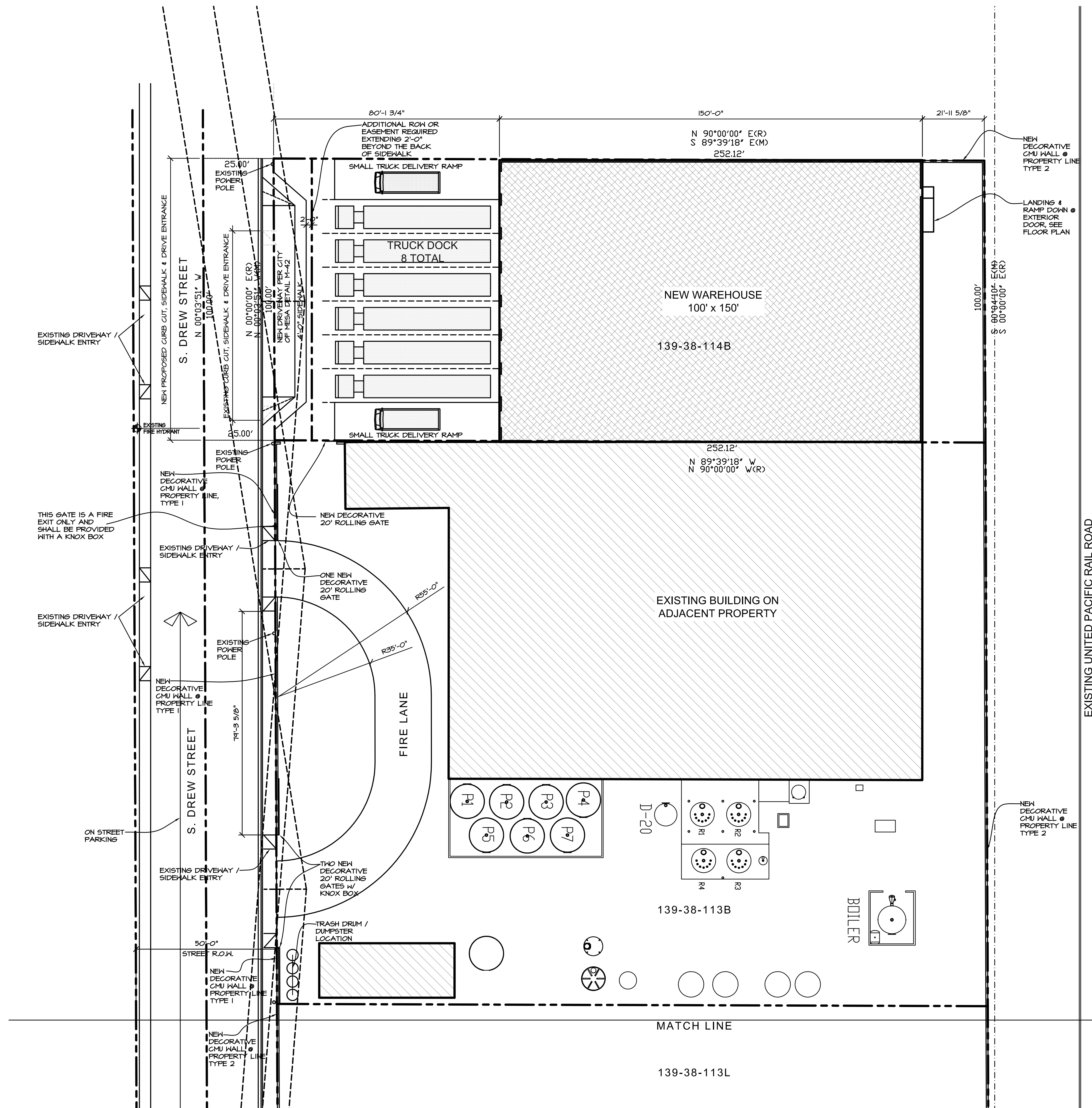


# SITE PLAN for SWD URETHANE 539 SOUTH DREW STREET MESA, ARIZONA 85210



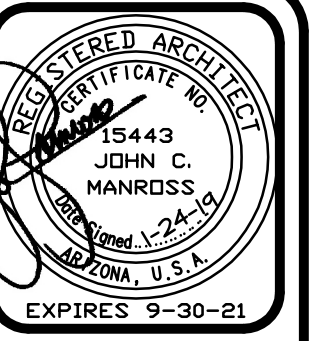
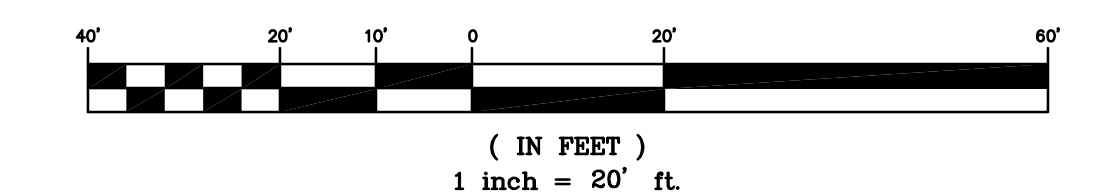
## PROJECT INFO

OWNER SWD URETHANE 540 SOUTH DREW STREET MESA, ARIZONA 85210 OWNER: STEVE PERKINS OFFICE PHONE: 800-828-1344	ARCHITECT JOHN C. MANROSS/ARCHITECT DESIGN PROFESSIONALS, LLC 4542 EAST MCKELLIPS RD., STE. 101 MESA, ARIZONA 85215 PHONE: 480-244-1600 EMAIL: john@cchlc.com	ARIZONA BLUE STAKE CALL THE MEASUREMENT BEFORE YOU DIG 811 811 811 800-263-1100 1-800-STAKE-IT (OUTSIDE MARICOPA COUNTY)
SITE & BUILDING INFORMATION		
PROJECT DESCRIPTION:	NEW WAREHOUSE & TRUCK DOCK FOR SWD URETHANE	
PLANNING & ZONING CASE:	ZON18-00847	
DESIGN REVIEW CASE:	DRB18-00424	
BOARD OF ADJUSTMENT CASE:	BOA18-00454	
ZONING:	G1 - GENERAL INDUSTRIAL	
SITE ADDRESS:	539 SOUTH DREW STREET MESA, AZ 85210	
LEGAL DESCRIPTION:	NEED NEW LEGAL AFTER LOT COMBINATION	
ASSESSORS PARCEL #:	NEED NEW PARCEL NUMBER AFTER LOT COMBINATION	
ALLOWABLE HEIGHT & AREA 2018 IBC-TABLE 504.3	WAREHOUSE - 52 OCCUPANCY - 40'-0" HEIGHT, 3 STORY & 54,000 S.F. 15,000 S.F. < 54,000 S.F. ALLOWED	
OCCUPANCY:	WAREHOUSE - 52 OCC.	
CONSTRUCTION TYPE:	VB, SPRINKLERED	
BUILDING AREA:	52 OCC. - 15,000 S.F. - WAREHOUSE	
OCCUPANT LOAD:	WAREHOUSE - 15,000 S.F. / 500 = 30 OCC. TOTAL OCC. - 30 OCCUPANTS	
EXITS REQUIRED:	WAREHOUSE - 2 EXITS REQUIRED	
