NO.

524 S.BARKLEY, MESA, AZ 85204

AN ADDITION FOR

MALONE RESIDENCE

BLDG. DATA

| OWNER: | JARED & RACHEL MALONE | | |
|---|---------------------------------------|--|--|
| TELEPHONE NUMBER: | (480) 652-2062 | | |
| BUILDING ADDRESS: | 524 S. BARKLEY MESA, ARIZONA 85204 | | |
| BUILDING CODE: | 2012 I.R.C. / I.B.C. | | |
| PARCEL NO: | 139-52-011 | | |
| ZONING: | RS-6 | | |
| OCCUPANCY GROUP: | R-3 | | |
| CONSTRUCTION TYPE: | V-B | | |
| SITE AREA: | 10,054 SQ. FT. = 0.23 ACRES | | |
| BUILDING AREA: EXISTING LIVABLE: — — — 2,030 SQ. FT. AREA OF ADDITION/REMODEL: — 1290 SQ. FT. TOTAL: 3,320 SQ. FT. COV. PORCH: — — — — 59 SQ. FT. | | UNDER ROOF: THE MAXIMUM FLOOR AREA OF AN ACCESSORY DWELLING UNIT SHALL NOT EXCEED 30% OF THE ROOF AREA OF THE PRIMARY UNIT. PER MZO 11-31-3B | |
| NEM CARPORT: — — — | | EXIST. PRIMARY DWELLING - 2,030 SQ. FT. ADD. TO PRIMARY DWELLING - 200 SQ. FT. NEW SHED - 205 SQ. FT. | |
| TOTAL: 4,070 SQ. FT. | | NEW CARPORT & STORAGE - 452 SQ. FT. NEW PATIO - 289 SQ. FT. | |
| LOT COVERAGE: SITE AREA: — — — 10,054 SQ. FT. COVERAGE AREA: — — — 4,070 SQ. FT. | | NEW PORCH - 59 SQ. FT. PRIMARY DWELLING TOTAL - 3,235 SQ. FT. | |
| 4,070 SQ. FT. / 10,054 SQ. FT. = 40.0% | | NEM SECONDARY DWELLING - 835 SQ. FT. 835 SQ. FT. / 3,235 SQ. FT. = 25.8% | |

MATERIALS LEGEND

SALT FINISHED CONCRETE

EXPOSED AGGREGATE CONC.

CONCRETE

CONC. MAS. UNIT

AGG. BASE COURSE

ROUGH CARPENTRY

FINISH CARPENTRY

BATT INSULATION

RIGID INSULATION

FOAM INSULATION

BRICK / MASONRY

GYPSUM WALLBOARD

EARTH

STEEL

ALUMINUM

STEEL STUD

N.I.C. NOT IN CONTRACT

SITE PREPARATION NOTES:

- . STRIP AND REMOVE ALL OBVIOUSLY SOILS, VEGETATION, DEBRIS AND RUBBLE IF ANY FROM THE PAVING AREA. CLEAN AND WIDEN DEPRESSIONS RESULTING FROM TREE REMOVAL TO ACCOMMODATE COMPACTION EQUIPMENT.
- 2. SCARIFY, MOISTEN OR DRY, AS REQUIRED, AND COMPACT ALL EXPOSED SUB GRADE SOILS TO A MINIMUM DEPTH OF 8" OR DEEPER TO DENSIFY ANY SOILS DISTRIBUTED ANY RECENT AGRICULTURAL USE.
- 3. PLACE AND COMPACT REQUIRED FILL IN HORIZONTAL COMPACTED LIFTS TO FINISH SUB GRADE LEVELS. LIFT THICKNESS SHOULD BE CONTINGENT UPON COMPACTION EQUIPMENT USED TO ACHIEVE MINIMUM UNIFORM DENSITIES, ON-SITE SOILS DERIVED FROM SHALLOW EXCAVATIONS, CLEAN AND FREE OF ANY DEBRIS OR VEGETATION WILL BE SUITABLE FOR FILL UNDER PAVEMENT AREAS.

SUB GRADE PREPARATION AND FILL SHOULD BE ACCOMPLISHED UNDER OBSERVATION AND TESTING DIRECTED BY A SOILS ENGINEER. BASE COURSE AND IMPORTED FILL SHOULD MEET THE FOLLOWING SPECIFICATIONS.

