

Mesa-Gateway Potato Barn

COMPREHENSIVE SIGN PLAN



Prepared By:



Contents

Section A: Property Information	Page
Property Information	4
Location	5
Section B: Multi-Tenant Signs	
Guidelines	8
Matrix	9
Site Plan	10
Entry Monument Sign	11
Secondary Monument Sign	12
Section C: Tenant Signs	
Guidelines	14
Matrix	15
Site Plan	16
Sign Envelopes	17
Pan Channel Letters	18

Section A:

Property Information

Property Information

Parcel Information

Property Owner

Dream 11 LLC
1962 N Higley Road
Mesa, AZ 85205

Property Address

7316 E. Ray Road
Mesa, AZ 85212

Parcel Number

304-30-042

Parcel Square Footage

368,869

Zoning

L1

Signage Consultant

Summit West Signs
335 E. Baseline Road
Gilbert, AZ 85223
480.926.3465
Ken@SummitWestSigns.com

Property Information

Vicinity Location

Vicinity



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Comprehensive Sign Plan - Mesa-Gateway Potato Barn



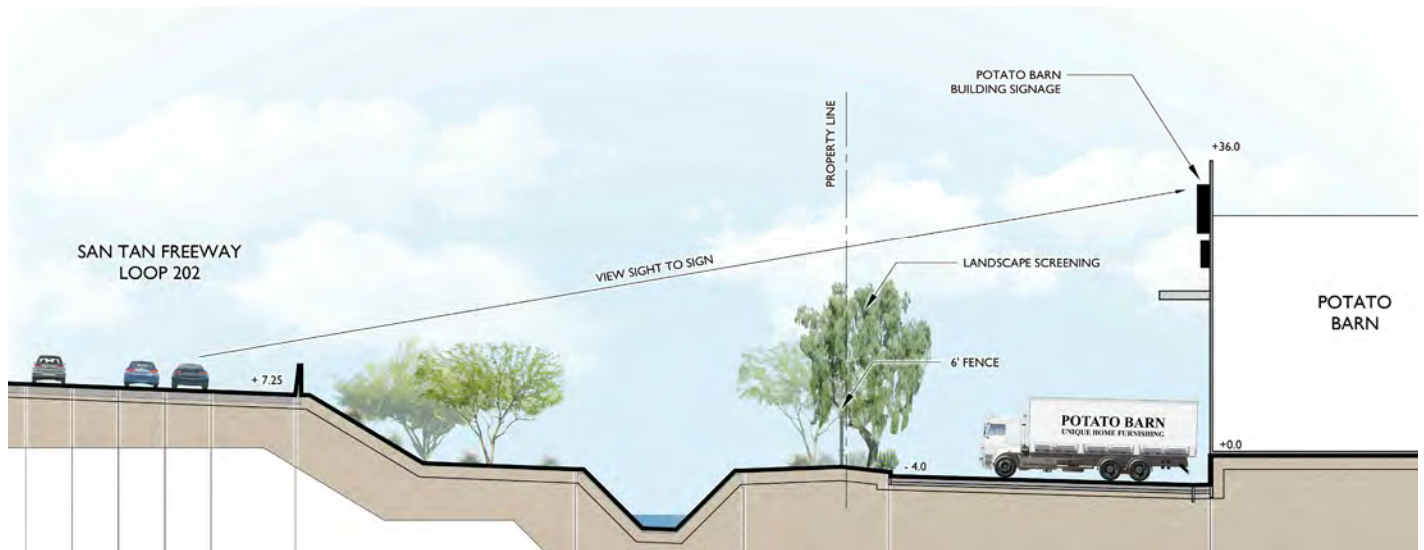
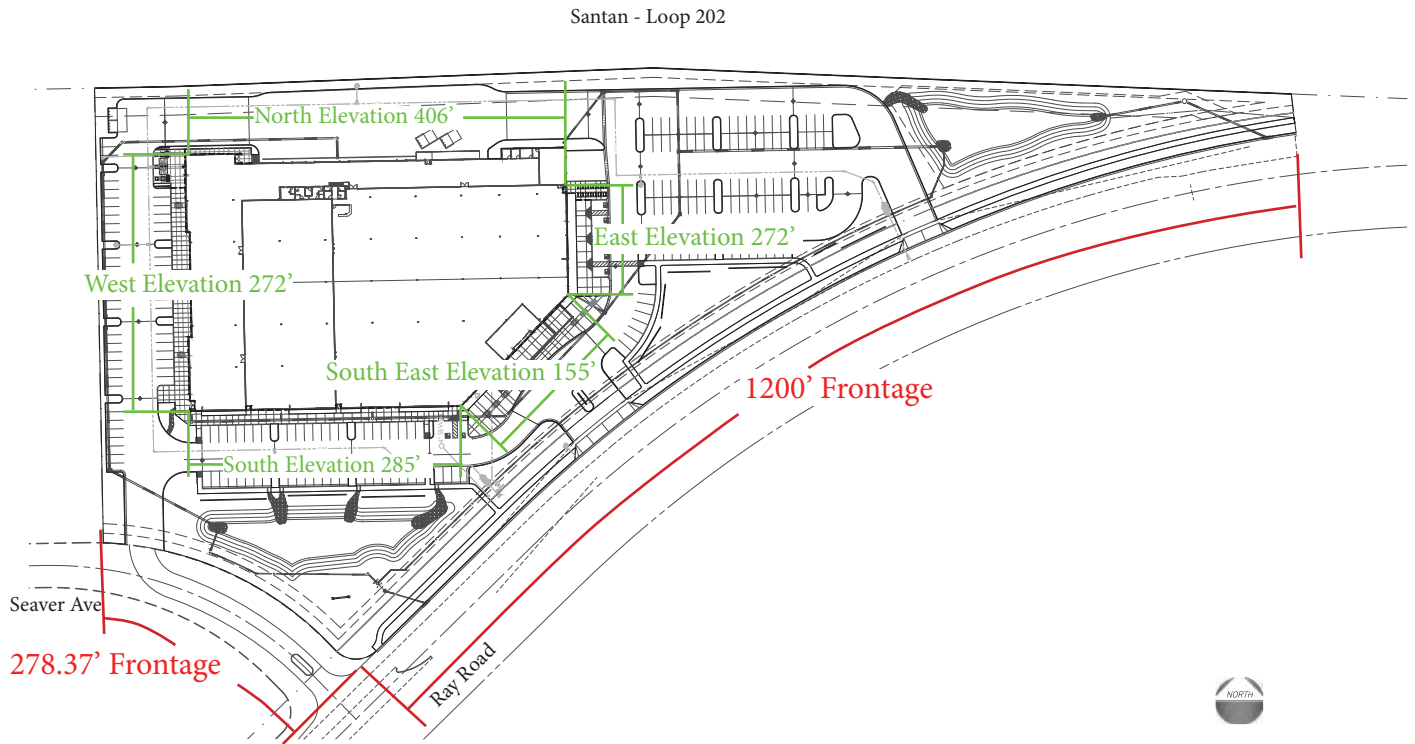
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Page # 5