EXITS PROVIDED:	WAREHOUSE - 2 EXITS PROVIDED	
EXIT TRAVEL DISTANCE:	WAREHOUSE BUILDING - MOST RESTRICTIVE TRAVEL DISTANCE IS 100'-0" PER 2018 IBC SECTION 1006.2.1	
BUILDING HEIGHT:	WAREHOUSE - 36'-0"	
BUILDING SETBACKS:	FRONT - 15'-0" REQUIRED FRONT SIDES - 0' REQUIRED SIDES REAR - 0' REQUIRED REAR	
PARKING REQUIRED:	NEW WAREHOUSE - 15,000 S.F. / 900 = 16.6 SPACES REQUIRED EXISTING INDUSTRIAL - 5,246 S.F. / 600 = 8.7 SPACES REQUIRED EXISTING WAREHOUSE - 15,780 S.F. / 900 = 17.4 SPACES REQUIRED TOTAL PARKING REQUIRED = 42.7 OR 43 SPACES	
PARKING PROVIDED:	TOTAL PARKING PROVIDED = 24 SPACES ON ADJ. PROPERTY - 536 S. DREW STREET 15 ON STREET PARKING SPACES 34 SPACES < 43 SPACES REQUIRED - REQUEST FOR REDUCTION IN REQUIRED PARKING	
NET SITE AREA:	15,600 S.F. OR 1.78 ACRES	
SIGNAGE:	UNDER SEPARATE PERMIT	
PLUMBING FIXTURE CALCULATION:	WATER CLOSETS REQUIRED: 1 PER 100 OCC. = 1 MEN & 1 WOMEN LAVS REQUIRED: 1 PER 100 OCC. = 1 MEN & 1 WOMEN SERVICE SINK REQUIRED: 1 EXISTING LOCATED IN EXISTING BUILDING DRINKING FOUNTAIN: NOT REQUIRED CITY OF MESA AMENDMENT < 50 OCC.	
PLUMBING FIXTURES PROVIDED:	WATER CLOSETS PROVIDED: MEN - 1 WC & WOMEN - 1 WC LAVS PROVIDED: MEN - 1 LAV & WOMEN - 1 LAV SERVICE SINK PROVIDED: 1 DRINKING FOUNTAIN: NOT PROVIDED	
NOTE:	STRUCTURE CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH ALL REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 24.	

