

**Rezoning, and Preliminary Plat  
Project Narrative**  
for

**Montelucia**

**239 N Signal Butte Road**

**Submitted by:**

Funk Family Enterprises, LLC  
Bellago Development, LLC

**Submitted to:**

**The City of Mesa**  
55 North Center Street  
Mesa, AZ 85201

**Submitted  
August 7, 2018**

## Introduction

Funk Family Enterprises LLC and Bellago Development, LLC, are pleased to submit this application for Montelucia (the “site”). This parcel contains 6.26 gross acres and is identified on the Maricopa County Assessor’s map as parcels 220-54-073B and 220-54-073G. The site is located south of University Drive and North of Main Street, on the east side of Signal Butte Road at 239 N Signal Butte Road in Mesa, Arizona, as shown on the aerial below in **Fig. 1.0**:

**Fig. 1.0: Aerial Map**



## Existing Conditions

The project site is currently located in unincorporated Maricopa County, with existing R1-8 county zoning. However, the property lies within the City of Mesa’s planning area and has a General Plan land use designation of Neighborhood—Suburban. It is a rectangular shaped, infill “remnant” parcel which remains predominately undeveloped, with the exception of an older garage structure on the property, which will be removed upon development of the property. The site is surrounded on all four sides by parcels with similar General Plan Designations and other similar residential zoning classifications as indicated in the chart below:

### Relationship to Surrounding Uses (Maricopa County Zoning)

Direction	Existing Zoning	Existing Use
North	R1-8	Residential
East	R1-8	Residential
South	R-2	Residential
West	R1-8	Residential
Project Site	R1-8	Vacant

### Request

This application contains the following requests:

1. To rezone the site to RSL-2.5 with a PAD Overlay
2. Approval of the preliminary plat as submitted.

Approval of these requests will allow for the development of a 37-lot single family detached residential subdivision as shown on the Preliminary Plat included as **Exhibit A** of this narrative. An application and request for annexation is being made concurrently.

### Development Standards

The developer has worked diligently to create a site plan which: 1) incorporates creative street alignments and circulation for adequate ingress and egress, 2) creates and distributes open space both on the developed lot and throughout the site and 3) establishes a gross density of 5.91 du/ac which is compatible with the surrounding residential neighborhoods. The development of this property as a residential use will complement the residential pattern established in the area and provide the ideal location for a quality infill development.

Per Table 11-5-4 B, Chapter 5 of the Mesa Zoning Ordinance, development standards are outlined for the RSL-2.5 PAD zoning district. The chart on the next page indicates the required standards, and those proposed for the Montelucia development. Modifications are shown in red and standards that are exceeded are shown in **bold**.

## RSL-2.5 Development Standards

Standard	Required	Proposed
Minimum Average Lot Area of Subdivision	2,500 sf	<b>4,000 square feet</b>
Minimum Individual Lot Area	2,000 sf	<b>3,900 square feet</b>
Minimum Lot Width-Interior Lot	25 feet	<b>47 feet</b>
Minimum Lot Width-Corner Lot	30 feet	<b>47 feet</b>
Minimum Lot Depth	75 feet	<b>80 feet</b>
Maximum Height (ft.)	30	30
Maximum Number of Stories	2	2
Minimum Yards (ft.):		
Front - Building Wall	12	12
Front - Garage	20	20
Front- Porch	7	7
Street Side	10	10
Interior side: minimum each side	3	3
Interior Side: Minimum aggregate of 2 sides	8	8
Rear	15	<b>15, 13***, 11***</b>
Rear or side- garage, accessed by alley or common drive shared by 3 or more lots, measured to construction	13'	n/a
Minimum Useable Open Space (sq. ft.) per unit	400*	Min. Front Yard 240 Min Rear Yard 705 Retention w/Grass 21,797 Amenity Open Space 3,740



**Table Notes:**

\*400 S.F. of usable open space per unit x 37 units = 14,800 S.F. (.34 AC) required. The proposed plan provides 21,797 S.F. Retention with Grass Open Space and 3,740+ S.F. Amenity Lot (Total of: 25,537 S.G. or 72% greater than required) In addition there is on lot open space per unit of 705+ S.F.

\*\*\*Rear setback 13' - only on full depth single story homes with an additional 2' down (to a rear setback of 11') to achieve variable front yards.

\*\*\*Patio covers in the rear yard permitted to encroach up to 5 feet deeper than the home into the rear setback.

**Design Elements**

Per Table 11-5-4-A of the City of Mesa Zoning Ordinance, there are six design elements which must be implemented in this subdivision to achieve the RSL 2.5 designation. The developer has chosen to implement the following design elements in consideration of reduced lot size and the 2.5 designation:

- *Parkland and Open Space:* The common area open space proposed in this subdivision includes 25,887 square feet, or 9.5% of the gross acreage. Of this area, 22,147 square feet is retention area with grass, and 3,740 square feet is the amenity open space area. The main amenity tract is in the center of the subdivision and contains a shaded seating area adjacent to the play area. Additionally, there is an average minimum of 705 private rear yard open space area per lot.\*
- *Decorative Paving:* Stamped, colored asphalt bands approximately will be located at both ends of the central street (Garrison St. & Boston St. entrances) as shown on the landscape exhibit. These will be maintained by the HOA. Alternatively, driveways will be done with pavers on each home.
- *Variable Front Yards:* No more than 50% of the homes will be set back the same distance from the front lot line, and at least 50 percent of the homes will be set back at least 2 feet farther than the minimum. Full depth single story plans will need to be able to reduce the rear yard setback an additional 2'.
- *Garage Setbacks:* 75% of all elevations offered have garages that will be set back at least 4 feet behind the primary front façade of the dwelling (Façade Articulation Waiver).
- *Entries and Porches:* At least 50% of the homes include entries and covered porches extending along a minimum of 50 percent of the width of the homes front facades, excluding the width of garages. Porches meeting this requirement shall have a minimum width of 8 feet and a minimum depth of 4 feet.
- *Architectural Diversity:* There are 4 plans being offered initially with 3 elevations per plan. We plan to add an additional single story. Each elevation proposes a different combination of materials and colors (12 color schemes). Enhanced architectural elements with sand finish stucco on front elevations and real wood, wrought iron, and stone and brick material will be utilized (per plan and elevation).

**Site Plan & Elevations**

The site plan consists of 37 single family detached residential lots at an average size over 4,000 square feet. The smallest lot size is 3,935 SF, which dimensions still exceed the individual minimum and average lot size requirements for the RSL-2.5 zoning classification.

The homes proposed at Montelucia will range from roughly 1,300 to over 2,000 square feet in size.

Nine different elevations are proposed using a variety of colors and materials. Custom Canterra stone is used with chinked roof tile for 4 of the elevations, real wood lintels, posts, and corbels coupled with brick trim on the windows is used on 4 of the elevations, and real Hardie Backer trim is used on 4 of the elevations. All of the homes have sand finish stucco on the front elevation with custom Canterra address numbering for a truly upscale look. We have 12 color schemes used across the elevations with 3 tile colors that can be done in either flat or curved tile.

A homeowners association utilizing a professional management company will maintain all common areas including the private street. The common area maintenance items have been kept to a reasonable level in order to keep the HOA assessment level low. The homes will be upscale for the area, meeting the current energy standards and having enhanced custom architecture. Reasonable HOA assessments coupled with the upscale homes will keep the neighborhood viable and sustainable.

Elevations similar to those which will be offered at Montelucia are shown below in **Fig 2.0**.

**Fig. 2.0 Elevations**



## **Circulation**

Vehicular access to this subdivision is with an entrance off of both East Boston Street and East Mercury Drive. All streets in this subdivision are proposed as public streets, with a 50 foot right-of-way street section.

## **Conclusion**

This proposal for Montelucia will provide a traditional single family detached residential project within the City of Mesa that will establish a new neighborhood in a unique setting. This subdivision will create an opportunity for additional housing choices in this area.

This application is consistent with the land use patterns already established in the immediate area and is therefore compatible with the vision established by the City of Mesa General Plan and Zoning Ordinance. The applicant and property owner look forward to working with the City of Mesa to create this quality single-family home subdivision, and respectfully request approval of this application.

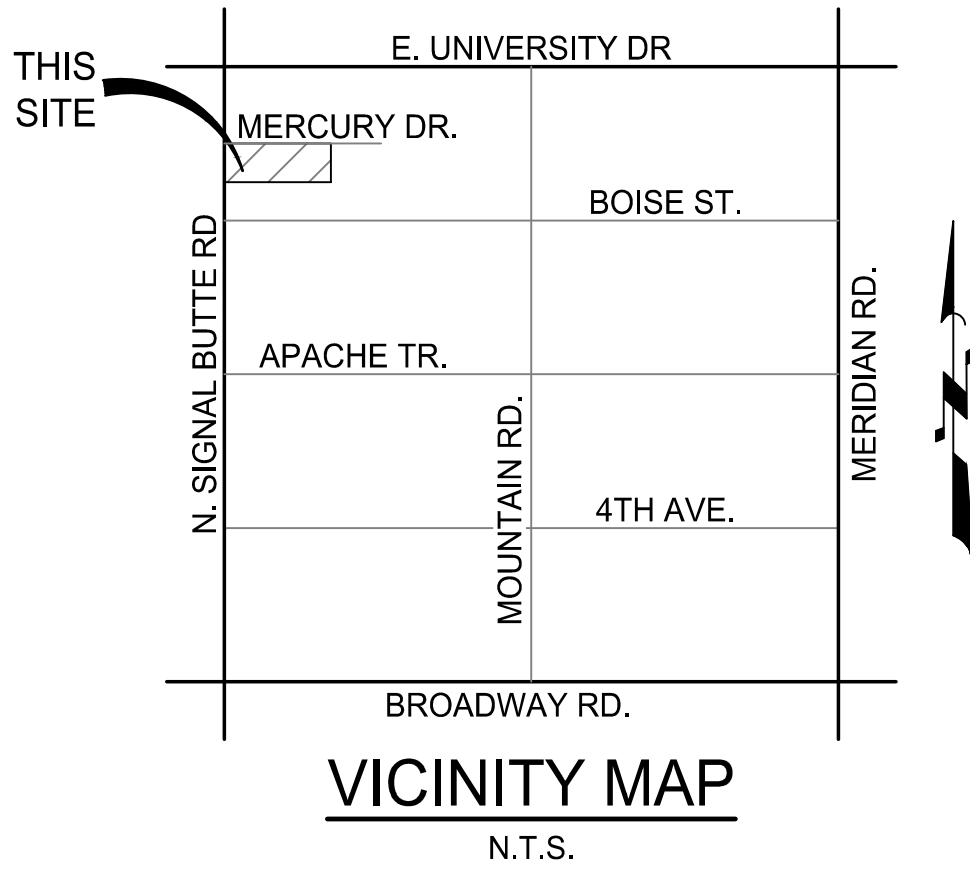
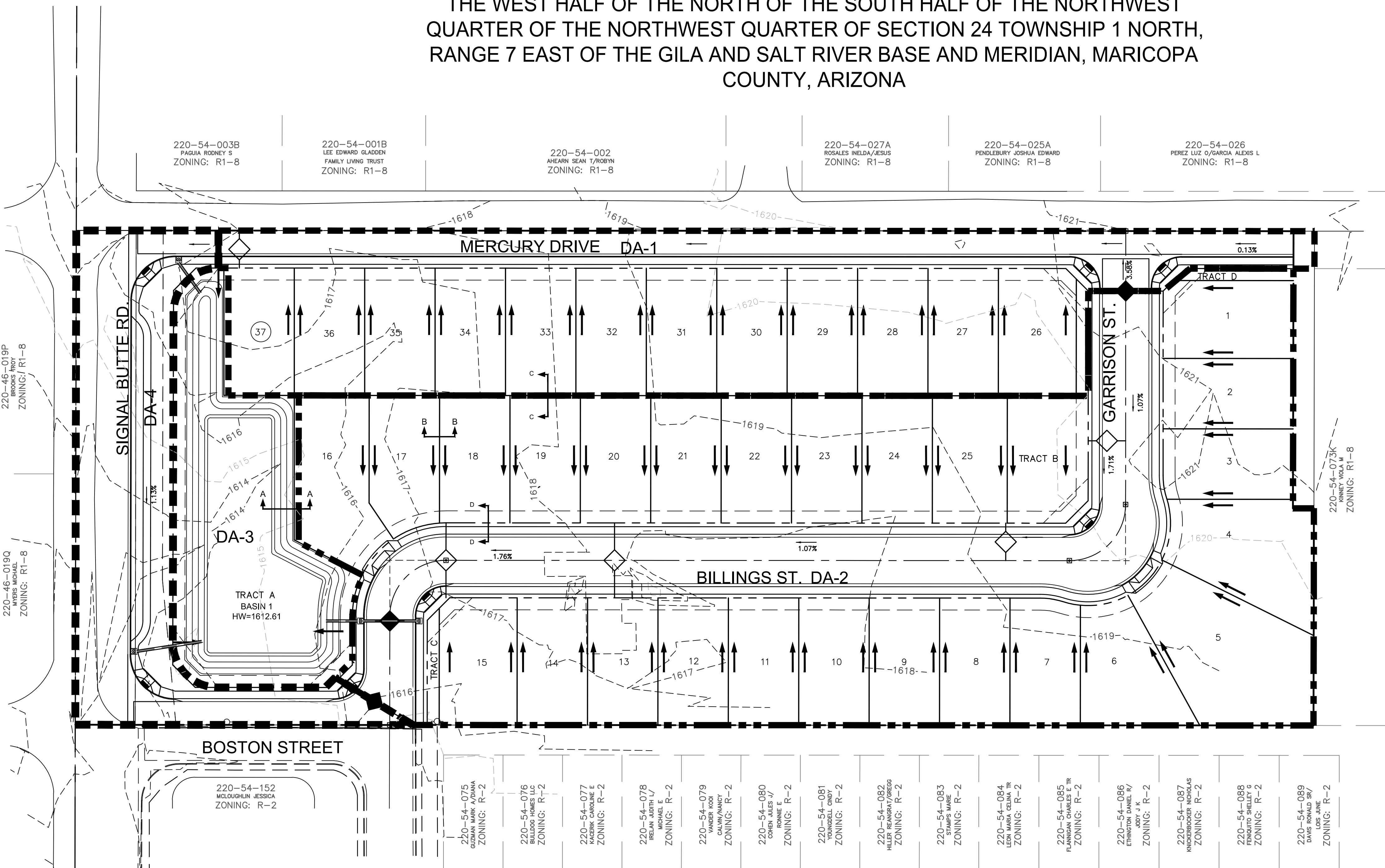


