

DESERT RIDGE DESIGN L.L.C.

Andrew J. Boubel (Desert Ridge Design, LLC Member, Manager & Architect)

COMMERCIAL, RESIDENTIAL, AND FORENSIC ARCHITECTURE

AZ License No: 35853 & 19893

TX License No: 26711

February 4, 2019

City of Mesa
Planning Department
55 N. Center St.
Mesa, AZ 85211

Re: Case # ZON18-00931 Planning Narrative Revised
Beemer Haus
1820 W. Broadway Rd.
Mesa, AZ. 85202

Attention Planning Staff,

Project Narrative

The Beemer Haus is a high end pre-owned independent BMW dealership that was formed over ten years ago. At its current location in Scottsdale, Arizona the bulk of their inventory is left outside exposed to the elements. The goal was to find a facility that could house their inventory while providing a quiet, pleasant, comfortable, indoor show room environment. The building at 1820 W. Broadway suites their needs perfectly!

The site is in a L.I. (Light Industrial) zone with over a dozen auto dealerships within a 2 mile radius. The existing building 1 is 26, 361 S.F. of warehouse that was formerly an auto dealership. The plan is to use approximately 90% of the indoor floor area for auto display – up to (40) cars and the rest for sales and administrative offices. The proposed 1,800 S.F. building 2 will be used for preparing the cars for sale. This entails washing and detailing along with changing rims and tires. There will be no repair work done in either building. We have included floor plans of both buildings to further illustrate the business operation.

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We propose to update the building's exterior with a sleek contemporary design with angled elements much like many of the new buildings in the area. The front facing façade closest to Broadway Rd. will be considered the Primary Public Entrance. The renovation of this part of the building entails raising the existing street facing fenestration line from 8 (eight) feet to 10 (ten) feet and wrapping seamless glass panels around the southeast corner. The area of the building behind the glass will house the main showroom and the panels will be operable and left open as weather permits. There will be a 6 (six) foot deep wood clad shade canopy surrounding the showroom glass. Much of the building will be re-skinned with corrugated metal panels on the body of the building and perforated panels above the parapet to allow wind to pass through. The skin will be mounted to a steel skeletal structure that will attach to the building and stand proud 6 inches from the original building face. There are portions of exposed block that will remain. These areas will be painted a darker gray to make the panels pop. The remaining elevations will be repainted – see Building Materials Color Samples and color rendered elevations attached.

As stated in the previous narrative, the majority of the interior space will be used for car display – see floor plan. In our original submittal, the site plan showed (76) spaces based on the LI zoning requirement of (1) space per 375 square feet of building footprint. In order to include a refuse enclosure based on detail M-62, we were forced to eliminate (3) spaces thus bringing the total of spaces provided to (73). Based on the Beemer Haus business model, the required number of spaces (76) is disproportional to the actual number of spaces that will be needed to operate the business. There will be no more than (10) patrons and (10) employees using the parking lot at one time. The rest of the spaces will be used for auto display with no special (elevated) display. The parking and other non-conforming elements – listed below – do not meet the requirements of the LI zone. Therefore, we are in agreeance with the staffs' recommendation to rezone the property to LI-BIZ.

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Deviation from (LI) Zoning

Reduction of front landscape setback

Required – 15 feet from future 65 foot ROW

Provided – 5 feet from future ROW

The 15 foot required from the future ROW would eliminate 16 to 18 parking stalls to the detriment of the LI requirement.

Parking rows with more than 8 un-interrupted spaces

Required – up to (8) consecutive spaces

Provided – (3) rows of (9) consecutive spaces starting (1) row beyond the parking along Broadway.

Based on the current layout to maximize the parking there is not enough space to add additional landscape islands without eliminating (3) spaces.

Parking closer than 50 feet from the future ROW

The south face of the building is 61 feet 2 inches from the future ROW. To comply with the LI zone would mean eliminating all parking adjacent to the public entrance.

Bay doors closer than 200 feet from the future ROW

Required – 200 feet from future ROW

Provided – 178 feet 8 inches.

The bay doors are existing and a critical element in the operation of the business. We have screened the doors with large trees midway from the Broadway road frontage.

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Landscape Foundation Base for buildings over 10,000 S.F.

Required – 15 feet Front, 5 feet side

Provided – 10 feet front, 5 feet side.

Due to the close proximity of the south face of the building to the street, a 15 foot base at the front would eliminate the front parking and the driveway as designed. We have provided a 5 foot base on the east side of the building in areas without pedestrian or vehicle entry into the building.

Exterior walls with a public entrance – 15'

South elevation – 10' provided and east elevation 5'-5'6" provided.

Exterior walls adjacent with no public entrance adjacent to parking – 10'

South elevation – 3'6" provided

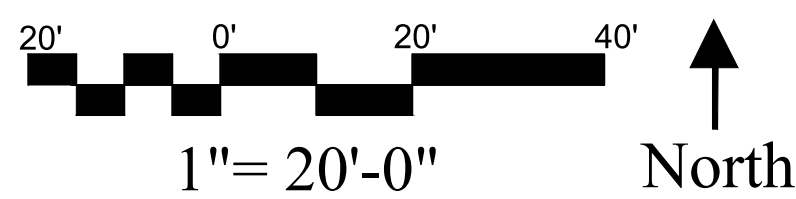
Exterior wall with no public entrance and no parking – 5'

As suggested we have provided a 5' wide area of stamped concrete in the areas where landscaping is not practical – where garage doors open to the parking and service area in the rear.

We hope we have addressed all your comments and concerns in this planning submittal and look forward to a favorable review. Feel free to contact us with any questions you may have.

Sincerely,

Andrew Boubel Member/ Manager/ Architect
Desert Ridge Design LLC (480) 215-4961



MZO 11-33-3

PERIMETER LANDSCAPING

ARTERIAL STREETS- 1 TREE & 6 SHRUBS PER 25 L.F. OF FRONTAGE
APPROX. 220 L.F. OF FRONTAGE ALONG BROADWAY RD

REQUIRED: 9 TREES & 54 SHRUBS
PROVIDED: 9 TREES & 60 SHRUBS

PLANT SIZES: A MINIMUM OF 25% OF TREES SHALL BE 36" BOX OR LARGER. A MINIMUM OF 50% OF TREES SHALL BE 24" BOX. A MINIMUM OF 50% OF SHRUBS SHALL BE 5-GALLON OR LARGER.

36" BOX TREE: 3 (33%)	5 GAL SHRUB: 36 (60%)
24" BOX TREE: 6 (66%)	1 GAL SHRUB: 24 (40%)

MZO 11-33-4

PARKING LOT LANDSCAPING

PARKING LOT ISLANDS: 1 TREE & 3 SHRUBS PER ISLAND
PROVIDED: 13 ISLANDS, 13 TREES & 39 SHRUBS

PARKING LOT DIVIDER MEDIANS: 1 TREE & 6 SHRUBS PER EVERY 8 PARKING SPACES
PROVIDED: 3 TREES & 10 SHRUBS (SEE PLAN FOR LOCATION)

PLANT SIZES: A MINIMUM OF 10% OF TREES SHALL BE 36" BOX. THE BALANCE OF THE REQUIRED TREES SHALL BE AT LEAST 24" BOX.

36" BOX TREE: 2 (10%)
24" BOX TREE: 17 (90%)

Key Map

DOBSON RD

SITE

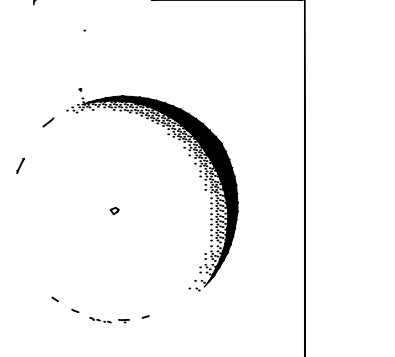
BROADWAY RD

SAGUARO RD

Waibel & Associates
Landscape Architecture

Master Planning Gardens & Consulting Urban Design

Phone: 480-893-3849 Fax: 480-893-3846
8611 S. Priest Drive, Suite 101 Tempe, AZ 85284
Email: jane@waibel-la.com



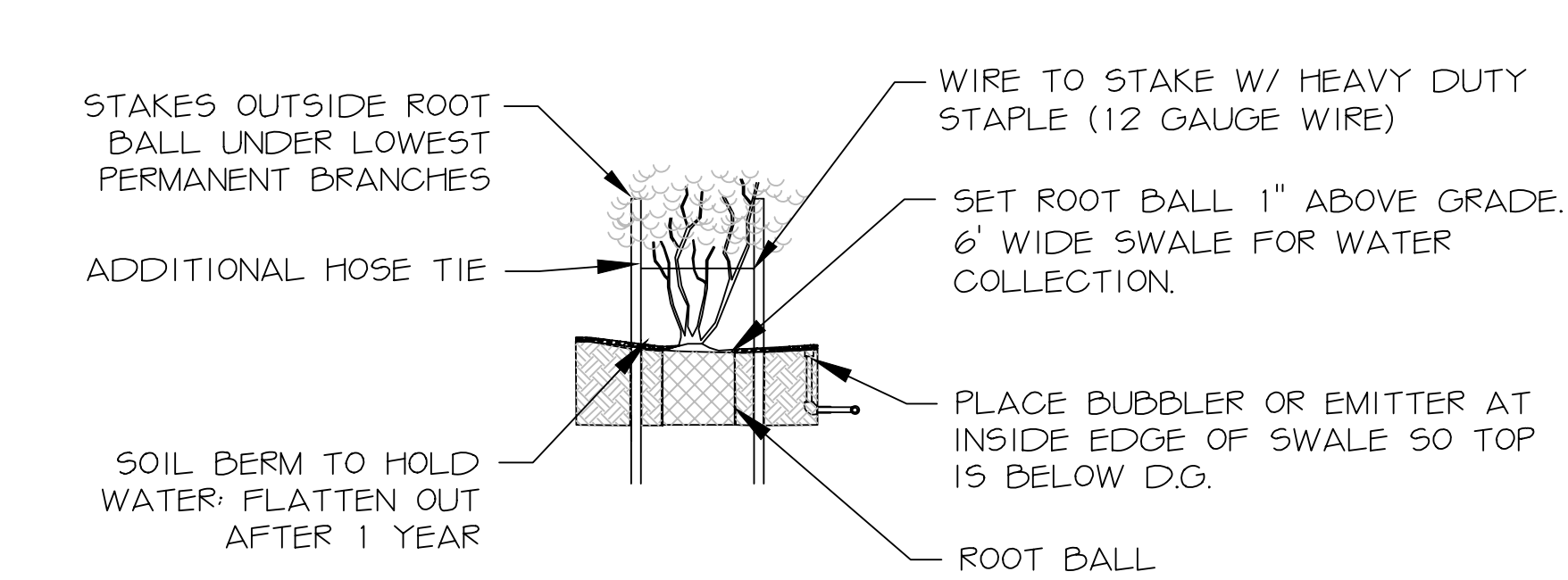
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Date: 1/2/2019

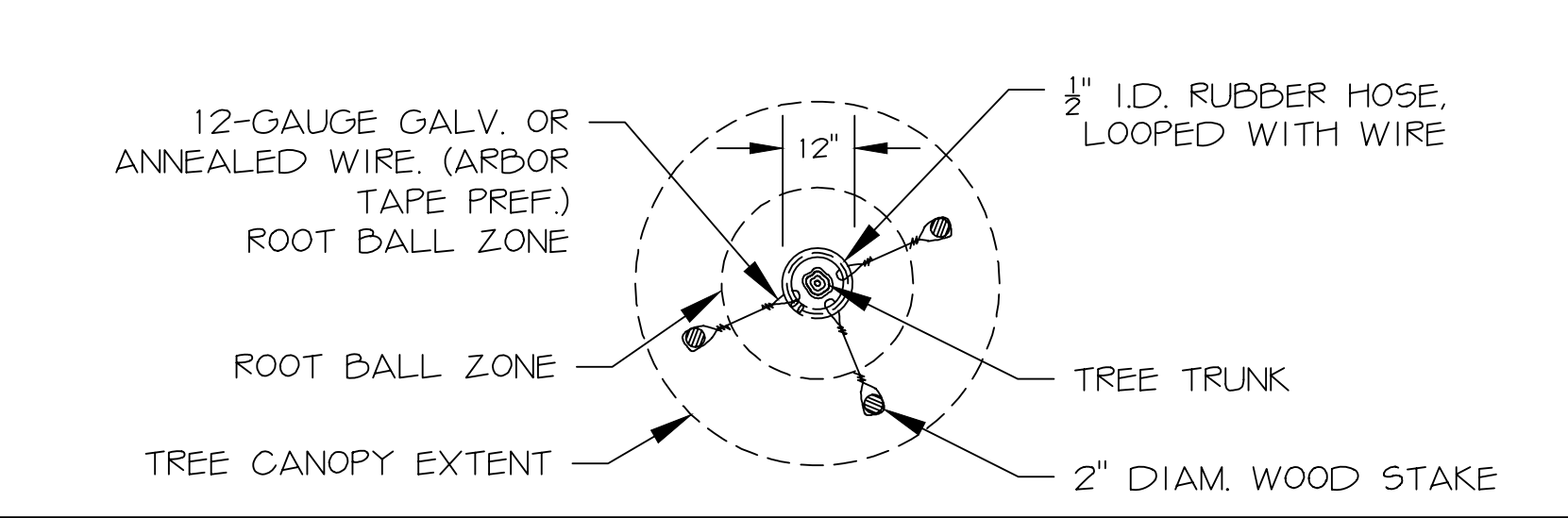


TREE PLANTING & STAKING - MULTITRUNK (MESQUITE)

NTS



DETAIL A. WIRE & HOSE TIES



PLANTING NOTES:

1. SIDES OF PLANTING PITS ARE TO BE LOOSENED OR RAKED BEFORE SETTING TREE IN PIT.
2. EXCAVATE DEPTH OF PLANTING PIT TO THE SAME DEPTH AS THE ROOTBALL.
3. THE WIDTH OF THE PLANTING PIT SHALL BE 2 X THE WIDTH OF THE ROOTBALL GENTLY LOOSEN ROOTS AROUND EXTERIOR OF ROOTBALL. CENTER TREE IN PLANTING PIT.
4. INSPECT ROOT BALLS AT POINT OF PURCHASE TO AVOID PURCHASE OF ROOT BOUND MATERIALS. REMOVE ENTIRE CONTAINER FROM ALL PLANTS PRIOR TO PLANTING.
5. NEW TREES SHALL NOT BE PRUNED UNLESS DIRECTED BY OWNER. FORM SWALE AROUND EACH TREE AS SHOWN FOR WATER COLLECTION. REMOVE ALL NURSERY STAKES.

BACKFILL NOTES:

1. PROVIDE MULCH AMENDMENT WITH BACKFILL FOR NON-DESERT TREES.
2. BACKFILL MIX SHALL CONSIST OF 3 PARTS NATIVE SOIL TO 1 PART MULCH.
3. PROVIDE 1 CUP GYPSUM IN BOTTOM OF PLANTING PIT.
4. INCLUDE 16:20:0 AMMONIUM PHOSPHATE FERTILIZER IN PLANTING PIT FOR NON-DESERT TREES. MIX INTO BACKFILL. DO NOT SPREAD ON TOP OF SOIL.

STAKING NOTES:

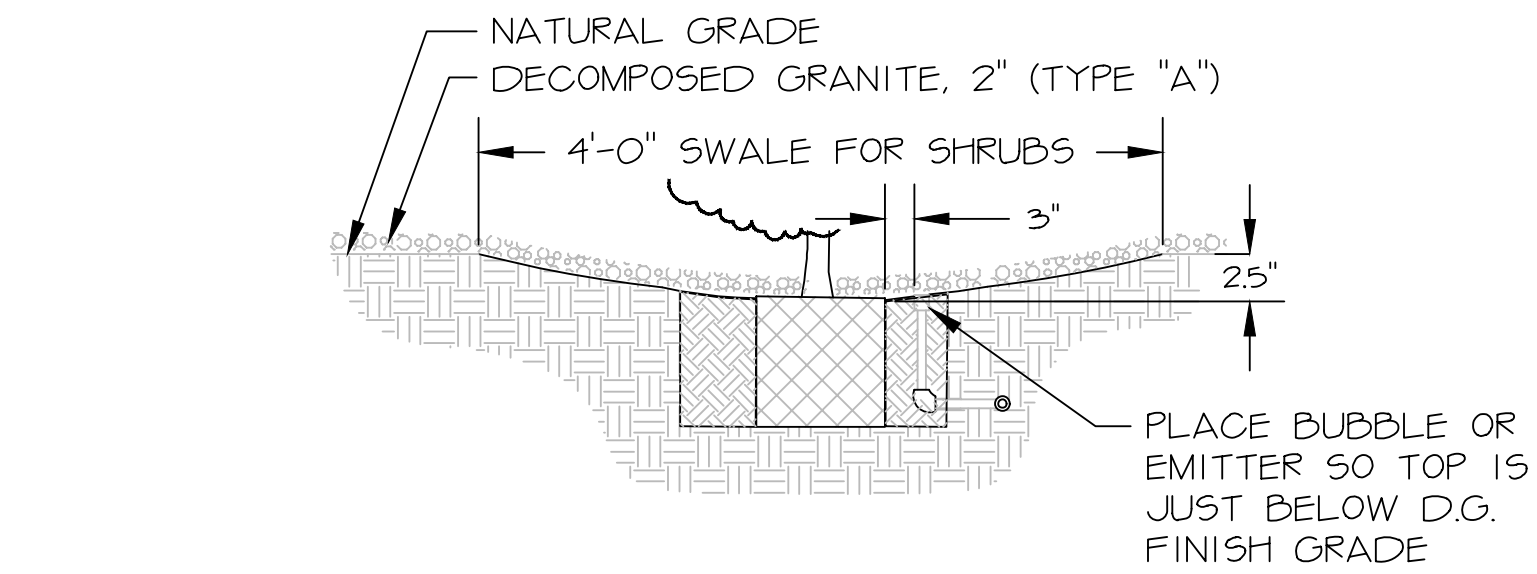
1. USE 2- 2" DIA. LODGE POLE STAKES- DOUG FIR, OR APPROVED HARDWOOD.
2. DRIVE STAKE MIN 12" INTO FIRM UNDISTURBED SOIL BELOW THE EXCAVATED DEPTH.
3. PLACE STAKES OUTSIDE THE ROOTBALL.
4. HEIGHT OF STAKE MAY VARY DEPENDING ON NEED FOR SUPPORT.
5. PLACE THE TOP TIE FOR MAXIMUM SUPPORT. THE BOTTOM TIE SHOULD BE APPROXIMATELY 1/2 WAY BETWEEN THE TOP TIE AND GROUND.
6. ALWAYS PLACE STAKE TO PREVENT DAMAGE TO TREE AND CAMBIUM.

