

AN ADDITION FOR
MALONE RESIDENCE
524 S.BARKLEY, MESA, AZ 85204

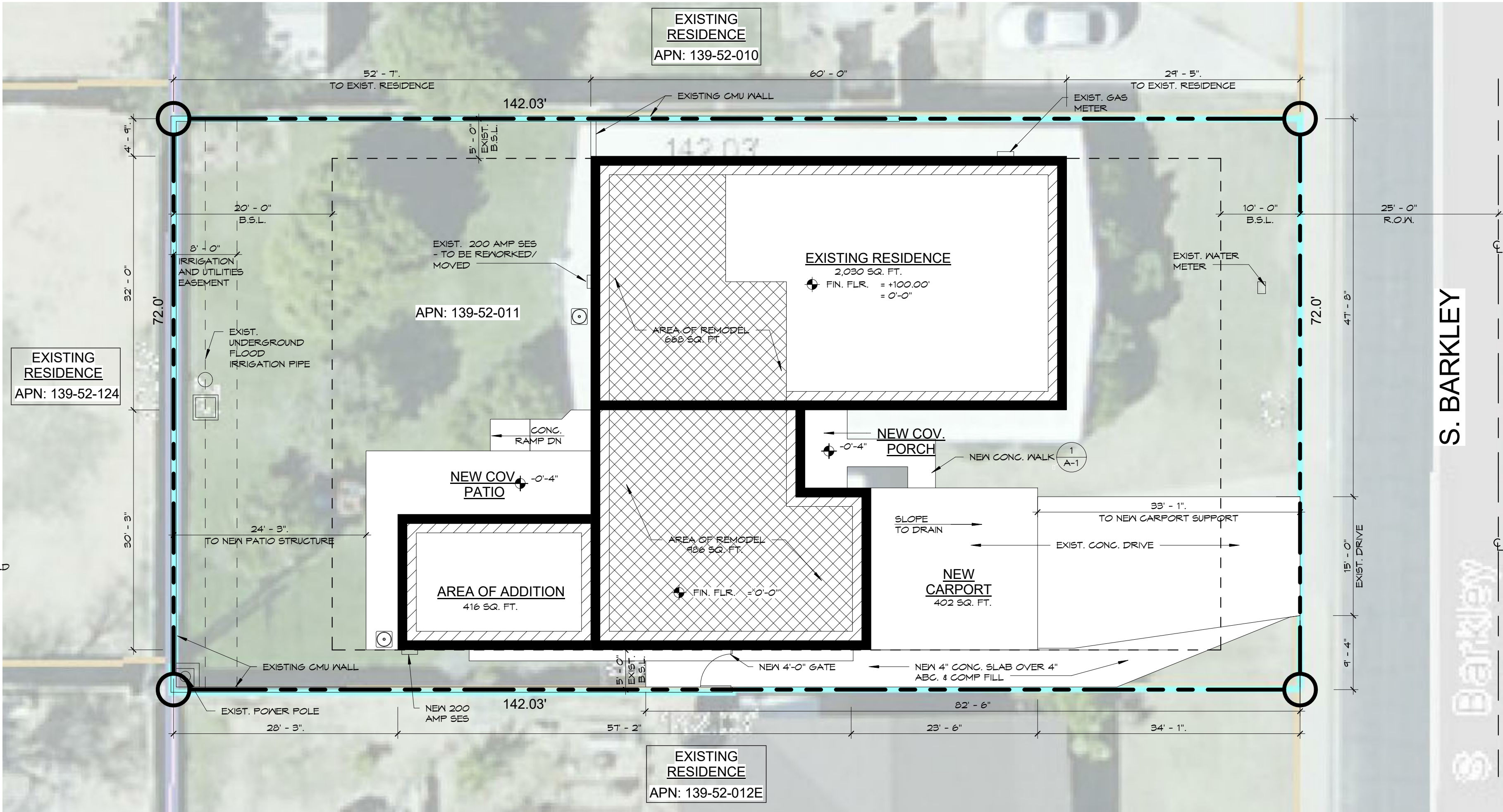
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MALONE RESIDENCE
524 S.BARKLEY, MESA, AZ 85204