Property Information

Vicinity Location



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10/18/2018

Rev 2.0

Page # 6

Section B:

Monument Signage

Monument Signage

Guidelines

Introduction

The project will feature two monument signs placed along the main street frontages. Each monument sign will be incorporated into planter walls in landscape design (see drawing) which reflects the fascia designs, materials, finishes and architectural detailing of the projects building. The signs will be located as shown on the attached site map.

Description

Individual flat cut out letters will be attached to planter walls. Goose neck downlighting lighting will illuminate the flat cut letters.

Monument (street front) signage will be allowed subject to the following limitations and conditions:

- No sign shall be located or constructed in such a manner that it is structurally unsafe or constitutes a hazard to safety or health.
- No sign may be installed within the right-of-way.
- No signage will be allowed that is attached to a vehicle, or placed on a vehicle, except for those signs which are permanently affixed to the vehicle; and which meet all applicable DOT and other governmental regulations; and where the vehicle is primarily being used in connection with the normal operation of the business for purposes that reasonably require the use of such a vehicle, and where the vehicle is not being used primarily as an advertising device.
- No A-frames or other free-standing temporary signage will be allowed within the common areas, except for any that are: (a) first approved by landlord in writing; and (b) in compliance with applicable laws and regulations. However, under no circumstances shall any A-frames be placed anywhere within the right-of-way.

Monument Signage

Signage Matrix

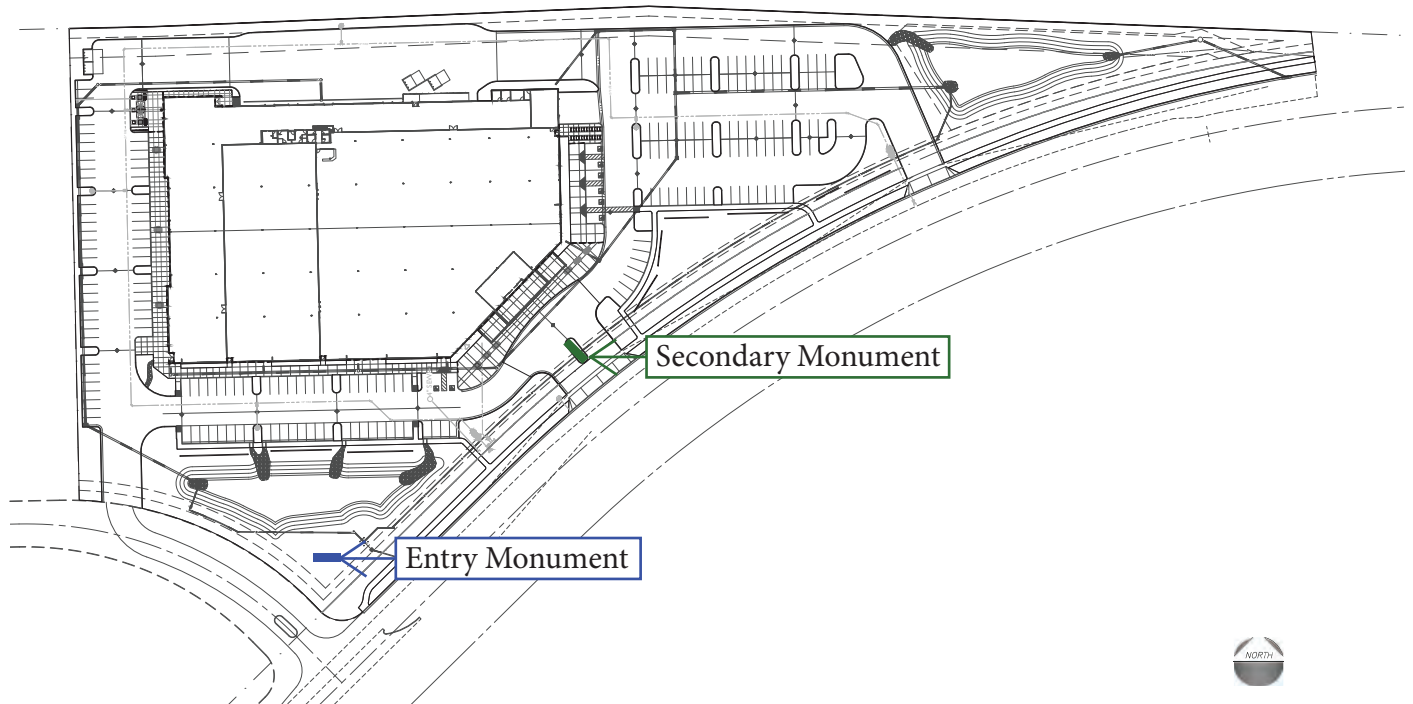
Sign Type	Location	Sign Function	Quantity
Entry Monument	Single sided masonry wall feature North of the corner of East Seaver Road and East Ray Road.	Identifies property to traffic on East Seaver Road and East Ray Road.	1
Secondary Monument	Double sided masonry wall feature on main driveway. Sits Perpendicular, to the flow of traffic on Ray Road	Directs traffic into Main Parking lot off Ray Road	1



Monument Signage

Multi-Tenant Signage Site Plan

- Entry Monument
- Secondary Monument



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10/18/2018

Rev 2.0

Page # 10

Monument Signage

Entry Monument Sign

Introduction

The entry monument sign is a single sided landscape feature located North of the intersection of East Seaver Avenue and East Ray Road. It will help identify the property to traffic traveling and at the intersection.