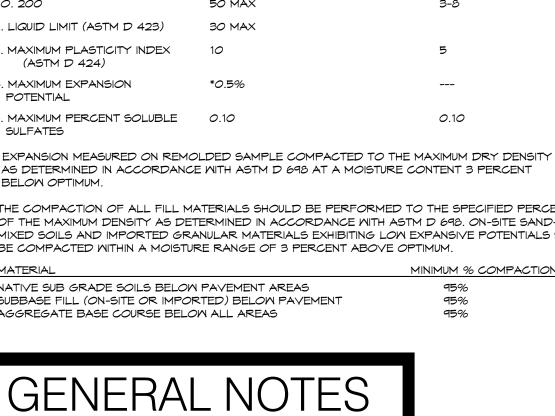
I. GRADATION (ASTM C 136) PERCENT PASSING BY WEIGHT

| | | BBASE FILL ANSIVE P <i>O</i> TENTIALS) | AGGREGATE BASE COURSE |
|------------------------------------|------------|---|--------------------------|
| 1-1/2" | | 100 | |
| 1-1/8" | | | 100 |
| NO. 4 | | 25-1 <i>00</i> | 30-70 |
| NO. 200 | | 50 MAX | 3-8 |
| 2. LIQUID LIMIT (ASTI | M D 423) | 30 MAX | |
| 3. MAXIMUM PLASTIC (ASTM D 424) | CITY INDEX | 10 | 5 |
| 4. MAXIMUM EXPANS POTENTIAL | DION | *0.5% | |
| 5. MAXIMUM PERCEN SULFATES | IT SOLUBLE | 0.10 | 0.10 |

* EXPANSION MEASURED ON REMOLDED SAMPLE COMPACTED TO THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D 698 AT A MOISTURE CONTENT 3 PERCENT

THE COMPACTION OF ALL FILL MATERIALS SHOULD BE PERFORMED TO THE SPECIFIED PERCENT OF THE MAXIMUM DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D 698, ON-SITE SAND-CLAY MIXED SOILS AND IMPORTED GRANULAR MATERIALS EXHIBITING LOW EXPANSIVE POTENTIALS SHOULD BE COMPACTED WITHIN A MOISTURE RANGE OF 3 PERCENT ABOVE OPTIMUM.

NATIVE SUB GRADE SOILS BELOW PAVEMENT AREAS SUBBASE FILL (ON-SITE OR IMPORTED) BELOW PAVEMENT



RESIDENCE APN: 139-52-124

CONTRACTOR SHALL. UNDER HIS CONTRACT PROVIDE FOR AND PAY ALL COSTS ASSOCIATED WITH BUILDING PERMITS, INSPECTION FEES, LOCATION FEES, TAXES AND REVIEW FEES. COST OF OBTAINING PERMITS, FEES & TAXES SHALL BE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL FINISHES THAT ARE DAMAGED DURING THE COURSE OF THIS CONSTRUCTION AT NO ADDITIONAL COST TO THE . CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO

CONTRACTOR SHALL FOLLOW ALL CODES AND REGULATIONS MANDATED BY

FEDERAL, STATE, COUNTY AND CITY AGENCIES. UNDERLYING BUILDING CODES AN

EXISTING LINES DAMAGED DURING THE COURSE OF THIS CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A LOCKED, SECURED JOB SITE AT ALL TIMES DURING THE COURSE OF THIS CONSTRUCTION. ANY VANDALISM OR THEFT DUE TO AN UNLOCKED BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST

BEGINNING CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/ OR REPLACE ALL

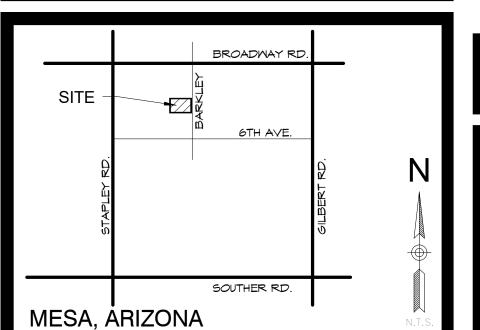
CONTRACTOR SHALL RUN AND MAINTAIN, DURING THE COURSE OF THIS CONSTRUCTION, A SAFE AND SECURE JOB SITE, SECURE OF CROSS TRAFFIC. ALL WASTE MATERIALS SHALL BE DISPOSED OF IN A PROPERLY LICENSED

> THE CONTRACTOR IS TO COMPLY WITH AND SUBJECT TO ALL PARTS OF THESE DOCUMENTS AND ALL CONDITIONS OF THE AIA DOCUMENT A 201, GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION, 1997 EDITION, FOR THIS

| NOTE: EXCAVATED DIRT IS NOT TO BE EXPORTED OFF SITE. IF ANY EXPORT- OWNER WILL DESIGNATE SPOIL AREA |
|--|
| NOTE: SLOPE BERMS AWAY FROM BUILDING ALL SIDES TYP. |
| EXISTING UNDERGROUND |

AND OVERHEAD ELECTRICAL (V.I.F.) EXISTING TELEPHONE SERVICE (V.I.F.)

