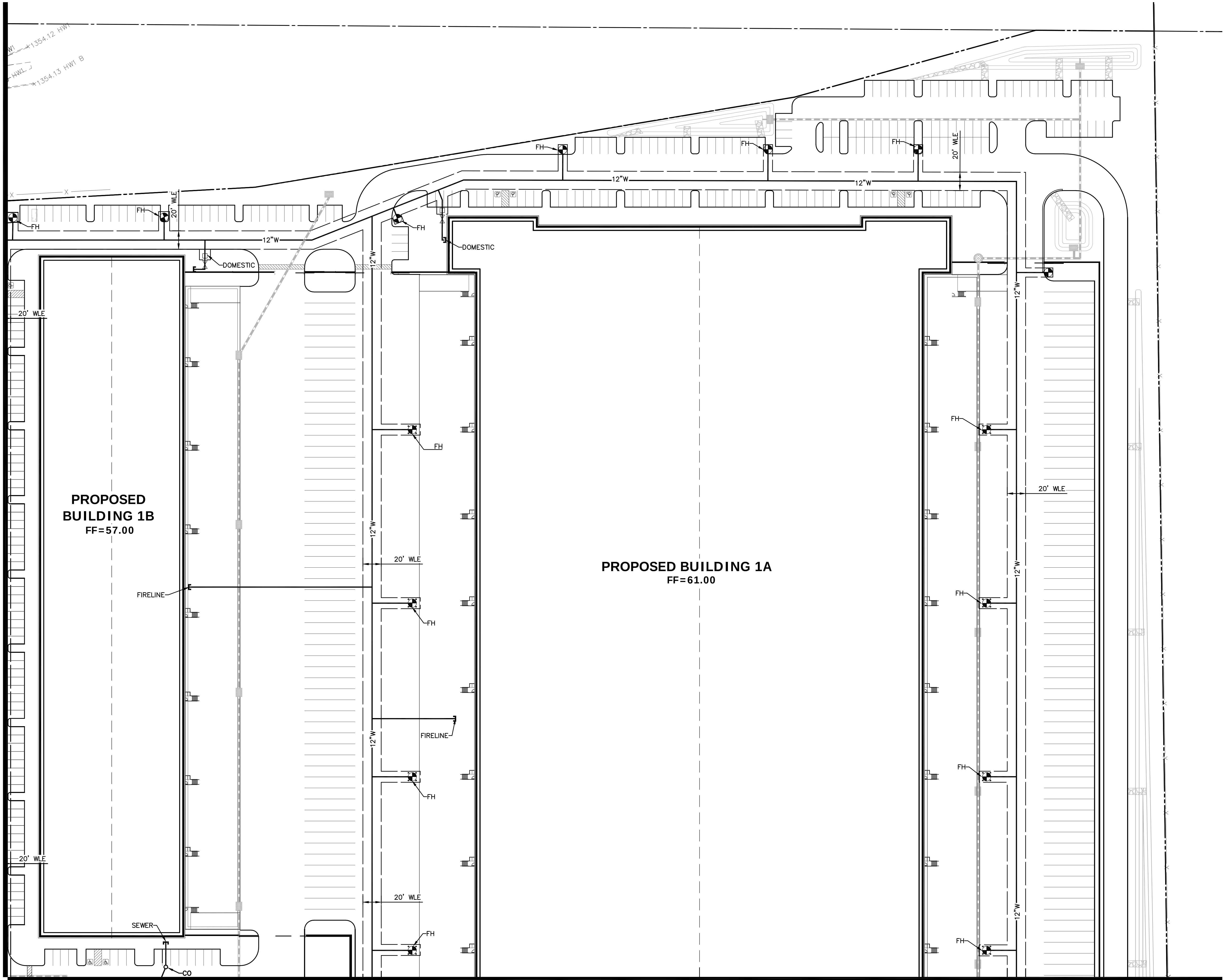
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PROJECT NAME:
THE
LANDING
202

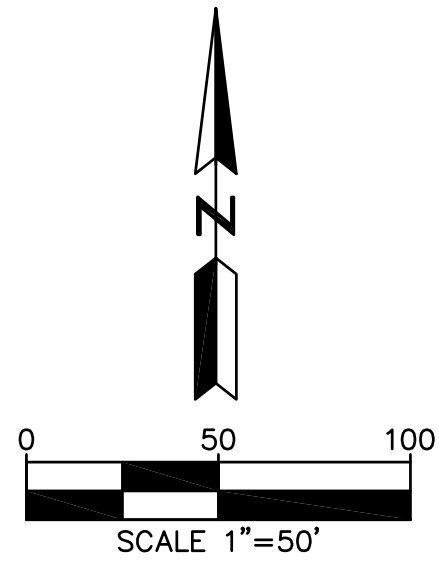
HE NO.: MARW005
SCALE: 1"=50'

SHEET:
C4

MATCH LINE SEE SHEET CS



MATCH LINE SEE SHEET C7



NO.	DATE	REVISION	BY

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DRAWN BY: LEW
CHECKED BY: JIN

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ENGINEERING
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SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY



CONCEPTUAL UTILITY PLAN
FOR
THE LANDING 202
EAST RAY ROAD
MESA, ARIZONA

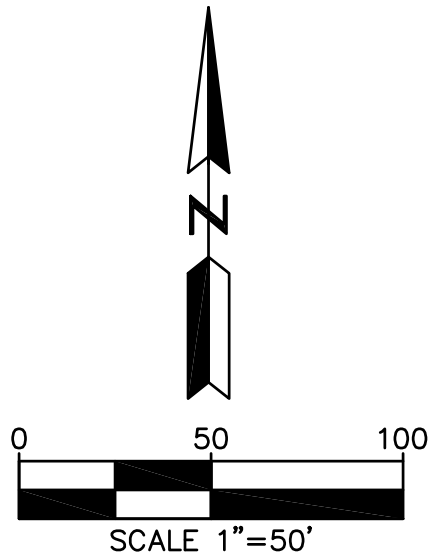
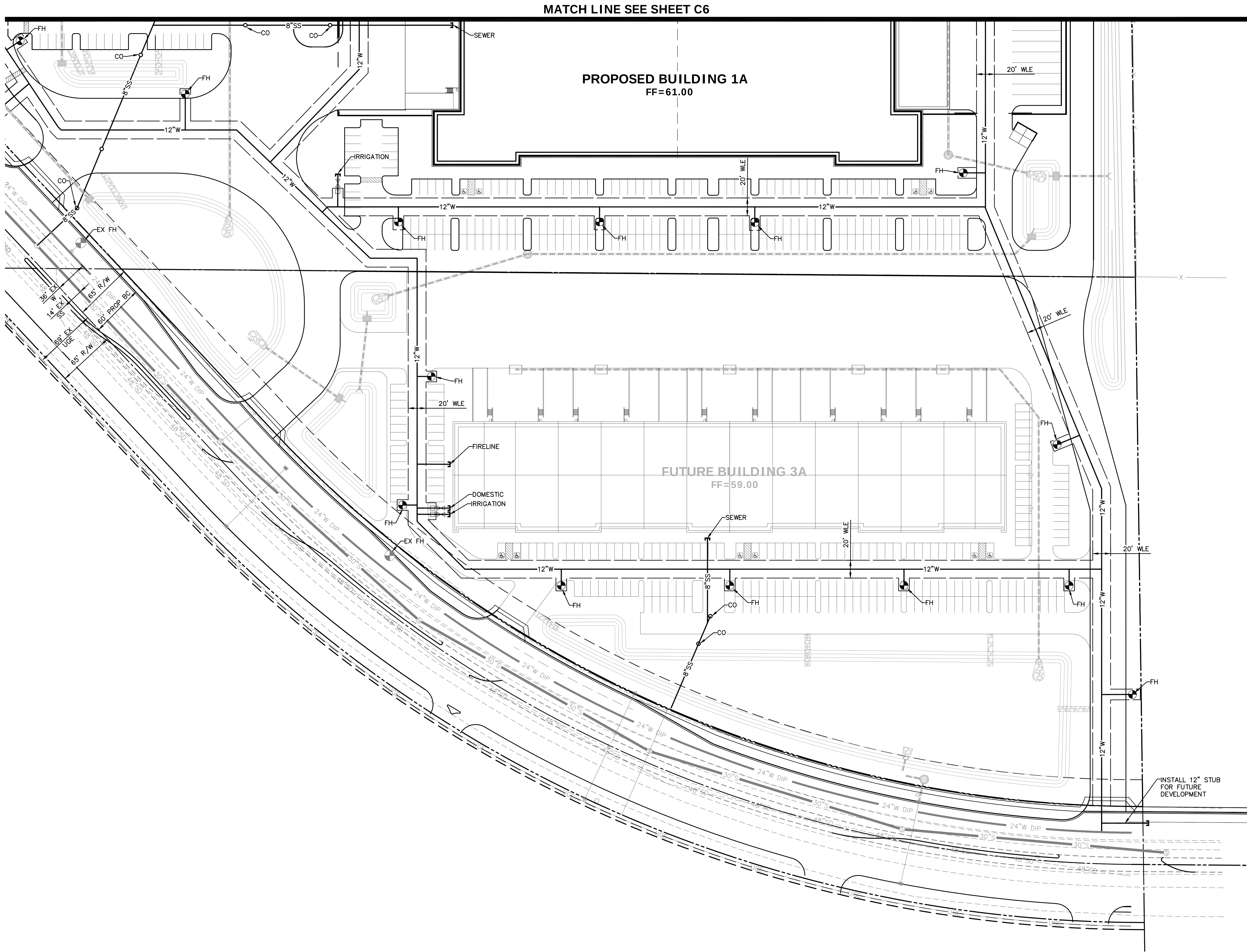


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MUNICIPALITY.

PROJECT NAME:
THE
LANDING
202

HE NO.: MARW005
SCALE: 1"=50'

SHEET:
C6



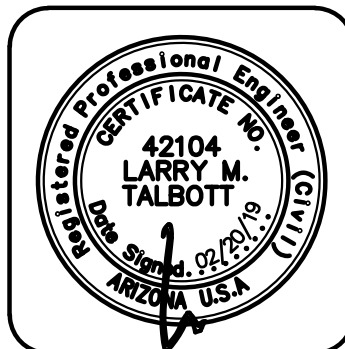
NO.	DATE	REVISION	BY

PURPOSE: 2ND CONCEPT SBMTL 2-20-19

DESIGN BY: JIN
DRAWN BY: LEW
CHECKED BY: JIN

HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY



CONCEPTUAL UTILITY PLAN
FOR
THE LANDING 202
EAST RAY ROAD
MESA, ARIZONA



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PROJECT NAME:
THE LANDING 202

HE NO.: MARW005
SCALE: 1"=50'

SHEET:
C7