Construction

The entry monument sign ties in architectural details featured throughout the project. The body of the sign is formed concrete simular to the tilt construction of the building. The Surrounding walls are made of a simular color and pattern to match architecture. The brick has a brown cap that will furthur carry the design of the property. The base is constructed out of a rusted corrugated metal. Furthermore, the downlighting on the structure will have the same goosenck lighting as the building.

Letter Construction

The letters will be made out of cut aluminum and will be pin mounted to the masonry structure. The letters will painted with a smooth automotive type finish.



Monument Signage

Secondary Monument Sign

Introduction

The Secondary monument sign is a double sided landscape feature located on the North side Ray Road in a concrete island on the main entace drive into the property. It will help direct traffic into the main parking lot.identify the property to traffic traveling and at the intersection.

Construction

The entry monument sign ties in architectural details featured throughout the project. The body of the sign is formed concrete similar to the tilt construction of the building. The Surrounding walls are made of a similar color and pattern to match architecture. The brick has a brown cap that will furthur carry the design of the property. The base is constructed out of a rusted corrugated metal. Furthermore, the downlighting on the structure will have the same goosenck lighting as the building.

Letter Construction

The letters will be made out of cut aluminum and will be pin mounted to the masonry structure. The letters will painted with a smooth automotive type finish.



Section C:

Tenant Signs

Building Signage

Guidelines

Introduction

The intent of the Comprehensive Sign Plan is to establish allowances for the signage on the Mesa-Gateway Potato Barn building.

Size, Area

The area allowed for signage is calculated 2.00 square foot of sign area for each linear foot of building frontage per elevation.

Use of Sign Area

Each sign must be centered within the designated sign band. All placement is subject to prior Landlord approval, which may be withheld if, in the sole opinion of Landlord: (a) the requested placement will not contribute to an appropriate and pleasing design aesthetic for the project; or, (b) the requested placement will require drilling, penetrations, connections or attachments on a part of the building structure that Landlord considers inappropriate.

Composition of Sign

Each sign must consist of individual letters, using the types allowed as listed in the following sections. More than one type of allowed letters may be used for the total sign (if FCO letters are used they will be allowed for no more than 25% of the total sign area, as specified above). One or two logo or design elements with other than individual characters may be allowed, subject to Landlord's approval, provided that the area of the logo/design element(s) is no larger than the lesser of either: (a) 25% of the total sign area. Any Landlord-approved typestyle may be used. Upper and lower case characters are allowed. Letter strokes must be proportional to the chosen typestyle. Grotesque typestyles will not be allowed.

All lettering and copy must be appropriate to the aesthetic look and feel of the center as solely determined by Landlord.

Placement of Letters:

- Structural I-beams or glue-lam beams are not to be penetrated. Letters are to be centered on the fascia area, within the signband of the storefront, centered left to right and vertically top to bottom, or as is designated on the final approval.
- No unusually distorted letter spacing shall be used to inappropriately extend the copy area.
- Non-corrosive mounting fasteners must be used.
- All penetrations must be sealed with 100% silicone clear caulk.

Building Signage

Signage Matrix

Sign Type	Location	Sign Function	Quantity	Linear Elevation Footage	Signage Square Footage Allowance
North Elevation	North side of building Visible from Santan 202 Freeway	Identifies Building/ Tenant to traffic on Freeway	1 Sign	406'	812 Square Feet
West Elevation	West side of building Visible from Power Road	Identifies Building/ Tenant to traffic on Power Road. Visible from Gilbert Gateway Towne Center	1 Sign	272'	544 Square Feet
Front Entrance Elevation	South east side of building Visible from Ray Road	Identifies main entrance to showroom.	1 Sign	227'	454 Square Feet



Building Signage

Sign Envelopes



EAST VIEW



FRONT ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

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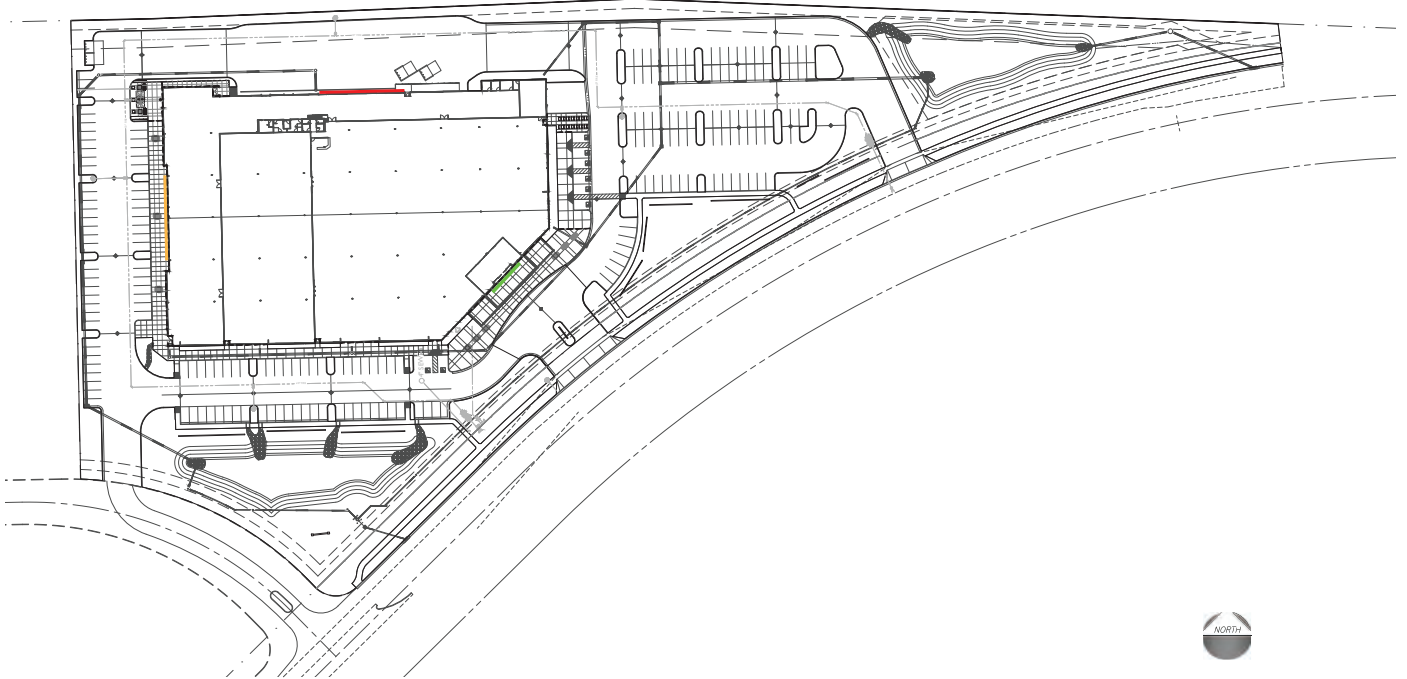