VICINITY MAP



SHEET INDEX

| A-1 | 1 | SITE PLAN |
|------|----|----------------------------|
| A-2 | 2 | DEMOLITION PLAN |
| A-3 | თ | FLOOR PLAN |
| A-4 | 4 | ELEVATIONS |
| 5-1 | 5 | GENERAL STRUCTURAL NOTES |
| 5-2 | 6 | FOUNDATION PLAN & DETAILS |
| 5-3 | 7 | FRAMING PLAN & DETAILS |
| 5-4 | ව | FRAMING DETAILS |
| MP-1 | 9 | MECHANICAL / PLUMBING PLAN |
| E-1 | 10 | ELECTRICAL PLAN |
| | | |
| | | |
| | | |

SITE PLAN 1" = 10'-0"

EXISTING RESIDENCE APN: 139-52-010

- EXISTING CMU WALL

AREA OF REMODEL

FIN. FLR. = 0'-0"

EXISTING

APN: 139-52-012E

EXISTING RESIDENCE

SLOPE TO DRAIN

<u>CARPORT</u>

NEW 4" CONC. SLAB OVER 4"

ABC. & COMP FILL

23' - 6"

- NEW CONC. WALK $\frac{1}{A-1}$

2,030 SQ. FT.

FIN. FLR. = +100.00'

TO EXIST. RESIDENCE

UNDERGROUND FLOOD

IRRIGATION PIPE

TO NEW PATIO STRUCTURE

EXIST. POWER POLE

28' - 3".

- EXISTING CMU WALL

EXIST. 200 AMP SES - TO BE REMORKED!