# PRELIMINARY GRADING & DRAINAGE

## FOR

# MONTELUCIA

THE WEST HALF OF THE NORTH OF THE SOUTH HALF OF THE NORTHWEST  
QUARTER OF THE NORTHWEST QUARTER OF SECTION 24 TOWNSHIP 1 NORTH,  
RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA  
COUNTY, ARIZONA



### OWNER / DEVELOPER

FUNK FAMILY  
ENTERPRISES, LLC.  
1806 N. LINDSAY  
MESA, AZ. 85213  
PH: (480) 468-8881  
FAX: (480) 378-3100  
CONTACT: MARK FUNK

### ENGINEER

BABBITT NELSON  
ENGINEERING.  
1140 EAST GREENWAY ST.,  
SUITE 2  
MESA, ARIZONA 85203  
TEL: (480) 610-1341  
FAX: (480) 962-9034  
CONTACT: DARREN SMITH

### PROJECT DESCRIPTION

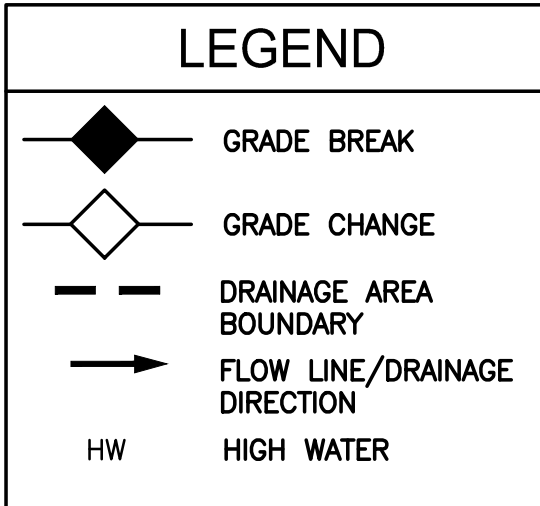
"MONTELUCCIA" IS A PLANNED RESIDENTIAL  
DEVELOPMENT OF 37 LOTS.  
PROPOSED ZONING FOR THE SITE IS RSL-2.5.

### BASIS OF BEARING

THE WEST LINE OF THE NORTHWEST 1/4 OF  
SECTION 24, TOWNSHIP 1 NORTH, RANGE 7  
EAST, GILA & SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA. SAID LINE  
BEARS NORTH 00 DEGREES 07 MINUTES 10  
SECONDS EAST.

### BENCHMARK

SOUTHWEST PROPERTY CORNER  
SET 1/2" REBAR W/CAP '23949'  
ELEVATION = 1614.23 NAVD88 DATUM



### Retention Volume Required

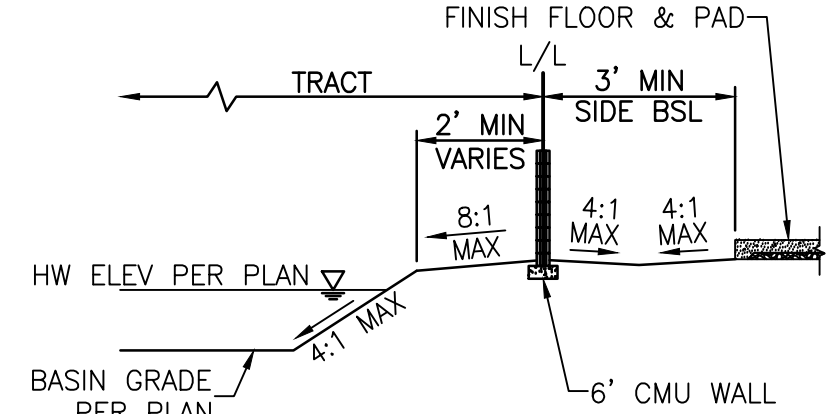
Design storm:	100-yr, 2-hr
Rainfall, D:	2.70 inches
$V_{required} = C \times \frac{D}{12} \times A$	
Where:	V = Retention Volume Required C = Runoff Coefficient D = Depth of Rainfall A = Area of Watershed Contributing

Retention Basin	Contributing Sub-Basins	Area (sf)	Land Use	Weighted Runoff Coefficient	100-Year, 2-Hour Volume (cu-ft)	100-Year, 2-Hour Volume (cu-ft)+10%	First Flush Volume (cu-ft)
1	DA-1	67966	85'x47' Lots/Pmt	0.74	11256.73	12382.40	2831.92
	DA-2	154220.00	85'x47' Lots/Pmt	0.74	25542.37	28096.61	6425.83
	DA-3	22147.00	Retention Area Landscape	0.33	1644.41	1808.86	922.79
	DA-4	26133.00	Right of Way	0.74	4333.05	4766.36	1088.88
Total RET A		270466.00			42776.57	47054.22	11269.42

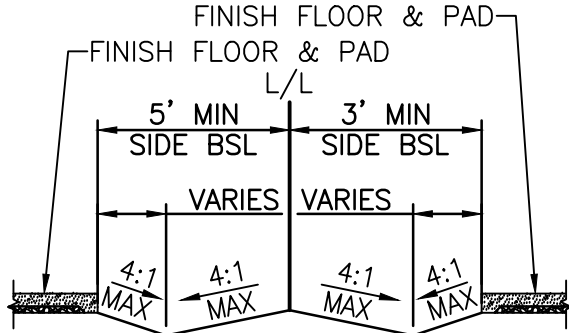
References:	Drainage Design Manual for Maricopa County, Vol. I, Hydrology City of Mesa Engineering and Design Standards, 2017

### Retention Volume Provided

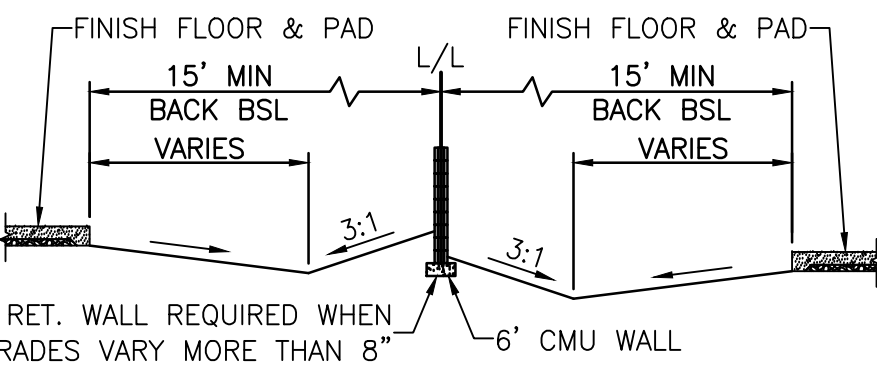
<b>Description:</b>		Calculation of Proposed Retention Volume Provided							
<b>Date:</b>		06/06/18							
<b>Location:</b>									
<b>Reference:</b>		Drainage Design Manual for Maricopa County, Vol. I, Hydrology Engineering & Design Standards, 2017					City of Mesa		
<b>On-Site Retention</b>									
Basin IDs		Contributing Sub-basins	Bottom Contour Area (sq.ft.)	Top Contour Area (sq.ft.)	Bottom Elevation (ft)	Top Elevation (ft)	Volume Provided (cubic-feet)	Volume Provided (cubic-feet)	Volume Required (cubic-feet)
1	A	8,548	9,452	0.0	0.5	4500.00	44327.50	42776.57	
		9,452	11,931	0.5	1.5	10691.50			
		11,931	14,536	1.5	2.5	13233.50			
		14,536	17,269	2.5	3.5	15902.50			
Total						44327.50	42776.57		



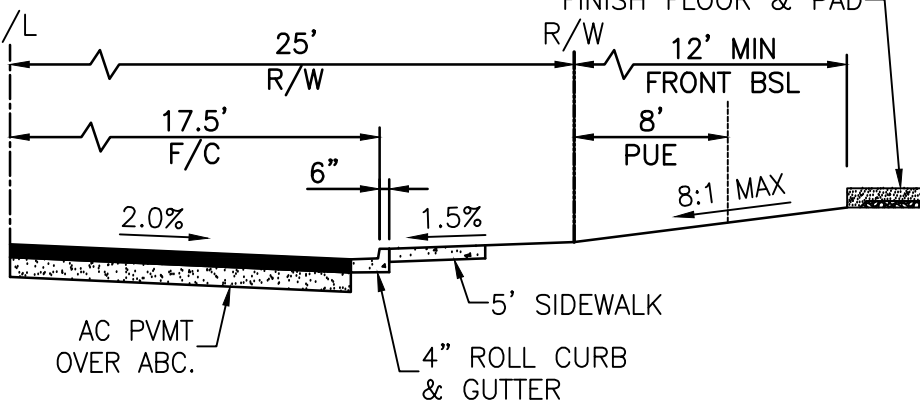
SECTION A-A



SECTION B-B

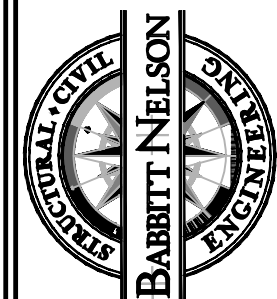


SECTION C-C



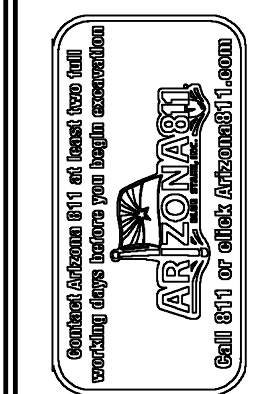
SECTION D-D

Babbitt Nelson Engineering  
1140 E. Greenway St, Suite 2  
Mesa, Arizona 85203  
tel: (480) 610-1341  
fax: (480) 962-9034  
cel: (480) 497-0003



PRELIMINARY GRADING & DRAINAGE

PROJECT: MONTELUCCIA  
MESA, ARIZONA



EXPIRES 09/30/19  
JOB NO. 18017  
8017GDP01.DWG

SHEET NO. 1  
1 of 1





PRELIMINARY LANDSCAPE PLAN

# MONTE LUCIA

MESA, ARIZONA August 7, 2018

1.

Final lot configurations may vary at the time of final plan approval.
2.

All landscape areas shall be provided with an automatic irrigation system.
3.

The Landscape Architect is to approve any and all substitutions.
4.

All planting areas to recieve Decomposed Granite mulch 3" deep.
5.

All grading and earthwork shall drain away from sidewalks and structures free of impedements to drainage easements and/or natural drainage ways.
6.

Landscape and structures within sight triangles will be maintained at maximum of height of 2'-0" as required by City of Mesa.
7.

Preliminary Landscape Plan is conceptual and final locations and arrangements of plant material will be determined by Construction Documents.
8.

