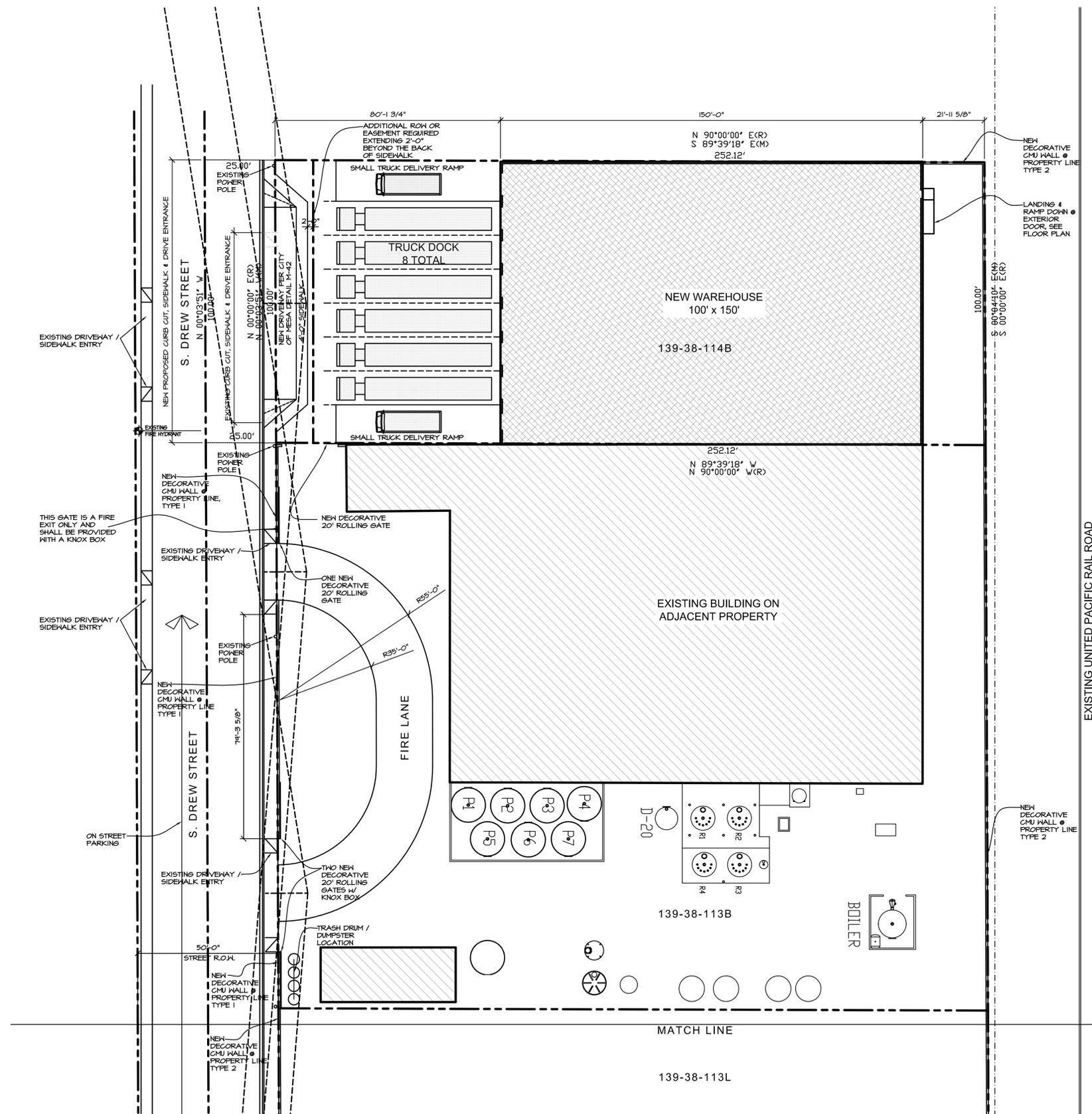
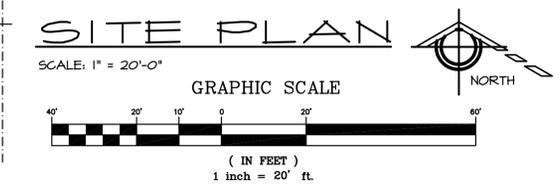