NEW COV PATIO

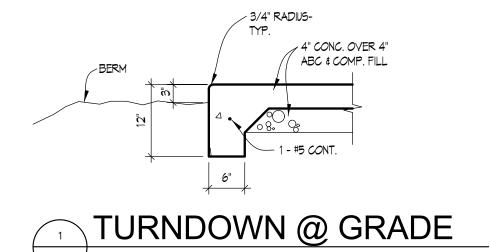
AREA OF ADDITION

416 SQ. FT.

MOVED

APN: 139-52-011

| SITE PLAN |
|----------------|
| SHEPLAN |
| |
| |
| PROJECT NUMBER |
| DATE 12/18 |
| DRAWN BY |
| |
| CHECKED BY |



EXIST. WATER

METER -

TO NEW CARPORT SUPPORT

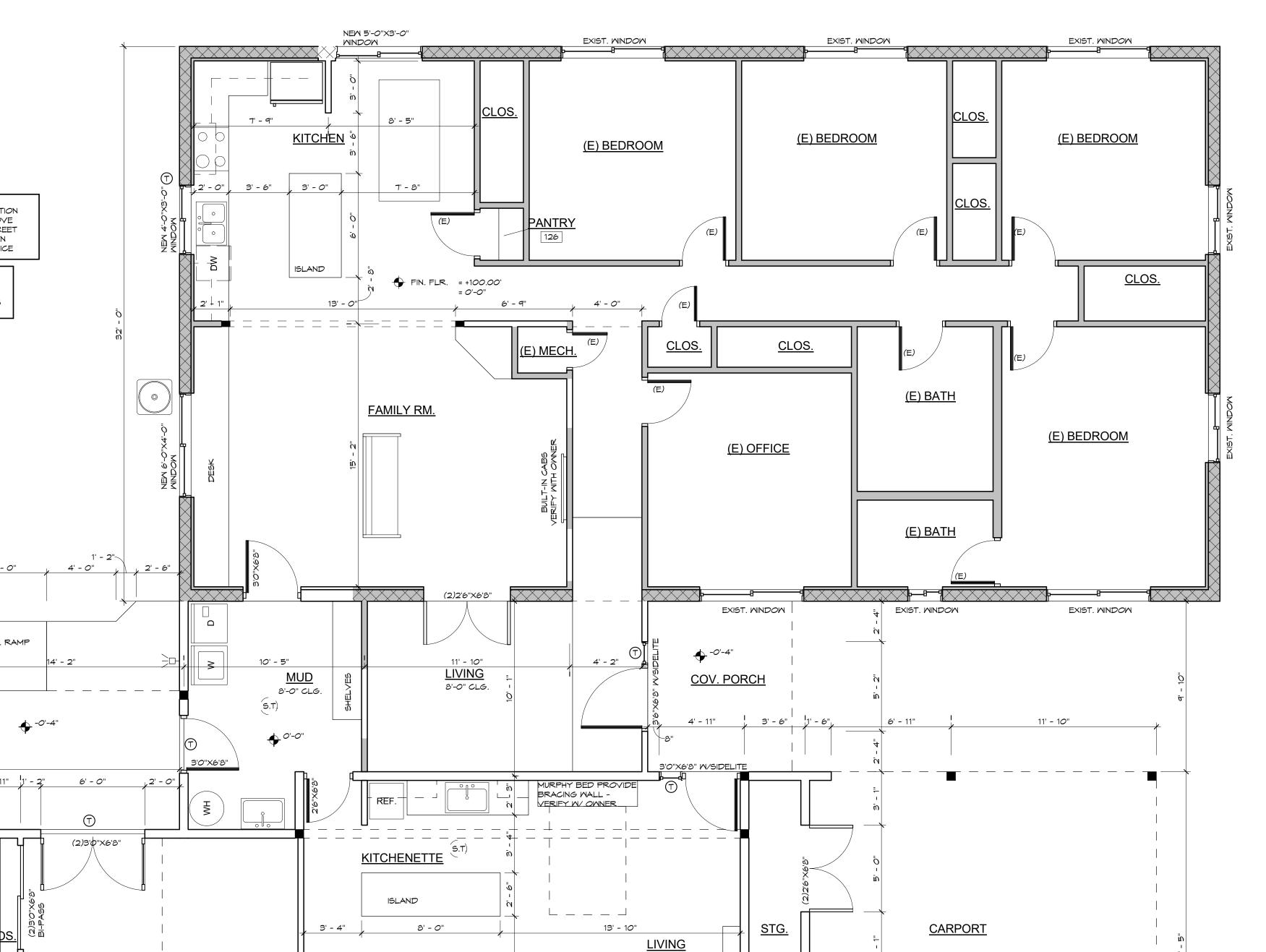
34' - 1".

EXIST. CONC. DRIVE -

REVISIONS

Description

SHEET NUMBER 1



WALL LEGEND:

- INDICATES EXISTING 8"X4"X16" SLUMP BLOCK WALLS

- INDICATES EXISTING STUD WALLS

- INDICATES NEW 8"X4"X16" SLUMP BLOCK WALL - INDICATES NEW 2X4 OR 2X6 STUD

TYPICAL CONSTRUCTION NOTES:

EXTERIOR MALL:

2X6 MOOD STUDS @ 16" O.C. (D.F.#2) EXTERIOR-SIDING OVER \$ 3/8" OSB -INTERIOR- 1/2" GWB SCREWED, R-19 BATT INSUL.

PERPINDICULAR TO JOISTS

PARTITION

2X4 STUDS @ 16" O.C.- U.N.O., (D.F. #2) 1/2" GMB SCREMED, PARTITION WALLS:

SOUND BATT INSUL. ALL WALLS.

INTERIOR BEARING WALLS: 2X6 STUDS @ 16" O.C. - INSULATE ALL INTERIOR WALLS

CEILINGS:

MINDOMS:

5/8" GMB SCREWED- U.N.O., CEILINGS RECEIVE FULL THICK FIBERGLASS BATT INSULATION - R-38

DUAL PANE INSULATED MINDOMS, W/ MOOD AND ALUM. FRAME COLOR CHOICE AND TYPE BY OWNER-MINDOMS TO HAVE TINTED SCREENS- TYP.

GENERAL FLOOR PLAN NOTES:

ALL FIXTURES, CABINETS, SHELVING, AND COLORS TO BE SELECTED BY OWNER. 1. ALL INTERIOR GYPSUM WALLBOARD (GWB) TO BE 1/2" (WALL) & 5/8" (CEILING) THICK