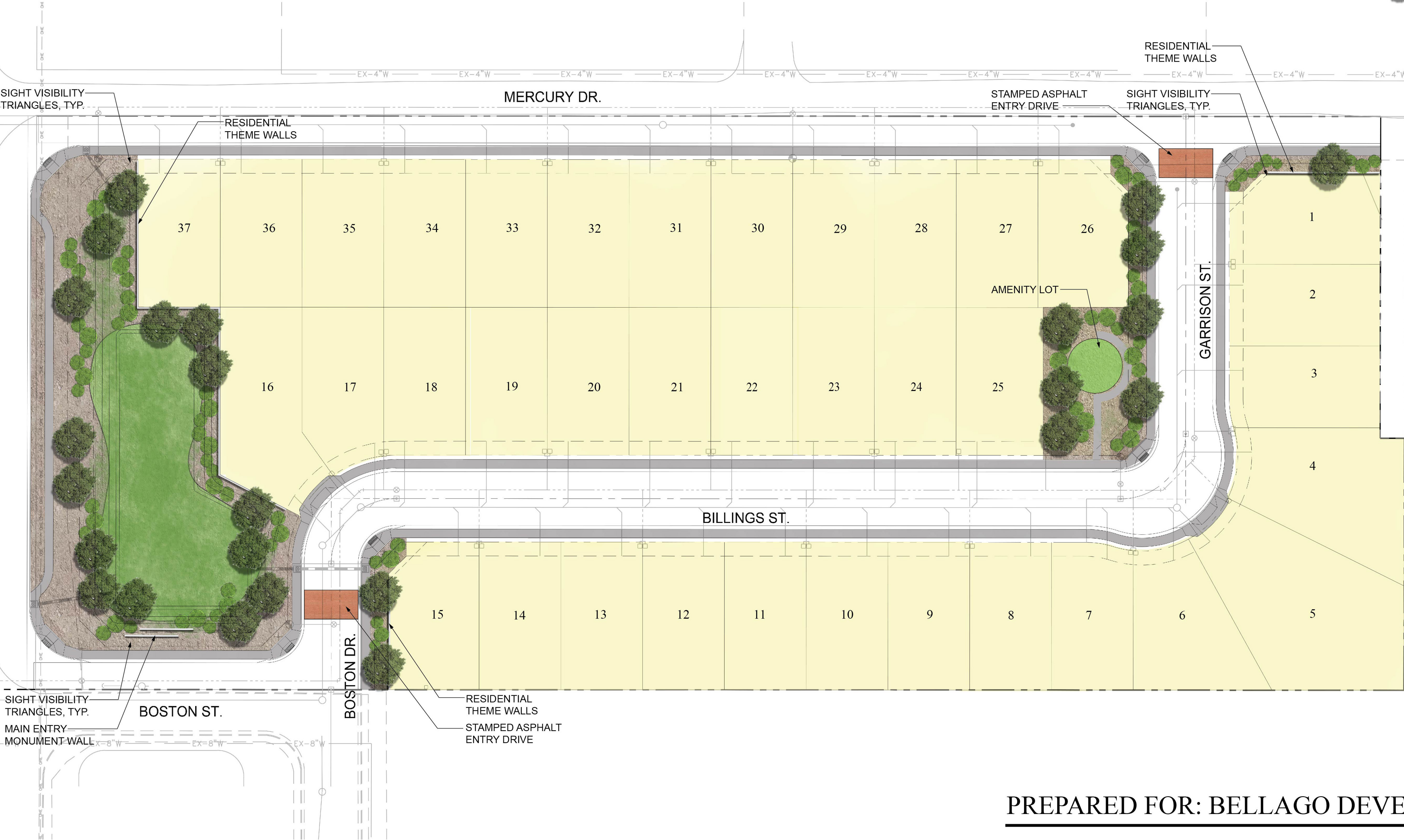
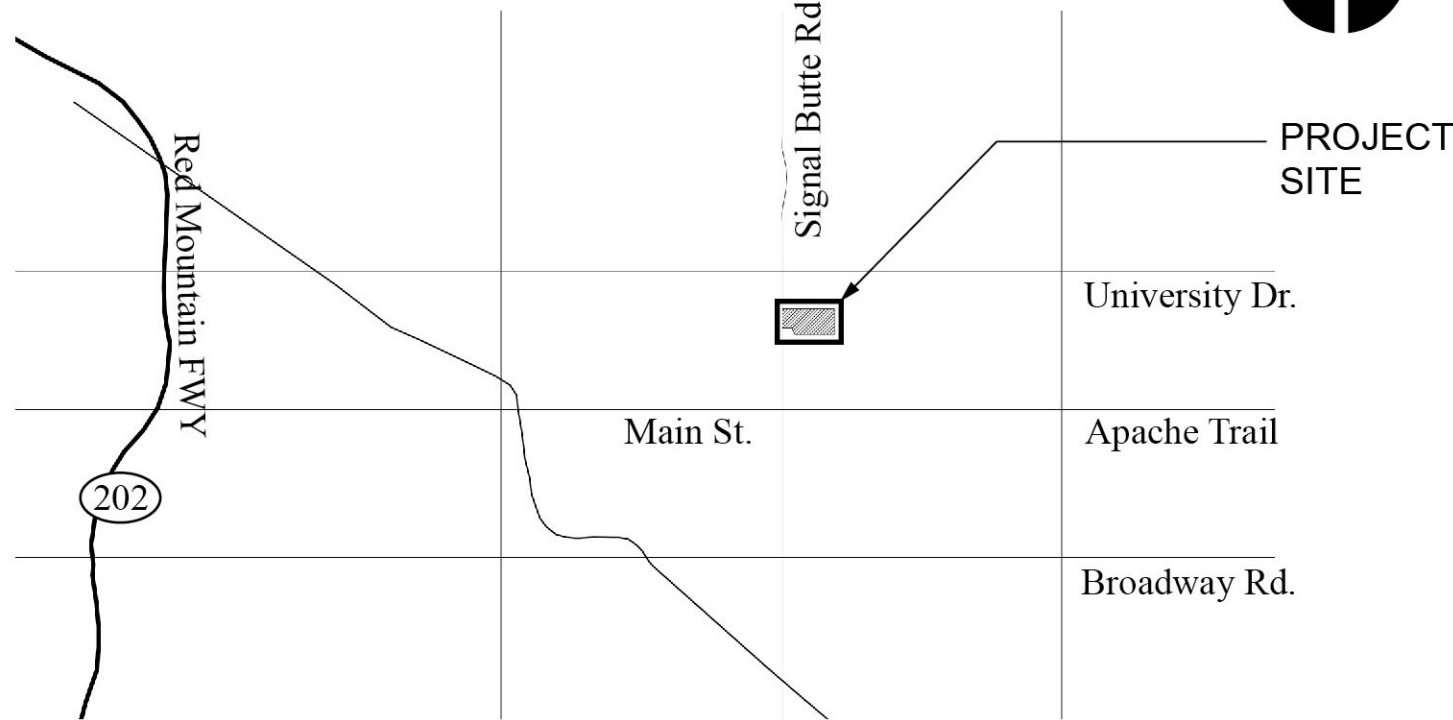
Amenities layout is conceptual and subject to change. Final configurations and arrangements to be determined in Construction Documents.
9.

Additional plant material may be introduced, but will remain in conformance with City of Mesa approved plant lists.
10.


Landscape tracts and open space to be maintained by Homeowner's Association
11.

Plant types and quanties will conform to the City of Mesa Land-scape/Streetscape Guidelines.
12.

Retention Basins shown are conceptual and subject change. Final configurations and arrangements to be determined in Construction Documents.



- TREES



Cercidium microphyllum  
Prosopis Velutina  
Acacia farnasiana  
Cercidium flordium  
Cercidium microphyllum  
Celtis reticulata  
Parkinsona praecox  
Chilopsis linearis  
Prosopis glandulosa v. torreyana

Foothill Palo Verde  
Native Mesquite  
Sweet Acacia  
Blue Palo Verde  
Foothills Palo Verde  
Netleaf Hackberry  
Palo Brea  
Desert Willow  
Western Honey Mesquite


- SHRUBS



Larrea tridentata (divaricata)  
Atriplex canescens  
Encelia farinosa  
Calliandra eriophylla  
Ephedra aspera  
Dalea pulchra  
Muhlenbergia capillaris  
Chrysactinia mexicana  
Penstemon pseudospectabilis  
Salvia clevelandia  
Melampodium leucanthum  
Penstemon parryi  
Gaillardia aristata

Creosote Bush  
Fourwing Saltbrush  
Brittlebush  
Fairy Duster  
Mormon Tea  
Bush Dalea  
Pink Muhly  
Damianita  
Arizona Penstemon  
Cleveland Sage  
Angelita's Daisy  
Parry's Penstemon  
Arizona Blanket Flower

- CACTI



Carnegiea gigantea  
Fourquieria splendens  
Agave palmeri

Saguaro  
Octotillo  
Palmers Agave

- DECOMPOSED GRANITE



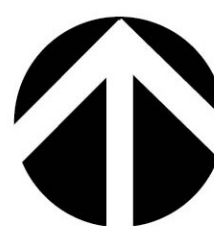
3/4" Minus / 3" Deep All Planting Areas  
Color: Apache Gold

STAMPED ASPHALT ENTRY



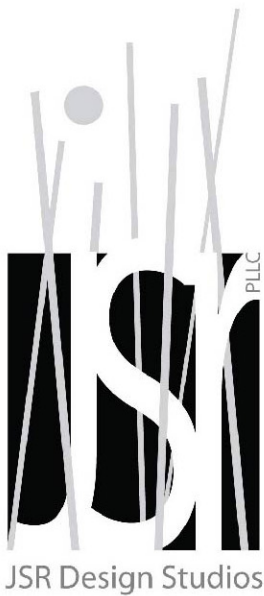
Decorative Stamped Asphalt  
Color: Brown Brick or Cobble Stone Pattern

PREPARED FOR: BELLAGO DEVELOPMENT



PRELIMINARY NOT FOR CONSTRUCTION  
NORTH  
SCALE: 1"=30'-0"

SHEET  
L.1





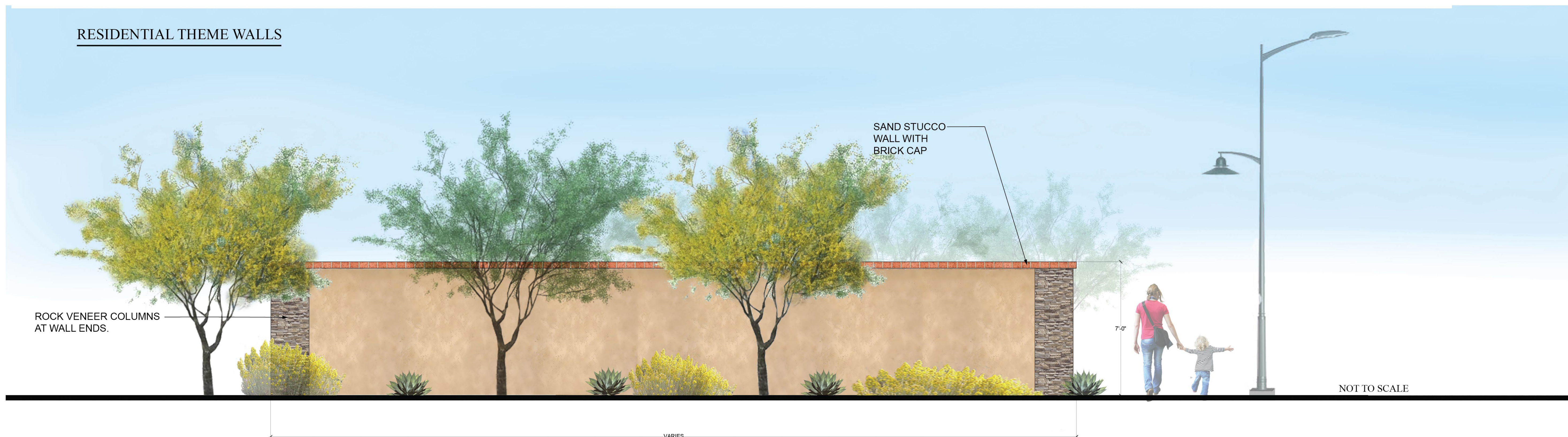
# MONTELUCCIA

MESA, ARIZONA August 7, 2018

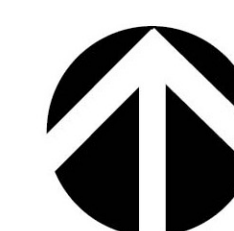
MAIN ENTRY MONUMENT SIGN



RESIDENTIAL THEME WALLS



PREPARED FOR: BELLAGO DEVELOPMENT

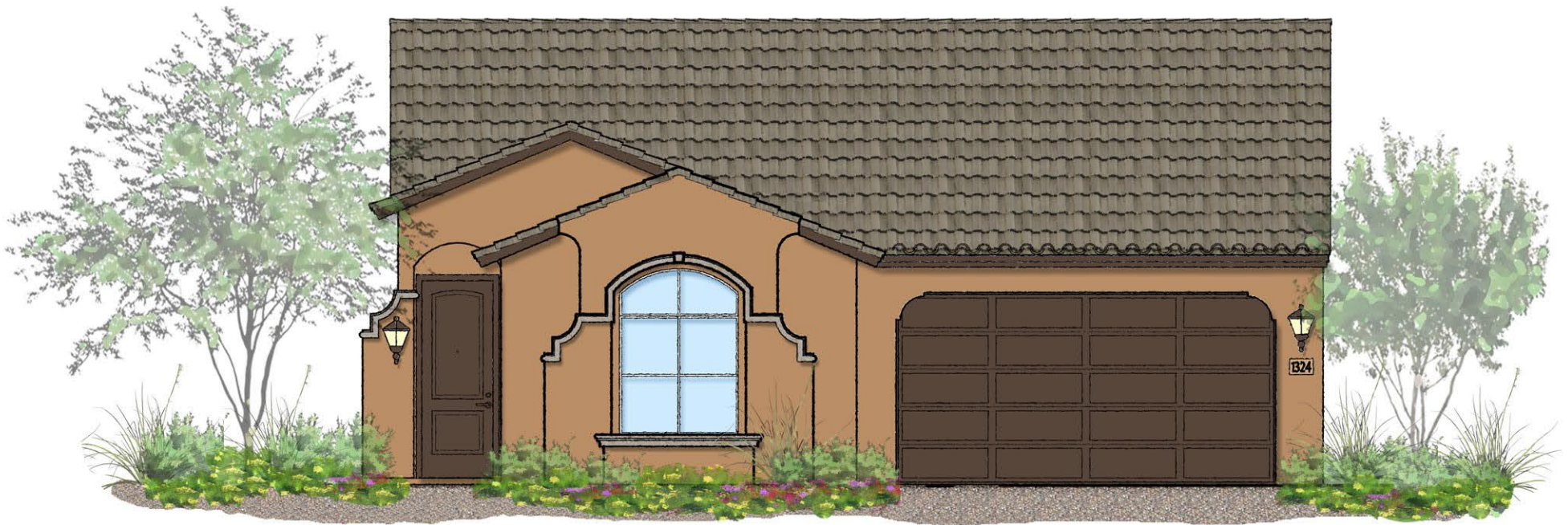


PRELIMINARY NOT FOR CONSTRUCTION  
NOT TO SCALE

SHEET  
L.2







FRONT ELEVATION A  
SPANISH COLONIAL



FRONT ELEVATION B  
SPANISH MONTEREY



FRONT ELEVATION C  
CRAFTSMAN

PLAN 1324







FRONT ELEVATION A  
SPANISH COLONIAL



FRONT ELEVATION B  
SPANISH MONTEREY



FRONT ELEVATION C  
CRAFTSMAN

PLAN 1670





FRONT ELEVATION A  
SPANISH COLONIAL



FRONT ELEVATION B  
SPANISH MONTEREY



FRONT ELEVATION C  
CRAFTSMAN

PLAN 1799





FRONT ELEVATION A  
SPANISH COLONIAL



FRONT ELEVATION B  
SPANISH MONTEREY



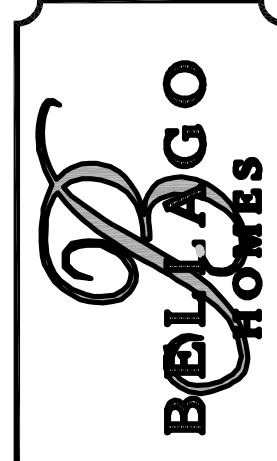
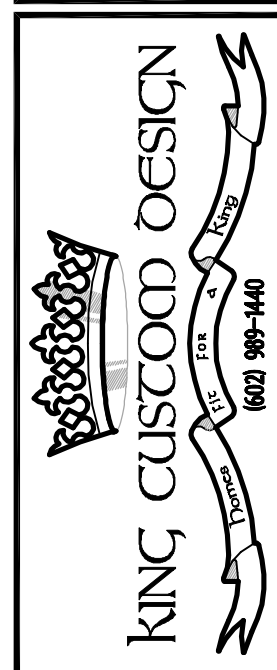
FRONT ELEVATION C  
CRAFTSMAN