BLDG. DATA

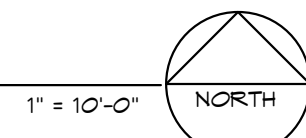
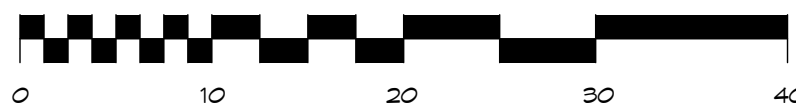
OWNER:	JARED & RACHEL MALONE
TELEPHONE NUMBER:	(480) 652-2062
BUILDING ADDRESS:	524 S. BARKLEY MESA, ARIZONA 85204
BUILDING CODE:	2012 I.R.C. / I.B.C.
PARCEL NO:	139-52-011
ZONING:	RS-6
OCCUPANCY GROUP:	R-3
CONSTRUCTION TYPE:	V-B
SITE AREA:	10,054 SQ. FT. = 0.23 ACRES
BUILDING AREA:	UNDER ROOF: THE MAXIMUM FLOOR AREA OF AN ACCESSORY DWELLING UNIT SHALL NOT EXCEED 30% OF THE ROOF AREA OF THE PRIMARY UNIT. PER M20 11-31-3B EXIST. PRIMARY DWELLING - 2,030 SQ. FT. ADD. TO PRIMARY DWELLING - 200 SQ. FT. NEW SHED - 205 SQ. FT. NEW CARPORT & STORAGE - 452 SQ. FT. NEW PATIO - 284 SQ. FT. NEW PORCH - 84 SQ. FT. NEW DWELLING TOTAL - 3,235 SQ. FT. NEW SECONDARY DWELLING - 835 SQ. FT. 835 SQ. FT. / 3,235 SQ. FT. = 25.8%
EXISTING LIVABLE:	2,030 SQ. FT.
AREA OF ADDITION/REMODEL:	1,240 SQ. FT.
TOTAL:	3,270 SQ. FT.
COV. PORCH:	54 SQ. FT.
NEW CARPORT:	402 SQ. FT.
COV. PATIO:	284 SQ. FT.
TOTAL:	4,070 SQ. FT.
LOT COVERAGE:	10,054 SQ. FT.
SITE AREA:	4,070 SQ. FT.
COVERAGE AREA:	4,070 SQ. FT. = 40.0%
	4,070 SQ. FT. / 10,054 SQ. FT. = 40.0%

SITE PREPARATION NOTES:

- STRIP AND REMOVE ALL OBVIOUSLY SOILS, VEGETATION, DEBRIS AND RUBBLE, IF ANY FROM THE PAVING AREA. CLEAN AND INDEN DEPRESSIONS RESULTING FROM TREE REMOVAL TO ACCOMMODATE COMPACTION EQUIPMENT.
 - SCARIFY, MOISTEN OR DRY, AS REQUIRED, AND COMPACT ALL EXPOSED SUB GRADE SOILS TO A MINIMUM DEPTH OF 8" OR DEEPER TO DENSIFY ANY SOILS DISTRIBUTED ANY RECENT AGRICULTURAL USE.
 - PLACE AND COMPACT REQUIRED FILL IN HORIZONTAL COMPACTED LIFTS TO FINISH SUB GRADE LEVELS. LIFT THICKNESS SHOULD BE CONTINGENT UPON COMPACTION EQUIPMENT USED TO ACHIEVE MINIMUM UNIFORM DENSITIES. ON-SITE SOILS DERIVED FROM SHALLOW EXCAVATIONS, CLEAN AND FREE OF ANY DEBRIS OR VEGETATION WILL BE SUITABLE FOR FILL UNDER PAVEMENT AREAS.
- SUB GRADE PREPARATION AND FILL SHOULD BE ACCOMPLISHED UNDER OBSERVATION AND TESTING DIRECTED BY A SOILS ENGINEER. BASE COURSE AND IMPORTED FILL SHOULD MEET THE FOLLOWING SPECIFICATIONS.
- GRADATION (ASTM C 136) PERCENT PASSING BY WEIGHT.
- | SEIVE SIZE | SUBBASE FILL (LOW EXPANSIVE POTENTIALS) | AGGREGATE BASE COURSE |
|------------|---|-----------------------|
| 1-1/2" | 100 | --- |
| 1-1/8" | --- | 100 |
| NO. 4 | 25-100 | 30-10 |
| NO. 200 | 50 MAX | 3-8 |
- LIQUID LIMIT (ASTM D 425) 30 MAX
 - MAXIMUM PLASTICITY INDEX (ASTM D 424) 5
 - MAXIMUM EXPANSION POTENTIAL *0.5%
 - MAXIMUM PERCENT SOLUBLE SULFATES 0.10
- * EXPANSION MEASURED ON REMOLDED SAMPLE COMPACTED TO THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D 698 AT A MOISTURE CONTENT 3 PERCENT BELOW OPTIMUM.
- THE COMPACTION OF ALL FILL MATERIALS SHOULD BE PERFORMED TO THE SPECIFIED PERCENT OF THE MAXIMUM DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D 698. ON-SITE SAND-CLAY MIXED SOILS AND IMPORTED GRANULAR MATERIALS EXHIBITING LOW EXPANSIVE POTENTIALS SHOULD BE COMPACTED WITHIN A MOISTURE RANGE OF 3 PERCENT ABOVE OPTIMUM.
- | MATERIAL | MINIMUM % COMPACTION |
|---|----------------------|
| NATIVE SUB GRADE SOILS BELOW PAVEMENT AREAS | 95% |
| SUBBASE FILL (ON-SITE OR IMPORTED) BELOW PAVEMENT | 95% |
| AGGREGATE BASE COURSE BELOW ALL AREAS | 95% |