Building Signage

Building Sign Location Plan

Sign Envelopes

- North Elevation Sign Location
- West Elevation Sign Location
- Front Entrance Sign Location



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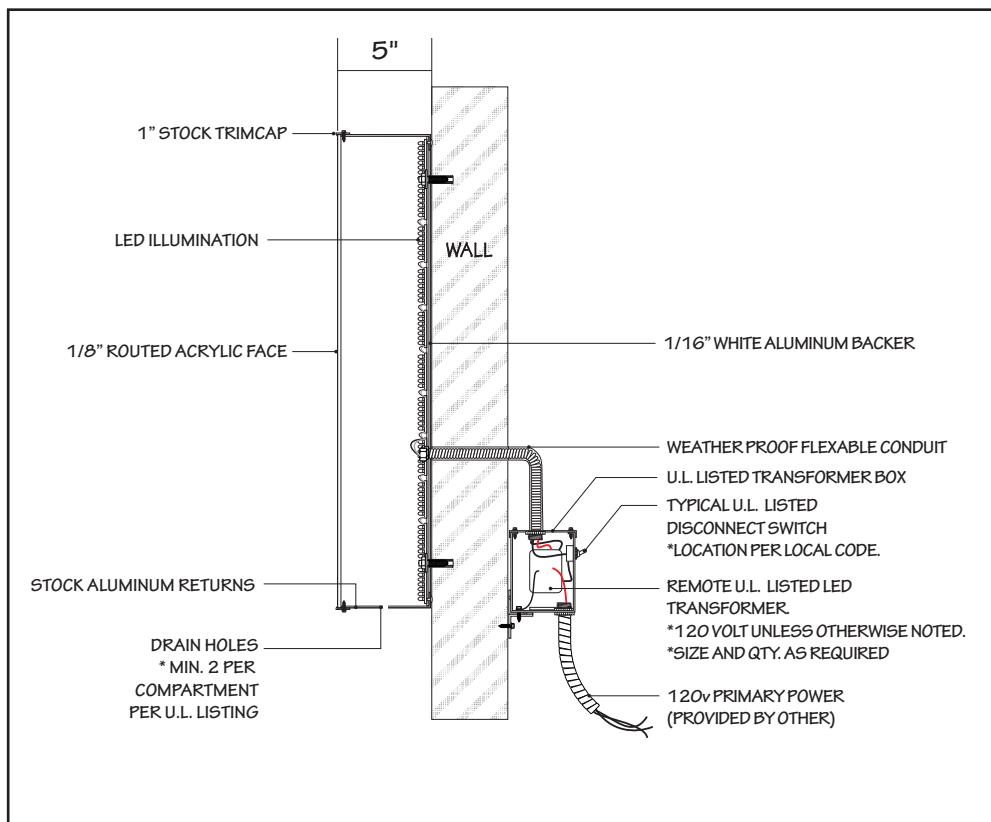
Page # 17

Building Signage

Pan Channel Letters

Construction of Letters

1. Individual internally illuminated pan channel letters must have a minimum of .040 aluminum for returns, and .063 aluminum for backs.
2. All construction must be with welded, rivets or letter-loc type fastening fastening of returns to backs. Staples, adhesive or soldered seams are not permitted.
3. All letters must be fully caulked along interior seams.
4. All letters must have white interiors.
5. Faces are to be of high-impact 3/16" acrylic.
6. Trim-cap is to be 1" (not 3/4") Jewel-lite, or similar.
7. All finishes are to be automotive urethane (MAP or equivalent) in satin. Exact finish specifications must be called out on submittal drawings.
8. Drain holes, face attachments and all other fabrication is required to be as per UL-48 listing. All letters must be supplied (with UL labels on each) by a UL-listed fabricator.



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Comprehensive Sign Plan - Mesa-Gateway Potato Barn

10/18/2018

Rev 2.0

Page # 18



PROJECT DETAIL

406.69

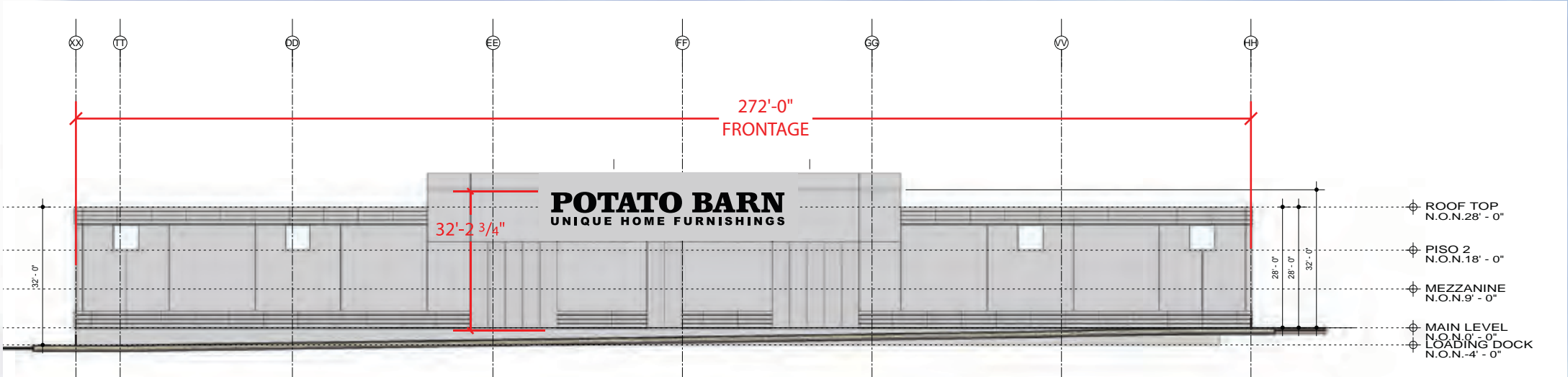
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- COLOR SCHEDULE:
- MP BLACK
 - PERFORATED BLACK VINYL 3M 3635 - 222