## SITE PLAN

SCALE: 1" = 20'-0"

GRAPHIC SCALE



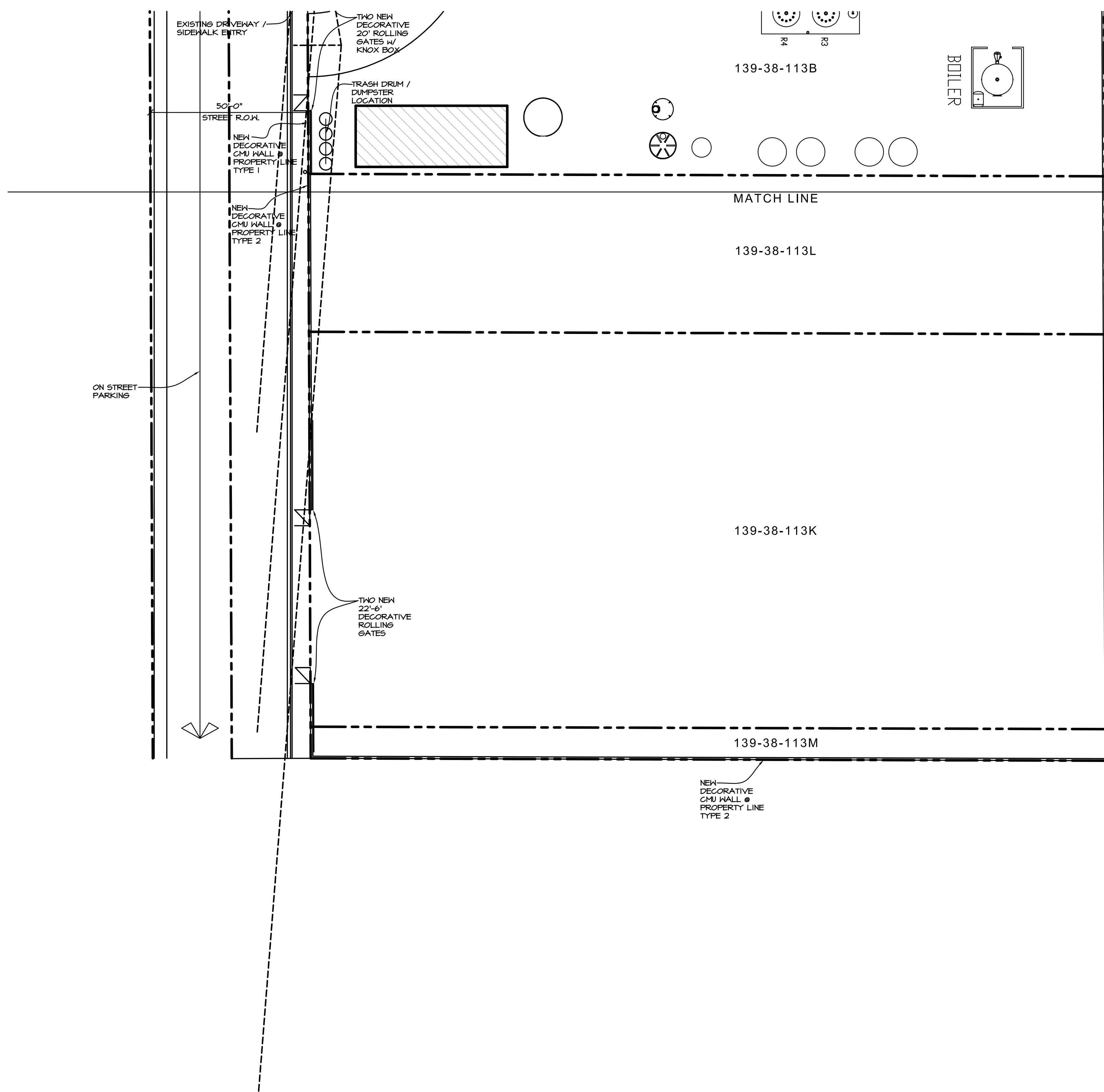
DESIGN T-480-894-1680 F-480-894-2529  
PROFESSIONALS, L.L.C.  
4542 E. MCKELLIPS RD., STE. 101, MESA, AZ 85215