SITE PLAN



	CONCRETE
	SALT FINISHED CONCRETE
	EXPOSED AGGREGATE CONC.
	EARTH
	CONC. MAS. UNIT
	AGG. BASE COURSE
	ROUGH CARPENTRY
	FINISH CARPENTRY
	BATT INSULATION
	RIGID INSULATION
	FOAM INSULATION
	GYPSUM WALLBOARD
	STEEL
	ALUMINUM
	STEEL STUD
	BRICK / MASONRY
N.I.C.	NOT IN CONTRACT

GENERAL NOTES

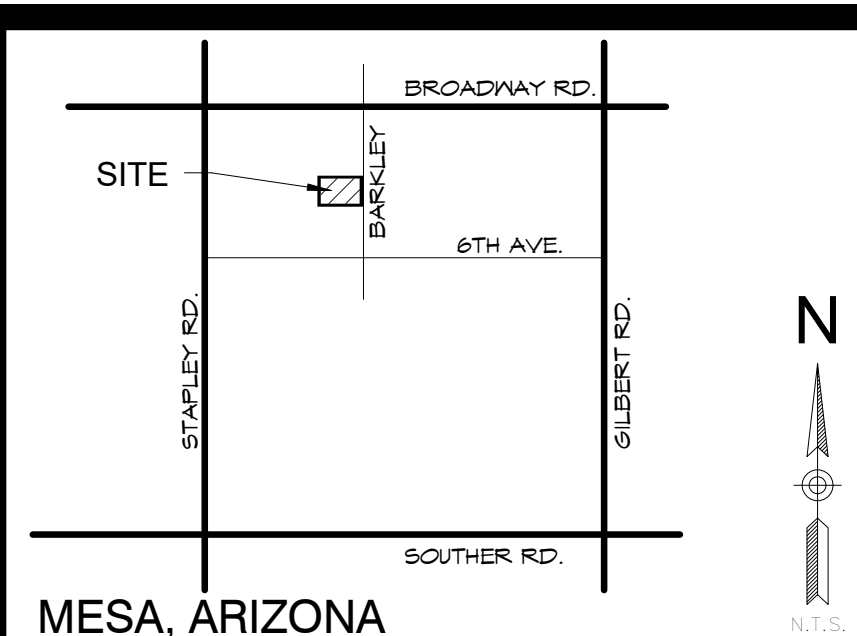
- CONTRACTOR SHALL FOLLOW ALL CODES AND REGULATIONS MANDATED BY FEDERAL, STATE, COUNTY AND CITY AGENCIES. UNDERLYING BUILDING CODES AND REGULATIONS, A.D.A. AND CORPORATION COMMISSION ON GAS, ETC.
- CONTRACTOR SHALL, UNDER HIS CONTRACT PROVIDE FOR AND PAY ALL COSTS ASSOCIATED WITH BUILDING PERMITS, INSPECTION FEES, LOCATION FEES, TAXES AND REVIEW FEES. COST OF OBTAINING PERMITS, FEES & TAXES SHALL BE PROVIDED UNDER THIS CONTRACT.
- CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL FINISHES THAT ARE DAMAGED DURING THE COURSE OF THIS CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL EXISTING LINES DAMAGED DURING THE COURSE OF THIS CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A LOCKED, SECURED JOB SITE AT ALL TIMES DURING THE COURSE OF THIS CONSTRUCTION. ANY VANDALISM OR THEFT DUE TO AN UNLOCKED BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL RUN AND MAINTAIN, DURING THE COURSE OF THIS CONSTRUCTION, A SAFE AND SECURE JOB SITE, SECURE OF CROSS TRAFFIC.
- ALL WASTE MATERIALS SHALL BE DISPOSED OF IN A PROPERLY LICENSED DISPOSAL SITE.
- THE CONTRACTOR IS TO COMPLY WITH AND SUBJECT TO ALL PARTS OF THESE DOCUMENTS AND ALL CONDITIONS OF THE AIA DOCUMENT A 201, GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION, 1997 EDITION, FOR THIS PROJECT.