SPECIFICATIONS:

3/16" ROUTED WHITE ACRYLIC FACES
1ST SURFACE BLACK PERFORATED VINYL
1" STOCK BLACK TRIM CAP
.040 STOCK BLACK ALUMINUM RETURNS; 5" DEEP
.063 WHITE ALUMINUM BACKS
WHITE LED ILLUMINATION
FLUSH MOUNT TO WALL AS REQUIRED

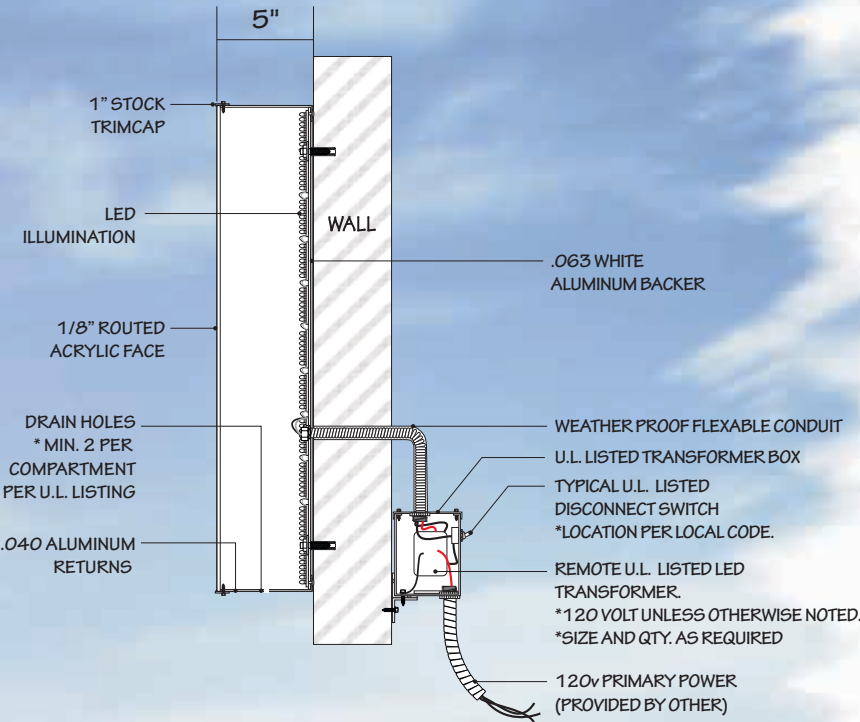


Night View

POTATO BARN
UNIQUE HOME FURNISHINGS

SE ELEVATION - MOCK UP

SCALE: 1/32" = 1'0"



SECTION DETAIL

NTS



335 E BASELINE RD, GILBERT AZ 85233
PH: 480.926.3465 FAX: 480.928.3465

COMPANY: Potato Barn

CLIENT: Potato Barn

SALES REP: Ken Brands

INSTALL INFO: 7316 E. Ray Rd., Mesa, AZ, 85212

EMAIL: Ken@summitwestsigns.com

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DATE:

DESIGNER	START DATE	FILE NAME
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Sb	9/6/18	180735-02_Permit_WestElevation_v2

JOB NUMBER

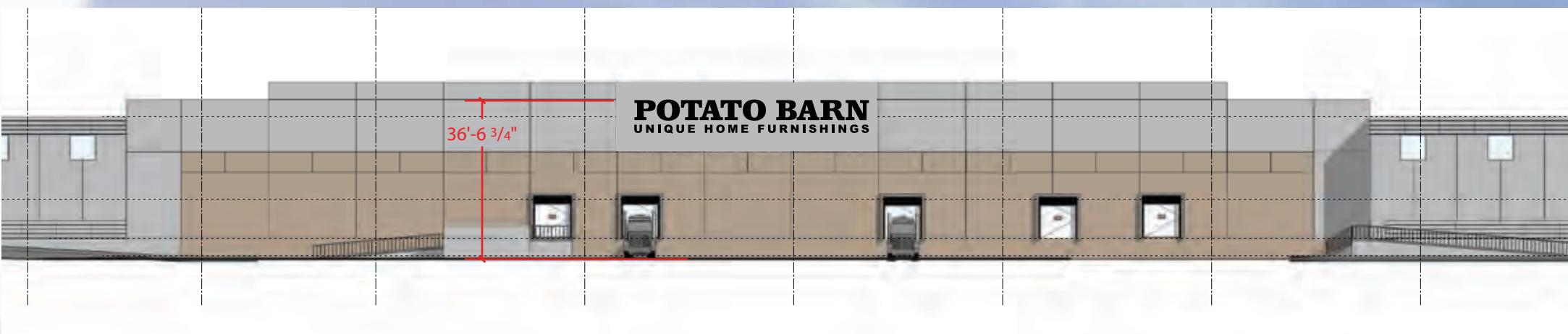
180735



PROJECT DETAIL

SCALE: 3/16" = 1'0"

406.69



SE ELEVATION - MOCK UP

SCALE: 1/32" = 1'0"