SITE PLAN for SWD URETHANE 539 SOUTH DREW STREET MESA, ARIZONA 85210



PROJECT INFO

OWNER SWD URETHANE 540 SOUTH DREW STREET MESA, ARIZONA 85210 OWNER: STEVE PERKINS OFFICE PHONE: 800-828-1344	ARIZONA BLUE STAKE CALL FOR MORE INFO 811 800-283-1100 1-800-STAKE-IT (OUTSIDE MESA/COA COUNTY)
ARCHITECT JOHN C. MANROSS/ARCHITECT DESIGN PROFESSIONALS, LLC 4542 EAST MCKELLIPS RD., STE. 101 MESA, ARIZONA 85215 PHONE: 480-944-1600 EMAIL: john@cjhllc.com	811 Know what's below. Call before you dig.
SITE & BUILDING INFORMATION	
PROJECT DESCRIPTION:	NEW WAREHOUSE & TRUCK DOCK FOR SWD URETHANE
PLANNING & ZONING CASE:	ZON18-00847
DESIGN REVIEW CASE:	DR18-00424
BOARD OF ADJUSTMENT CASE:	BOA18-00454
ZONING:	G1 - GENERAL INDUSTRIAL
SITE ADDRESS:	539 SOUTH DREW STREET MESA, AZ 85210
LEGAL DESCRIPTION:	NEED NEW LEGAL AFTER LOT COMBINATION
ASSESSORS PARCEL #:	NEED NEW PARCEL NUMBER AFTER LOT COMBINATION
ALLOWABLE HEIGHT & AREA	WAREHOUSE - 52 OCCUPANCY - 40'-0" HEIGHT, 3 STORY & 54,000 S.F. 15,000 S.F. < 54,000 S.F. ALLOWED
OCCUPANCY:	WAREHOUSE - 52 OCC.
CONSTRUCTION TYPE:	WB, SPRINKLERED
BUILDING AREA:	52 OCC. - 15,000 S.F. - WAREHOUSE
OCCUPANT LOAD:	WAREHOUSE - 15,000 S.F. / 500 = 30 OCC. TOTAL OCC. - 30 OCCUPANTS
EXITS REQUIRED:	WAREHOUSE - 2 EXITS REQUIRED
EXITS PROVIDED:	WAREHOUSE - 2 EXITS PROVIDED
EXIT TRAVEL DISTANCE:	WAREHOUSE BUILDING - MOST RESTRICTIVE TRAVEL DISTANCE IS 100'-0" PER 2018 IBC SECTION 1006.2.1
BUILDING HEIGHT:	WAREHOUSE - 36'-0"
BUILDING SETBACKS:	FRONT - 15'-0" REQUIRED FRONT SIDES - 0' REQUIRED SIDES REAR - 0' REQUIRED REAR
PARKING REQUIRED:	NEW WAREHOUSE - 15,000 S.F. / 900 = 16.6 SPACES REQUIRED EXISTING INDUSTRIAL - 5,246 S.F. / 600 = 8.7 SPACES REQUIRED EXISTING WAREHOUSE - 15,750 S.F. / 900 = 17.4 SPACES REQUIRED TOTAL PARKING REQUIRED = 42.7 OR 43 SPACES
PARKING PROVIDED:	TOTAL PARKING PROVIDED = 24 SPACES ON ADJ. PROPERTY - 536 S. DREW STREET 15 ON STREET PARKING SPACES 34 SPACES < 43 SPACES REQUIRED - REQUEST FOR REDUCTION IN REQUIRED PARKING
NET SITE AREA:	15,600 S.F. OR 1/3 ACRES
SIGNAGE:	UNDER SEPARATE PERMIT
PLUMBING FIXTURE CALCULATION:	WATER CLOSETS REQUIRED: 1 PER 100 OCC. = 1 MEN & 1 WOMEN LAVS REQUIRED: 1 PER 100 OCC. = 1 MEN & 1 WOMEN SERVICE SINK REQUIRED: 1 EXISTING LOCATED IN EXISTING BUILDING DRINKING FOUNTAIN: NOT REQUIRED CITY OF MESA AMENDMENT < 50 OCC.
PLUMBING FIXTURES PROVIDED:	WATER CLOSETS PROVIDED: MEN - 1 WC & WOMEN - 1 WC LAVS PROVIDED: MEN - 1 LAV & WOMEN 1 LAV SERVICE SINK PROVIDED: 1 DRINKING FOUNTAIN: NOT PROVIDED
NOTE:	STRUCTURE CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH ALL REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 24.