NEW WAREHOUSE FOR:  
SWD URETHANE  
539 SOUTH DREW STREET MESA, ARIZONA 85210

SHEET A.I.  
SITE PLAN  
DATE 1-24-19 DWN. BY Jm

PROJECT NO  
1803

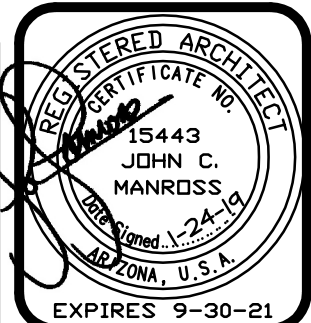
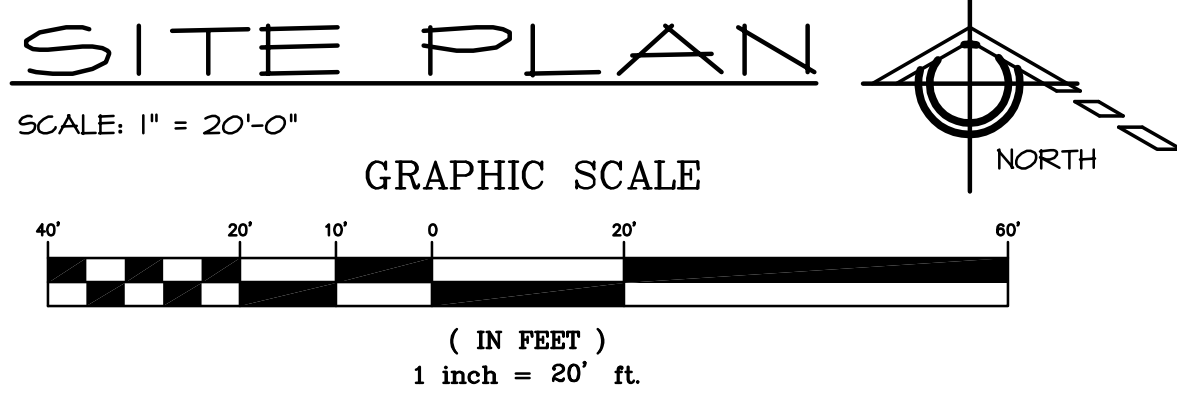
SITE PLAN for SWD URETHANE  
539 SOUTH DREW STREET  
MESA, ARIZONA 85210