SummitWest
SIGNS

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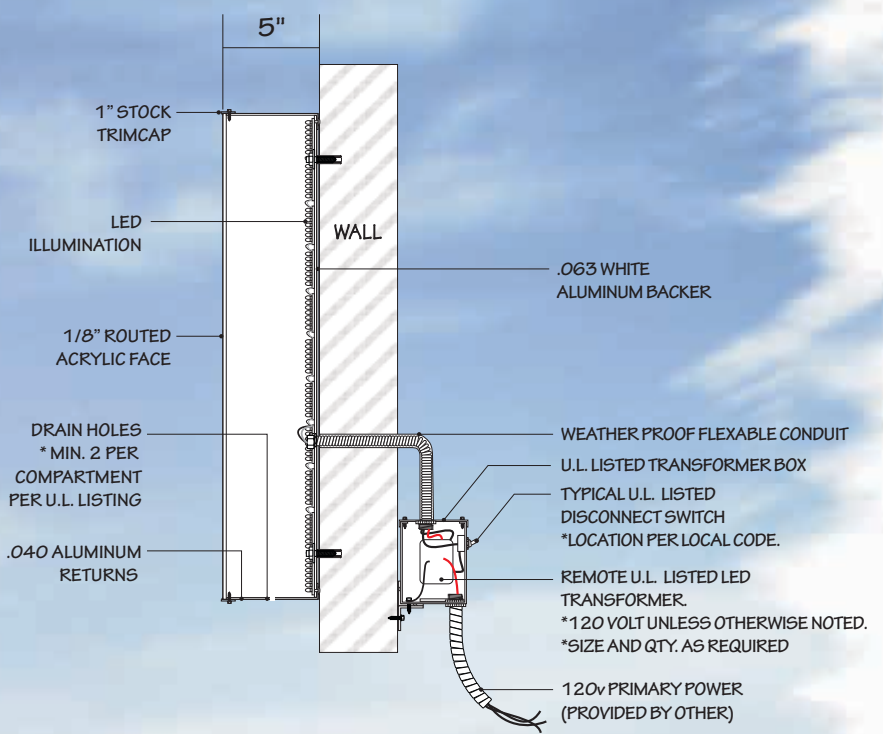
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 MP BLACK

 PERFORATED BLACK VINYL
3M 3635 - 222

SPECIFICATIONS:

3/16" ROUTED WHITE ACRYLIC FACES
1ST SURFACE BLACK PERFORATED VINYL
1" STOCK BLACK TRIM CAP
.040 STOCK BLACK ALUMINUM RETURNS; 5" DEEP
.063 WHITE ALUMINUM BACKS
WHITE LED ILLUMINATION
FLUSH MOUNT TO WALL AS REQUIRED



SECTION DETAIL

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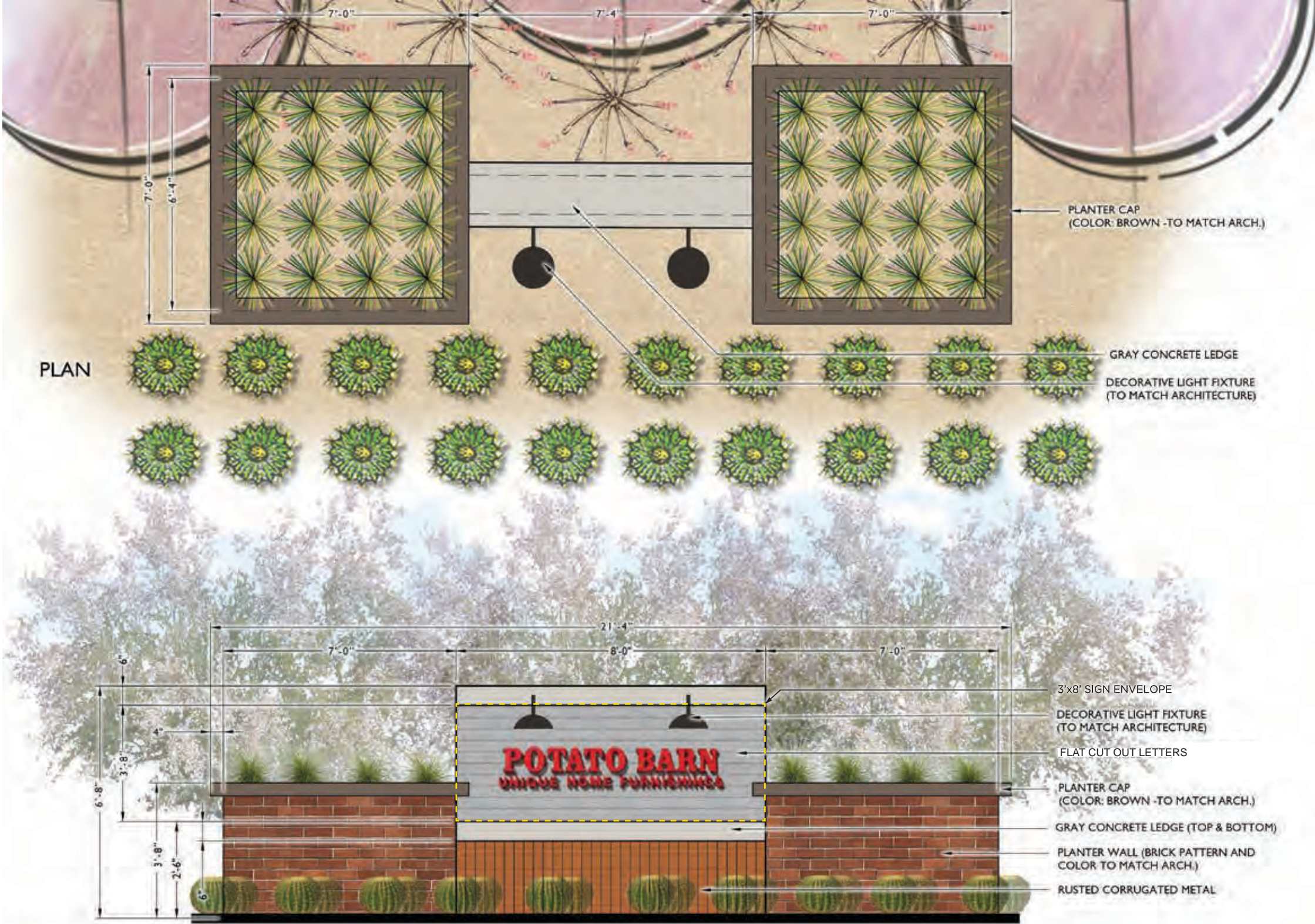
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EVEAVTION