MISC. NOTES:

1. REMOVE ALL PLASTIC TREE TIE TAPE, BAMBOO NURSERY STAKE, WIRE TIES, AND LABELS FROM TREES AFTER THEY HAVE BEEN APPROVED.
2. BACKFILL ANY HOLES LEFT IN ROOTBALL LEFT FROM NURSERY STAKES. BACKFILL SHALL BE CLEAN SOIL, NOT D.G.
3. SWALE SHALL BE A SMOOTH TRANSITION-NO ABRUPT GRADE CHANGES
4. SWALE SHALL BE WATER TESTED FOR WATER HOLDING CAPACITY PRIOR TO PLACING D.G.
5. PROVIDE ADDITIONAL WIRE HOSE TIE WHEN THE TREE IS NOT RIGIDLY SUPPORTED BY THE TWO REQUIRED SUPPORTS.
6. 2-3" MULCH TOP LAYER, NOT AROUND BASE. 1" D.G. TOP LAYER ALSO SUITABLE.

SHRUB PLANTING

NTS

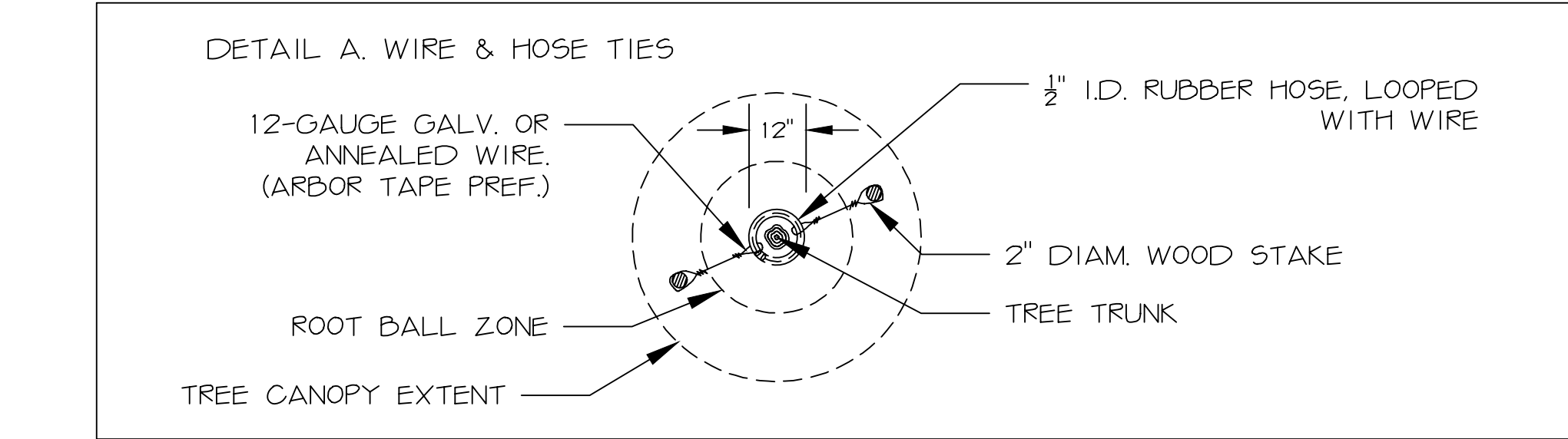
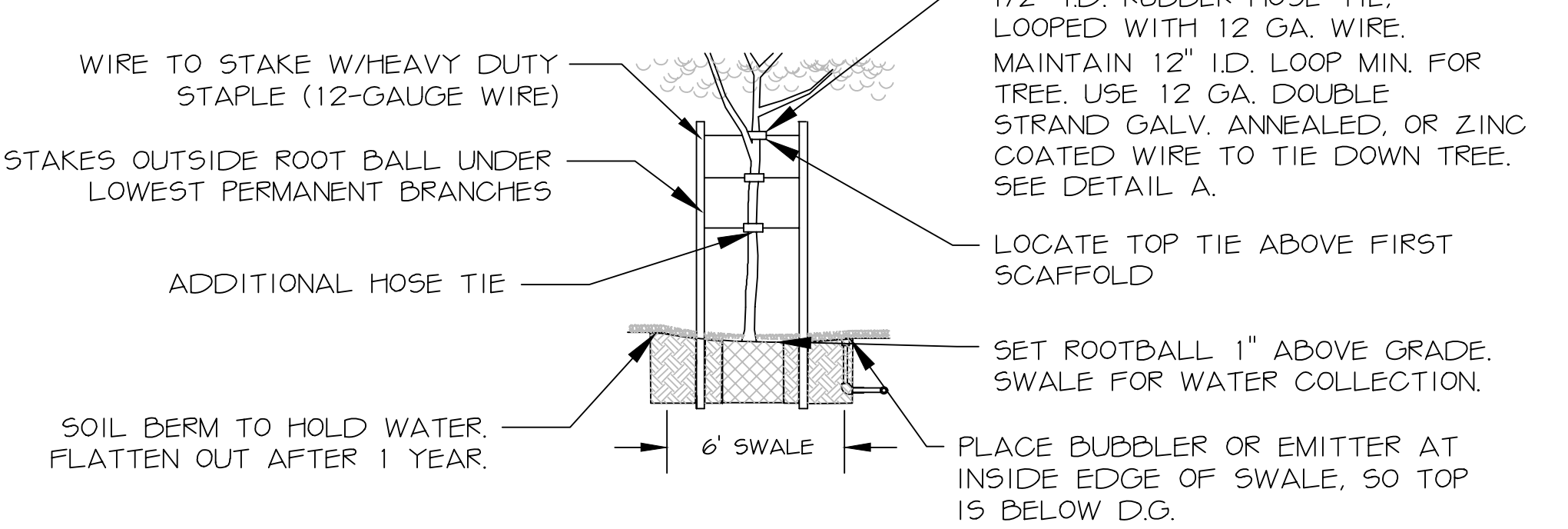


NOTES:

1. PLANT PITS SHALL NOT BE AUGER DUG. SIDES OF PIT SHALL BE RAKED TO LOOSEN PRIOR TO SETTING TREE IN PITS.
2. GENTLY LOOSEN ROOTS AROUND EXTERIOR OF ROOTBALL.
3. DO NOT PLANT ROOT BOUND PLANTS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY TO VERIFY CONDITION OF PLANT IF ANY QUESTION.
4. REMOVE ENTIRE CONTAINER FROM ALL PLANTS PRIOR TO PLANTING.
5. DO NOT PRUNE NEW PLANTS WITHOUT LANDSCAPE ARCHITECT APPROVAL/DIRECTION.
6. PLANTING PIT TO BE 3X THE WIDTH OF THE ROOT BALL.
7. CENTER SHRUB IN PLANTING PIT. DO NOT OVER-EXCAVATE FOR DEPTH OF PLANTING PIT TO AVOID SETTLING.
8. FERTILIZER: 16:20:0 AMMONIUM PHOSPHATE FOR DESERT PLANTS. MIX INTO BACKFILL, DO NOT SPREAD ON TOP OF SOIL.

SINGLE-TRUNK TREE PLANTING & STAKING (MULGA)

NTS



PLANTING NOTES:

1. LOOSEN OR RAKE SIDES OF PLANTING PITS BEFORE SETTING TREE IN PIT.
2. EXCAVATE DEPTH OF PLANTING PIT TO THE SAME DEPTH AS THE ROOTBALL.
3. THE WIDTH OF THE PLANTING PIT SHALL BE 2X THE WIDTH OF THE ROOTBALL.
4. GENTLY LOOSEN ROOTS AROUND EXTERIOR OF ROOTBALL.
5. CENTER TREE IN PLANTING PIT.
6. INSPECT ROOT BALLS AT POINT OF PURCHASE TO AVOID PURCHASE OF ROOT BOUND MATERIALS
7. REMOVE ENTIRE CONTAINER FROM ALL PLANTS PRIOR TO PLANTING.
8. NEW TREES SHALL NOT BE PRUNED UNLESS DIRECTED BY OWNER.
9. FORM SWALE AROUND EACH TREE AS SHOWN FOR WATER COLLECTION.
10. REMOVE ALL NURSERY STAKES.

BACKFILL NOTES:

1. PROVIDE MULCH AMENDMENT WITH BACKFILL FOR NON-DESERT TREES.
2. BACKFILL MIX SHALL CONSIST OF 3 PARTS NATIVE SOIL TO 1 PART MULCH. PROVIDE 1 CUP GYPSUM IN BOTTOM OF PLANTING PIT
3. INCLUDE 16:20:0 AMMONIUM PHOSPHATE FERTILIZER IN PLANTING PIT FOR NON DESERT TREES. MIX INTO BACKFILL. DO NOT SPREAD ON TOP OF SOIL.

STAKING NOTES:

1. USE 2- 2" DIA. LODGE POLE STAKES- DOUGLAS FIR OR APPROVED HARDWOOD.
2. DRIVE STAKE MIN 12" INTO FIRM UNDISTURBED SOIL BELOW THE EXCAVATED DEPTH.
3. PLACE STAKES OUTSIDE THE ROOTBALL.
4. HEIGHT OF STAKE MAY VARY DEPENDING ON NEED FOR SUPPORT.
5. PLACE TOP TIE FOR MAXIMUM SUPPORT. BOTTOM TIE SHOULD BE APPROXIMATELY HALFWAY BETWEEN THE TOP TIE AND GROUND.
6. ALWAYS PLACE STAKE TO PREVENT DAMAGE TO TREE AND CAMBIUM.

MISC. NOTES:

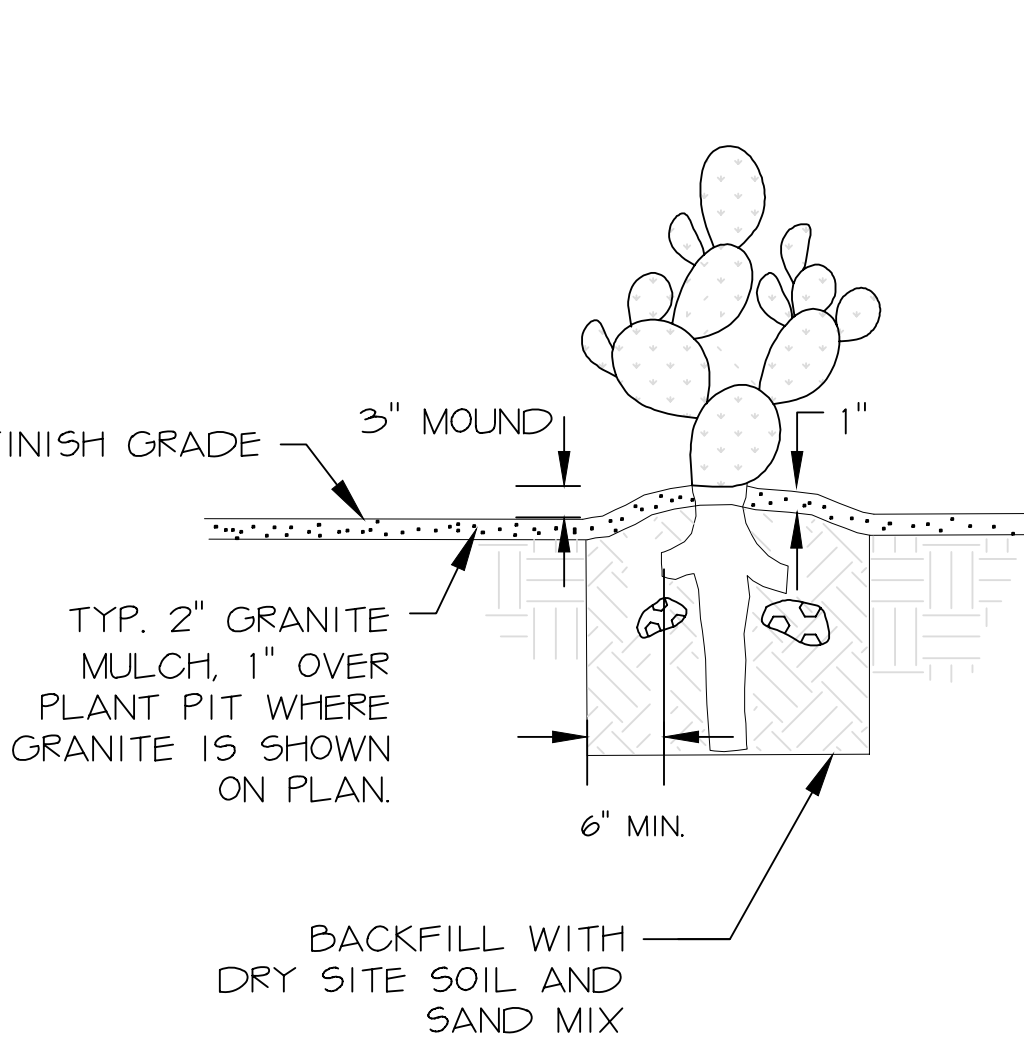
1. REMOVE ALL PLASTIC TREE TIE TAPE, BAMBOO NURSERY STAKE, WIRE TIES, AND LABELS FROM TREES AFTER THEY HAVE BEEN APPROVED.
2. BACKFILL ANY HOLES LEFT IN ROOTBALL LEFT FROM NURSERY STAKES. BACKFILL SHALL BE CLEAN SOIL, NOT D.G.
3. SWALE SHALL BE A SMOOTH TRANSITION-NO ABRUPT GRADE CHANGES.
4. SWALE SHALL BE WATER TESTED FOR WATER HOLDING CAPACITY PRIOR TO PLACING D.G.
5. PROVIDE ADDITIONAL WIRE HOSE TIE WHEN THE TREE IS NOT RIGIDLY SUPPORTED BY THE TWO REQUIRED SUPPORTS.
6. 2-3" MULCH TOP LAYER, NOT AROUND BASE. 1" D.G. TOP LAYER ALSO SUITABLE.

LANDSCAPE GENERAL NOTES (REVISED 02-15-18) (2018 VERSION)

1. LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - A. DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES.
 - B. DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.
 - C. INSPECTING THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
2. INSTALLATION OF ALL LANDSCAPE AND IRRIGATION MATERIALS SHALL COMPLY WITH SECTIONS 424, 425, 757, AND 795 OF THE MAG STANDARD SPECIFICATIONS.
3. CONTRACTOR SHALL REPAIR ANY DAMAGE MADE TO THE EXISTING SPRINKLER SYSTEM TO THE SATISFACTION OF THE CITY AT NO ADDITIONAL COST TO THE CITY.
4. LANDSCAPE REMOVAL IS A NON-PAY ITEM UNLESS OTHERWISE NOTED.
5. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. NOTED TO BE REMOVED ON THE PLANS AND SPECIFICATIONS SHALL BE REMOVED FROM PROJECT AREA AND DISPOSED OF PROPERLY OFF THE SITE AT THE CONTRACTOR'S EXPENSE (SCARIFY EXISTING SUBGRADE, MINIMUM SIX (6) INCHES DEPTH).
6. DAMAGE TO TURF SHALL BE REPAIRED BY CONTRACTOR, I.E., RUTS FILLED WITH CLEAN SOIL, COMPACTED TO MATCH SURROUNDING GRADES, EXCESS SOIL, ROCK, ETC. SHALL BE REMOVED TO LEAVE THE SITE CLEAN.
7. ALL PLANT MATERIAL, OTHER THAN TREES, SHALL CONFORM TO GRADING, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN. ALL TREES SHALL CONFORM TO THE CURRENT ARIZONA NURSERY ASSOCIATION TREE SPECIFICATIONS AND MAG SPEC 795.7. SHOULD ANY CONFLICTS IN THE SPECIFICATIONS OCCUR, THE ARIZONA NURSERY ASSOCIATION'S SPECIFICATIONS SHALL PREVAIL.
8. CITY RESERVES THE RIGHT TO INSPECT SHRUBS AND CONTAINERED TREES FOR CONDITION OF ROOT BALLS. FOR ANY SUCH INSPECTIONS WHICH MAY DESTROY ROOTBALL, CONTRACTOR SHALL SUPPLY ADDITIONAL PLANT AT NO COST TO CITY.
9. PLANT PITS SHALL BE INSPECTED BY CITY PRIOR TO PLANTING BY THE CONTRACTOR BY REQUESTING AN INSPECTION 48 HOURS IN ADVANCE.
10. ROUGH AND FINE GRADING TO ESTABLISH UNIFORM SMOOTH GRADE IS INCLUDED IN THIS PROJECT.
11. SOIL TEST FOR FERTILITY AND ADDITIVE RECOMMENDATIONS (FOR TURF AND ORNAMENTALS) SHALL BE COMPLETED BY CONTRACTOR TO DETERMINE IF ADDITIVES ARE REQUIRED. CONTRACTOR SHALL PROVIDE COPY OF SOIL TEST RESULTS FOR REVIEW AND APPROVAL TO ENGINEERING INSPECTOR AT LEAST SEVEN (7) DAYS PRIOR TO ANTICIPATED PLANTING. AFTER APPROVAL BY THE CITY, THE CONTRACTOR SHALL PROVIDE AND INCORPORATE ANY ADDITIVES REQUIRED PRIOR TO OR AT TIME OF PLANTING.
12. PLANT PIT SOIL MIXTURE SHALL CONSIST OF FOUR AND ONE-HALF PARTS NATURAL FERTILE, FRIABLE SOIL AND ONE PART HUMUS BY VOLUME, THOROUGHLY MIXED PRIOR TO BACKFILLING IN PITS. BACKFILLING SHALL BE IN 6" LIFTS WITH EACH LIFT WATER SETTLED WITHOUT PUDDLING.
13. CONTRACTOR SHALL STAKE TREE AND SHRUB LOCATIONS FOR 5-GALLON PLANTS AND LARGER. STAKES SHALL BE MARKED WITH PLANT NAME OR PLANT LEGEND ITEM NUMBER FROM PLANS.
14. ALL EXISTING (GAS, ELECTRIC, WATER, ETC.) COVERS AND BOXES SHALL REMAIN UNCOVERED. CONTRACTOR TO ADJUST TO FINAL GRADE AS NECESSARY. NON-PAY ITEM (NPI) UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE UNDERGROUND SPRINKLER SYSTEMS IN ADVANCE OF CONSTRUCTION. THE SPRINKLER SYSTEM LOCATIONS NOTED ON PLANS ARE FOR REFERENCE ONLY.
16. CONTRACTOR TO VERIFY DEPTH OF ALL INLET STRUCTURES AND SPRINKLER SYSTEMS PRIOR TO TRENCHING FOR LOW-FLOW CHANNEL.
17. CONTRACTOR TO PROVIDE PUMPING WITHIN FIVE (5) DAYS AFTER THE NOTICE TO PROCEED IS GIVEN AS REQUIRED TO DRY THE AREA SUFFICIENTLY TO BEGIN CONSTRUCTION.
18. CONTRACTOR SHALL ARRANGE FOR SPRINKLER SYSTEM SHUTDOWN DURING CONSTRUCTION BY CONTACTING THE ENGINEERING INSPECTOR.
19. NO ROCKS LARGER THAN 1" IN DIAMETER SHALL BE ALLOWED IN THE TOP SIX (6) INCHES OF TOPSOIL WHERE TURF ESTABLISHMENT IS SPECIFIED. ROCK REMOVAL AS NECESSARY IS A NON-PAY (NPI) ITEM UNLESS OTHERWISE NOTED.
20. WHERE CALICHE IS ENCOUNTERED IN PLANT PITS, DEPTH AND WIDTH OF PIT SHALL BE INCREASED BY ONE-THIRD (1/3) OVER SPECIFICATION, AND A LIQUID PENETRATOR, "AL-KALICHE" OR EQUAL, SHALL BE INCORPORATED FOR EACH PIT PER MANUFACTURER'S RECOMMENDATIONS.
21. CONTRACTOR SHALL INSTALL DECOMPOSED GRANITE TO A ROLLED DEPTH PER THE APPROVED PLANS AND SPECIFICATIONS. DECOMPOSED GRANITE SHALL BE PER THE APPROVED PLANS AND SPECIFICATIONS WITH THE COLOR AS SPECIFIED ON THE PLANS. PRE-EMERGENT HERBICIDE SHALL BE APPLIED BEFORE AND AFTER PLACEMENT OF DECOMPOSED GRANITE PER THE MANUFACTURER'S RECOMMENDATIONS. PRE-EMERGENT HERBICIDE SHALL BE SURFLAN, DACTHAL, OR APPROVED EQUAL. SAMPLE TO BE PROVIDED FOR CITY REVIEW AND APPROVAL. CONTRACTOR SHALL WASH OFF ROCK MULCH ONCE FINAL PLACEMENT HAS OCCURRED.
22. RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS, COMPONENTS AND LANDSCAPE AREAS IMPACTED BY ANY WORK UNDER THIS CONTRACT. RESTORE ALL EXISTING IRRIGATION AND LANDSCAPE IN ACCORDANCE WITH THE LANDSCAPE RESTORATION NOTES INDICATED WITHIN THESE DOCUMENTS. AT A MINIMUM, ALL RESTORATION SHALL BE IN ACCORDANCE WITH M.A.G. SPECIFICATION 107.9 - PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE. ALL RESTORATION WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF MESA ENGINEER.
23. ALL RESTORATION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REFERENCED DETAILS AND ANY ADDITIONAL DETAILS PROVIDED.
24. REFER TO LANDSCAPE PLANTING SHEETS AND ENGINEERING DRAWINGS FOR ADDITIONAL RESTORATION NOTES AND REQUIRED COORDINATION.

CACTUS PLANTING

NTS

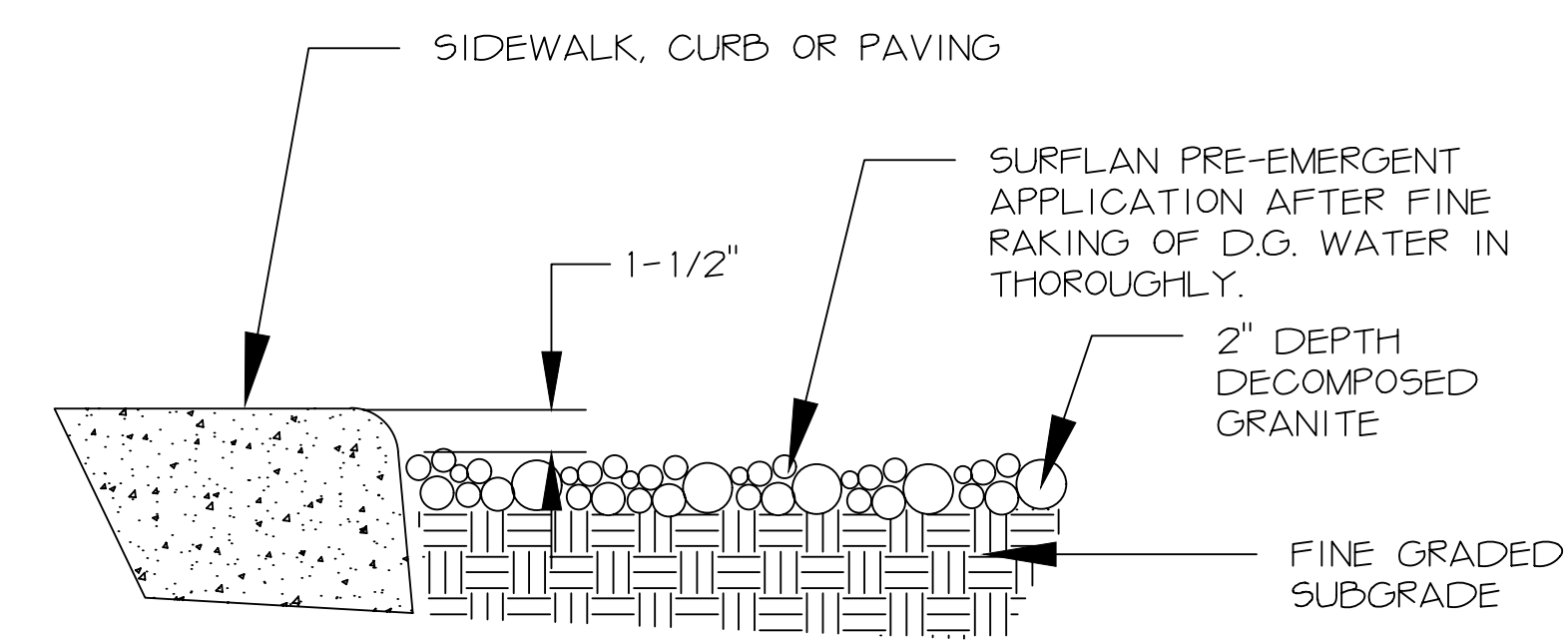


NOTES:

1. ROOT PRUNE ALL SHREDDED OR DAMAGED ROOTS.
2. ENSURE ALL WOUNDS TO THE ROOT SYSTEM ARE CLEAN CUT BEFORE PLANTING. APPLY DUSTING SULFUR TO ALL AREAS BELOW GRADE.
3. PLANT PIT SHALL BE 3 TIMES THE DIAMETER OF ROOTS AND NO DEEPER THAN THE EXTENSION OF THE ROOTS
4. BACKFILL PIT WITH 6" LAYERS OF RODDED, COMPACTED 1/3 GOLF SAND AND 2/3 DRY SITE SOIL MIX.
5. USE 6-8" ROCKS TO ANCHOR ROOTS.
6. PLANTING DEPTH SHALL BE THE DEPTH AT WHICH PLANT WAS GROWN OR DEEPER BUT THE TAPERING OF THE ROOT COLLAR MUST BE VISIBLE.
7. ENSURE SURFACE WATER CAN NOT STAND AGAINST THE ROOT COLLAR.
8. ALL OCOTILLO PLACEMENT SHALL MATCH ORIGINAL ORIENTATION W/ORIGINAL NORTH SIDE FACING NORTH.
9. DO NOT WATER FOR THREE WEEKS FOLLOWING PLANTING.
10. WATER WEEKLY THROUGHOUT THE SUMMER. MAINTAIN ORIGINAL GROWING ORIENTATION.

DECOMPOSED GRANITE

NTS

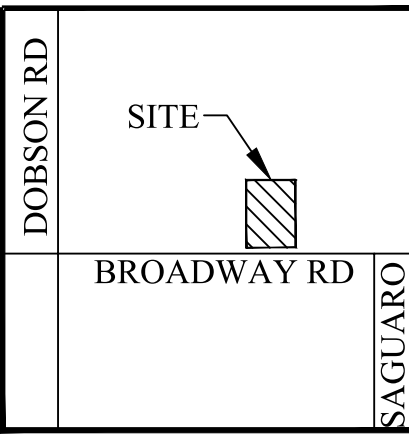


NOTES:

1. DECOMPOSED GRANITE FINISH GRADE TO BE RAKED SMOOTH. DG FINISH GRADE SHALL BE 1-1/2" BELOW ALL ADJACENT PAVING/CURBS.
2. SUBMIT CERTIFIED PESTICIDE APPLICATOR'S LICENSE PRIOR TO CONSTRUCTION. SUBMIT PRODUCT LABEL FOR APPROVAL.
3. APPLY PRE-EMERGENT HERBICIDE PER MANUFACTURER INSTRUCTIONS. TWO (2) APPLICATIONS ARE REQUIRED. ONE BEFORE PLACEMENT OF D.G. (AFTER SUBGRADE HAS BEEN APPROVED) AND ONE AFTER SPREADING D.G. CERTIFIED PESTICIDE APPLICATOR SHALL CONDUCT APPLICATION. LICENSE AND NOTIFICATION OF APPLICATION SHALL BE PROVIDED MIN. 48 HOURS IN ADVANCE OF APPLICATION. WATER IN EACH APPLICATION PER MANUFACTURER'S INSTRUCTIONS.
4. D.G. SIZE/STYLE AS SPECIFIED ON PLANT LEGEND.

Revisions

Key Map



BEEMER HAUS

For:

CURJ GROUP

4173 W. CORONA DR.
CHANDLER, AZ 85226

480-263-9712

Waibel & Associates

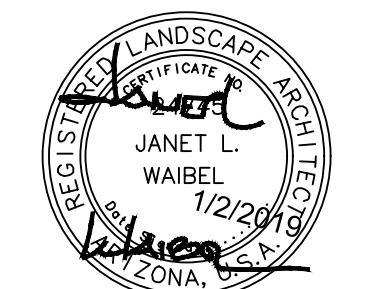
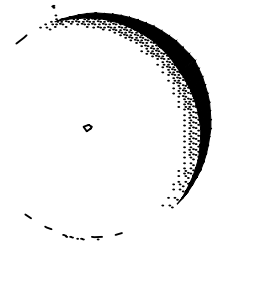
Landscape Architecture

Landscape & Consulting

Planning

Urban Design

Phone: 480-800-3840 Fax: 480-800-3846
8611 S. Priest Drive, Suite 101 Tempe, AZ 85284
Email: jans@waibel-la.com
Website: www.waibel-la.com

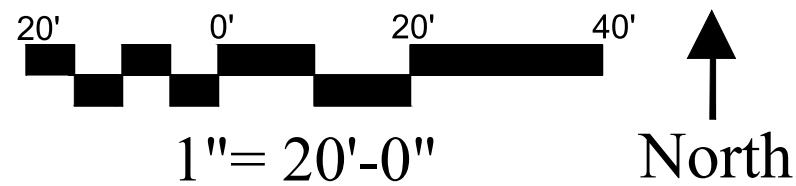
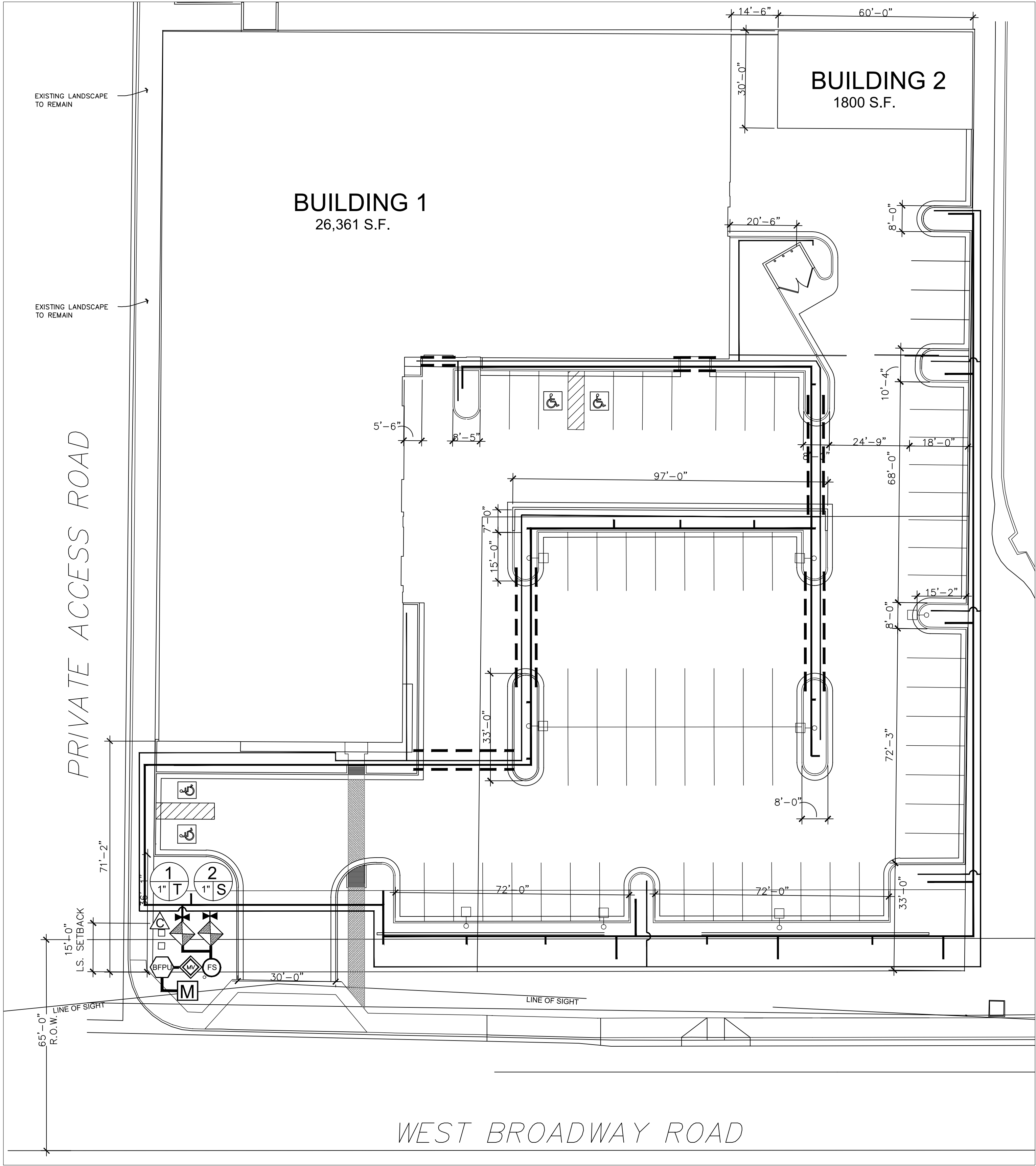


LANDSCAPE
DETAILS

SHEET
NUMBER

2 OF 5

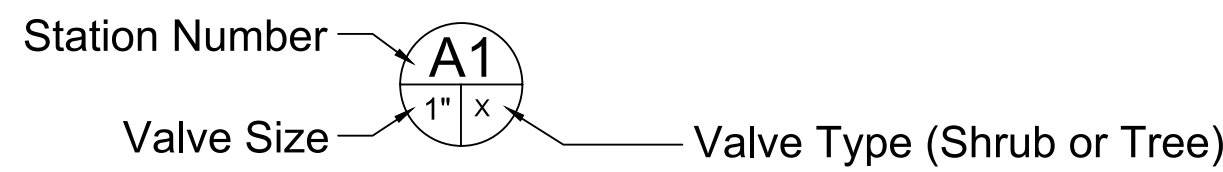
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IRRIGATION LEGEND