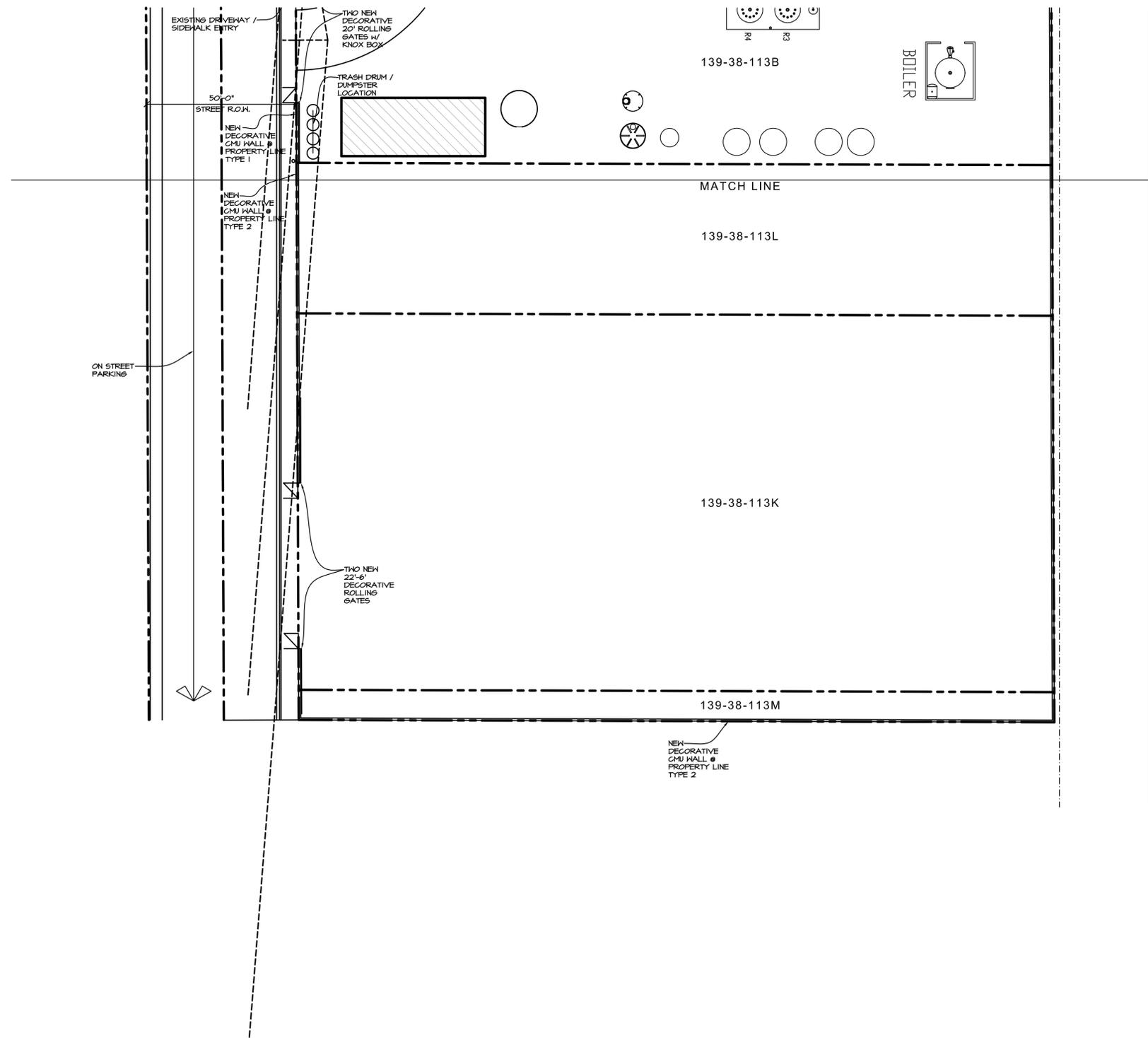
DESIGN PROFESSIONALS, L.L.C.
F-480-894-1680 F-480-894-2529
4542 E. MCKELLIPS RD., STE. 101, MESA, AZ 85215

NEW WAREHOUSE FOR:
SWD URETHANE
539 SOUTH DREW STREET MESA, ARIZONA 85210

SHEET A.I.I.
SITE PLAN
DATE 1-24-19 **DWN. BY** j.m.