NOTE: EXCAVATED DIRT IS NOT TO BE EXPORTED OFF SITE. IF ANY EXPORT-OWNER WILL DESIGNATE SPILL AREA

NOTE: SLOPE BERMS AWAY FROM BUILDING ALL SIDES TYP.

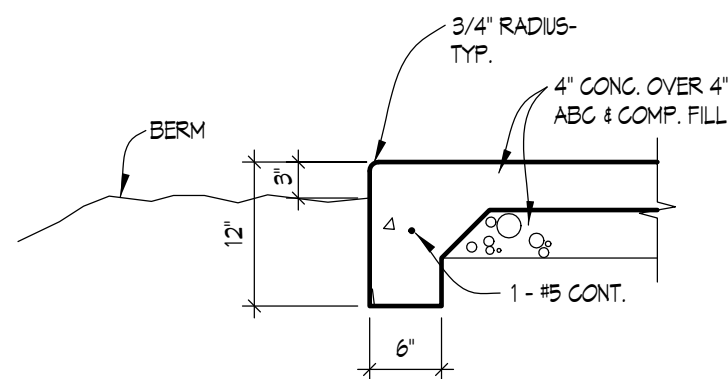
EXISTING UNDERGROUND AND OVERHEAD ELECTRICAL (V.I.F.)
EXISTING TELEPHONE SERVICE (V.I.F.)

VICINITY MAP



SHEET INDEX

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E-1	10	ELECTRICAL PLAN



TURNDOWN @ GRADE

3/4" = 1'-0"

REVISIONS		
No.	Description	Date

SITE PLAN

PROJECT NUMBER	
DATE	12/18/18
DRAWN BY	JM
CHECKED BY	

SCALE As indicated



SHEET NUMBER 1

A-1

AN ADDITION FOR

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REVISIONS		
No.	Description	Date

FLOOR PLAN

PROJECT NUMBER	
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SCALE As indicated