VICINITY MAP  
SCALE: NONE  
NORTH

PROJECT INFO

<b>OWNER</b> SWD URETHANE 540 SOUTH DREW STREET MESA, ARIZONA 85210 OWNER: STEVE PERKINS OFFICE PHONE: 800-828-1344		<b>ARCHITECT</b> JOHN C. MANROSS/ARCHITECT DESIGN PROFESSIONALS, LLC 4542 EAST MCKELLIPS RD., STE. 101 MESA, ARIZONA 85215 PHONE: 480-944-1680 EMAIL: john@cchlc.com	
<b>SITE &amp; BUILDING INFORMATION</b>		<b>PROJECT DESCRIPTION:</b> NEW WAREHOUSE & TRUCK DOCK FOR SWD URETHANE	
<b>PLANNING &amp; ZONING CASE:</b>		ZONING: G1 - GENERAL INDUSTRIAL	
<b>DESIGN REVIEW CASE:</b>		SITE ADDRESS: 539 SOUTH DREW STREET MESA, AZ 85210	
<b>BOARD OF ADJUSTMENT CASE:</b>		<b>LEGAL DESCRIPTION:</b> NEED NEW LEGAL AFTER LOT COMBINATION	
<b>ASSESSORS PARCEL #:</b>		<b>NEED NEW PARCEL NUMBER AFTER LOT COMBINATION</b>	
<b>ALLOWABLE HEIGHT &amp; AREA</b> 2018 IBC-TABLE 504.3		WAREHOUSE - 52 OCCUPANCY - 40'-0" HEIGHT, 3 STORY & 54,000 S.F. 15,000 S.F. < 54,000 S.F. ALLOWED	
<b>OCCUPANCY:</b>		WAREHOUSE - 52 OCC.	
<b>CONSTRUCTION TYPE:</b>		VB, SPRINKLERED	
<b>BUILDING AREA:</b>		52 OCC. - 15,000 S.F. - WAREHOUSE	
<b>OCCUPANT LOAD:</b>		WAREHOUSE - 15,000 S.F. / 500 = 30 OCC. TOTAL OCC. - 30 OCCUPANTS	
<b>EXITS REQUIRED:</b>		WAREHOUSE - 2 EXITS REQUIRED	
<b>EXITS PROVIDED:</b>		WAREHOUSE - 2 EXITS PROVIDED	
<b>EXIT TRAVEL DISTANCE:</b>		WAREHOUSE BUILDING - MOST RESTRICTIVE TRAVEL DISTANCE IS 100'-0" PER 2018 IBC SECTION 1006.2.1	
<b>BUILDING HEIGHT:</b>		WAREHOUSE - 36'-0"	
<b>BUILDING SETBACKS:</b>		FRONT - 15'-0" REQUIRED FRONT SIDES - 0' REQUIRED SIDES REAR - 0' REQUIRED REAR	
<b>PARKING REQUIRED:</b>		NEW WAREHOUSE - 15,000 S.F. / 900 = 16.6 SPACES REQUIRED EXISTING INDUSTRIAL - 5,246 S.F. / 600 = 8.7 SPACES REQUIRED EXISTING WAREHOUSE - 15,780 S.F. / 900 = 17.4 SPACES REQUIRED TOTAL PARKING REQUIRED = 42.7 OR 43 SPACES	
<b>PARKING PROVIDED:</b>		TOTAL PARKING PROVIDED = 24 SPACES ON ADJ. PROPERTY - 536 S. DREW STREET 15 ON STREET PARKING SPACES 34 SPACES < 43 SPACES REQUIRED - REQUEST FOR REDUCTION IN REQUIRED PARKING	
<b>NET SITE AREA:</b>		15,600 S.F. OR 1.73 ACRES	
<b>SIGNAGE:</b>		UNDER SEPARATE PERMIT	
<b>PLUMBING FIXTURE CALCULATION:</b>		WATER CLOSETS REQUIRED: 1 PER 100 OCC. = 1 MEN & 1 WOMEN LAVS REQUIRED: 1 PER 100 OCC. = 1 MEN & 1 WOMEN SERVICE SINK REQUIRED: 1 EXISTING LOCATED IN EXISTING BUILDING DRINKING FOUNTAIN: NOT REQUIRED CITY OF MESA AMENDMENT < 50 OCC.	
<b>PLUMBING FIXTURES PROVIDED:</b>		WATER CLOSETS PROVIDED: MEN - 1 WC & WOMEN - 1 WC LAVS PROVIDED: MEN - 1 LAV & WOMEN - 1 LAV SERVICE SINK PROVIDED: 1 DRINKING FOUNTAIN: NOT PROVIDED	
<b>NOTE:</b>		STRUCTURE CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH ALL REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 24.	