PLAN 2035



REVISIONS	BY
4/8/15	KK
11/14/15	KK
3/23/16	KK

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BELLASO DEVELOPMENT LLC.  
1206 NORTH LINDSAY ROAD  
MESA, ARIZONA 85213  
PHONE: 602-481-0535

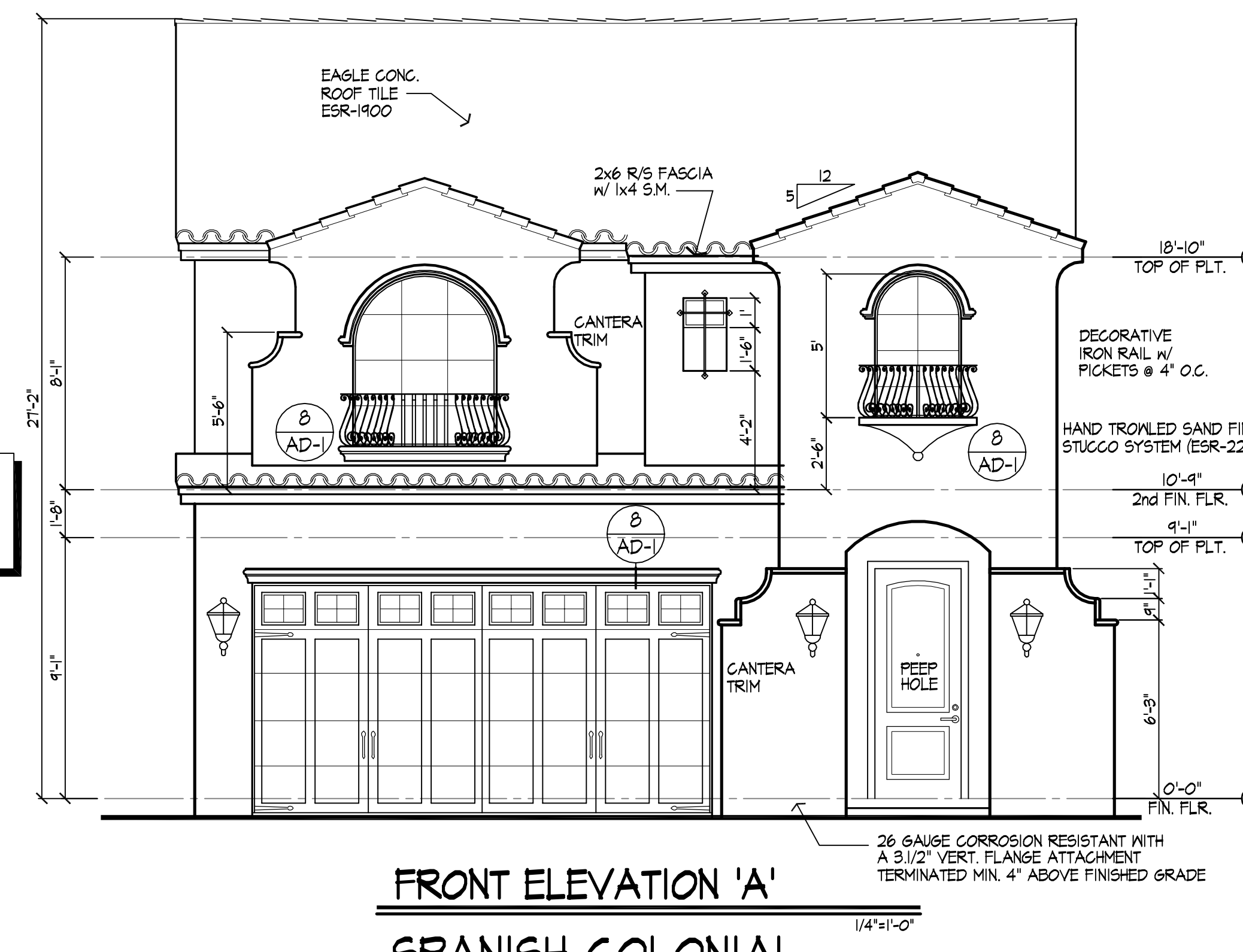
PLAN #1670

ELEVATIONS  
SPANISH COLONIAL

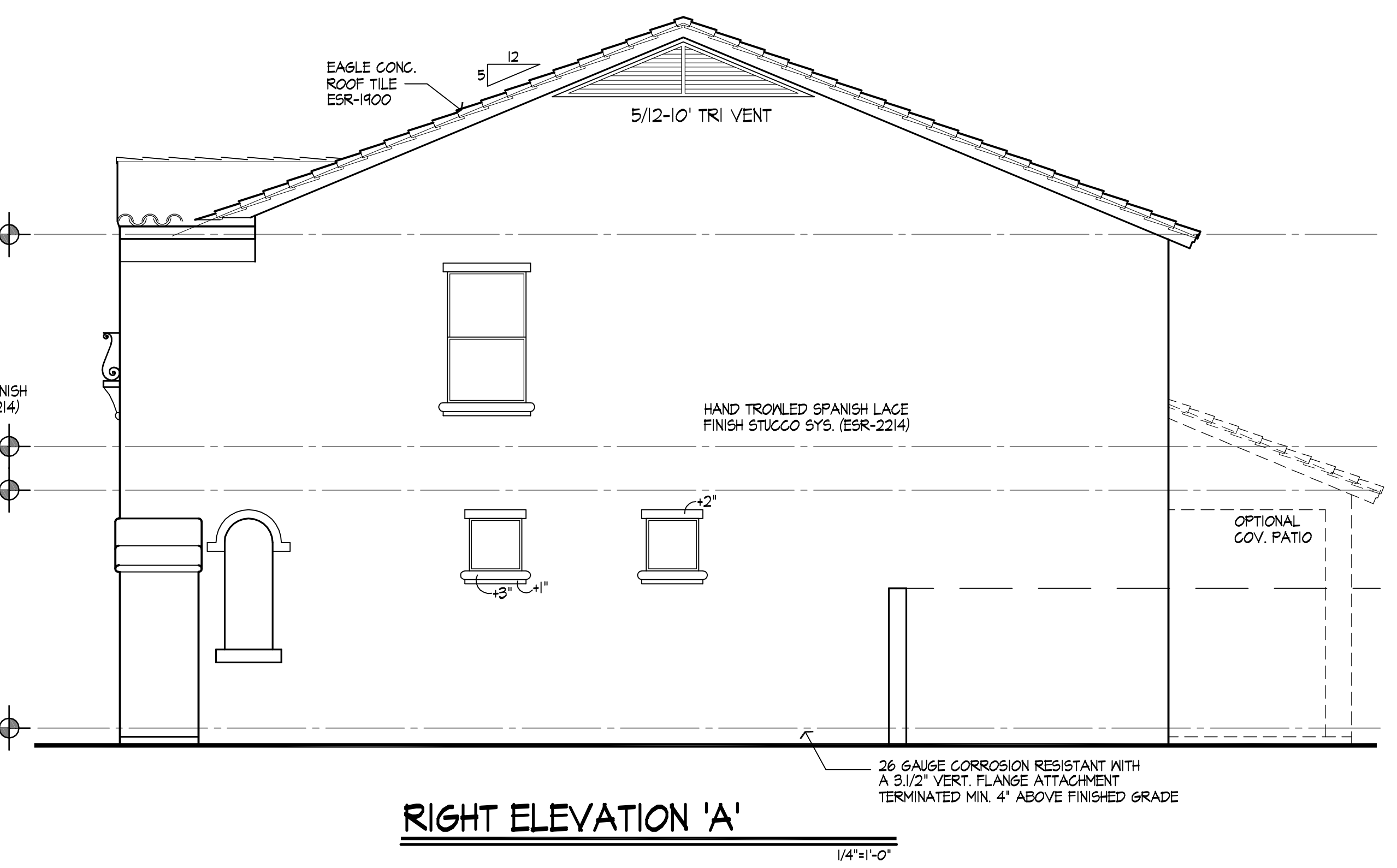
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DRAWN: K.KING  
JOB: BEL-1670M  
SHEET:

A-4a

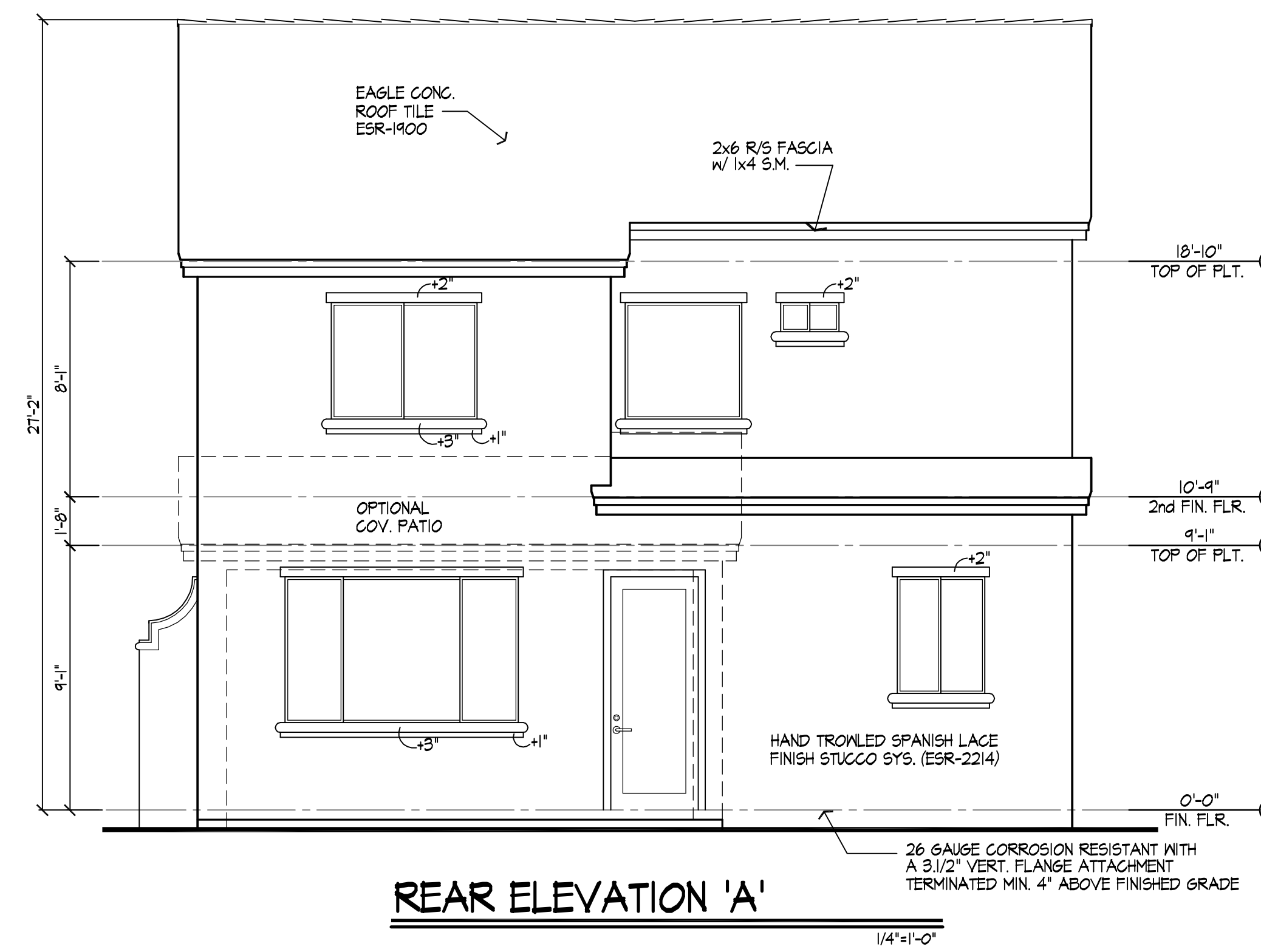
DECORATIVE IRON RAIL  
KING ARCHITECTURAL METALS  
UPPER STORY WINDOWS  
13-TT284-504-22" TALL