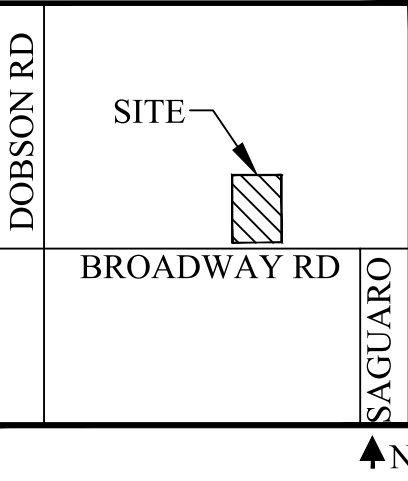
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL
	Existing Water Meter - See plan for location		
	Controller	Rainbird	ESP4ME w/ Wall Mount
	Reduced-Pressure Backflow Prevention Unit with Enclosure	Febco 825Y 1"	825Y 1" w/ Guardshack enclosure Verify color w/Owner and Landscape Architect.
	Master Valve	Griswold	2160-H
	Flow Sensor	Rainmaster	FSB-100
	Ball Valve	NIBCO	TPC-585-70
	Valve Assembly	Rainbird	XCZ-100-PRB-COM
	Emitter Irrigation Line for Trees	Cresline or equal	1" & 3/4" C. 200
	Emitter Irrigation Line for Shrubs	Cresline or equal	1" & 3/4" C. 200
	Multi-port Emitters for Trees	Bowsmith	ML 220 - 2.0 GPH Install with All Ports Open
	Multi-port Emitters for Shrubs (not shown)	Bowsmith	ML210 - 1.0 GPH for Shrubs
	3" Sch 40 PVC Sleeving under all pavement	Cresline or equal	
	Mainline - 1" Schedule 40 PVC		

VALVE KEY



Revisions

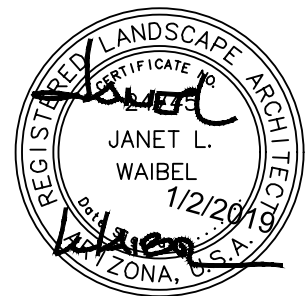
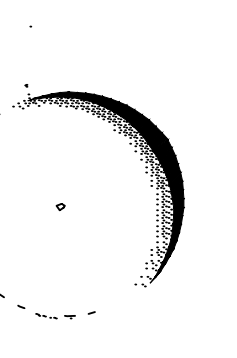
Key Map



BEEMER HAUS

For
CJR GROUP
4173 W. CORONA DR.
CHANDLER, AZ 85226
480-263-9712

Waibel & Associates
Landscape Architecture
Master Planning
Gardens & Consulting
Urban Design
Phone: 480-803-3849 Fax: 480-803-3846
8611 S. Priest Drive, Suite 101 Tempe, AZ 85284
Email: jwaibel@waibel-la.com
Website: www.waibel-la.com



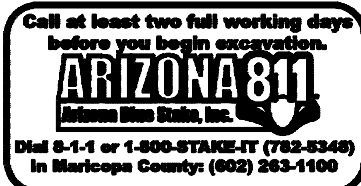
EXPIRES 12 31 2019

IRRIGATION
PLAN

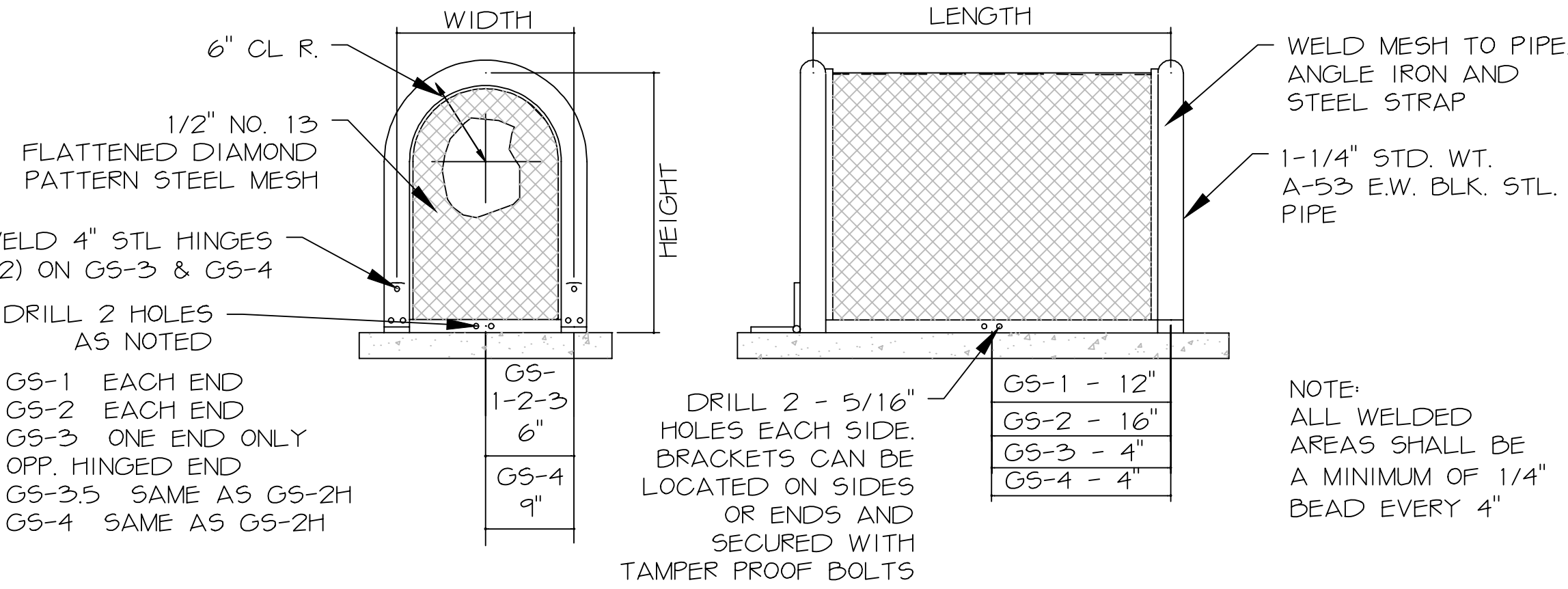
SHEET
NUMBER

3 OF 5

Date: 1/2/2019



BACKFLOW SECURITY ENCLOSURE
NTS

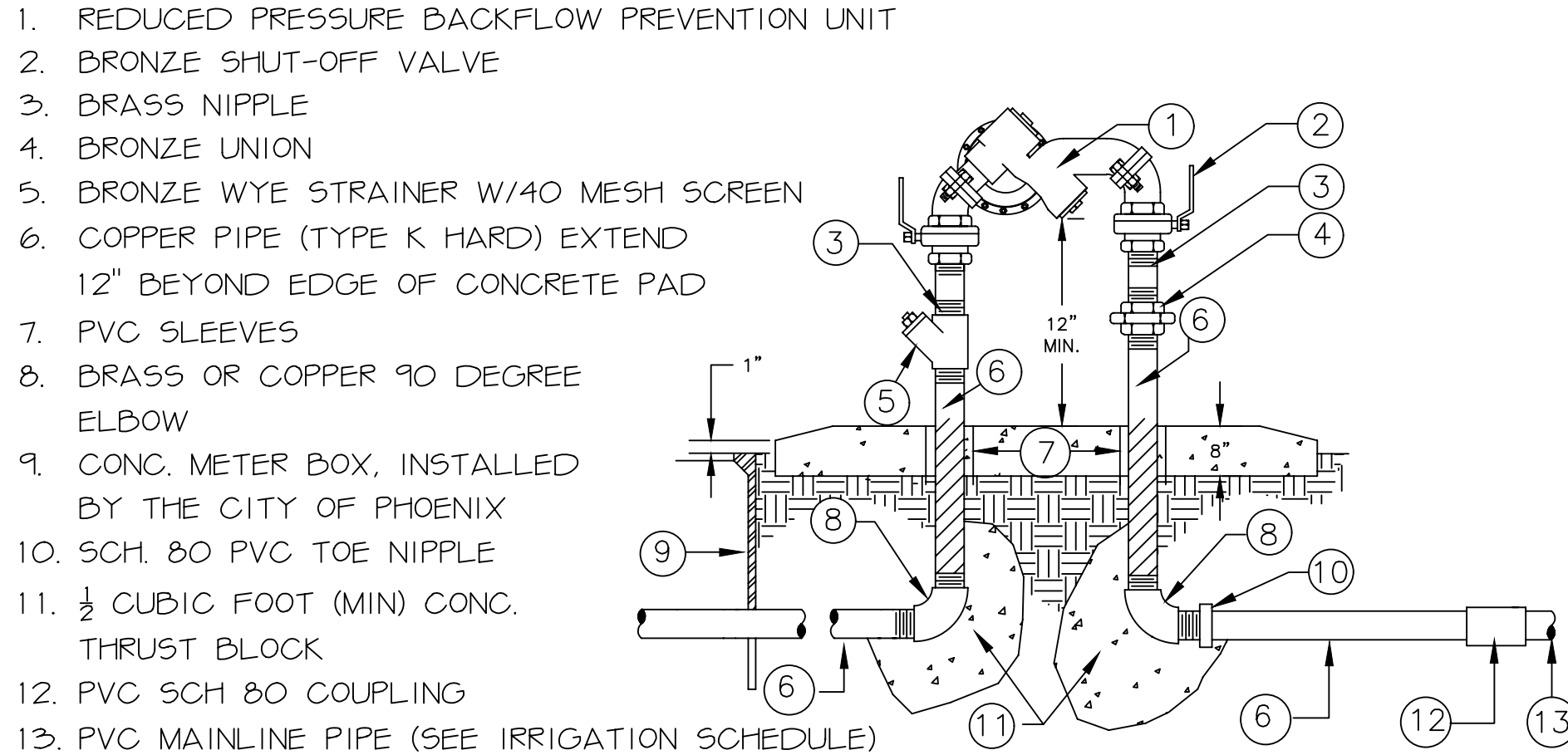


NOTE:
AFTER ALL WELDING, ENTIRE UNIT SHALL BE PROCESSED WITH IRON PHOSPHATE PRE-TREATMENT. ELECTROSTATIC APPLICATION OF POWDER SHALL BE FUSION BONDED - PR5-B-4004-C (BEIGE) OR COLOR SELECTION TO BE APPROVED BY OWNER

NOTE:
ALL BOLTS FOR HINGES & HASPS SHALL BE ZINC PLATED & TAMPER PROOF

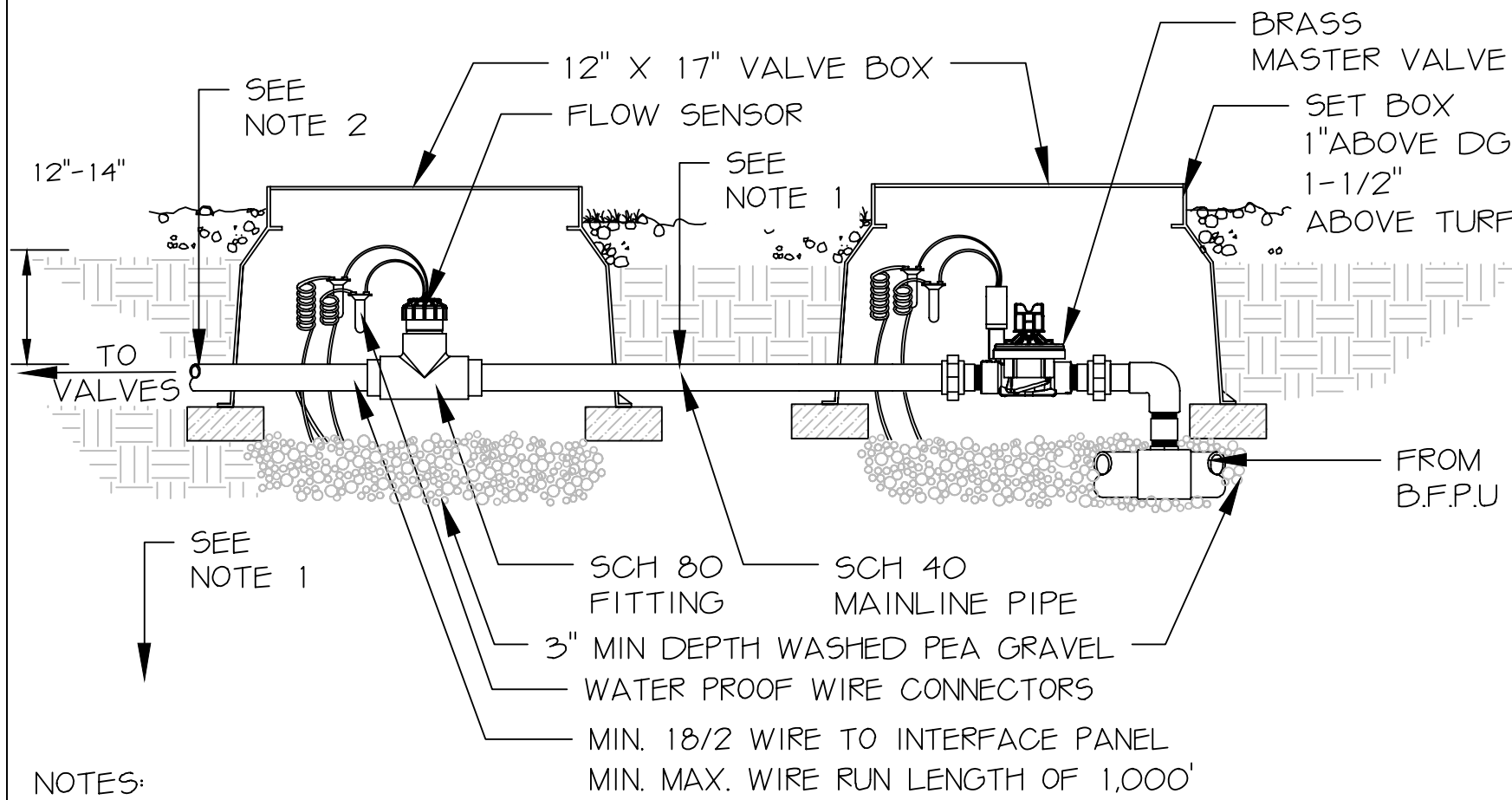
G5 = POWDER COATED STEEL GUARD SHACK

REDUCED PRESSURE BACKFLOW PREVENTION UNIT
NTS



- NOTE:
- ON UNITS 3" AND LARGER, ALL COPPER AND BRASS PIPE FITTINGS SHALL BE FLANGED DUCTILE IRON
 - WRAP ALL BURIED COPPER AND BRASS PIPE AND FITTINGS WITH PLASTIC SAFETY CLAD TAPE TO A HEIGHT OF 6" ABOVE CONCRETE
 - OBTAIN REQUIRED CERTIFICATIONS PER AGENCY REQUIREMENTS

MASTER VALVE AND FLOW SENSOR
NTS

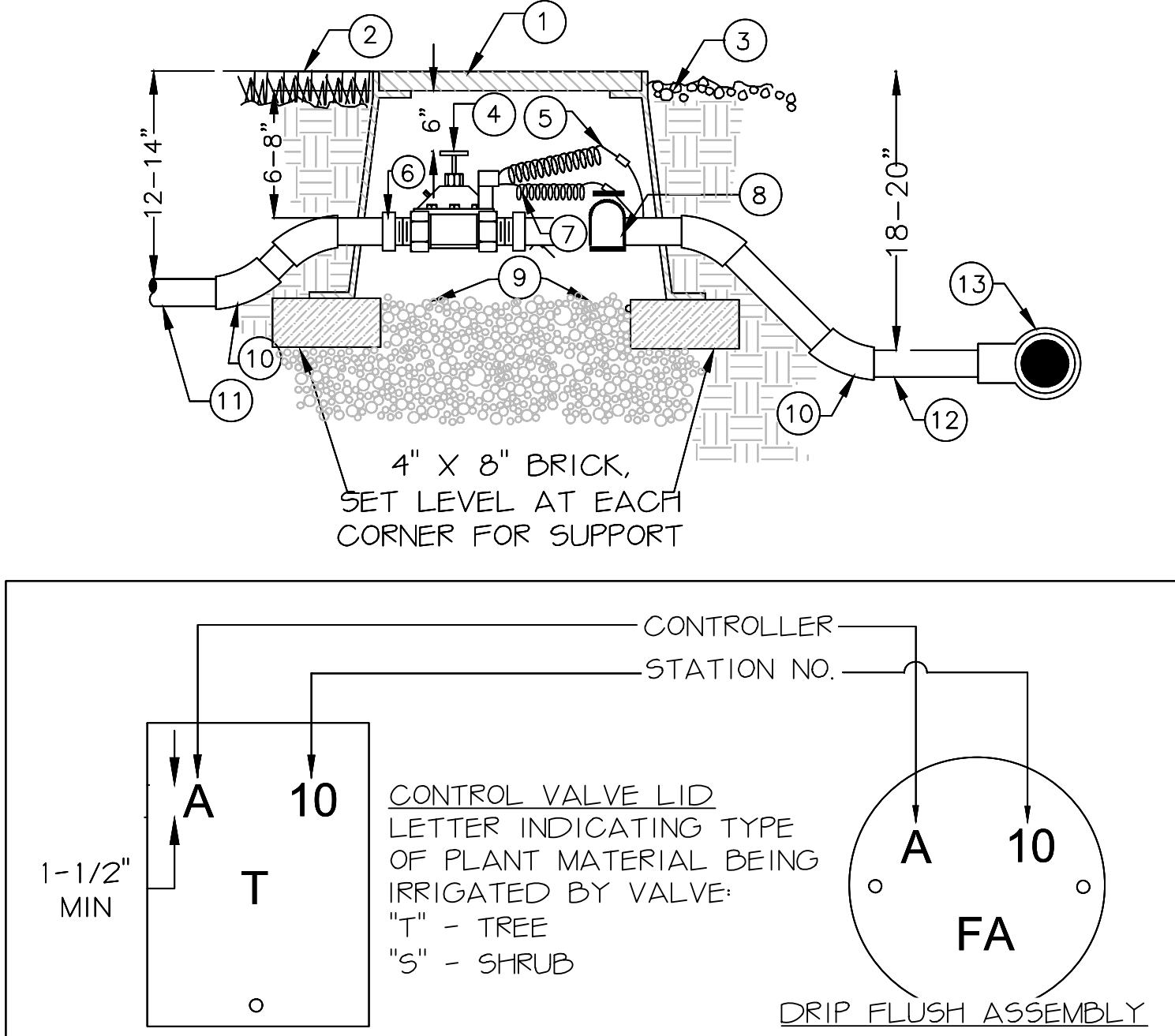


- NOTES:
- INLET PIPE LENGTH TO FLOW SENSOR MUST BE MIN. 10X PIPE DIA. IN STRAIGHT, UNOBSTRUCTED PIPE, NO FITTINGS OR TURNS.
 - OUTLET PIPE LENGTH FROM SENSOR MUST BE MIN. 5X PIPE DIA. IN STRAIGHT, UNOBSTRUCTED RUN OF PIPE, NO FITTINGS OR TURNS.
 - VERIFY MANUFACTURER SPECIFICATIONS ON DISTANCE REQUIRED BETWEEN MASTER VALVE AND FLOW SENSOR.