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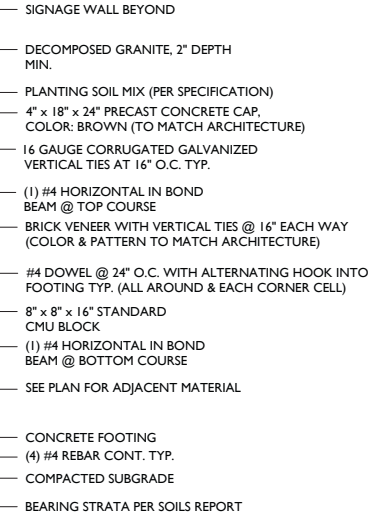
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JOB NUMBER

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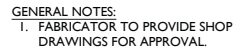
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Scale: 1/4" = 1'-0"



Scale: $3/16" = 1'-0"$



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80735

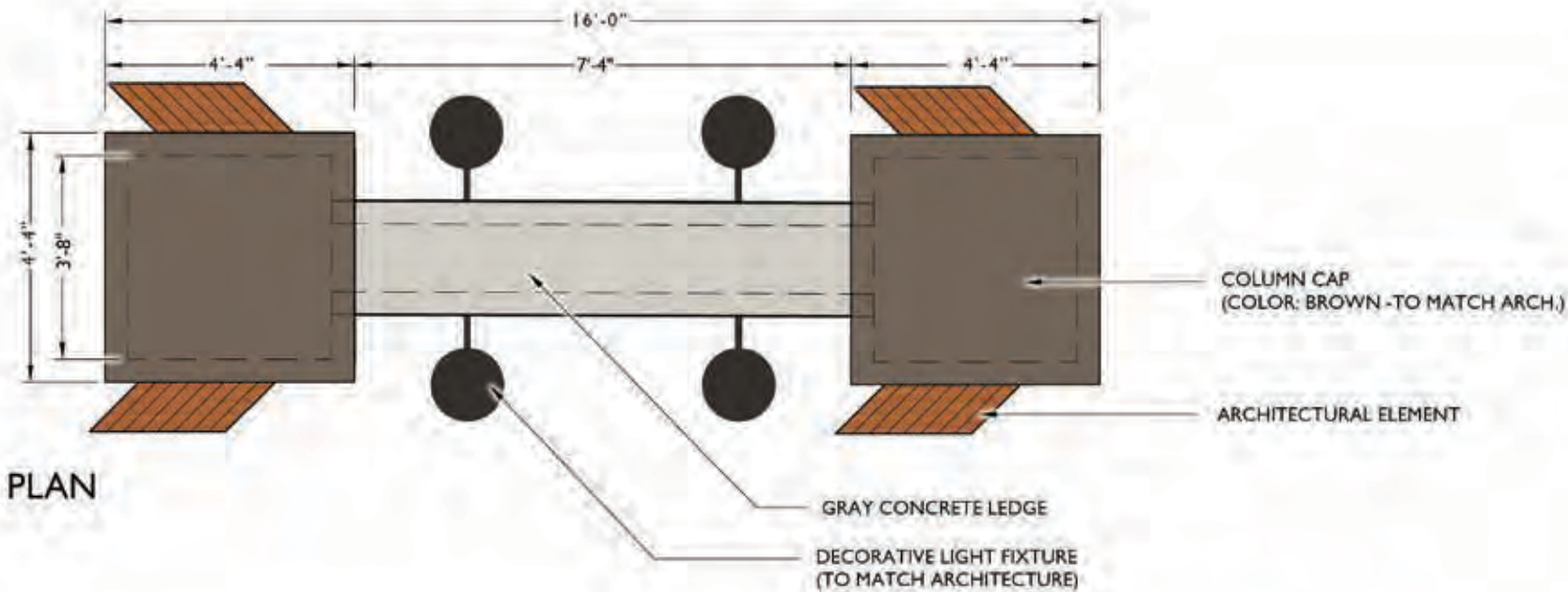
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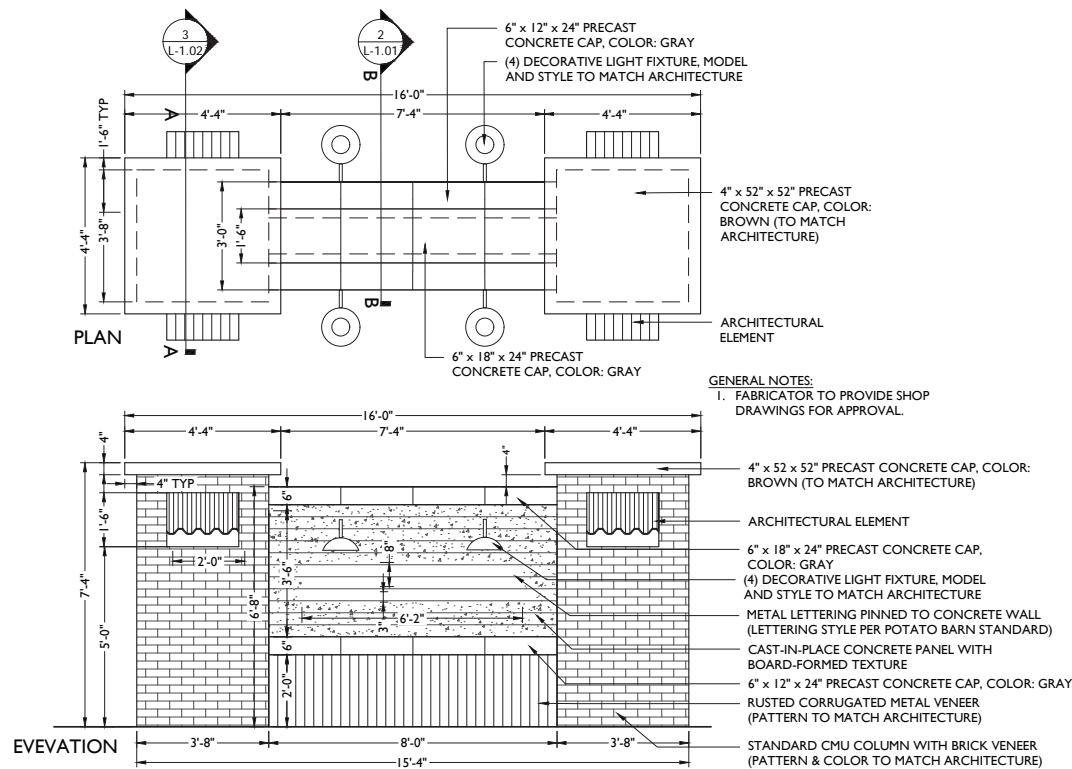
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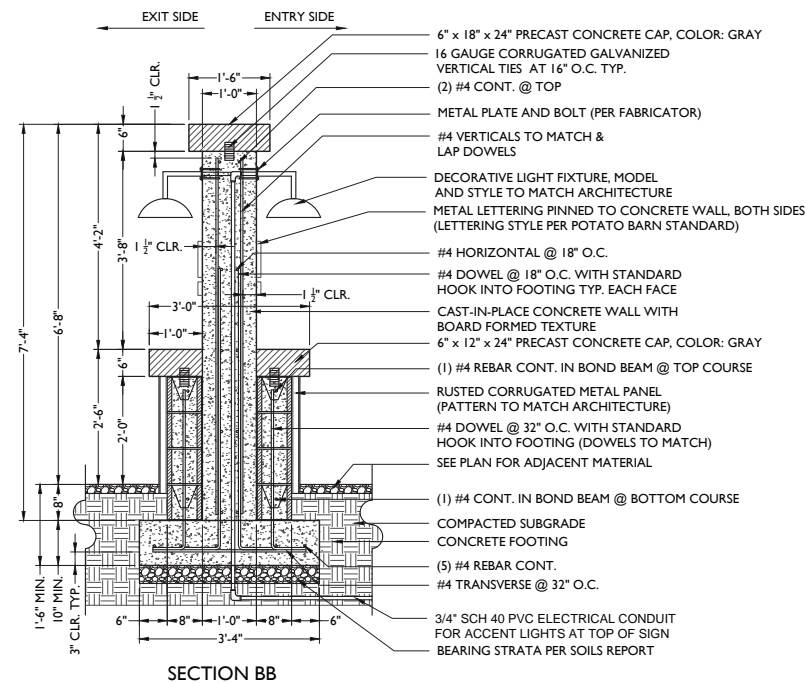
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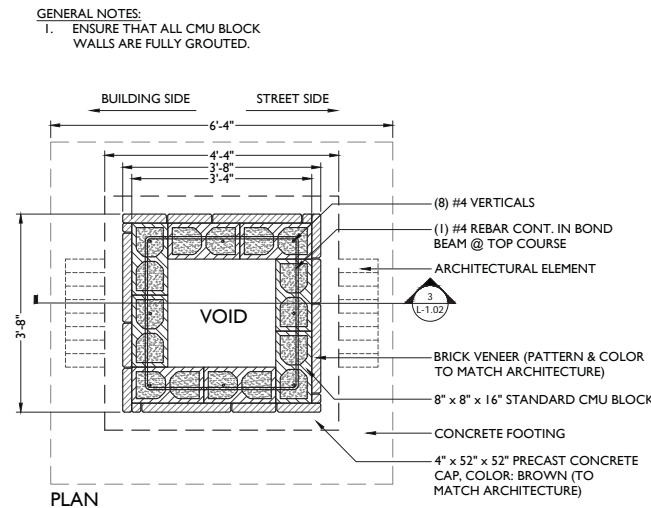