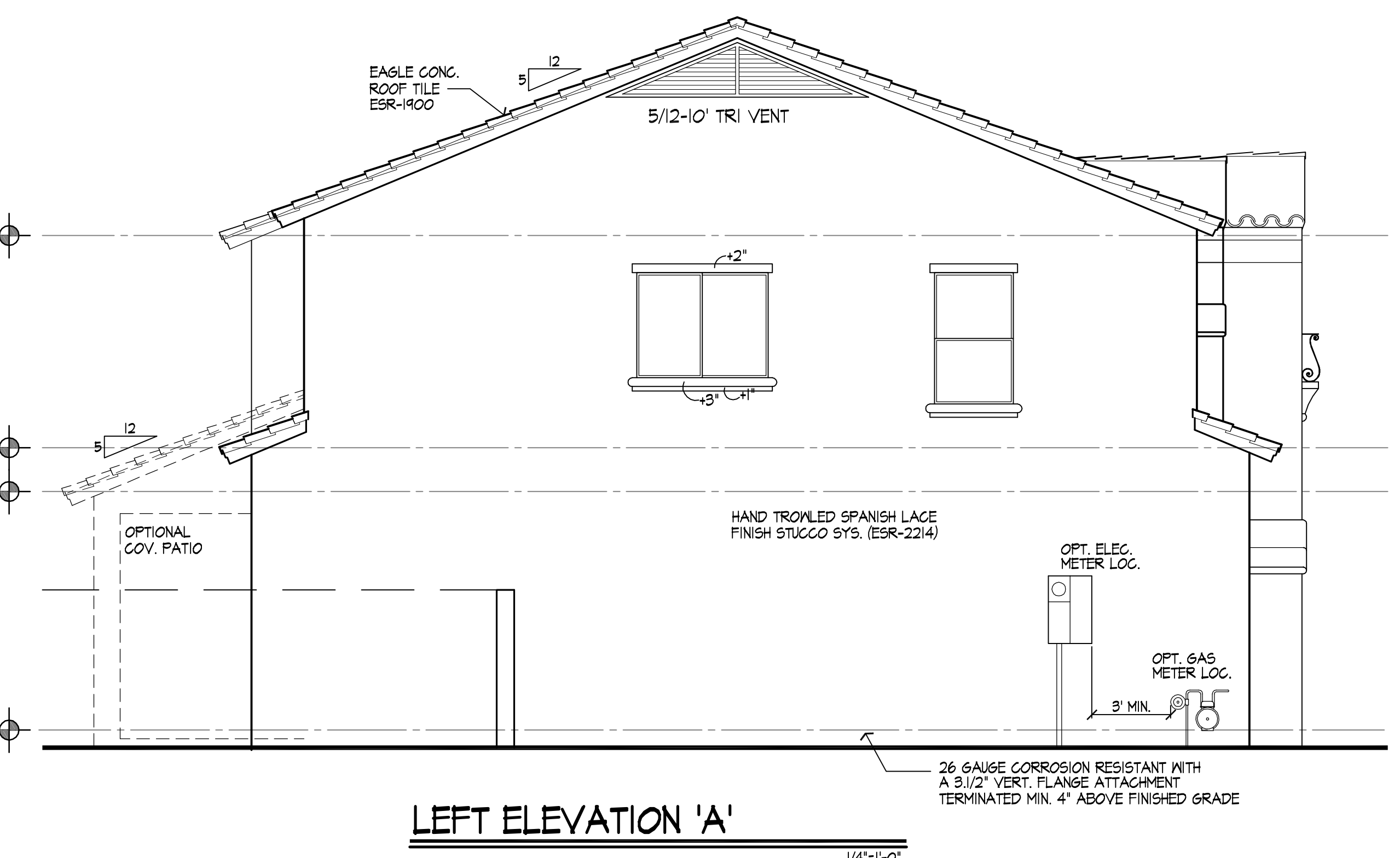
FRONT ELEVATION 'A'  
SPANISH COLONIAL



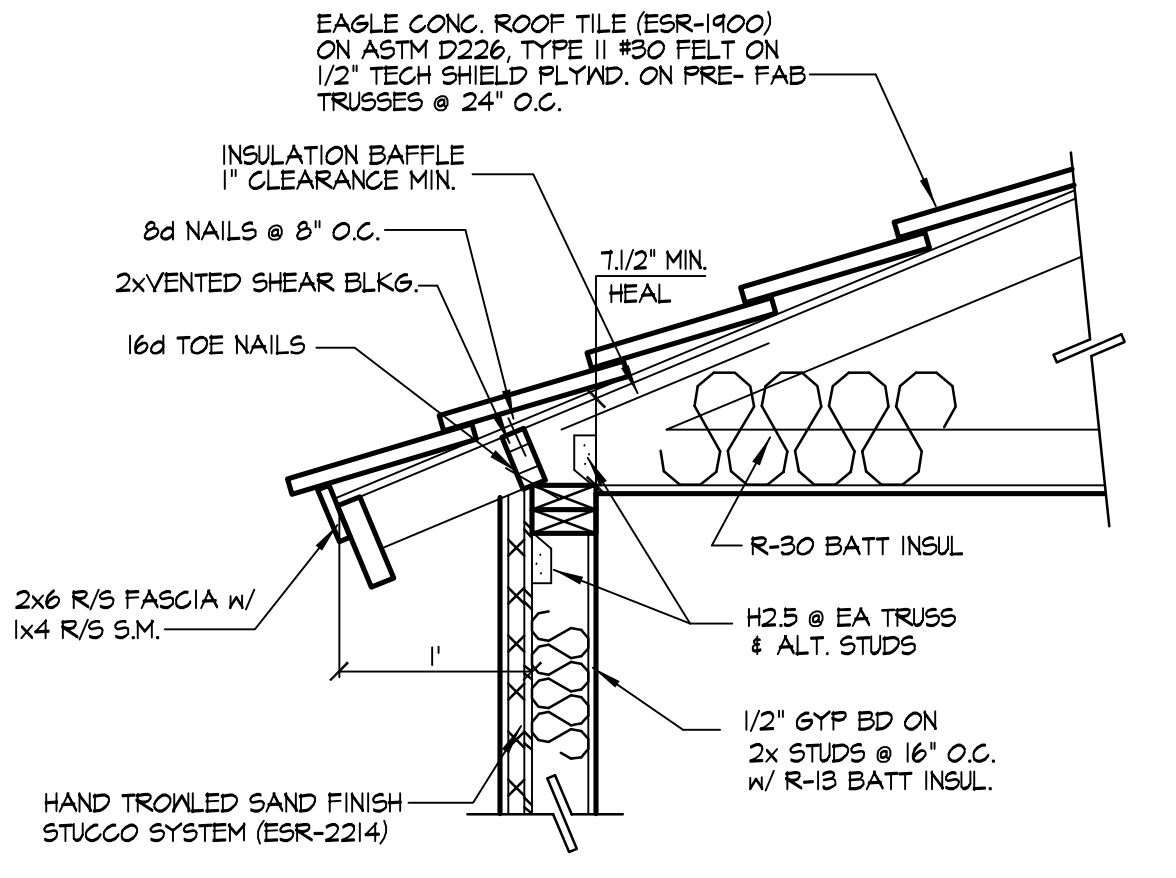
RIGHT ELEVATION 'A'



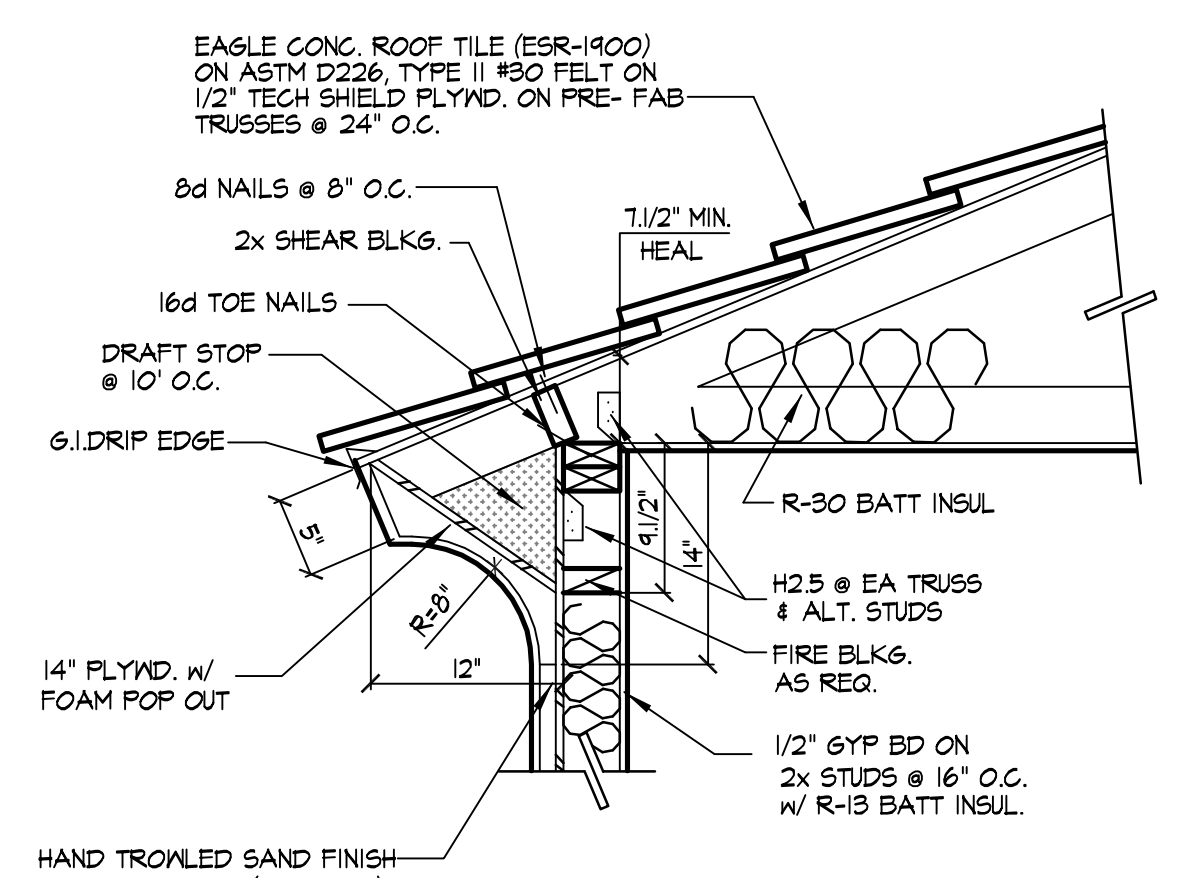
REAR ELEVATION 'A'



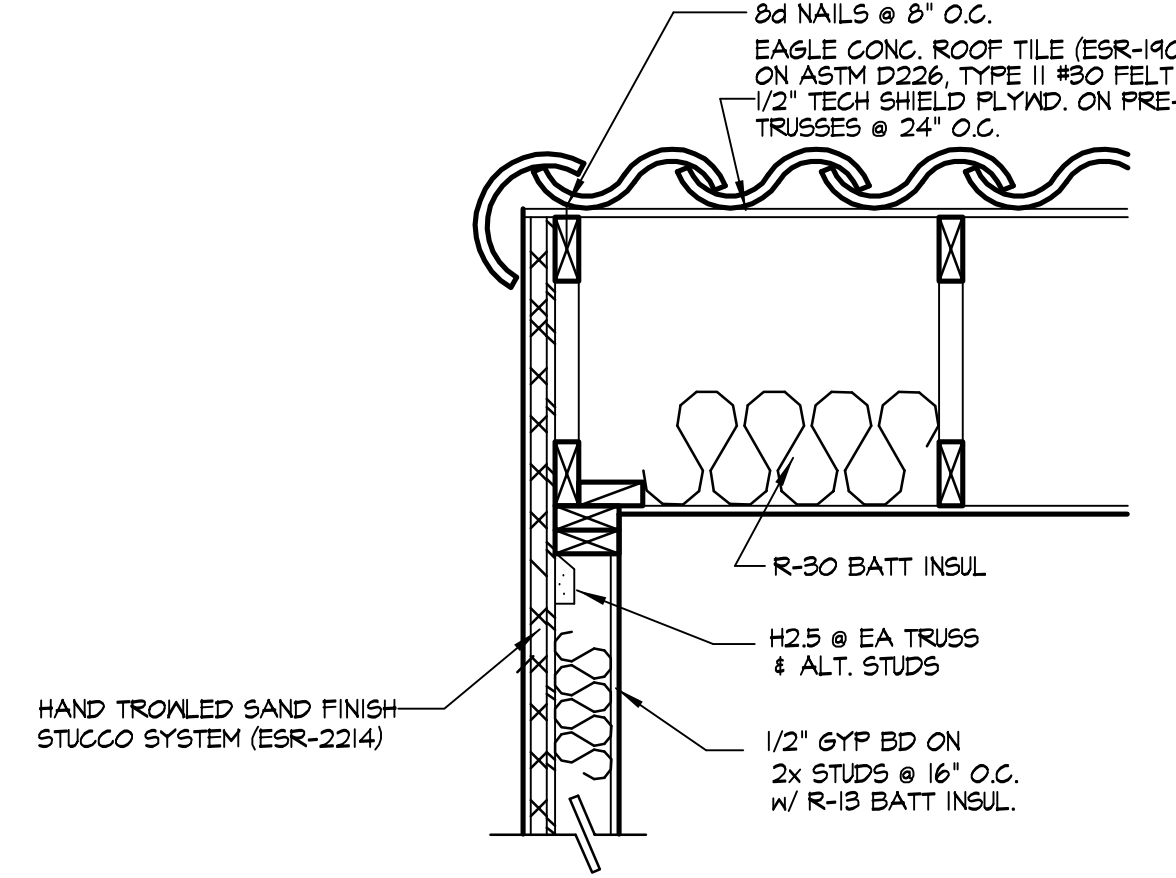
LEFT ELEVATION 'A'



③ FASCIA DETAIL  
1"=1'-0"