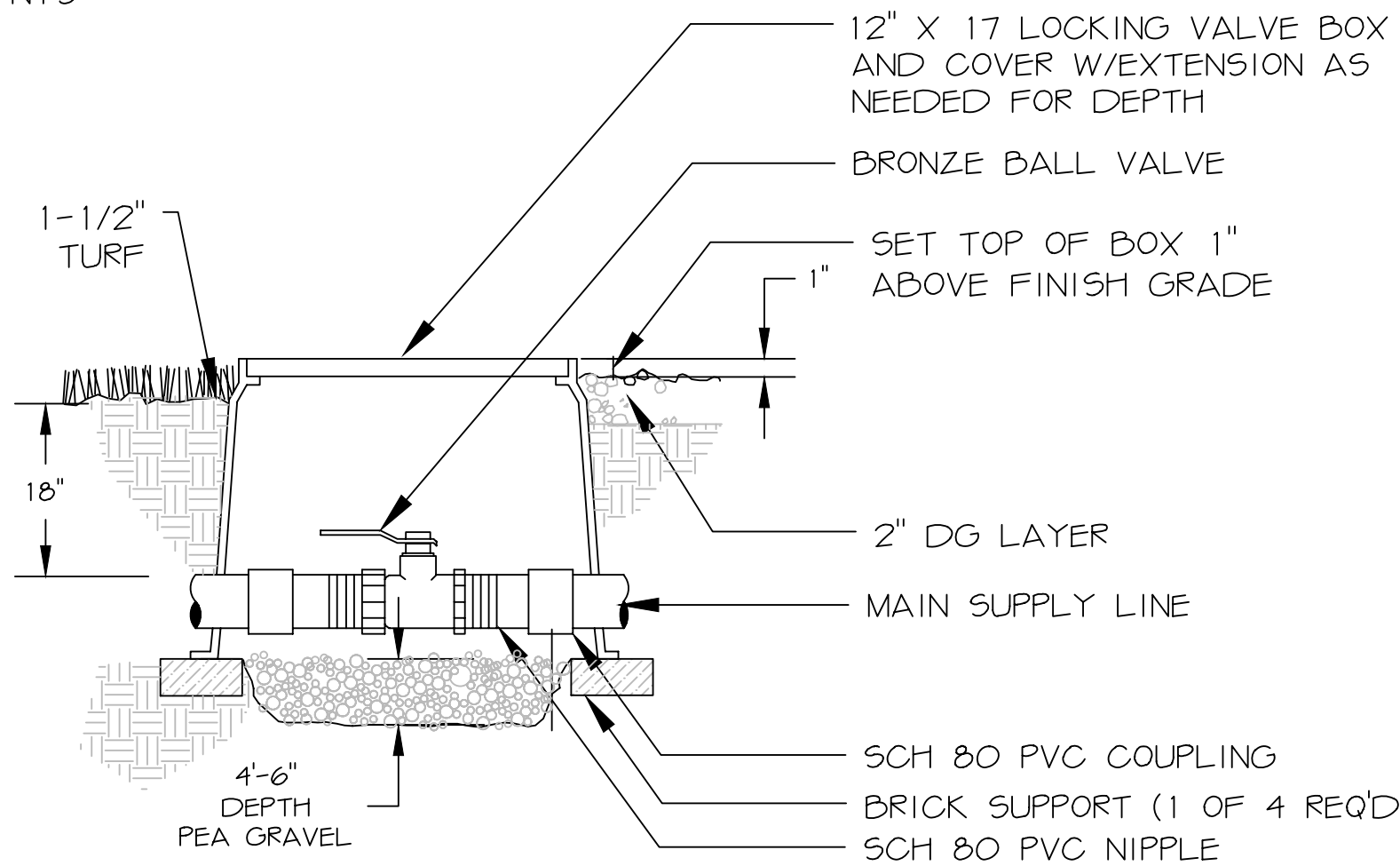
REMOTE CONTROL VALVE
MAINLINES 2 1/2" AND SMALLER
NTS.

- LARGE VALVE BOX WITH LOCKING COVER
- FOR TURF SET BOX 1-1/2" ABOVE FINISH GRADE AFTER COMPACTION
- FOR D.G. SET BOX 1" ABOVE FINISH GRADE AFTER COMPACTION
- REMOTE CONTROL VALVE
- NO. 14 CONTROL WIRE (ORANGE)
- PVC SCH 80 EXTRUDED T.O.E NIPPLE BRASS OR PLASTIC PER VALVE MATERIAL (4" LENGTH BEFORE AND AFTER VALVE)
- NO. 12 COMMON WIRE TO OTHER VALVES ON SAME CONTROLLER (WHITE)
- LINE SIZE BRASS SHUT OFF VALVE
- 6" LAYER 3/8" PEA GRAVEL, MIN 1 CU. FT MATERIAL EXTENDED BEYOND BOX FOR SUPPORT
- PVC SCH. 80 - 45 ELL
- LATERAL LINE TO IRRIGATION SYSTEM
- LATERAL LINE TO MAINLINE
- PVC SCH 80 MAINLINE FITTING

- NOTES:
- PLACE VALVE BOX ON BRICK SUPPORTS
 - JUMBO VALVE BOX MAY BE USED TO COMBINE EQUIPMENT IN LIEU OF TWO LARGE VALVE BOXES
 - CHRISTY TAG TO BE ATTACHED TO VALVE
 - PROVIDE STATION NUMBER ON VALVE BOX LID PER DIAGRAM

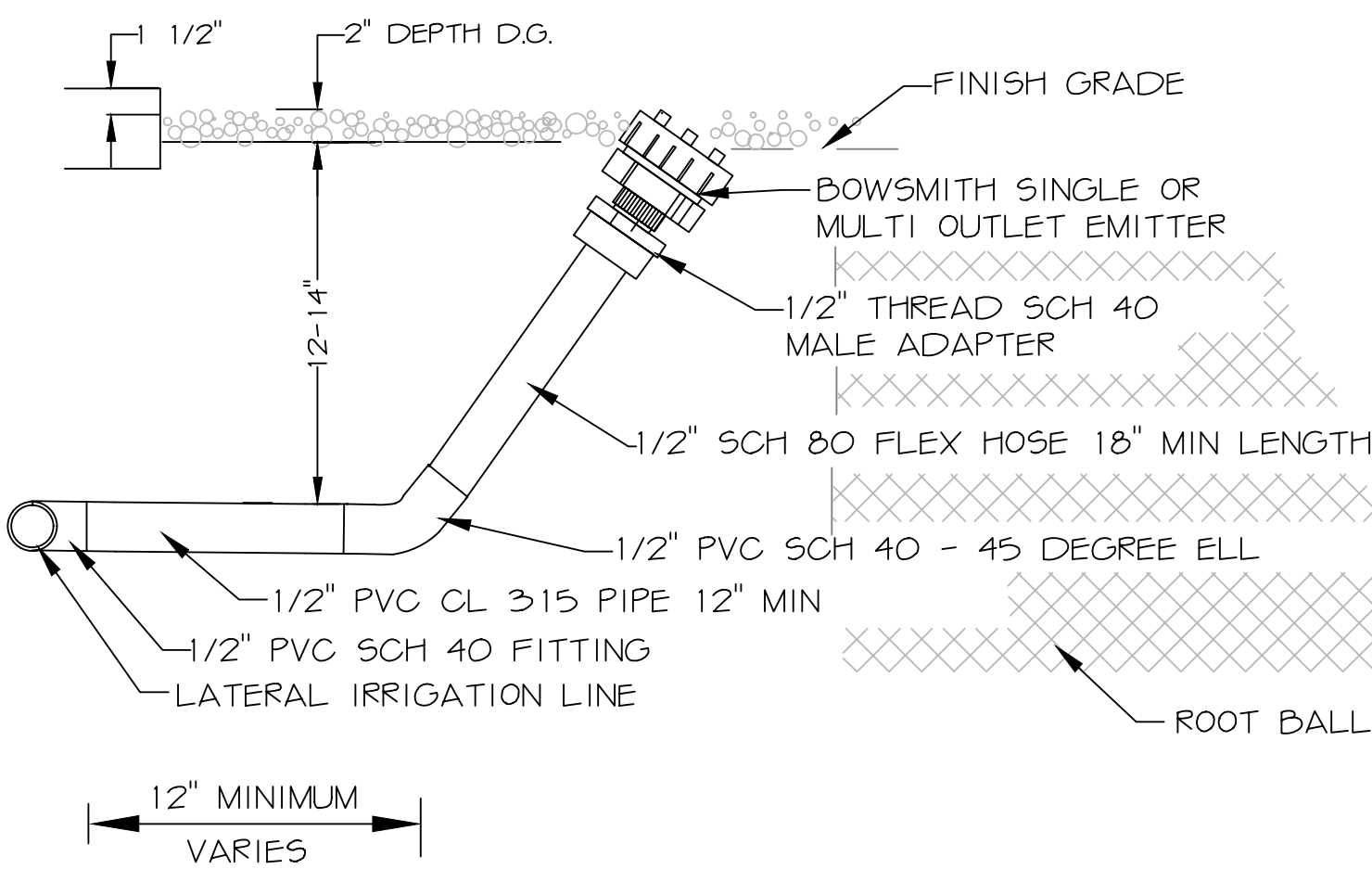


BALL VALVE
BRONZE, 2-PIECE BALL PORT
NTS



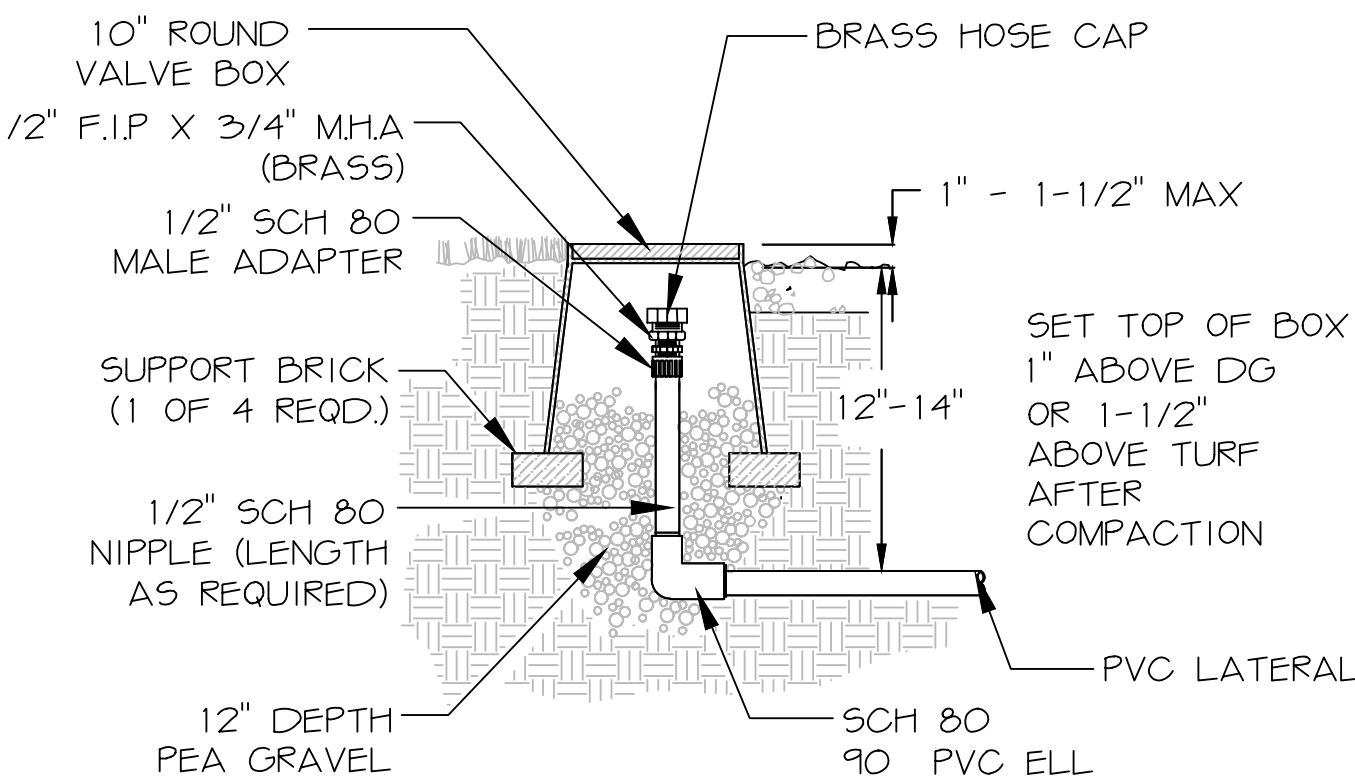
- NOTES:
- COMPACT SOIL AROUND VALVE BOX TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
 - VALVE BOX SHALL BE SET LEVEL AND PARALLEL TO GRADE.

EMITTER--MULTI OR SINGLE OUTLET
NTS

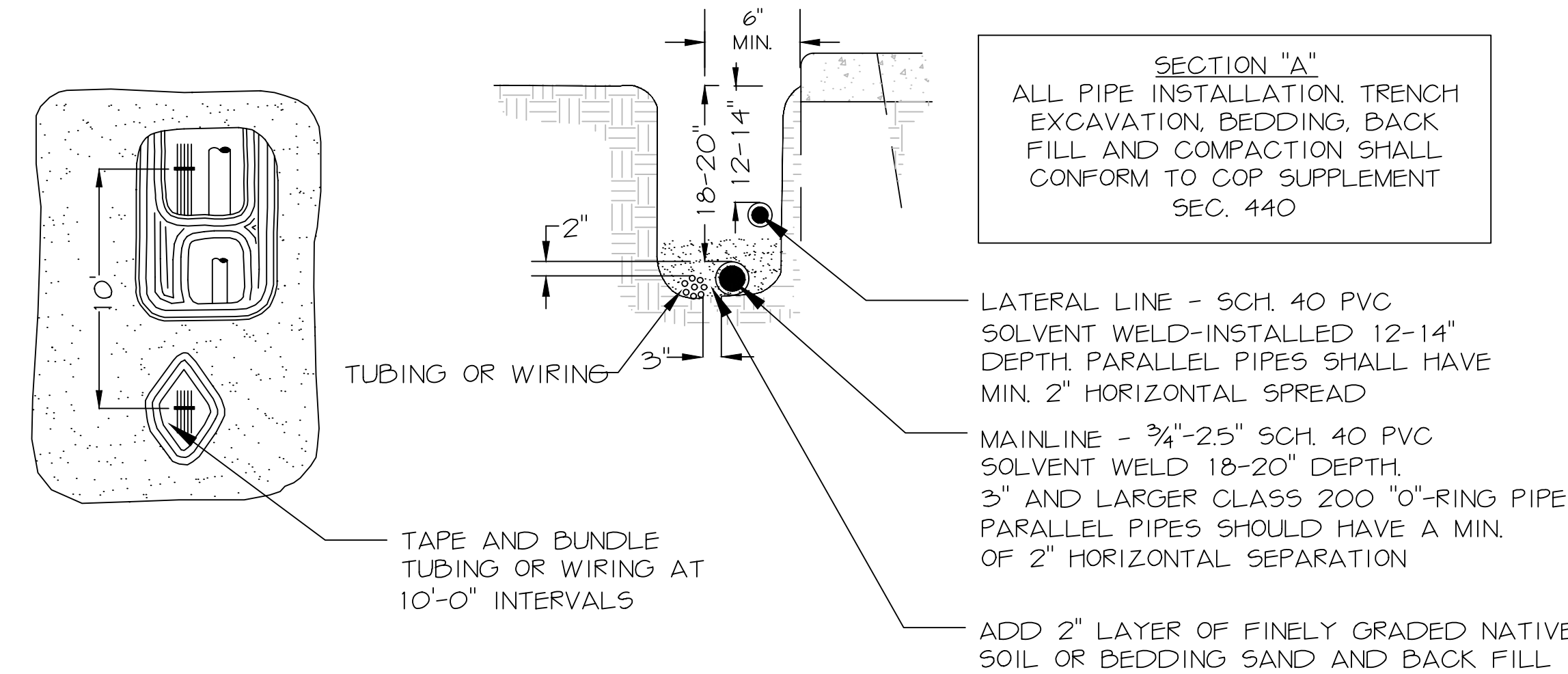


- NOTES:
- BOWSMITH EMITTER MODEL- SL 220 ONE PER SHRUB/SL 220 TWO PER TREE USE GLUE SPECIFIC FOR FLEX HOSE CONNECTIONS
 - LOCATE EMITTER ON UP-HILL SIDE OF PLANT CENTER WHERE APPLICABLE.
 - PLACE EMITTER OUTSIDE ROOTBALL BY 6".