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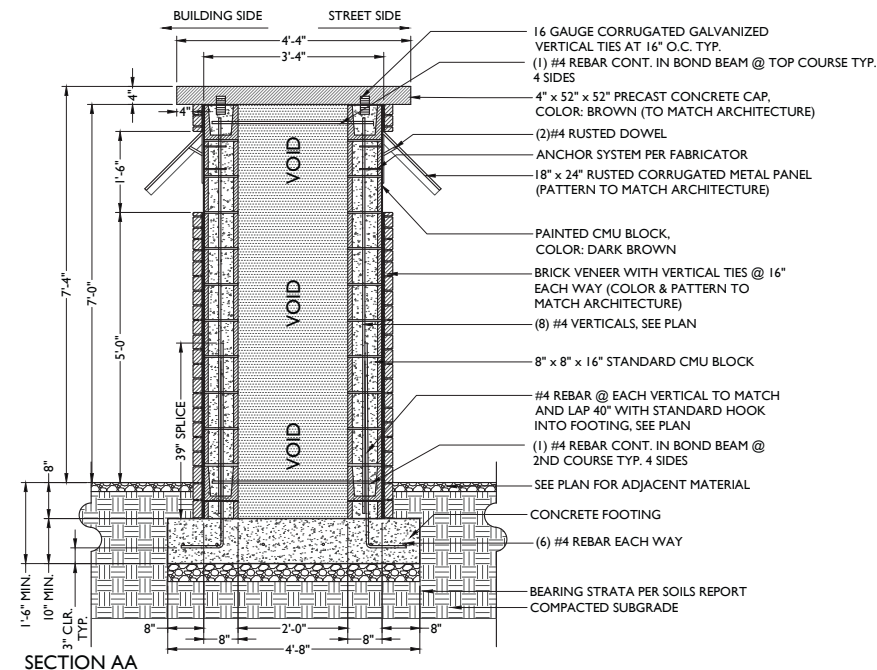
2 SECONDARY ENTRY MONUMENT

Scale: $1/4" = 1'-0"$



SECONDARY ENTRY MONUMENT

Scale: 1/4" = 1'-0"

The logo for SummitWest Signs features a stylized orange and yellow 'S' icon to the left of the company name. The name 'SUMMITWEST' is in a bold, dark blue, sans-serif font, and 'SIGNS' is in a larger, bold, dark blue, sans-serif font below it. A thin orange horizontal line separates the two words.

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COMPANY: Potato Barn

CLIENT: Potato Barn

SALES REP:

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