PROJECT NO
1803

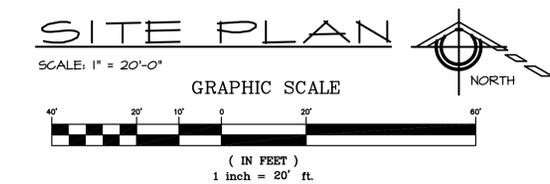
SITE PLAN for SWD URETHANE 539 SOUTH DREW STREET MESA, ARIZONA 85210



VICINITY MAP
SCALE: NONE

PROJECT INFO

OWNER SWD URETHANE 540 SOUTH DREW STREET MESA, ARIZONA 85210 OWNER: STEVE PERKINS OFFICE PHONE: 800-828-1394	ARIZONA BLUE STAKE CALL THE MEASUREMENT SERVICE BEFORE YOU DIG DIAL 811 OR 800-263-1100 1-800-STAKE-IT (OUTSIDE MESA/COA COUNTY)
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ASSESSORS PARCEL #:	NEED NEW PARCEL NUMBER AFTER LOT COMBINATION
ALLOWABLE HEIGHT & AREA 2018 IBC-TABLE 504.3	WAREHOUSE - 52 OCCUPANCY - 40'-0" HEIGHT, 3 STORY & 54,000 S.F. 15,000 S.F. < 54,000 S.F. ALLOWED
OCCUPANCY:	WAREHOUSE - 52 OCC.
CONSTRUCTION TYPE:	VB, SPRINKLERED
BUILDING AREA:	52 OCC. - 15,000 S.F. - WAREHOUSE
OCCUPANT LOAD:	WAREHOUSE - 15,000 S.F. / 500 = 30 OCC. TOTAL OCC. - 30 OCCUPANTS
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PARKING PROVIDED:	TOTAL PARKING PROVIDED = 24 SPACES ON ADJ. PROPERTY - 536 S. DREW STREET 15 ON STREET PARKING SPACES 34 SPACES < 43 SPACES REQUIRED - REQUEST FOR REDUCTION IN REQUIRED PARKING
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NOTE:	STRUCTURE CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH ALL REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 24.



DESIGN PROFESSIONALS, L.L.C.
F-480-894-1680
F-480-894-2529
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NEW WAREHOUSE FOR:
SWD URETHANE
SOUTH DREW STREET, MESA, ARIZONA 85210

SHEET A1.2
SITE PLAN
DATE 1-24-19 DWN. BY jlm

PROJECT NO
1803



ARCHICON
Architecture & Interiors, L.C.