MANUAL FLUSH VALVE
NTS

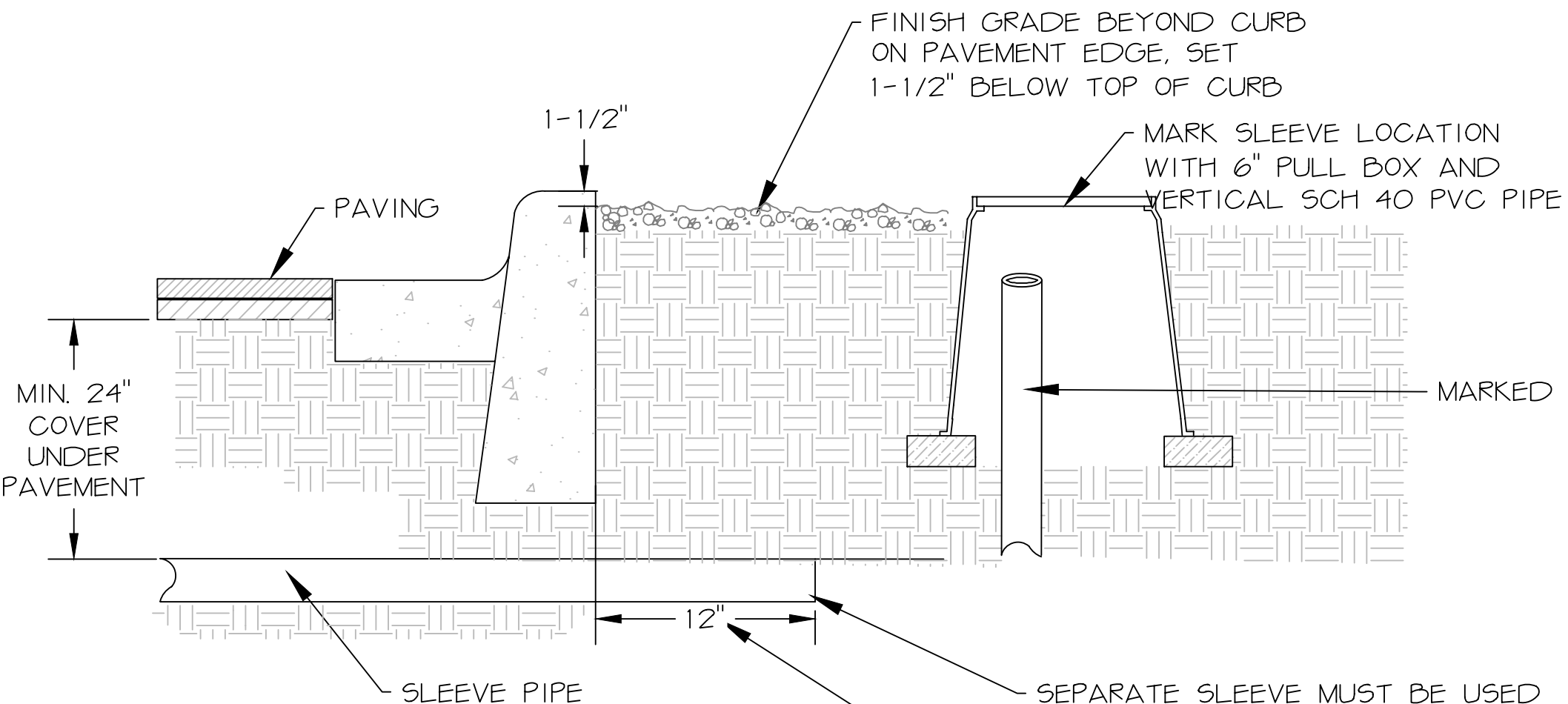


TRENCHING DETAIL
NTS



- NOTES:
- TOP OF WIRE BUNDLE SHOULD BE 2" BELOW TOP OF PIPE.
 - HORIZONTAL DISTANCE BETWEEN ALL PIPE MIN. 2"
 - ALL PIPING 3" AND LARGER SHALL HAVE 24"-26" OF COVER

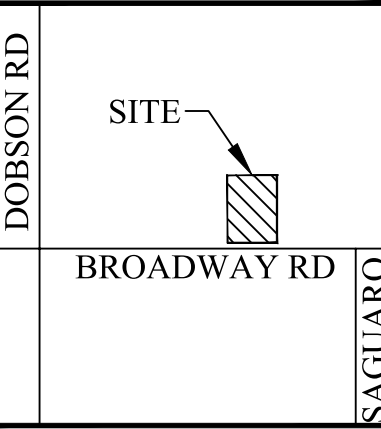
IRRIGATION SLEEVE UNDER PAVEMENT
NTS



- NOTE:
- ALTERNATIVE METHODS FOR MARKING SLEEVE LOCATIONS:
- STAMP BACK OF CURB WITH AN 'S' FOR NEW CONCRETE
 - RETROFIT WILL REQUIRE 'S' TO BE ETCHED BACK OF CURB

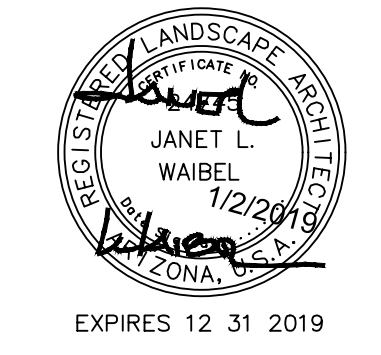
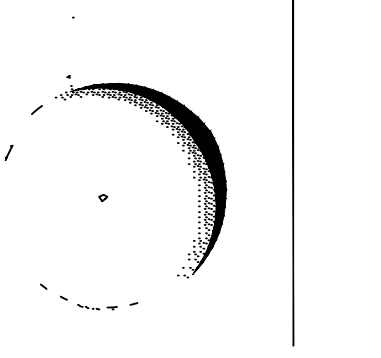
Revisions

Key Map



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For:
CJR GROUP
4173 W. CORONA DR.
CHANDLER, AZ 85226
480-263-9712

Waibel & Associates
Landscape Architecture
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Master Planning
Phone: 480-803-3849 Fax: 480-803-3846
8611 S. Priest Drive, Suite 101 Tempe, AZ 85284
Email: jwaibel@waibel-la.com
Website: www.waibel-la.com



IRRIGATION
DETAILS

SHEET
NUMBER

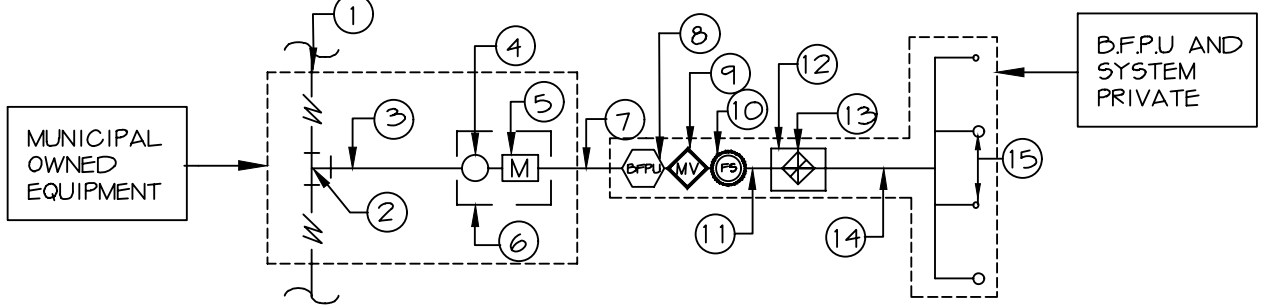
4 OF 5

Date: 1/2/2019

WATER SYSTEM SCHEMATIC

NTS

- 1 WATER SUPPLY LINE
- 2 WATER TAP
- 3 WATER MAIN
- 4 CURB STOP
- 5 WATER METER
- 6 CONCRETE WATER METER VAULT PER MAG SPECIFICATIONS
- 7 TYPE "K" COPPER PIPE TO BACKFLOW PREVENTION UNIT (B.F.P.U.)
- 8 BACKFLOW PREVENTION UNIT
- 9 MASTER VALVE
- 10 FLOW SENSOR
- 11 PVC MAINLINE PIPE
- 12 REMOTE CONTROL VALVE
- 13 VALVE BOX PER SPECIFICATIONS
- 14 PVC LATERAL
- 15 SPRINKLER, BUBBLER OR EMITTER OUTLET PER PLAN



IRRIGATION PIPE AND SLEEVE SCHEDULE

NTS

PIPE SIZE	GPM
1/2"	0-5
3/4"	6-10
1"	11-15
1-1/4"	16-25
1-1/2"	26-35

SLEEVE SCHEDULE

PIPE SIZE	MINIMUM SLEEVE SIZE
1/2" - 3/4"	3"
1" - 2"	4"

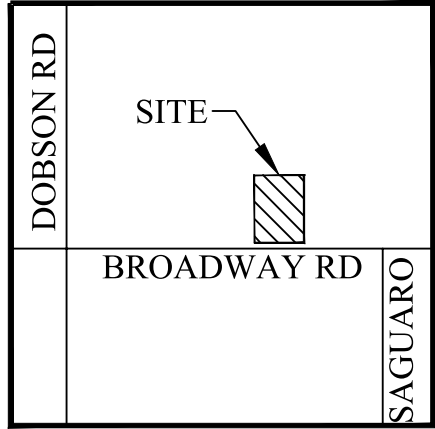
NOTE:
FOR MULTIPLE PIPES IN ONE SLEEVE MINIMUM, 3" OR LARGER SO PIPES MOVE FREELY IN BOTH DIRECTIONS.

LANDSCAPE IRRIGATION GENERAL NOTES (REVISED 02-15-18) (2018 VERSION)

- IRRIGATION DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE INTENDED TO CONCEPTUALLY CONVEY FULL COVERAGE BY THE IRRIGATION SYSTEM. PRINTS SHALL NOT BE SCALED. IRRIGATION LINES SHALL BE PLACED IN PLANTERS AND TURF AREAS, RATHER THAN UNDER PAVEMENT, WHERE POSSIBLE. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION LAYOUT OF THE SYSTEM IN ACCORDANCE WITH THE DRAWINGS TO PROPORTIONALLY COVER THE GIVEN AREAS AS SHOWN. THE LAYOUT MAY BE MODIFIED IF NECESSARY TO OBTAIN FULL COVERAGE TO SUIT THE MANUFACTURER'S STANDARD SPECIFIED HEADS. MODIFICATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE ANY MODIFICATIONS ARE TO BE INSTALLED. DO NOT DECREASE THE NUMBER OF IRRIGATION HEADS OR EMITTERS INDICATED UNLESS THE LANDSCAPE ARCHITECT IS NOTIFIED IN WRITING AND HAS ACCEPTED. THE SYSTEM SHALL BE TESTED FOR COMPLETE COVERAGE AND ALL NECESSARY AND PROPER ADJUSTMENTS HAVE BEEN MADE TO GET FULL AND PROPER COVERAGE PRIOR TO ACCEPTANCE BY THE OWNER
- PRIOR TO THE INSTALLATION OF ANY IRRIGATION SYSTEM COMPONENTS THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE OF THE AVAILABLE WATER POINT OF CONNECTION. IN THE EVENT THAT THE STATIC PRESSURE IS LESS THAN THE FIELD VERIFIED AMOUNT NOTED IN THE APPROVED PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THE DISCREPANCY. THE LANDSCAPE ARCHITECT WILL ASSESS THE SITUATION AND ADJUST THE DESIGN IF NECESSARY. THE CONTRACTOR SHALL NOT CONTINUE IRRIGATION WORK UNTIL THE LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN APPROVAL TO DO SO.
- ALL IRRIGATION PIPE TYPE AND SIZE PER THE APPROVED PLANS AND SPECIFICATIONS. ALL MAINLINE PIPE SHALL BE NEW PVC PIPE. ALL MAINLINE FITTINGS SHALL BE ASTM 2466 OR ASTM 2464 FITTINGS. ALL LATERAL LINE PIPE SHALL BE NEW PVC PIPE. FITTINGS ON ALL PVC LATERAL LINES SHALL BE ASTM 2466 FITTINGS UNLESS OTHERWISE SHOWN ON THE PLANS AND DETAILS.
- LIVE IRRIGATION MAINLINES SHALL BE INSTALLED A MINIMUM OF 24" BELOW FINISH GRADE. BACKFILL THE TRENCH AROUND LIVE SERVICE MAINLINES ACCORDING TO CITY OF MESA STANDARDS. LATERAL LINES SHALL BE PLACED A MINIMUM OF 18" BELOW FINISH GRADE.
- WATER SERVICE LINE TO METER WILL BE PROVIDED BY GENERAL CONTRACTOR. WATER METER WILL BE INSTALLED BY THE CITY. INSTALL THE IRRIGATION MAINLINE TO THE BACKFLOW PREVENTION DEVICE AND WATER METER, CONNECTIONS AND BACKFLOW SHALL BE INSTALLED AS PER INDUSTRY AND CITY OF MESA STANDARDS.
- ALL VALVES SHALL BE LOCATED IN GROUPS AS SHOWN ON DRAWINGS IN LANDSCAPE AREAS. VALVES SHALL BE LOCATED A MINIMUM OF 12" AWAY FROM ANY BUILDING, FENCE, MOWSTRIP, SIDEWALK OR CURB.
- ALL VALVES ARE TO BE WIRED TO CONTROLLERS USING #14 AWG DIRECT BURY WIRE AND WATER RESISTANT WIRE CONNECTORS. COMMON WIRE SHALL BE #12 AWG DIRECT BURIAL WIRE AND WATER RESISTANT WIRE CONNECTORS. ALL VALVE WIRES UNDER PAVING SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES BURIED 24" DEEP. RUN ONE EXTRA WIRE FROM THE CONTROLLER TO EACH GROUP OF VALVES FOR FUTURE USE AND COIL A 48" LOOP OF WIRE IN A PULL BOX. MARK THE WIRE COIL WITH A CHRISTY TAG NOTING ITS CORRESPONDING STATION NUMBER.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL THE NEW IRRIGATION CONTROLLER IN THE LOCATION INDICATED ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR POWER CONNECTIONS FROM THE ELECTRICAL METER AND ALL SYSTEMS.
- PROVIDE AND INSTALL ALL THE MANUFACTURER'S RECOMMENDED SURGE AND LIGHTNING PROTECTION EQUIPMENT ON ALL CONTROLLERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY SITE ITEMS DAMAGED DURING THE COURSE OF CONSTRUCTION WHERE CONSTRUCTION ACTIVITIES HAVE DISTURBED THE SITE INSIDE OR OUTSIDE OF THE CONTRACT LIMITS. ALL AREAS SHALL BE REPAIRED AND RESTORED TO ORIGINAL CONDITION. REPAIRED AREAS SHALL BE CONSTRUCTED TO PROVIDE A SMOOTH TRANSITION IN GRADING AND MATERIALS FROM EXISTING TO NEW CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM SHOWING EXACT MEASURED AND DIMENSIONED LOCATIONS OF ALL VALVE BOXES, PULL BOXES, QUICK COUPLERS, METER MANIFOLD EQUIPMENT, CONTROLLERS, SLEEVES AND OTHER ITEMS. TIE DIMENSIONS TO PERMANENT FEATURES SUCH AS STRUCTURES.
- IRRIGATION SLEEVES SHALL BE INSTALLED BENEATH ALL PAVEMENT, DRIVEWAYS AND DRAINAGE STRUCTURES THAT ARE CROSSED WITH IRRIGATION MAINLINE OR LATERAL PIPE OR CONTROLLER WIRE. ALL SLEEVES SHALL BE SCHEDULE 40 PIPE. SIZE SHALL BE 4" FOR ALL PIPING. SIZE SHALL BE 2" WHERE ONLY CONTROLLER WIRE IS PROVIDED. SLEEVES SHALL BE EXTENDED 6" INTO LANDSCAPE AREA.
- ONLY ONE VALVE SHALL BE PROVIDED PER VALVE BOX. ALL HARDWARE SHALL BE STAINLESS STEEL. BOLTS SHALL HAVE WASHERS. EXPANSION COILS SHALL BE PROVIDED AT EACH WIRE CONNECTION IN VALVE BOX. WRAP WIRE AROUND 1/2" PVC PIPE 15 TIMES. COVER SHALL BE EMBOSSED WITH 1/2" LETTERS ON CONTROLLER AND ON VALVES WITH CORRESPONDING FIELD NUMBER.
- ADEQUATE PRESSURE SHALL BE VERIFIED FOR ALL PIPE RUNS PRIOR TO COVERING PIPE IN TRENCHES. OWNER'S REPRESENTATIVE SHALL BE PRESENT FOR ALL IRRIGATION PRESSURE TESTING PRIOR TO COVERING TRENCHES.
- ALL WORK AND MATERIALS MUST MEET CITY OF MESA STANDARDS.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS INCLUDING ALL APPURTENANCES AND LABOR NECESSARY TO INSTALL THE COMPLETE AUTOMATIC SPRINKLER SYSTEM FROM THE METER. WATER USAGE CHARGES SHALL BE PAID BY CONTRACTOR UNTIL PROJECT FINAL ACCEPTANCE BY CITY OF MESA.
- PROJECT RECORD DRAWINGS FOR IRRIGATION SYSTEM:
 - MAINTAIN ON SITE AND SEPARATE FROM DOCUMENTS USED FOR CONSTRUCTION, ONE COMPLETE SET OF CONTRACT DOCUMENTS AS PROJECT RECORD DOCUMENTS. KEEP DOCUMENTS CURRENT. DO NOT PERMANENTLY COVER WORK UNTIL AS-BUILT INFORMATION IS RECORDED.
 - RECORD PIPE AND WIRING NETWORK ALTERATIONS. RECORD WORK WHICH IS INSTALLED DIFFERENTLY THAN SHOWN ON THE CONSTRUCTION DRAWINGS. RECORD ACCURATE REFERENCE DIMENSIONS, MEASURED FROM AT LEAST TWO PERMANENT REFERENCE POINTS, OF EACH IRRIGATION SYSTEM VALVE, EACH BACKFLOW PREVENTION DEVICE, EACH CONTROLLER OR CONTROLLER UNIT, EACH SLEEVE END, EACH STUB-OUT FOR FUTURE PIPE OR WIRING CONNECTIONS, AND OTHER IRRIGATION COMPONENTS ENCLOSED WITHIN A VALVE BOX.