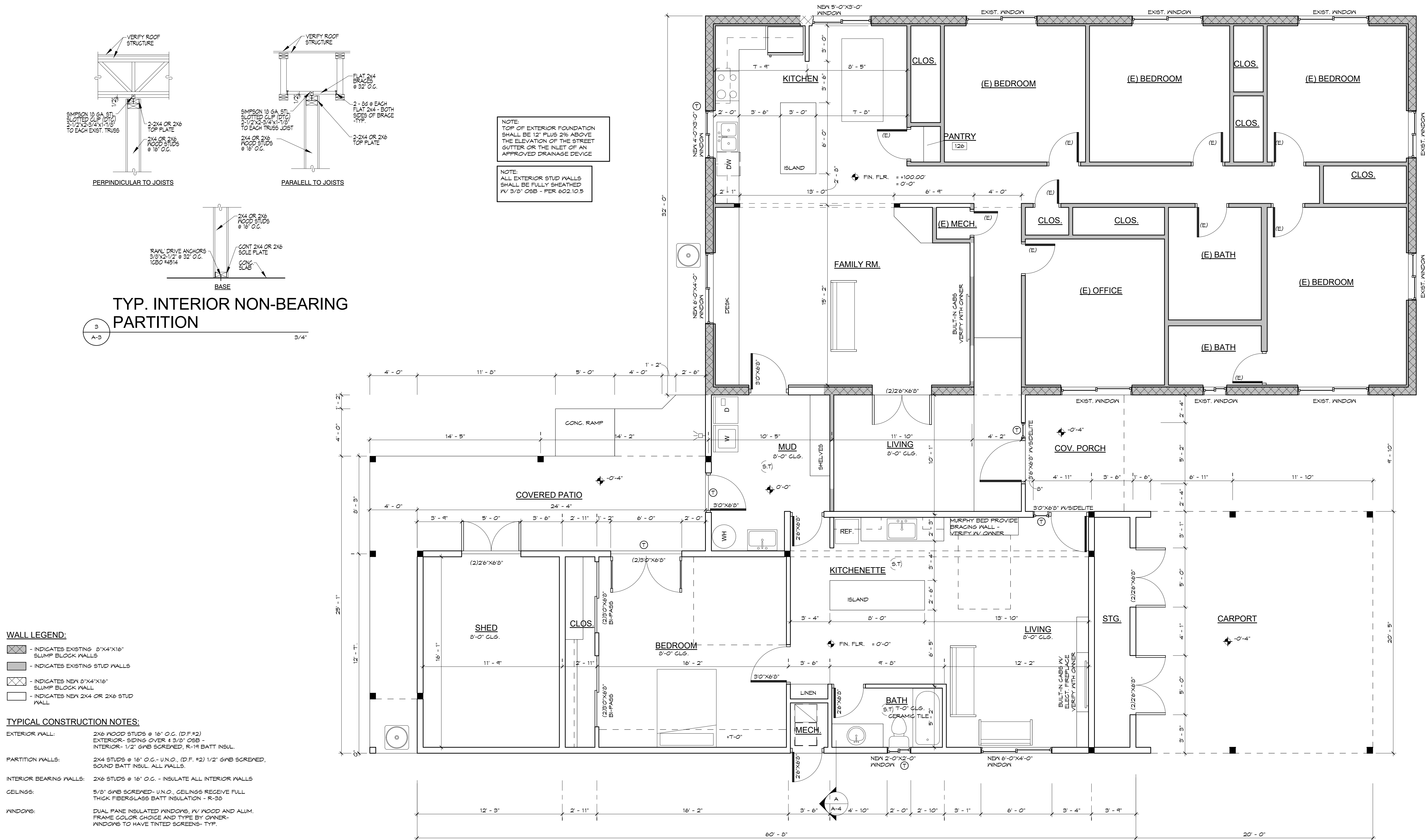


SHEET NUMBER 3

A-3

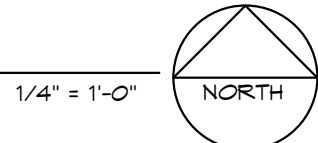
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT BUILDING BEFORE PROCEEDING WITH THIS WORK