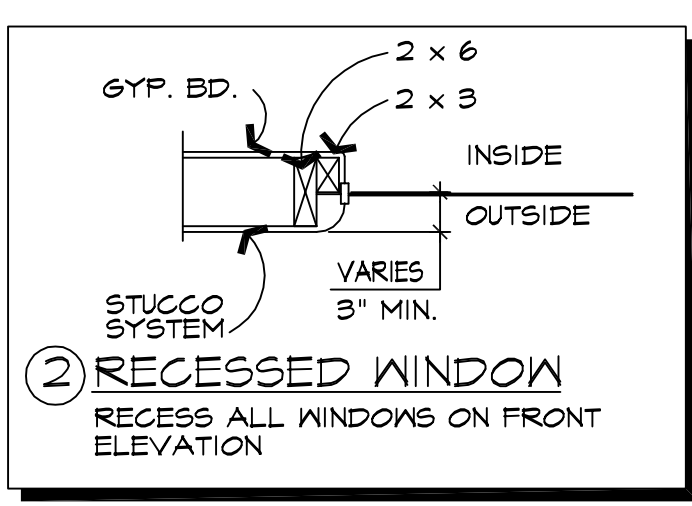


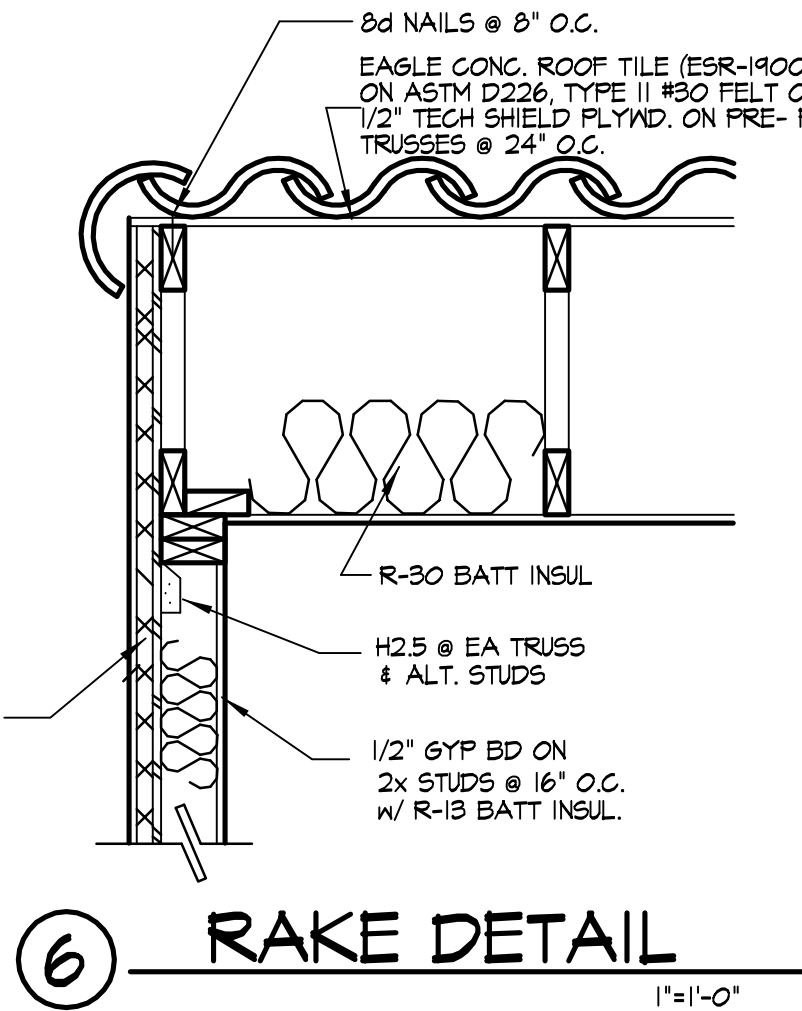
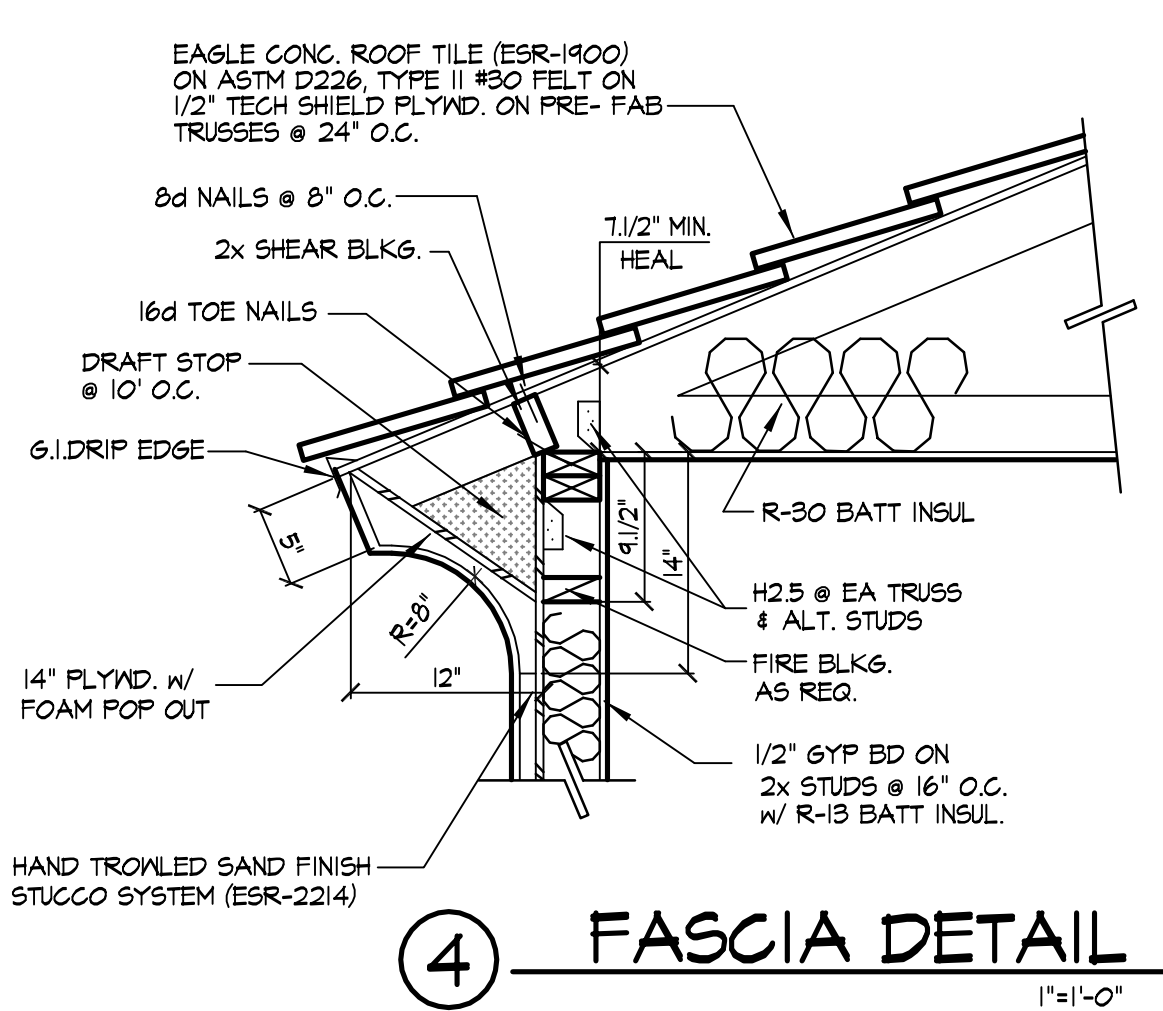
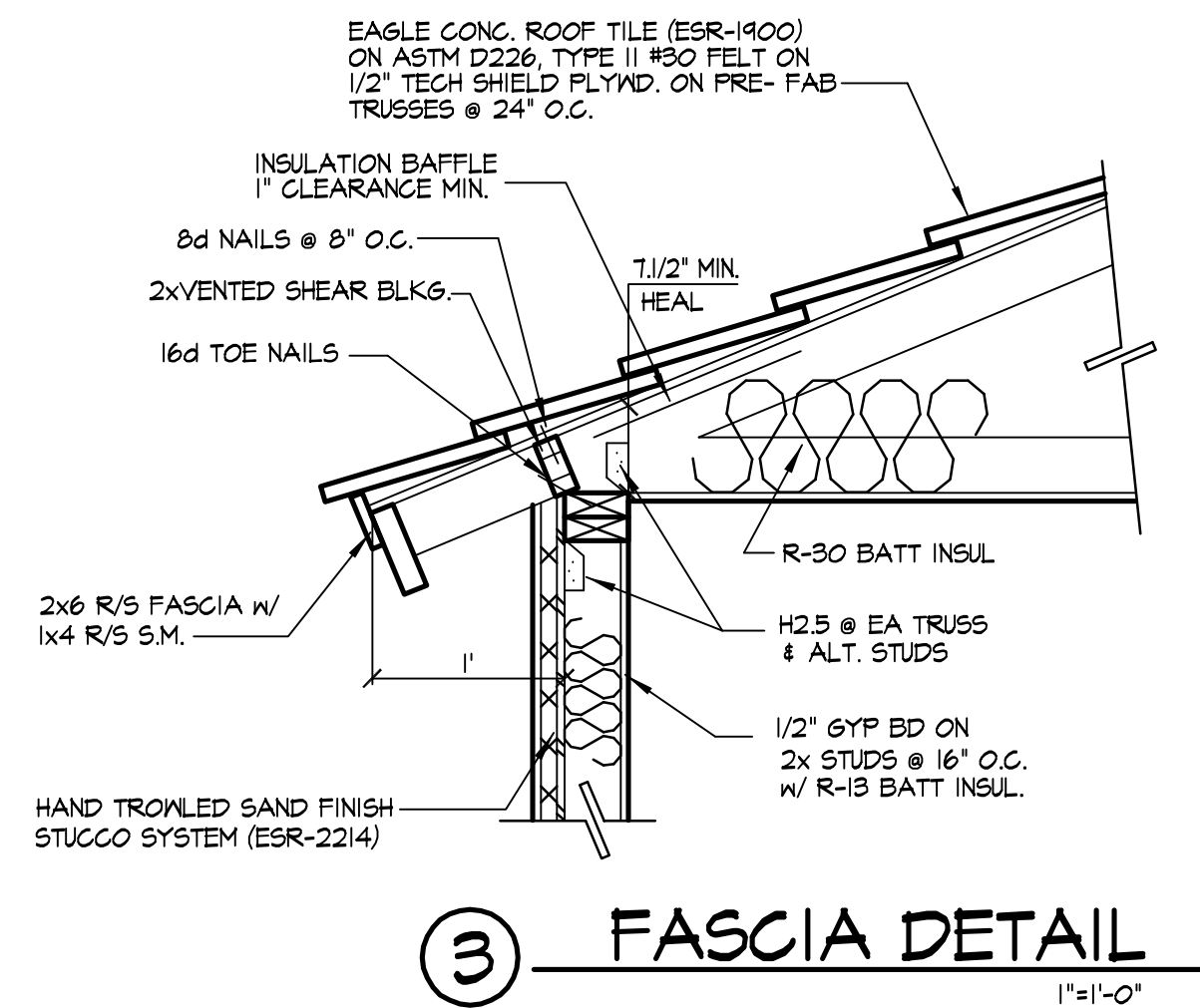
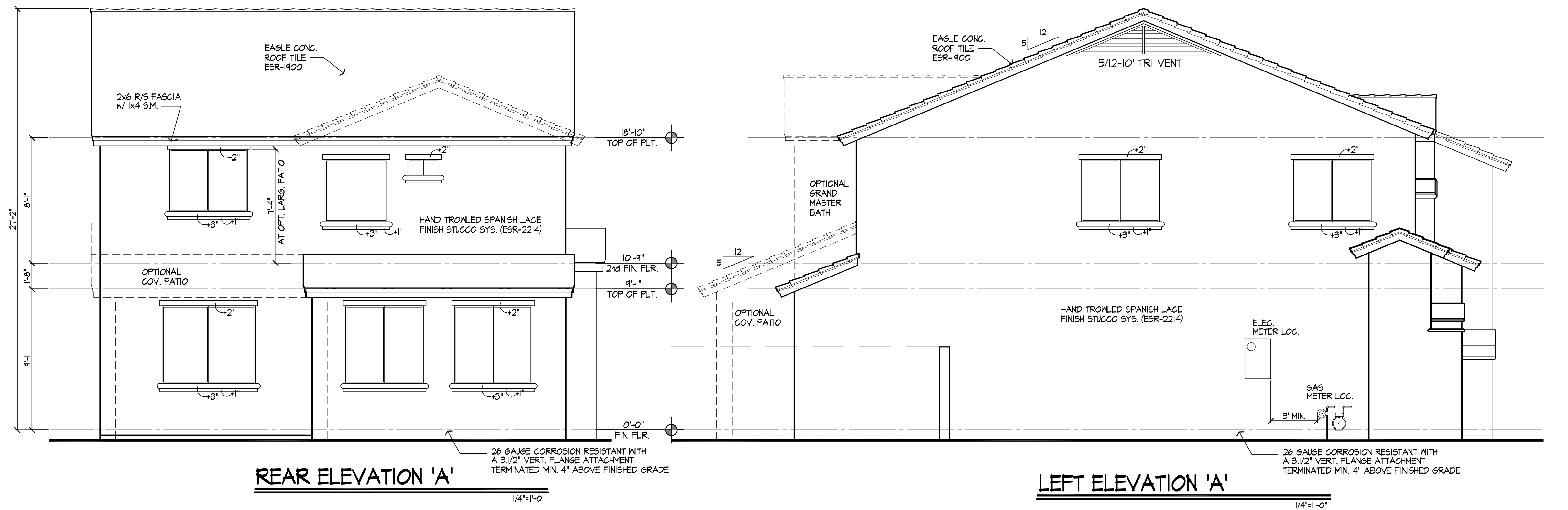
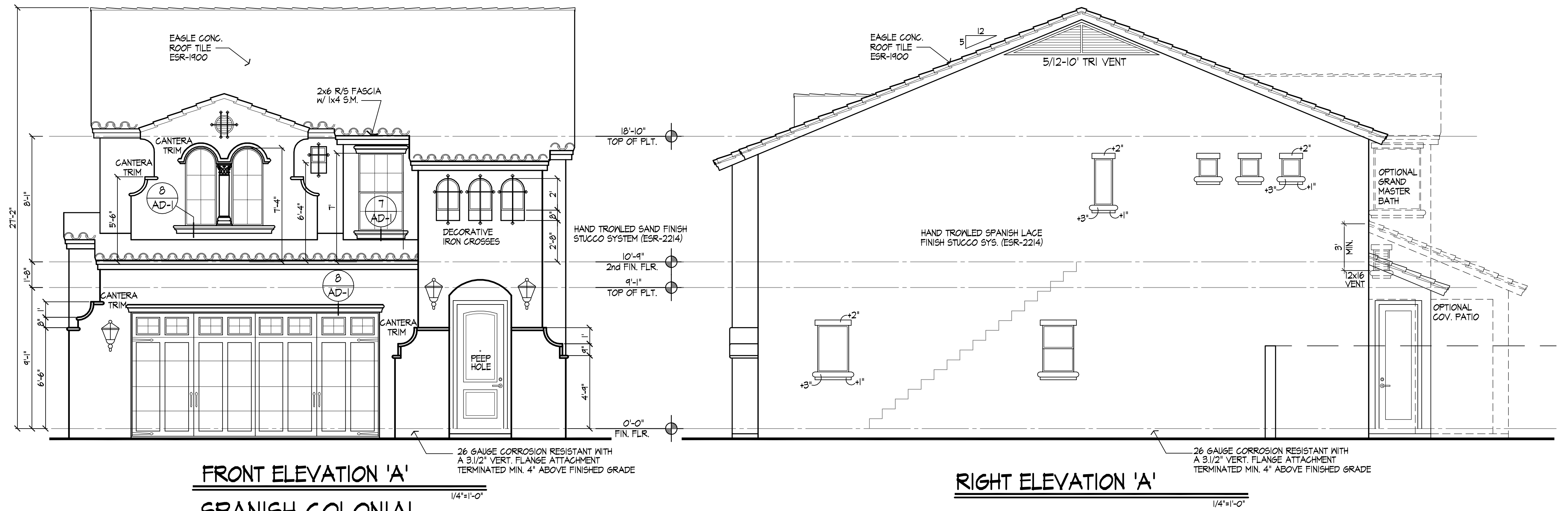
④ FASCIA DETAIL  
1"=1'-0"