- SCREW ATTACHED (U.N.O.). FRAMING TO BE MAX. 16" SPACING- U.N.O. SCREWS TO BE 12" O.C. HORIZ. AND VERT. SCREMS SHALL COMPLY WITH IRC TABLE R702.3.5 AND BE LONG ENOUGH TO PENETRATE WOOD FRAMING NOT LESS THAN 5/8"
- 2. SAFETY GLASS SHALL CONFORM TO IMPACT AND ENVIRONMENTAL TEST REQUIREMENTS OF CONSUMER PRODUCT SAFETY ACT TITLE 16, COMMERCIAL PRACTICES, CHAPTER 11, PART 1201 SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS. ALL GLASS IN OR ADJACENT TO TUB AND SHOWER ENCLOSURES INCLUDING DOORS AND WINDOWS SHALL BE TEMPERED.
- 3. PROVIDE BACKING AND BLOCKING TO RECEIVE BUILT-IN CASE WORK AND WALL-HUNG CABINETS, FIXTURES AND MIRRORS, HARDWARE AND ACCESSORIES.
- 4. ALL GYPSUM WALLBOARD (GWB) IN BATHROOMS & LAUNDRY ROOMS TO BE WATER
- 5. PROVIDE FULL THICKNESS FIBER GLASS SOUND BATTS AT ALL WALLS SEPARATING BATHROOMS, MECHANICAL ROOMS AND UTILITY ROOMS FROM ADJACENT LIVING AND SLEEPING AREAS.
- 6. PROVIDE VENTING AS REQUIRED BY MANUFACTURER FOR ALL APPLIANCES AND EQUIPMENT. ALL PLUMBING, EXHAUST AND MAKE-UP AIR TYPE VENTING TO BE LOCATED SO ROOF PENETRATIONS ARE NOT VISIBLE FROM THE STREET FRONTAGE. VERIFY SIZE AND ALL MECHANICAL AND ELECTRICAL CONNECTIONS REQUIRED FOR INSTALLATION OF OWNER FURNISHED FIXTURES AND EQUIPMENT. GANG VENTS TOGETHER WHENEVER POSSIBLE.

7. COORDINATE SIZE OF ROUGH OPENINGS FOR DOORS AND WINDOWS WITH FRAMING SUBCONTRACTORS TO ALLOW FOR USE OF STANDARD SIZE DOOR AND WINDOW UNITS.

-2 - 8d @ EACH FLAT 2x4 - BOTH SIDES OF BRACE -TYP

2X4 OR 2X6 MOOD STUDS @ 16" O.C.

TYP. INTERIOR NON-BEARING

PARALELL TO JOISTS

NOTE:
TOP OF EXTERIOR FOUNDATION
SHALL BE 12" PLUS 2% ABOVE
THE ELEVATION OF THE STREET
GUTTER OR THE INLET OF AN

APPROVED DRAINAGE DEVICE

ALL EXTERIOR STUD WALLS SHALL BE FULLY SHEATHED W/ 3/8" OSB - PER 602.10.5

CONC. RAMP

COVERED PATIO

14' - 5"

(2)2'6"X6'8"

8'-0" CLG.

11' - 9"

- 8. PROVIDE BLOCK-OUTS IN WALLS TO ACCOMMODATE DUCTWORK AND EQUIPMENT AND MISCELLANEOUS STRUCTURAL HARDWARE.
- 9. CENTER OF WATER CLOSETS TO BE A MINIMUM DISTANCE OF 15" TO VERTICAL SURFACE OF SIDES AND 24" IN FRONT.

10. SMOKE DETECTORS TO BE INTERLOCKED.

GENERAL NOTES:

IN AREA SUBJECT TO DAMAGE FROM TERMITES, METHODS OF PROTECTION SHALL BE ONE OF THE FOLLOWING METHODS OR A COMBINATION OF THESE METHODS:

<u>BEDROOM</u>

16' - 2"

3'0"X6'8"

60' - 8"

MECH

9' - 8"

MINDOM (T)

CERAMIC TILE'

NEW 6'-0"X4'-0"

MINDOM

- 1. CHEMICAL TERMITICIDE TREATMENT, PER IRC SEC. R318.2 2. TERMITE BAITING SYSTEM INSTALLED AND MAINTAINED ACCORDING
- 3. PRESSURE-PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH IRC SEC. R317.1
- 4. NATURALLY DURABLE TERMITE-RESISTANT WOOD.
- 5. PHYSICAL BARRIERS PER SEC. R318.3 & R317.1.

6. COLD-FORMED STEEL FRAMING PER SEC. R505.2.1 & R603.2.1.



-0'-4"

REVISIONS Description

SIDENCE

ONE

ADDITION FOR

FLOOR PLAN

| PROJECT NUMBER | |
|----------------|----------|
| DATE | 12/18/18 |
| DRAWN BY | JM |
| CHECKED BY | |

As indicated

SHEET NUMBER 3