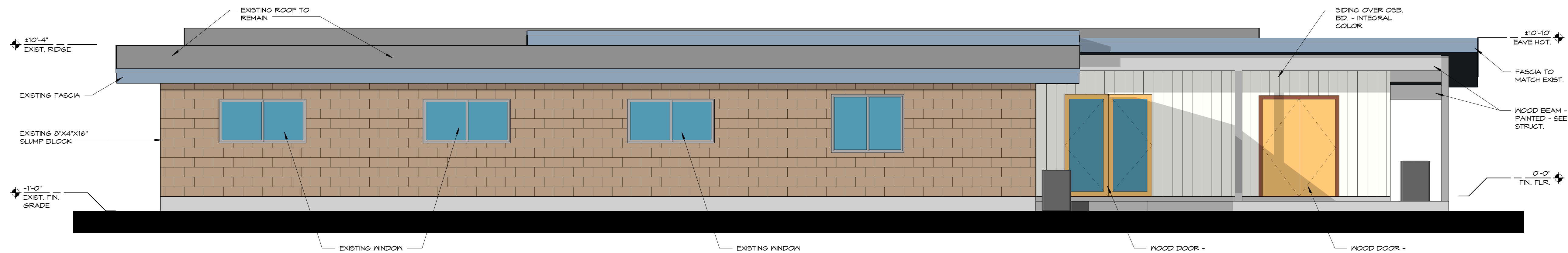


FLOOR PLAN

NOTE: (T) - INDICATES TEMPERED GLASS

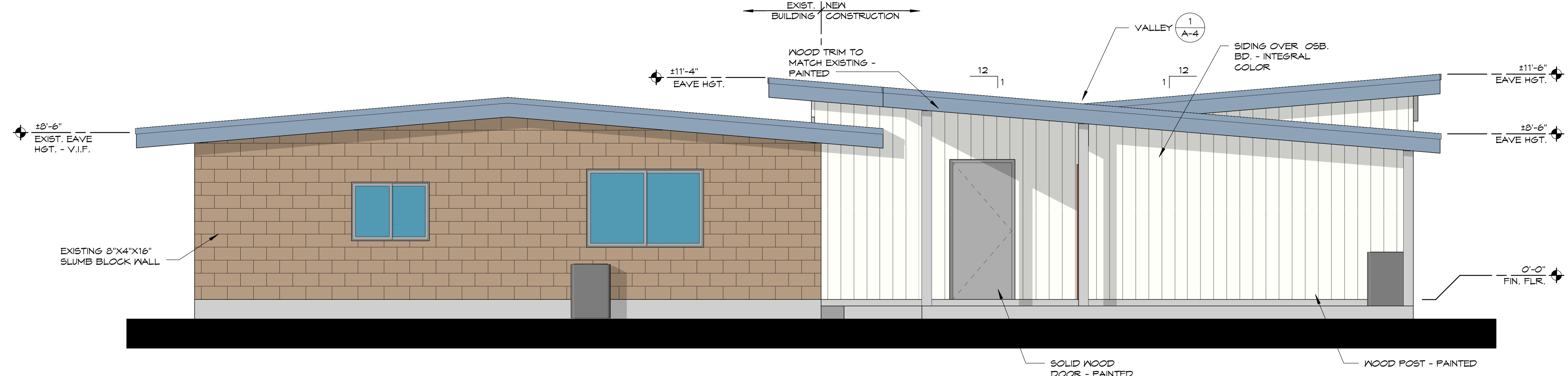


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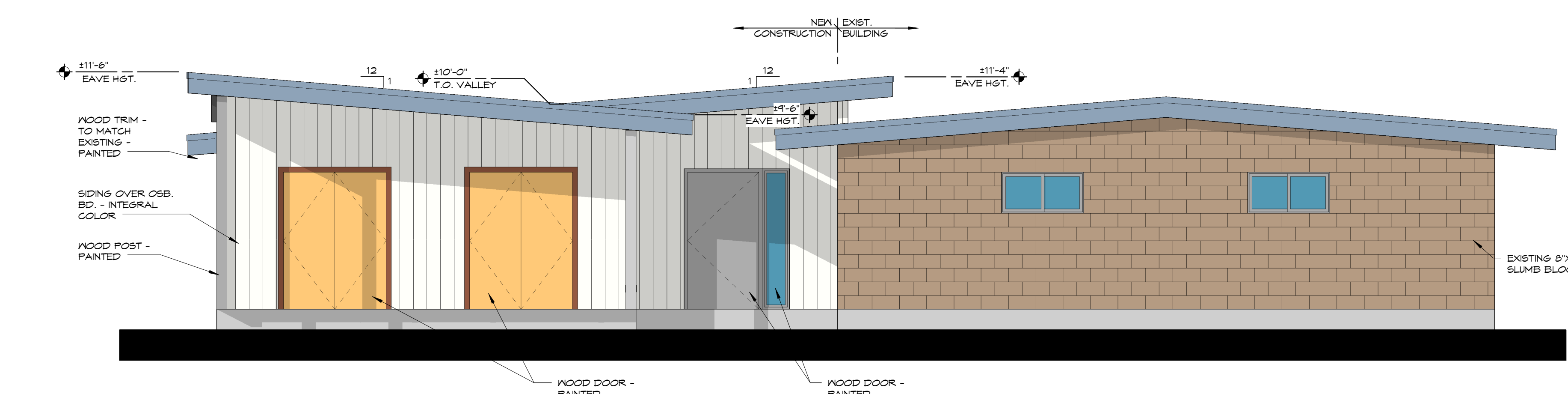
NORTH ELEVATION