5055 E. WASHINGTON STREET
SUITE 200
PHOENIX, ARIZONA 85034
(602) 222-4266
FAX (602) 279-4305
www.archicon.com

PARKING SUMMARY

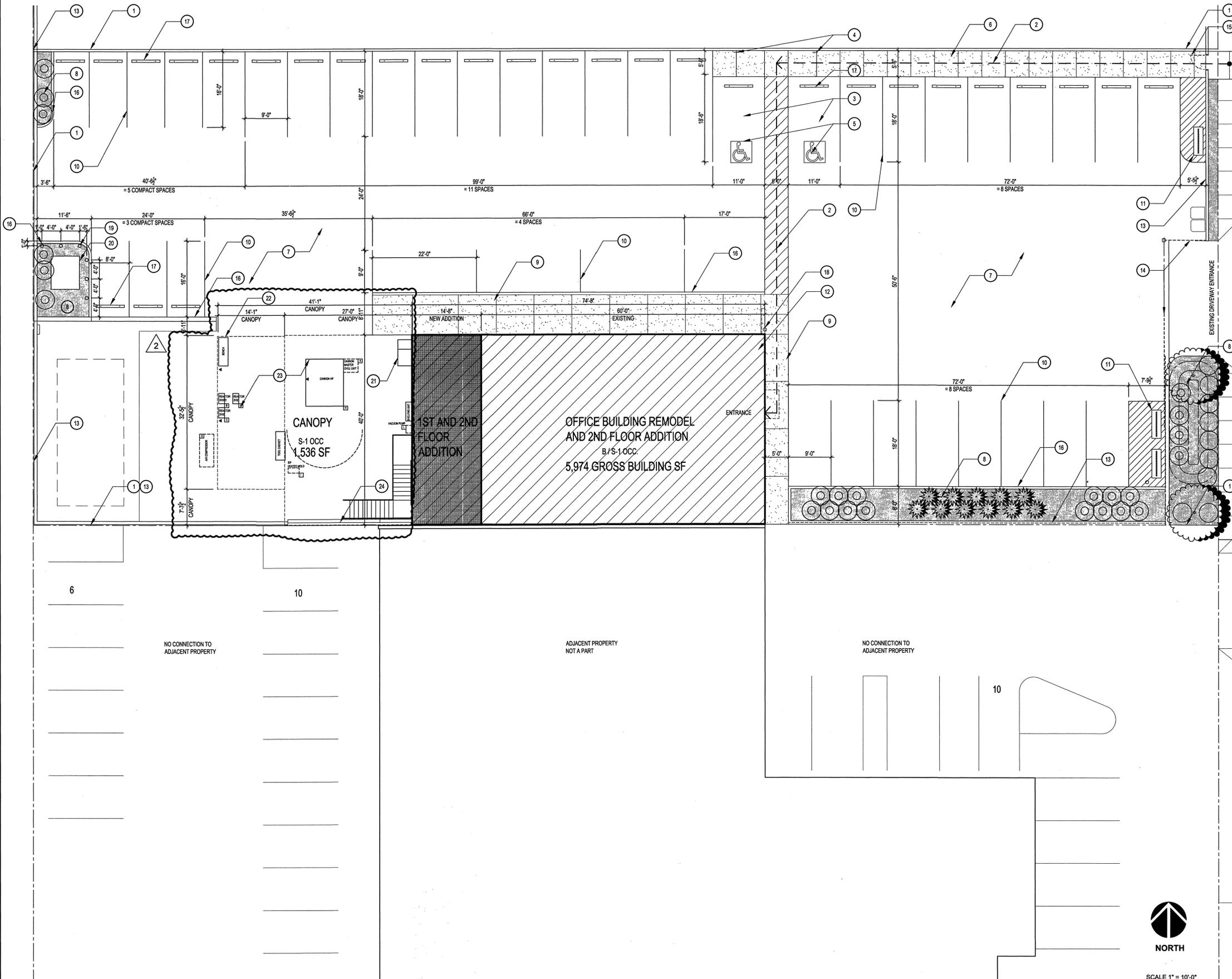
PROPOSED BUILDING AREA	=	6,000 SF
OCCUPANCY	=	B
PARKING REQUIRED 1/375 SF	=	16 SPACES
BICYCLE PARKING REQUIRED	=	3 SPACES
PARKING PROVIDED		
COMPACT PARKING	=	8 SPACES
STANDARD PARKING	=	30 SPACES
ACCESSIBLE PARKING	=	2 SPACES
TOTAL PARKING SPACES	=	40 SPACES
BICYCLE PARKING PROVIDED	=	3 SPACES