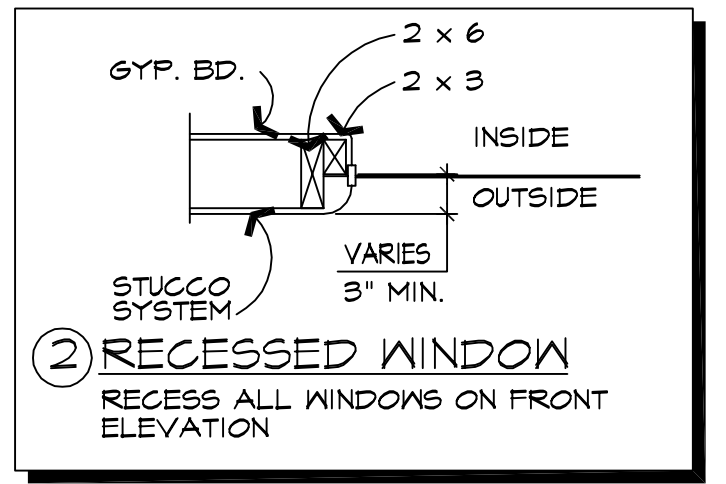
⑥ RAKE DETAIL  
1"=1'-0"

SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERWALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4313-01)  
OVER A WEATHER BARRIER CONSISTING OF (1) LAYER OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.





SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERWALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4313-01)  
OVER A WEATHER BARRIER CONSISTING OF  
(1) LAYER OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2\"/>



REVISIONS		BY
1	11/18/15	KK
2	12/11/15	KK
3	3/22/16	KK

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MESA, ARIZONA 85213  
PHONE: 602-491-0535

BELLASO HOMES

BELLASO DEVELOPMENT LLC.  
1006 NORTH LINDSAY ROAD  
MESA, ARIZONA 85213  
PHONE: 602-491-0535

PLAN #1799

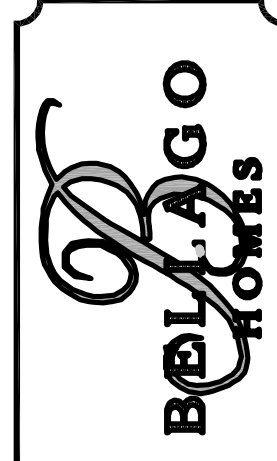
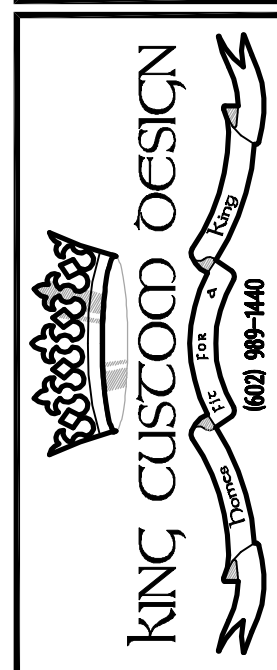
ELEVATIONS  
SPANISH COLONIAL

DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1799  
SHEET:

A-4a

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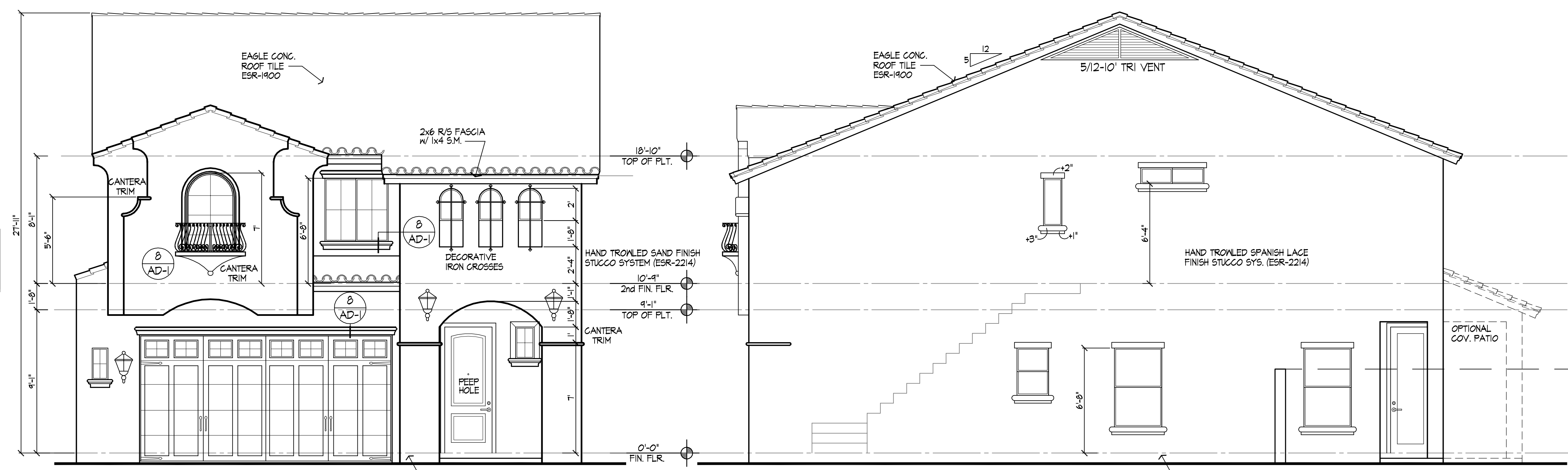
BELLASO DEVELOPMENT LLC.  
1206 NORTH LINDSAY ROAD  
MESA, ARIZONA 85213  
PHONE: 602-481-0535

PLAN #2035

ELEVATIONS  
SPANISH COLONIAL

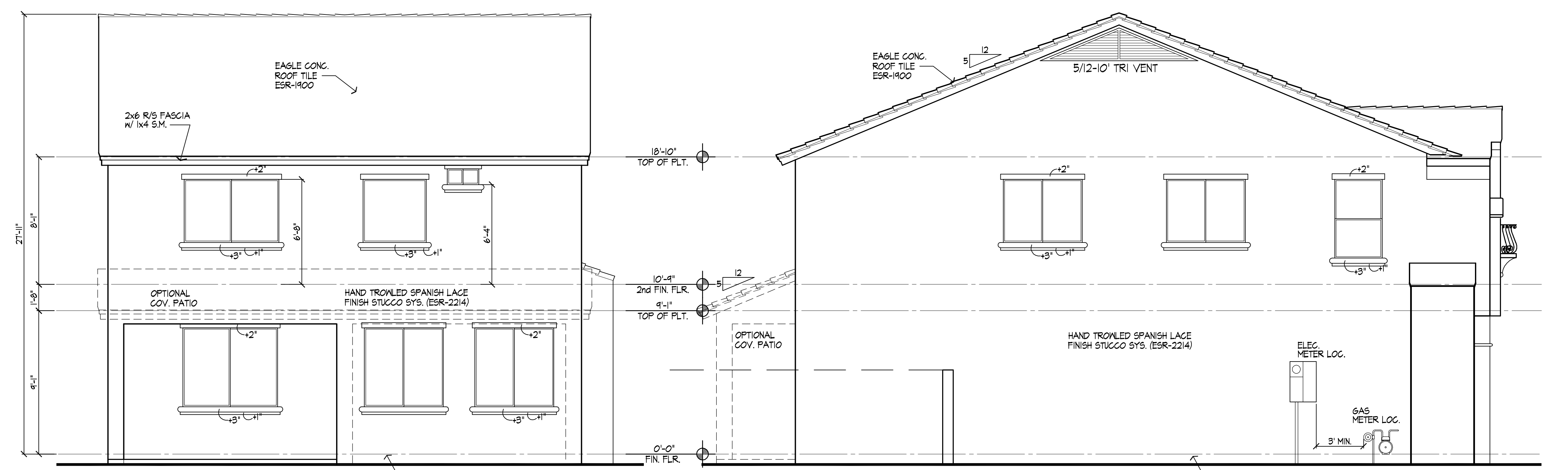
DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-2035  
SHEET:

A-4a



FRONT ELEVATION 'A'  
SPANISH COLONIAL

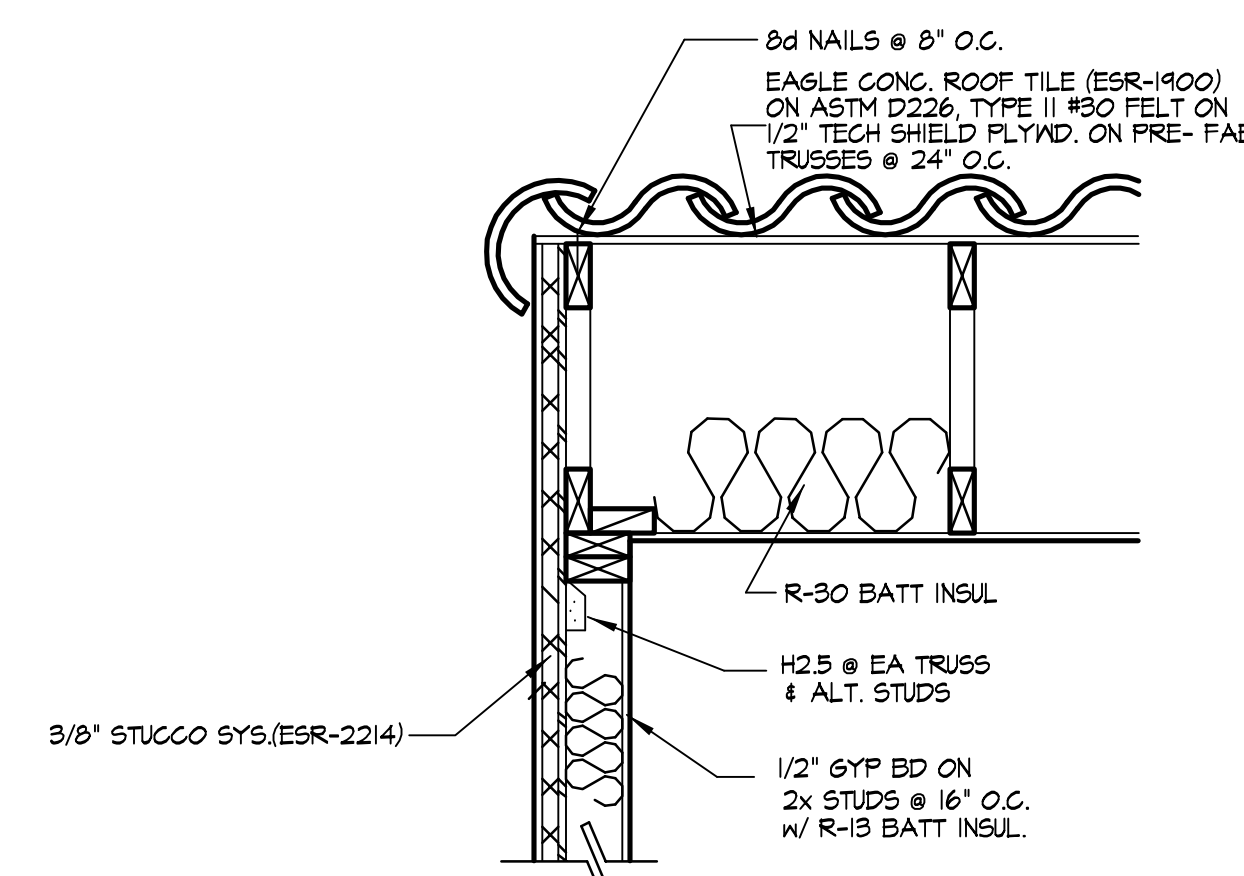
RIGHT ELEVATION 'A'