1/4" = 1'-0"



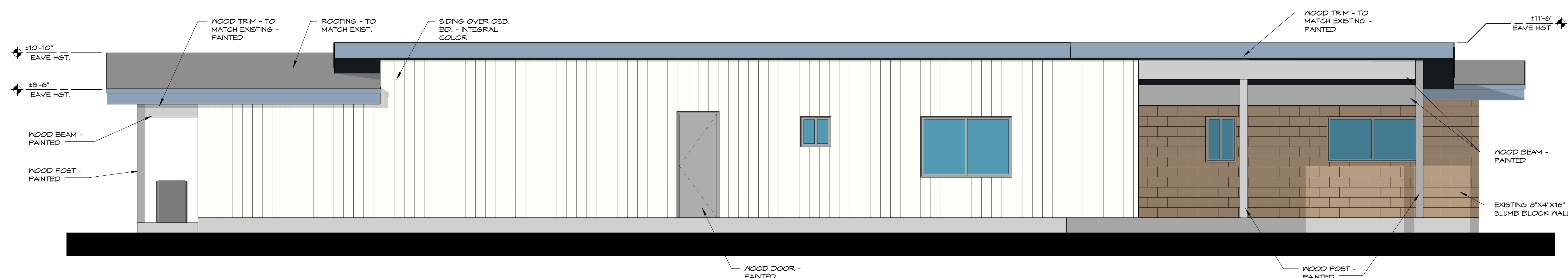
WEST ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