*ADDITIONAL PROPOSED PARKING HAS BEEN APPROVED PER CASE # BA 17-011

6 PARKING DATA

1. PROPERTY LINE
 2. ACCESSIBLE ROUTE
 3. TYPICAL ACCESSIBLE PARKING SPACE
 4. TYPICAL ACCESSIBLE PARKING SIGN
 5. TYPICAL ACCESSIBLE SYMBOL
 6. CONCRETE SIDEWALK
 7. ASPHALT PAVING. SEE CIVIL
 8. LANDSCAPE AREA. SEE LANDSCAPE
 9. HARDSCAPE AREA. SEE LANDSCAPE
 10. 4" PAINTED PARKING STRIPE, COLOR WHITE.
 11. BICYCLE PARKING.
 12. FIRE SPRINKLER RISER LOCATION
 13. EXISTING MASONRY BLOCK WALL TO BE PAINTED TO MATCH BUILDING COLOR SCHEME. G.C. TO REMOVE EXISTING BARBED WIRE FROM STREET FRONTAGE AS REQUIRED
 14. EXISTING WROUGHT IRON FENCE/GATE TO BE PAINTED
 15. NEW GATE TO MATCH ADJACENT FENCE/GATE
 16. CONCRETE CURB. SEE CIVIL
 17. PARKING BUMPER TYPICAL. SEE CIVIL
 18. EXISTING BALLARD TO REMAIN.
 19. NEW CONCRETE FILLED PIPE BALLARD.
 20. ELECTRICAL TRANSFORMER. SEE ELECTRICAL DRAWINGS.
 21. ELECTRICAL SERVICE ENTRANCE SECTION. SEE ELECTRICAL.
 22. METAL CANOPY.
 23. EQUIPMENT BY OWNER.
- NEW FIRE RATED BLOCK WALL. SEE DETAIL 19/41.