Revisions

Key Map



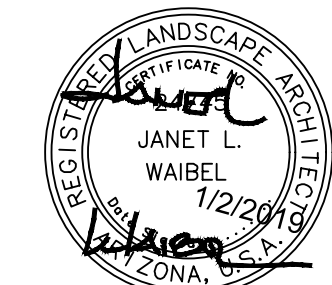
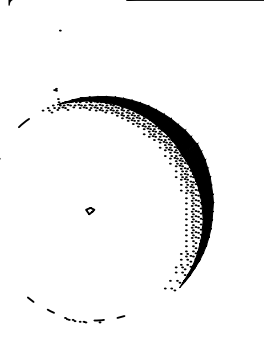
▲ N

BEEMER HAUS

For
CJRJ GROUP
4173 W. CORONA DR.
CHANDLER, AZ 85226
480-263-9712

Waibel & Associates
Landscape Architecture

Urban
Design
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Consulting
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Planning
Phone: 480-803-3849 Fax: 480-803-3846
8611 S. Priest Drive, Suite 101 Tempe, AZ 85284
Email: janet@waibel-la.com
Website: www.waibel-la.com



IRRIGATION
DETAILS

SHEET
NUMBER

5 OF 5

Date: 1/2/2019



REQUIRED RETENTION VOLUME

VOLUME REQUIRED = (P/12)*A*C
C_{dr}=0.90
P=2.20 (NOAA ATLAS 14)

100-YR VOLUME CALCULATIONS AND UNDERGROUND RETENTION SYSTEM TABLE (STORMTECH MC-4500)							
AREA	P	A	C	CHAMBERS	CAPS	V _{REQ}	V _{ALLOWED}
1	2.20	72506	0.90	69	6	11963.5	12146.1

SYMBOLS LEGEND

—1440— FINISHED GROUND CONTOUR
- -1440- - EXISTING GROUND CONTOUR
⊕ PROPOSED FIRE HYDRANT
— PROPERTY LINE
— ROAD CENTERLINE
— W — EX WATER LINE
— S — EX SEWER LINE
— G — EX GAS LINE
— E — EX ELECTRIC LINE
— U.T. — EX TELECOM LINE
— W — PROP WATER LINE
— S — PROP SEWER LINE
→ DRAINAGE DIRECTION

SURVEYOR

D2 SURVEYING
24468 N. CORN ST.
FLORENCE, AZ 85132
PHONE: (480) 221-1368
WWW.D2SURVEYING.COM

ARCHITECT, MEP ENGINEERING AND STRUCTURAL ENGINEERING

ANDY BOUBEL
1820 W. BROADWAY RD.,
MESA, AZ 85202
PHONE: 480-215-4961

CIVIL ENGINEER

NPS MARICOPA, INC.
859 N LAFAYETTE,
MESA, AZ 85201
(480) 201-5476
TOM.HAWS@GMAIL.COM

FEMA FLOOD INSURANCE RATE MAP

ZONE X (DOT-HATCHED)
MAP PANEL# 04013C2265M
REVISION DATE: NOVEMBER 04, 2015

BENCHMARK

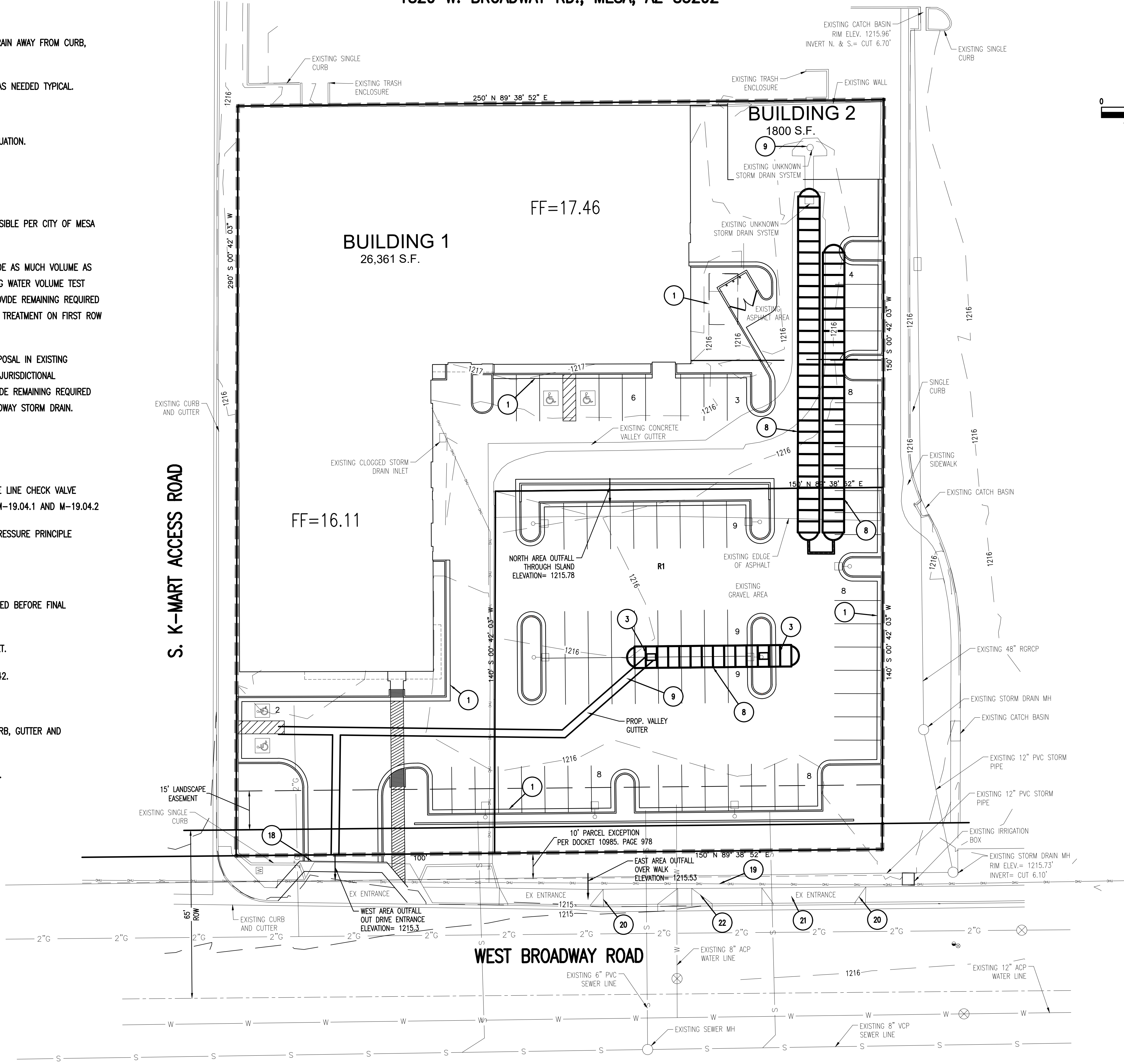
NAIL WITH TAG CITY OF MESA ON THE TOP OF CURB AT
THE NORTHWEST CORNER OF S. DOBSON RD. & W.
BROADWAY RD.
ELEVATION= 1211.80'

CONSTRUCTION NOTES

- 1 CURB AND GUTTER MAG 220A STANDARD OR MODIFIED TO DRAIN AWAY FROM CURB, TYPICAL ALL CURBS
- 2 DOUBLE GUTTER SURFACE DRAIN THROUGH PARKING ISLAND AS NEEDED TYPICAL.
- 3 STORM DRAIN INLET MAG 534 OR 535
- 4 CONNECT TO ROOF DRAIN. SEE ARCHITECT PLAN FOR CONTINUATION.
- 5 ROOF DRAIN LEADER TO MATCH ROOF DRAIN SIZE.
- 6 CONNECT LEADER TO PROPOSED RETENTION SYSTEM.
- 7 ON-PARKING RETENTION. PROVIDE AS MUCH VOLUME AS POSSIBLE PER CITY OF MESA STANDARDS ON PARKING LOT.
- 8 UNDERGROUND RETENTION. A. AT OWNER DISCRETION PROVIDE AS MUCH VOLUME AS POSSIBLE IN EXISTING SYSTEM BY CLEANING AND PERFORMING WATER VOLUME TEST (UP TO 100 000 GALLONS) BEFORE PLAN APPROVAL. B. PROVIDE REMAINING REQUIRED VOLUME IN STORMTECH CHAMBERS MC-4500 WITH ISOLATION TREATMENT ON FIRST ROW OF EACH SYSTEM.
- 9 RETENTION DISPOSAL. A. AT OWNER DISCRETION PROVIDE DISPOSAL IN EXISTING DRYWELL BY TESTING RATE TO DRAIN IN HALF (18 HRS) OF JURISDICTIONAL REQUIRED TIME (36 HRS) BEFORE PLAN APPROVAL. B. PROVIDE REMAINING REQUIRED DISPOSAL RATE USING PUMP AND BLEED-OFF LINE TO BROADWAY STORM DRAIN.
- 11 8" DUCTILE IRON WATER
- 12 FIRE HYDRANT MAG 360
- 13 BUILDING FIRE SPRINKLER LINE PER COM M-31.07 WITH FIRE LINE CHECK VALVE ASSEMBLY PER COM M-31.02. TRENCH BACKFILL PER COM M-19.04.1 AND M-19.04.2
- 14 2" DOMESTIC WATER METER (IN EASEMENT) AND REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER (OUTSIDE EASEMENT)
- 15 2 1/2" DOMESTIC WATER SERVICE LINE
- 16 CONNECT TO EXISTING SEWER STUB. INVERT TO BE DETERMINED BEFORE FINAL PERMIT. APPROXIMATE INVERT = 1425.94
- 17 6" SEWER @ 1.18% SLOPE WITH CLEANOUTS EVERY 100 FEET.
- 18 EXISTING MAIN ACCESS DRIVEWAY TO BE REPLACED WITH M-42.
- 19 OVERHEAD ELECTRIC TO BE CONVERTED TO UNDERGROUND.
- 20 EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH CURB, GUTTER AND SIDEWALK.
- 21 EXISTING SIDEWALK TO BE REPLACED WITH 6' WIDE SIDEWALK.
- 22 REMOVE EXISTING ADA RAMP.

BEEMER HAUS
PRELIMINARY GRADING AND DRAINAGE PLAN

1820 W. BROADWAY RD., MESA, AZ 85202



NPS MARICOPA, INC.

PRELIMINARY GRADING AND DRAINAGE PLAN

PROJECT:

811

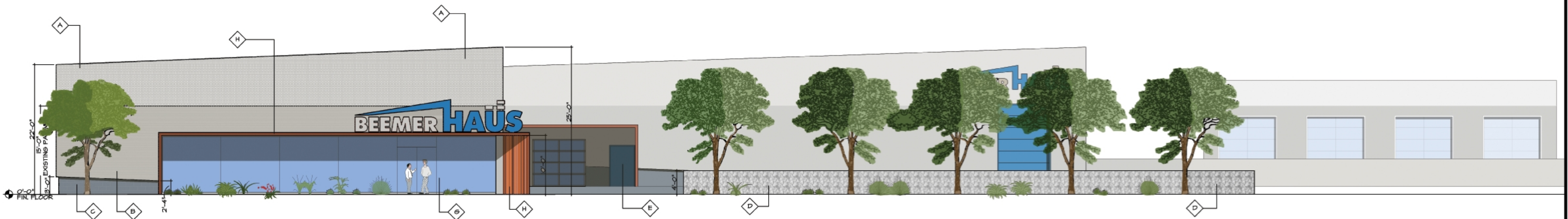
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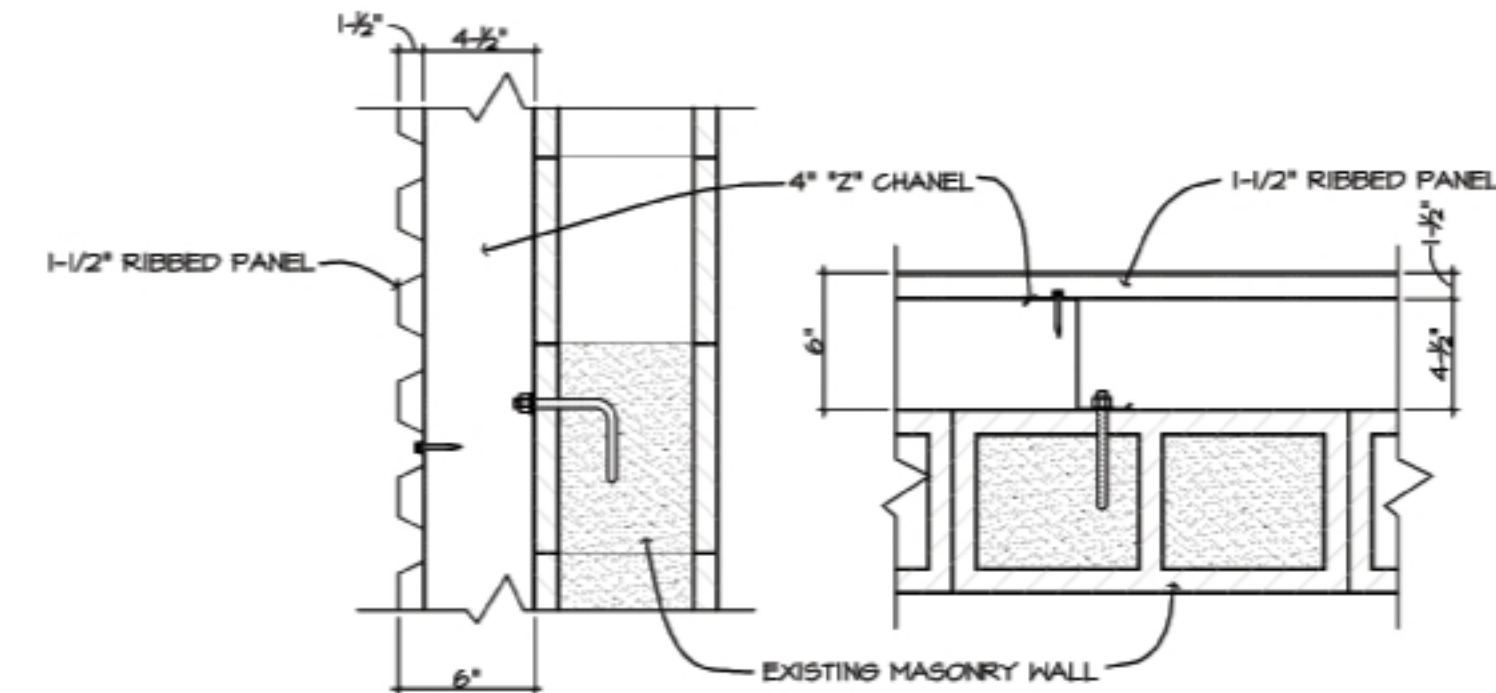
DRAWN BY: AKS