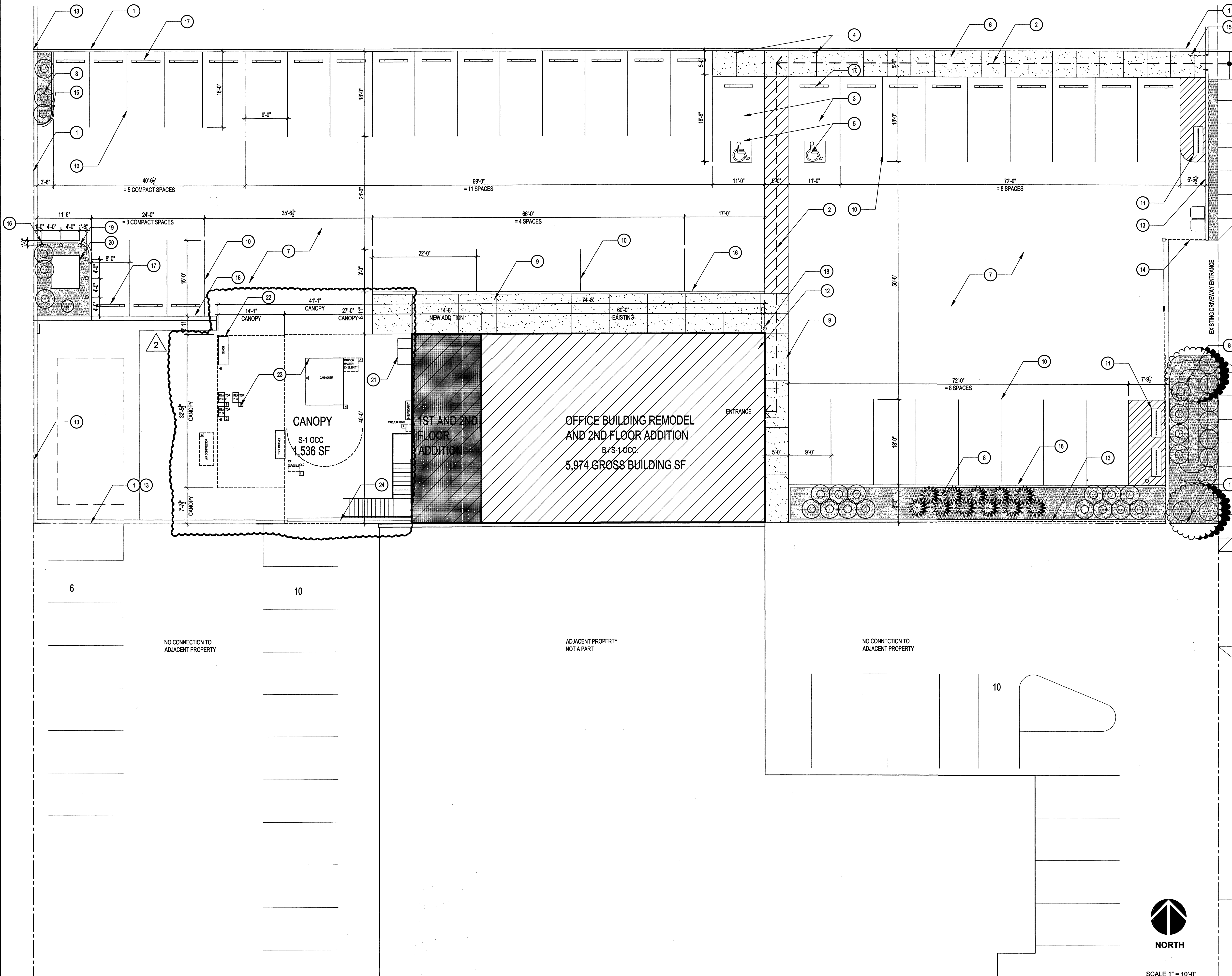


DESIGN T-480-894-1680 F-480-894-2529  
PROFESSIONALS, L.L.C.  
4542 E. MCKELLIPS RD., STE. 101, MESA, AZ 85215

NEW WAREHOUSE FOR:  
SWD URETHANE  
SOUTH DREW STREET MESA, ARIZONA 85210

SHEET A1.2  
SITE PLAN  
DATE 1-24-19 DWN. BY j.m.

PROJECT NO  
1803



**PARKING SUMMARY**

PROPOSED BUILDING AREA	=	6,000 SF
OCCUPANCY	=	B
PARKING REQUIRED 1/375 SF	=	16 SPACES
BICYCLE PARKING REQUIRED	=	3 SPACES
PARKING PROVIDED	=	8 SPACES
COMPACT PARKING	=	30 SPACES
STANDARD PARKING	=	2 SPACES
ACCESSIBLE PARKING	=	40 SPACES
TOTAL PARKING SPACES	=	3 SPACES
BICYCLE PARKING PROVIDED	=	3 SPACES