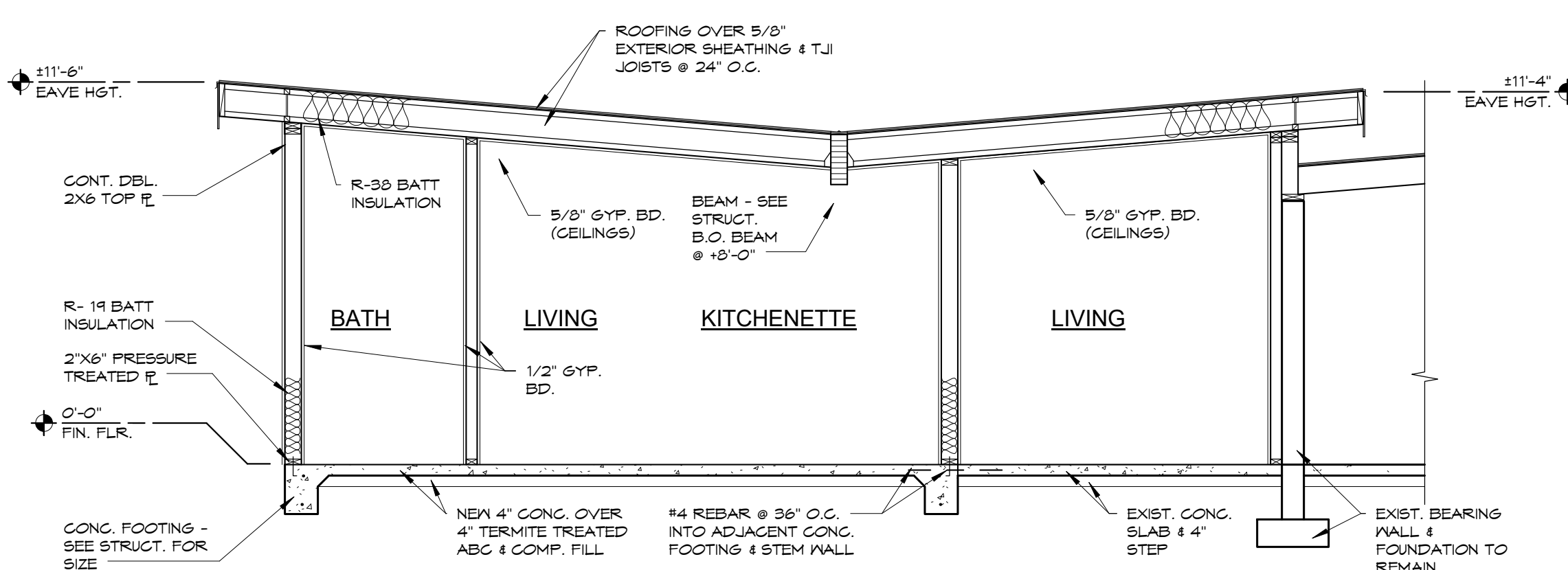


SOUTH ELEVATION

1/4" = 1'-0"

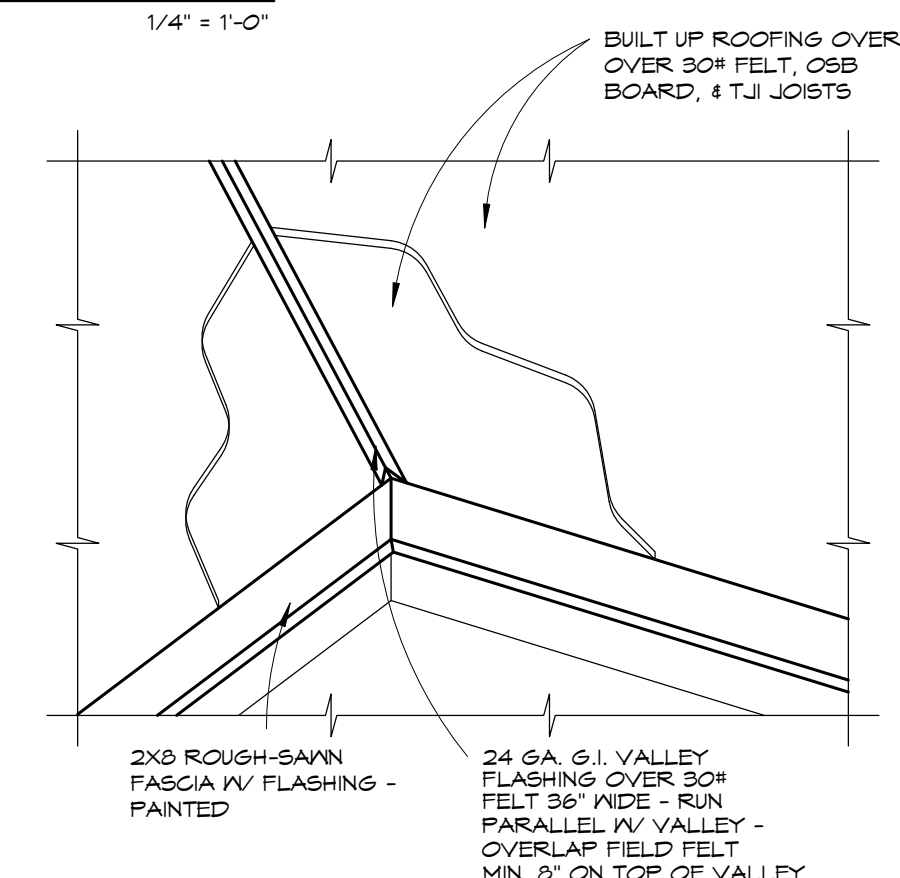


3D ISO



BUILDING SECTION

1/4" = 1'-0"



VALLEY DETAIL

1/4" = 1'-0"

REVISIONS		
No.	Description	Date

ELEVATIONS

PROJECT NUMBER	
DATE	12/18/18
DRAWN BY	JM
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SCALE 1/4" = 1'-0"



SHEET NUMBER 4

A-4