SHEET GD01

1 OF 1



1 SOUTH ELEVATION (street view)
SCALE: 1/8" = 1'-0"

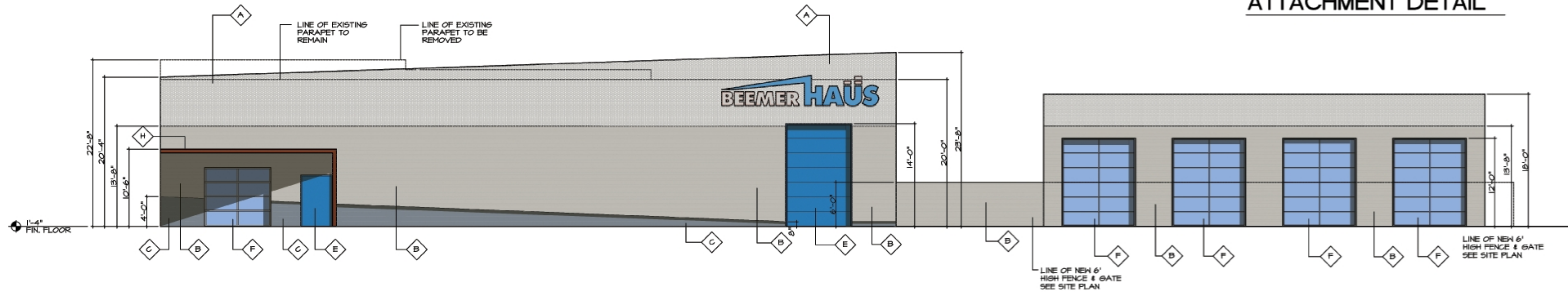


ATTACHMENT DETAIL

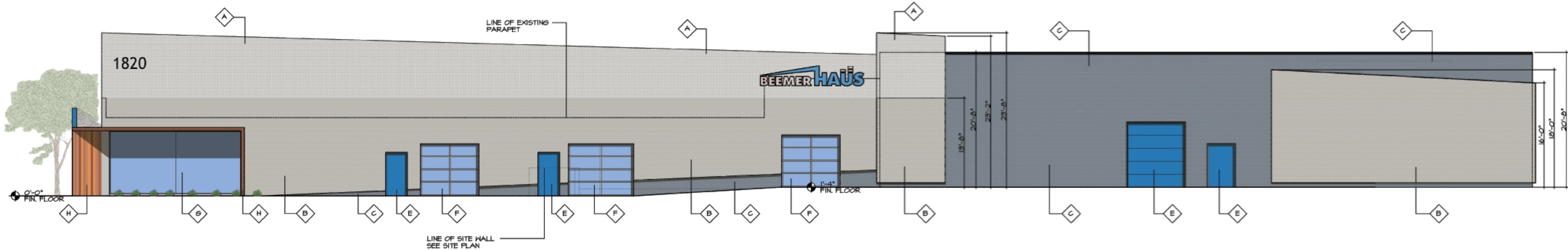
EXTERIOR MATERIALS

SEE BUILDING MATERIAL COLOR SAMPLES

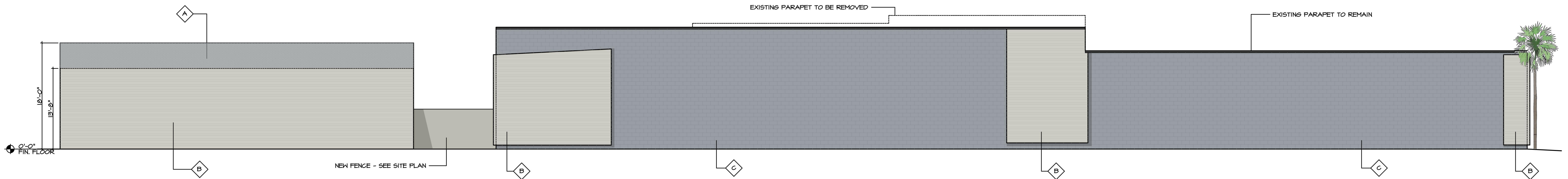
- A WESTERN RIB PANEL (PERFORATED)
COLOR: GALVALUME
- B WESTERN RIB PANEL
COLOR: ASH GRAY
- C EXISTING BLOCK
PAINTED DUNN EDWARDS 6341
- D SPLITFACE CONCRETE BLOCK SITE WALL - GRAY GRANITE
BORAL CONCRETE SEE SITE PLAN
- E EXISTING HOLLOW METAL & OVERHEAD DOORS AS INDICATED
COLOR: DUNN EDWARDS 5845
- F NEW OVERHEAD ALUMINUM & GLASS DOOR BY
OVERHEAD DOOR MODEL 521
- G SEAMLESS GLASS PANELS BY OVERHEAD DOORS
"THE ENVY COLLECTION"
- H FRAMED CANOPY GLAD WITH CUMARU WOOD VENEER



2 SOUTH ELEVATION (interior lot view)
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



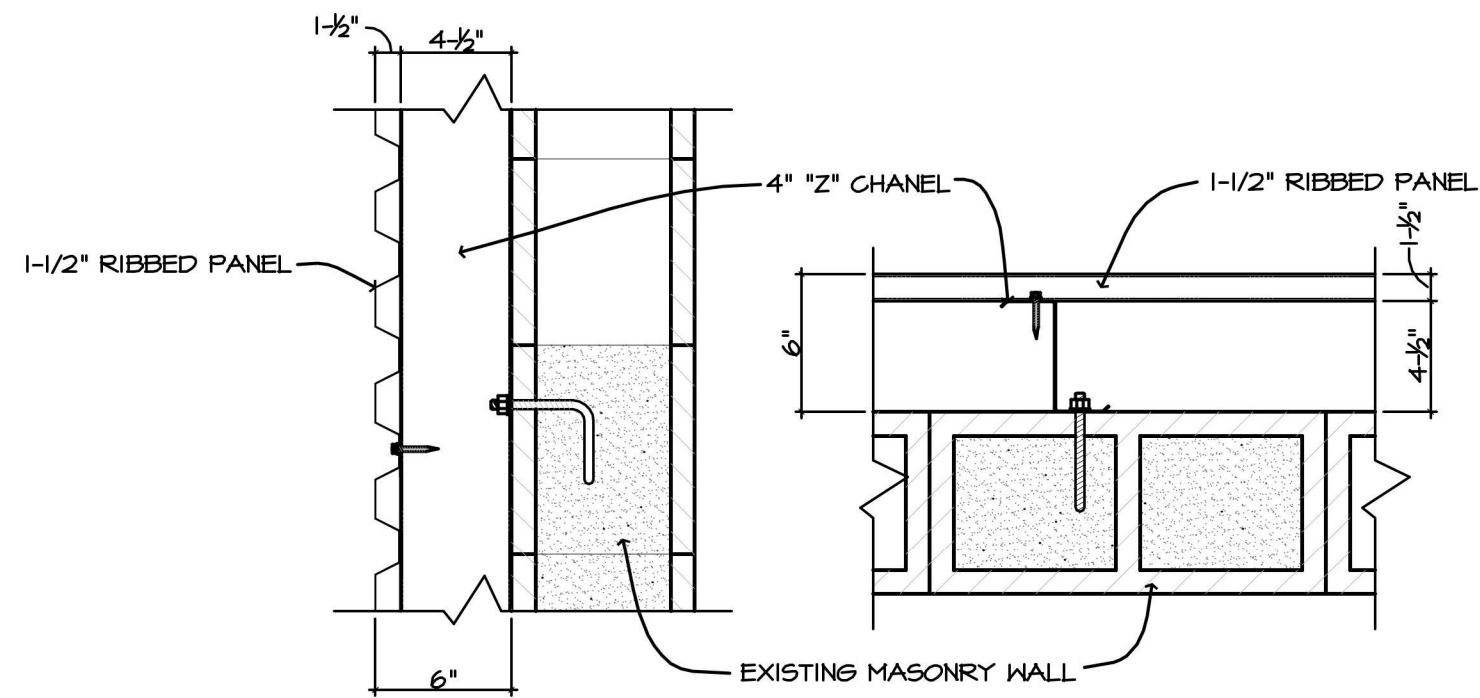
4 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

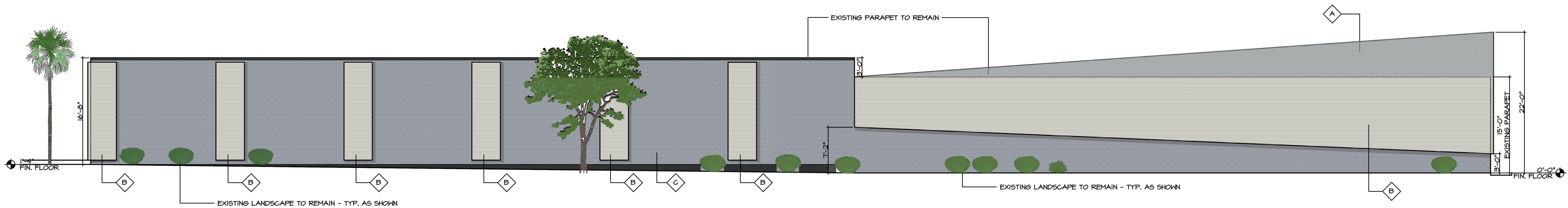
EXTERIOR MATERIALS

SEE BUILDING MATERIAL COLOR SAMPLES

- A WESTERN RIB PANEL (PERFORATED)
COLOR: GALVALUME
- B WESTERN RIB PANEL
COLOR: ASH GRAY
- C EXISTING BLOCK
PAINTED DUNN EDWARDS 6341



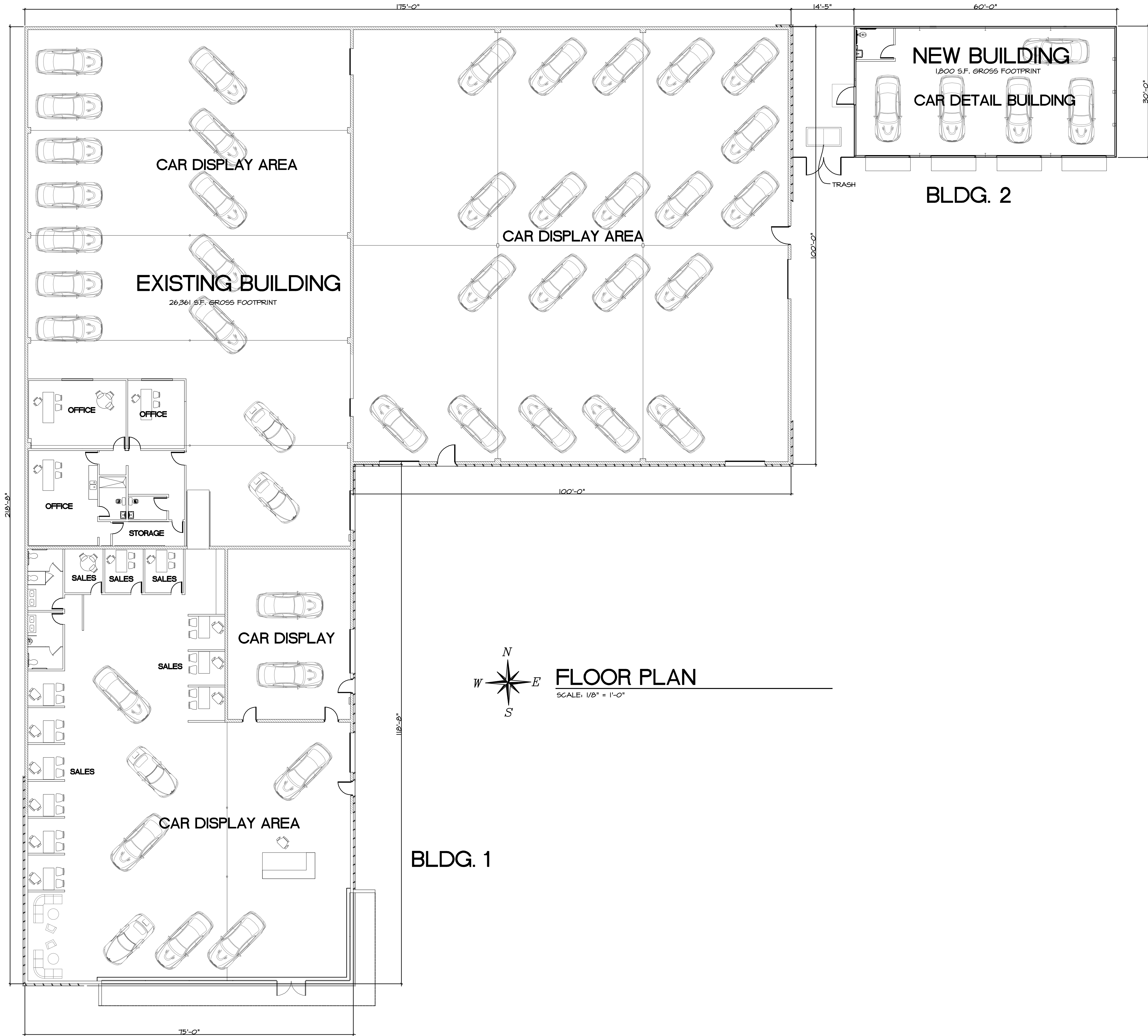
ATTACHMENT DETAIL



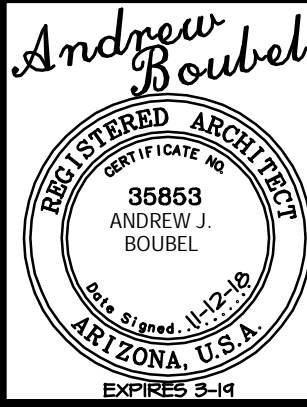
5 WEST ELEVATION

SCALE: 1/8" = 1'-0"

REV.
Δ
Δ
Δ



PRS18-00826



A2.0

DESERT RIDGE DESIGN ARCHITECTS
COMMERCIAL - RESIDENTIAL - FORENSIC ARCHITECTURE
4008 E. Creosote Dr.
Cave Creek, Arizona 85331
Phone: (480) 215-4961
desertridgedesignllc@cox.net
DESERT RIDGE DESIGN, LLC - AN ARIZONA CORPORATION

REV.
Δ
Δ
Δ

FLOOR
PLAN

BEEMER HAÜS
1820 W. BROADWAY RD. MESA, AZ, 85202

DESERT RIDGE DESIGN L.L.C.

Andrew J. Boubel (Desert Ridge Design, LLC Member, Manager & Architect)
COMMERCIAL, RESIDENTIAL, AND FORENSIC ARCHITECTURE
AZ License No: 35853 & 19893
TX License No: 26711

Citizen Participation Plan for The Beemer Haus

November 15, 2018

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of an application for the Beemer Haus Pre-owned Auto Sales. This site is located at 1820 W. Broadway Rd. west of the 101 and is an application for planning review. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Charbel Antoun
480-215-0688

Pre-submittal Meeting: The pre-application meeting with City of Mesa planning staff was held on November 5, 2018. Staff reviewed the application and recommended that adjacent residents, and businesses be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including: • All registered neighborhood associations within one mile of the project. • Homeowners Associations within one half mile of the project. • Property owners within 1,000 feet from site, but may include more who may be affected by this application.
2. All persons listed on the contact list will receive a letter describing the project, project schedule, and site plan. Contacts will be given 15 days to respond in writing. Responses will be given to the City of Mesa Planner assigned to this project.

Schedule: Planning Application Submittal – November 26, 2018

Planning and Zoning Board Hearing – February 17, 2018

DESERT RIDGE DESIGN L.L.C.

Andrew J. Boubel (Desert Ridge Design, LLC Member, Manager & Architect)
COMMERCIAL, RESIDENTIAL, AND FORENSIC ARCHITECTURE
AZ License No: 35853 & 19893
TX License No: 26711

January 23, 2019

City of Mesa
Planning Department
55 N. Center St.
Mesa, AZ 85211

Re: Case # ZON18-00931 –Citizen Participation Report
Beemer Haus
1820 W. Broadway Rd.
Mesa, AZ. 85202

Attention Planning Staff,

We mailed the attached Citizen Participation notification letter on December 19, 2018 to all neighboring properties within 500 feet of the subject property. We received (4) letters marked “Return to Sender Not Deliverable as Addressed Unable to Forward” – see attached. We did receive one response from Mr. Evert Farmer – owner of the private road immediately to the west of the subject property. We have also attached his response. Please feel free to contact us with any questions you may have.

Sincerely,

Andrew J. Boubel

Member/ Manager

Desert Ridge Design LLC

(480) 215-4961

Drd61@cox.net

DESERT RIDGE DESIGN L.L.C.

Andrew J. Boubel (Desert Ridge Design, LLC Member, Manager & Architect)
COMMERCIAL, RESIDENTIAL, AND FORENSIC ARCHITECTURE
AZ License No: 35853 & 19893
TX License No: 26711

City of Mesa Citizen Participation Plan for The Beemer Haus

December 18, 2018

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of an application for the Beemer Haus Pre-owned Auto Sales. This site is located at 1820 W. Broadway Rd. west of the 101 and is an application for planning review. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Andrew Boubel
480-215-4961

Pre-submittal Meeting: The pre-application meeting with City of Mesa planning staff was held on November 5, 2018. Staff reviewed the application and recommended that adjacent residents and businesses be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including: • all registered neighborhood associations within one mile of the project. • Homeowners Associations within one half mile of the project. • Property owners within 1,000 feet from site, but may include more who may be affected by this application.
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Schedule: Planning Application Submittal – November 26, 2018

Planning and Zoning Board Hearing – February 17, 2018

To view the proposed design for the Beemer Haus go to: www.drdarchitects.com

Desert Ridge Design, LLC
4008 E. Creosote Drive
Cave Creek, AZ 85331



TDM HOME SOLUTIONS LLC
RAUL J & MALISSA A OCHOA
15111 N HAYDEN RD STE 160-371
SCOTTSDALE, AZ 85260

NIXTE 852 7E 1 8612/28/18

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSEE
UNABLE TO FORWARD

BC: 8526000000 *1804-05103-10-01

UT
05103-10-01

Desert Ridge Design, LLC
4008 E. Creosote Drive
Cave Creek, AZ 85331

PHOENIX AZ 852

18 DEC 2018 PM 3 1



TANG YEE YEUNG & SHUE MAY & WAI-LIN
3020 N 109TH AVE
AVONDALE, AZ, 85323

NIXTE 852 7E 1 8612/24/18

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 85331380000 *1714-05321-10-01

ANK
05332-0765309

Desert Ridge Design, LLC
4008 E. Creosote Drive
Cave Creek, AZ 85331

TDM HOME SOLUTIONS LLC
RAUL J & MALISSA A OCHOA
15111 N HAYDEN RD STE 160-371
SCOTTSDALE, AZ 85260

NIXIE 250 7E 1 8881/06/10

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

UTF
85260-255509

BC: 85331380908 *2314-07428-20-43



Desert Ridge Design, LLC
4008 E. Creosote Drive
Cave Creek, AZ 85331

PATRICK H BITTER TRUST
PATRICK H BITTER, TRUSTEE
1151 NORMAN
CAMPBELL, CA

REV NTE 1 917C0201/11/19
FORWARD TIME EXP RTN TO SEND

BITTER
1151 NATH AVE
SAN FRANCISCO CA 94127-1387

1: 04009223720122
1: 94009216793542

FWD
98000-852451

RETURN TO SENDER



Andy Boubel

From: Desert Ridge Design LLC <donotreply@godaddy.com>
Sent: Wednesday, December 26, 2018 1:25 PM
To: drd61@cox.net
Subject: New message - drdarchitects.com

[Click here to reply](#)

Name:
EVERT FARMER

Email:
efarmer@contractorswest.com

Phone:
480-969-6300

Message:
I am the Manager of Westfarmerllc and Offdobsonllc (owner of the private road). Please keep me in the loop regarding this development. thanks Evert Farmer

This message was submitted from your website contact form:
<http://drdarchitects.com>

2115268464