\*ADDITIONAL PROPOSED PARKING HAS BEEN APPROVED PER CASE # BA 17-011

- 6 PARKING DATA**
1. PROPERTY LINE
  2. ACCESSIBLE ROUTE
  3. TYPICAL ACCESSIBLE PARKING SPACE
  4. TYPICAL ACCESSIBLE PARKING SIGN
  5. TYPICAL ACCESSIBLE SYMBOL
  6. CONCRETE SIDEWALK
  7. ASPHALT PAVING, SEE CIVIL
  8. LANDSCAPE AREA, SEE LANDSCAPE
  9. HARDSCAPE AREA, SEE LANDSCAPE
  10. 4" PAINTED PARKING STRIPE, COLOR WHITE
  11. BICYCLE PARKING
  12. FIRE SPRINKLER RISER LOCATION
  13. EXISTING MASONRY BLOCK WALL TO BE PAINTED TO MATCH BUILDING COLOR SCHEME, G.C. TO REMOVE EXISTING BARBED WIRE FROM STREET FRONTAGE AS REQUIRED
  14. EXISTING WROUGHT IRON FENCE/GATE TO BE PAINTED
  15. NEW GATE TO MATCH ADJACENT FENCE/GATE
  16. CONCRETE CURB, SEE CIVIL
  17. PARKING BUMPER TYPICAL, SEE CIVIL
  18. EXISTING BALLARD TO REMAIN
  19. NEW CONCRETE FILLED PIPE BALLARD
  20. ELECTRICAL TRANSFORMER, SEE ELECTRICAL DRAWINGS
  21. ELECTRICAL SERVICE ENTRANCE SECTION, SEE ELECTRICAL
  22. METAL CANOPY
  23. EQUIPMENT BY OWNER
  - NEW FIRE RATED BLOCK WALL, SEE DETAIL 19/A4.1

**12 KEYNOTES**

NO.	REVISION	DATE
1	CITY COMMENTS	1/28/2017
2	CITY COMMENTS	01/25/2018

**19 SITE PLAN**

PMT17-05253

**ARCHICON**  
Architecture & Interiors, L.C.  
5055 E. WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
www.archicon.com