12 KEYNOTES



NO CONNECTION TO ADJACENT PROPERTY

ADJACENT PROPERTY NOT A PART

NO CONNECTION TO ADJACENT PROPERTY

19 SITE PLAN

PMT17-05253

SWD URETHANE
RENOVATION AND EXPANSION
536 SOUTH DREW STREET
MESA, ARIZONA

PROJECT MGR:	OT
DRAWN BY:	OT
CHECKED BY:	MB
ISSUE DATE:	25 OCT 2017

NO.	REVISION	DATE
1	CITY COMMENTS	1/28/2017
2	CITY COMMENTS	01/24/2018

SHEET TITLE:
SITE PLAN

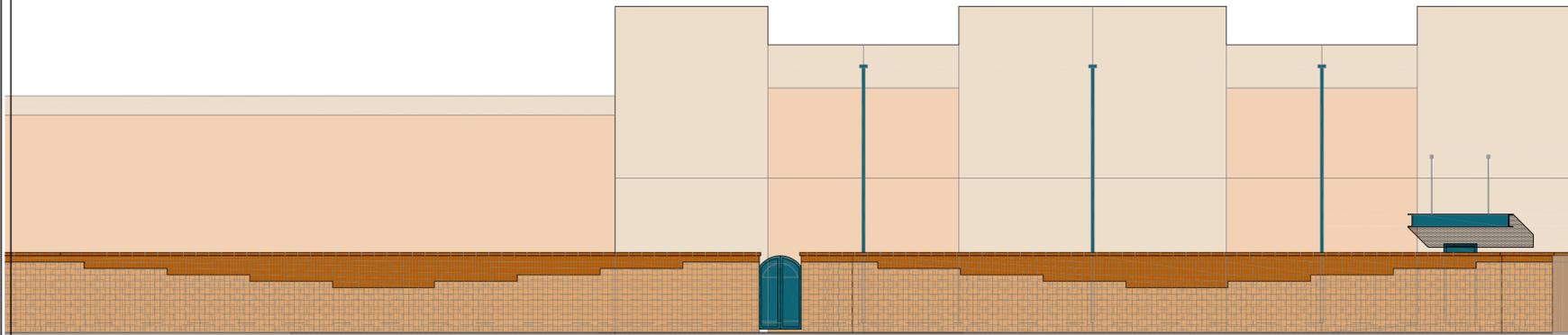


EXPIRES: 12/31/2018

PROJECT NO:
1676645-01

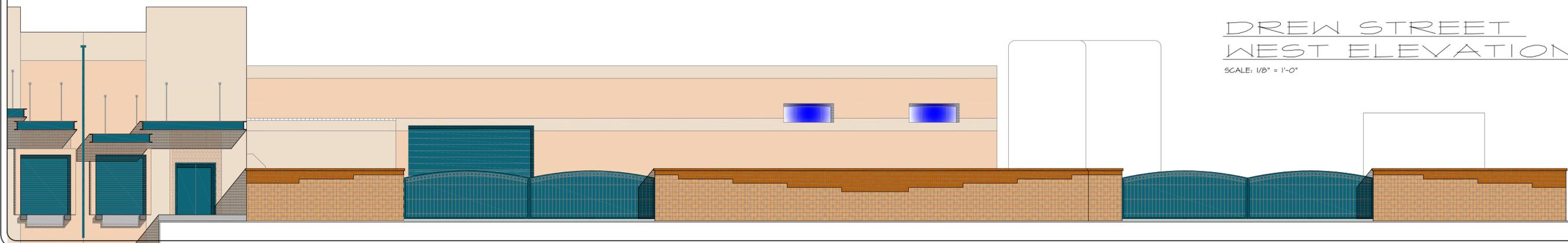
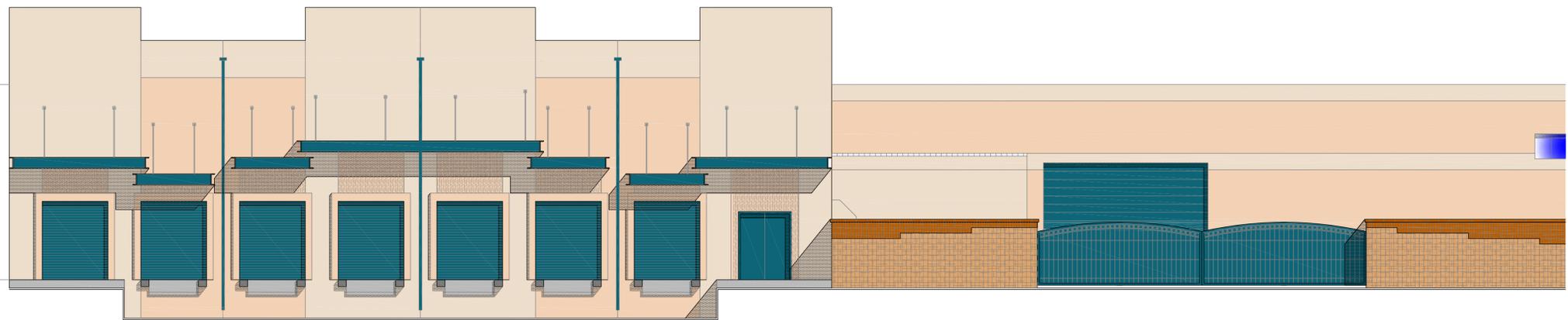
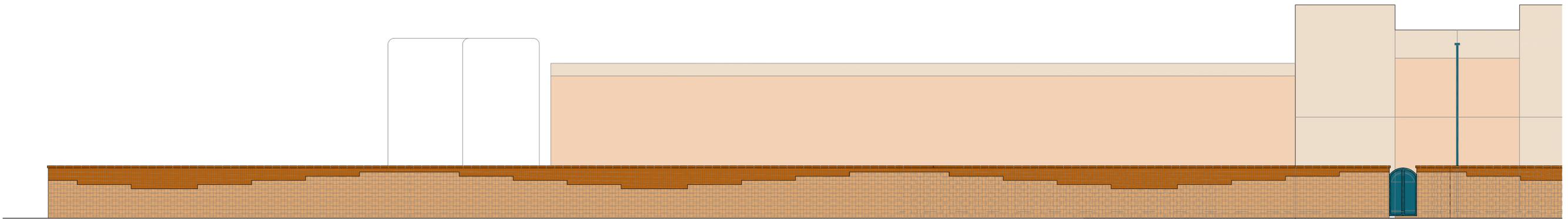
DRAWING NO:

A0.1



CENTER STREET
EAST ELEVATION

SCALE: 1/8" = 1'-0"



DREW STREET
WEST ELEVATION

SCALE: 1/8" = 1'-0"



DESIGN T-480-894-1680 F-480-894-2529
PROFESSIONALS, L.L.C.
4542 E. McKellips Rd., Ste. 101, Mesa, AZ 85215

NEW WAREHOUSE FOR:
SND URETHANE
525 & 539 SOUTH DREW STREET MESA, ARIZONA

SHEET A3 A
EXTERIOR ELEVATIONS
COLOR
DATE 10-24-18 DWN. BY jm

PROJECT NO
1803