**SWD URETHANE**  
RENOVATION AND EXPANSION  
536 SOUTH DREW STREET  
MESA, ARIZONA

PROJECT MGR: OT  
DRAWN BY: OT  
CHECKED BY: MB  
ISSUE DATE: 25 OCT 2017

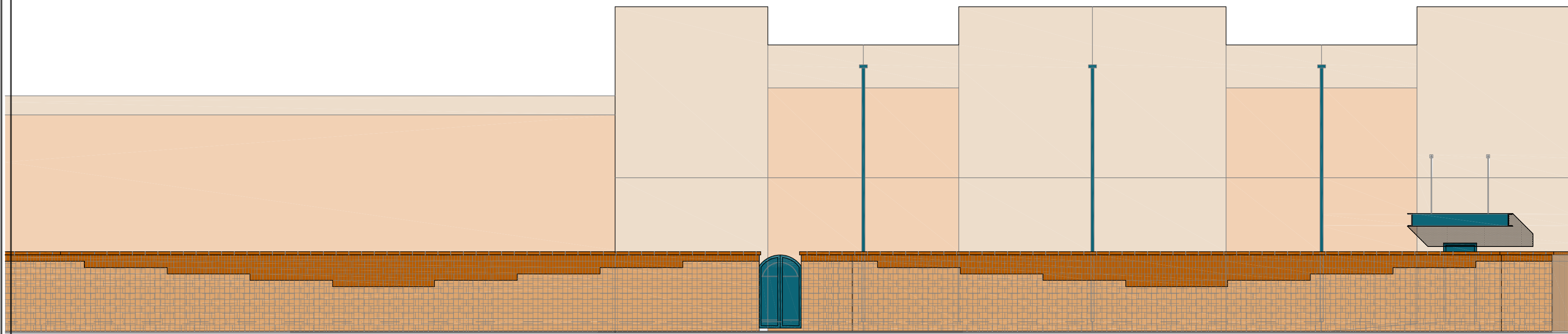
NO.	REVISION	DATE
1	CITY COMMENTS	1/28/2017
2	CITY COMMENTS	01/25/2018

SHEET TITLE:  
SITE PLAN

EXPIRES: 12/31/2018

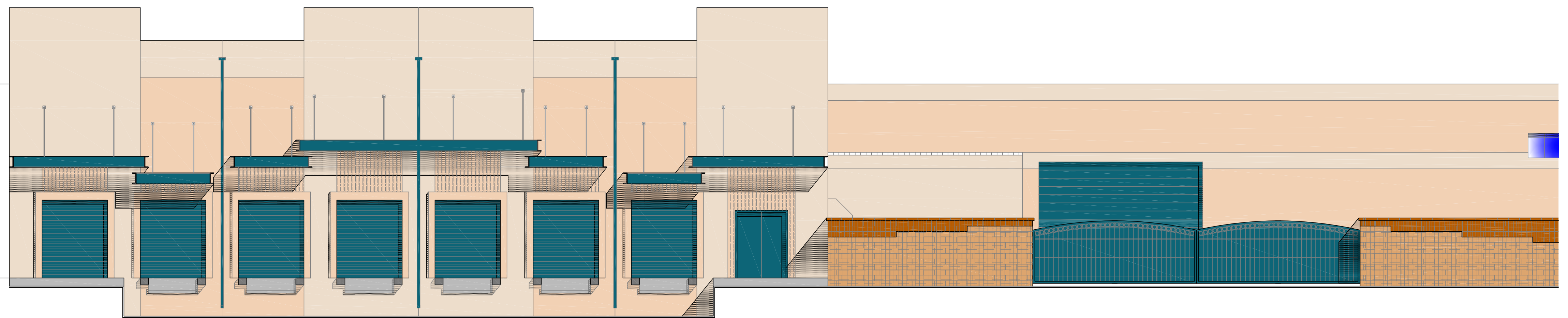
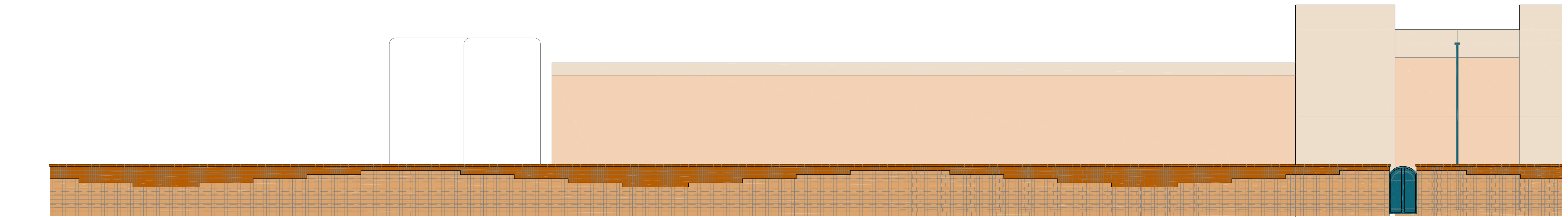
PROJECT NO:  
1676645-01

DRAWING NO:  
**A0.1**



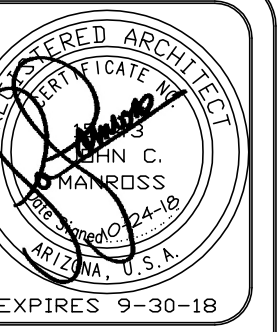
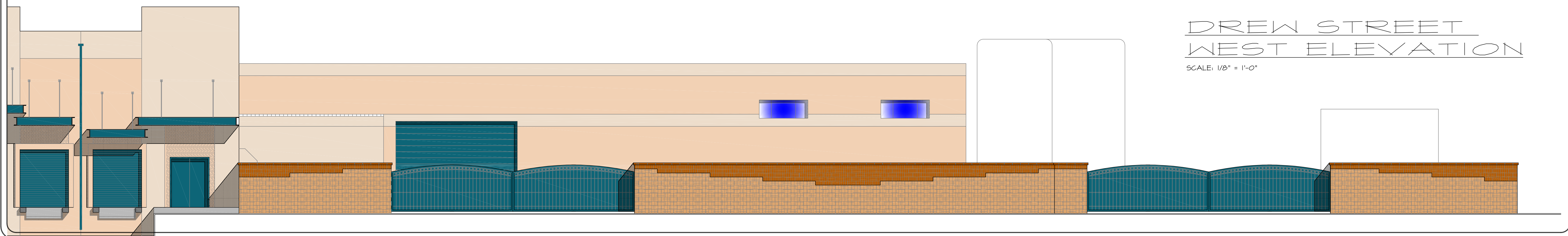
CENTER STREET  
EAST ELEVATION

SCALE: 1/8" = 1'-0"



DREW STREET  
WEST ELEVATION

SCALE: 1/8" = 1'-0"



DESIGN T-480-894-1680 F-480-894-2529  
PROFESSIONALS L.L.C.  
4542 E. McKELLIPS RD., STE. 101, MESA, AZ 85215

NEW WAREHOUSE FOR:  
SND URETHANE  
525 & 539 SOUTH DREW STREET MESA, ARIZONA

SHEET A3 A  
EXTERIOR ELEVATIONS  
COLOR  
DATE 10-24-18 DWN. BY jm

PROJECT NO  
1803