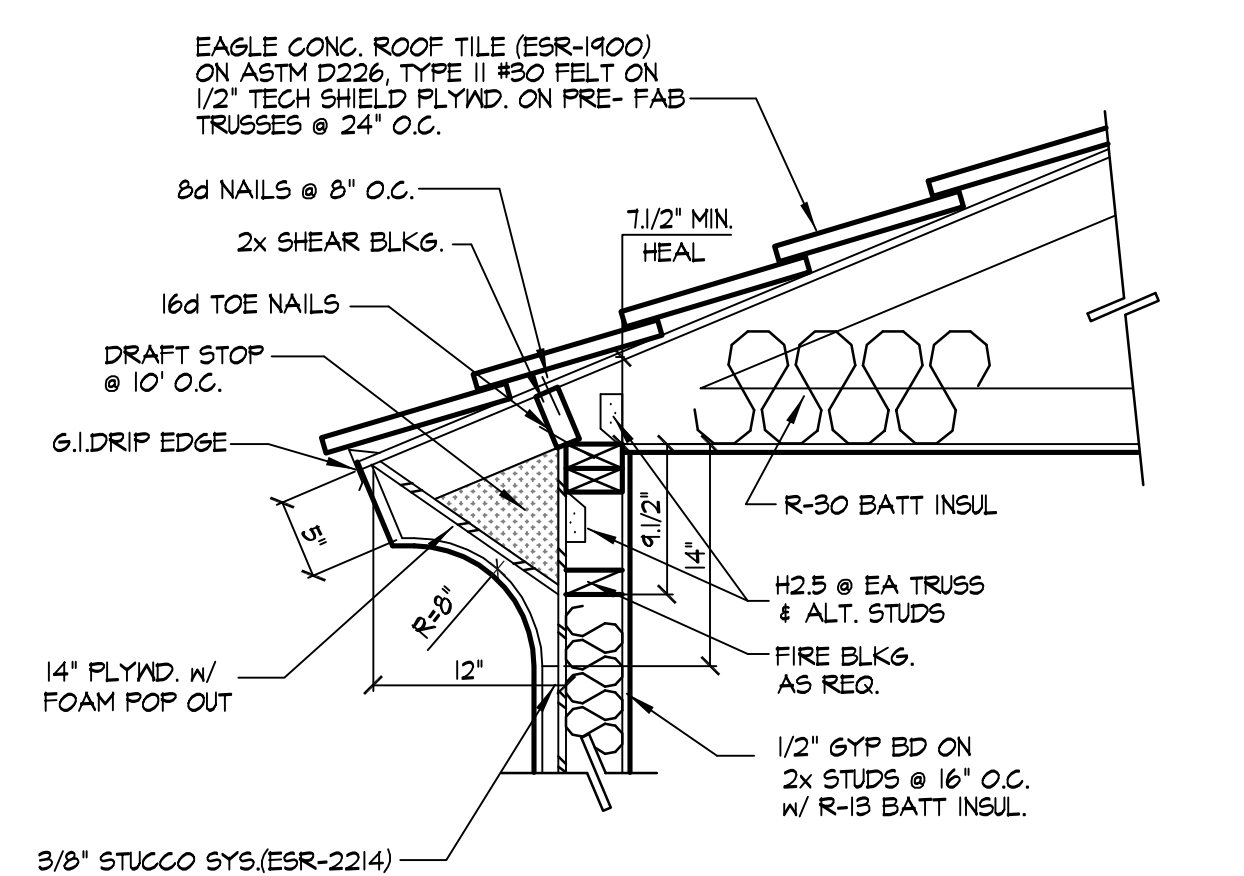
REAR ELEVATION 'A'

LEFT ELEVATION 'A'

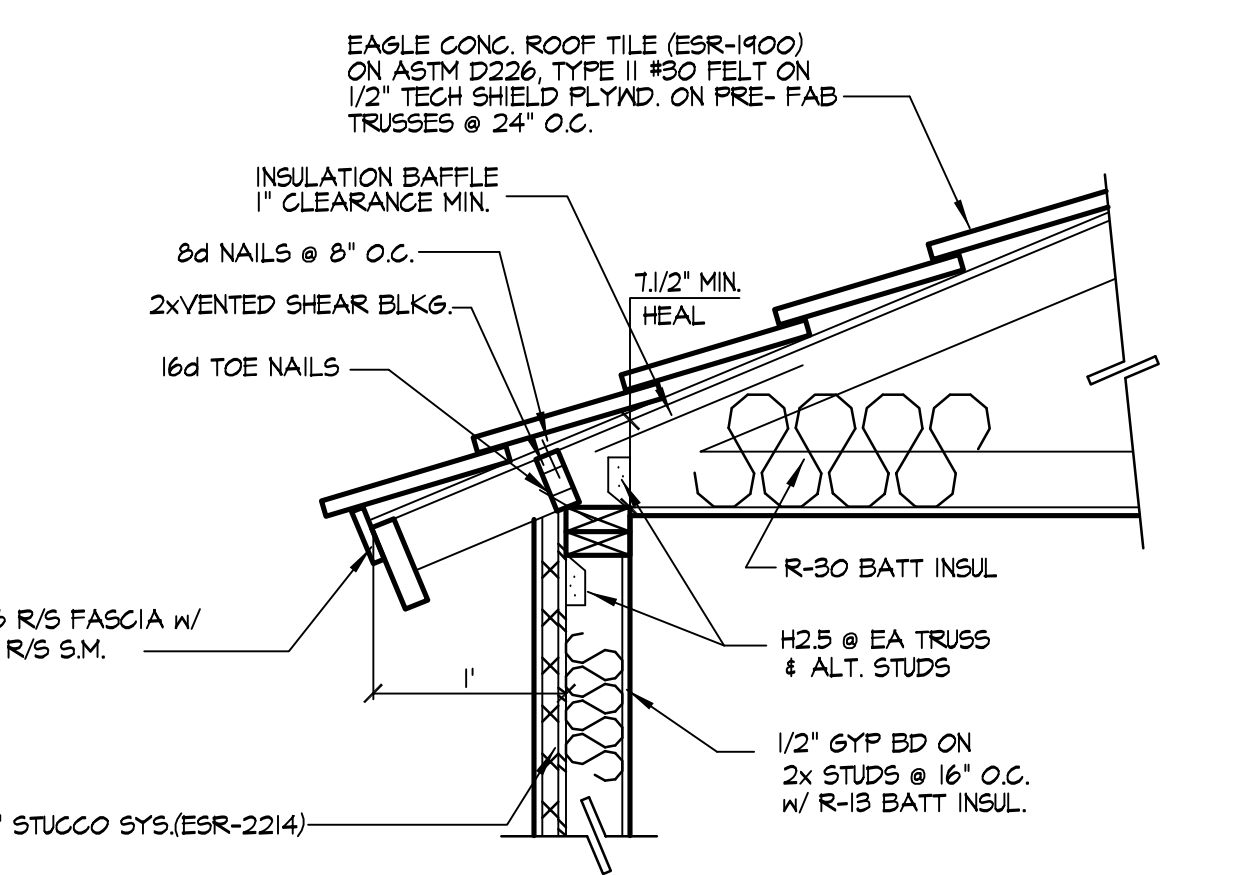
DECORATIVE IRON RAIL  
KING ARCHITECTURAL METALS  
UPPER STORY WINDOWS  
13-TT284-504-22" TALL



6 RAKE DETAIL

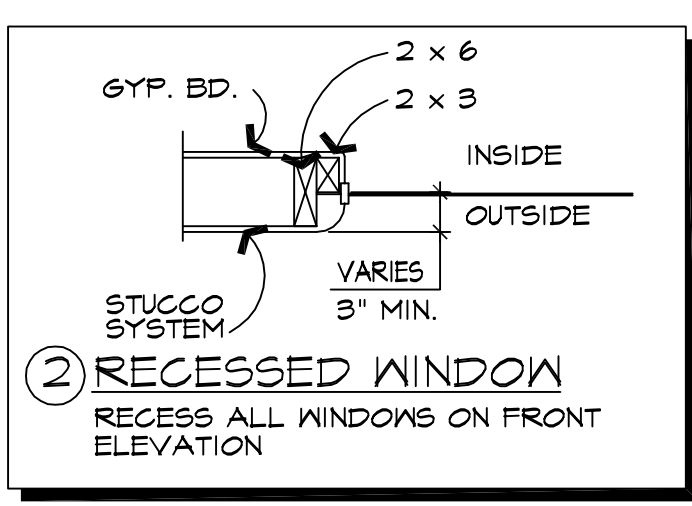


4 FASCIA DETAIL



3 FASCIA DETAIL

SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERWALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO  
COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED  
BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD  
OR GABLE-GUARD (UL ERI4313-01)  
OVER A WEATHER BARRIER CONSISTING OF  
(1) LAYER OF #15 ASPHALT FELT COMPLYING WITH  
ASTM D 226 TYPE II WITH MINIMUM 2" HORIZONTAL  
LAP AND 6" VERTICAL LAPS.

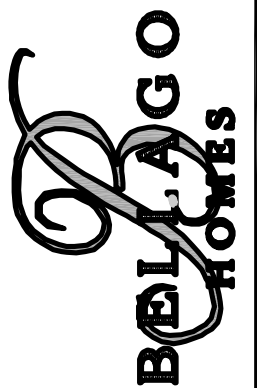
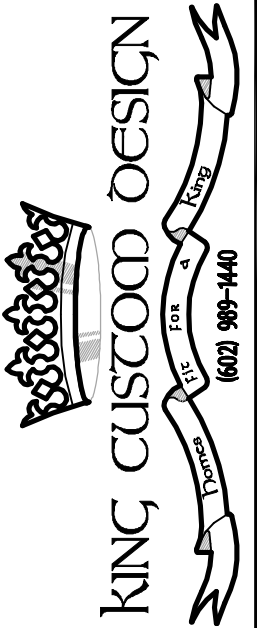


2 RECESSED WINDOW  
RECESS ALL WINDOWS ON FRONT  
ELEVATION



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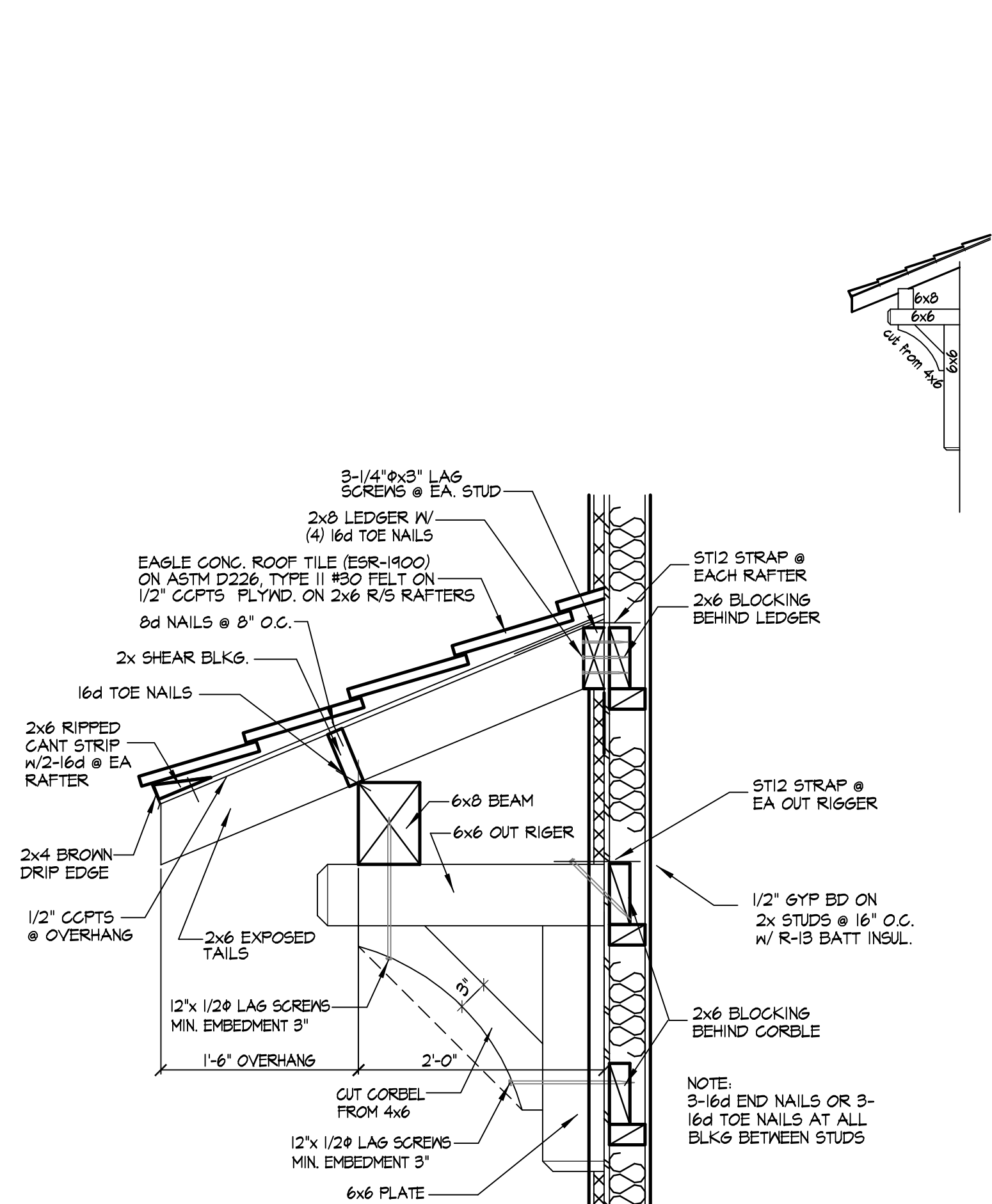
BELLASO DEVELOPMENT LLC.  
1206 NORTH LINDSAY ROAD  
WEINKBELLASOHOMES.COM  
MESA, ARIZONA 85213  
PHONE: 602-481-0535

PLAN #1670

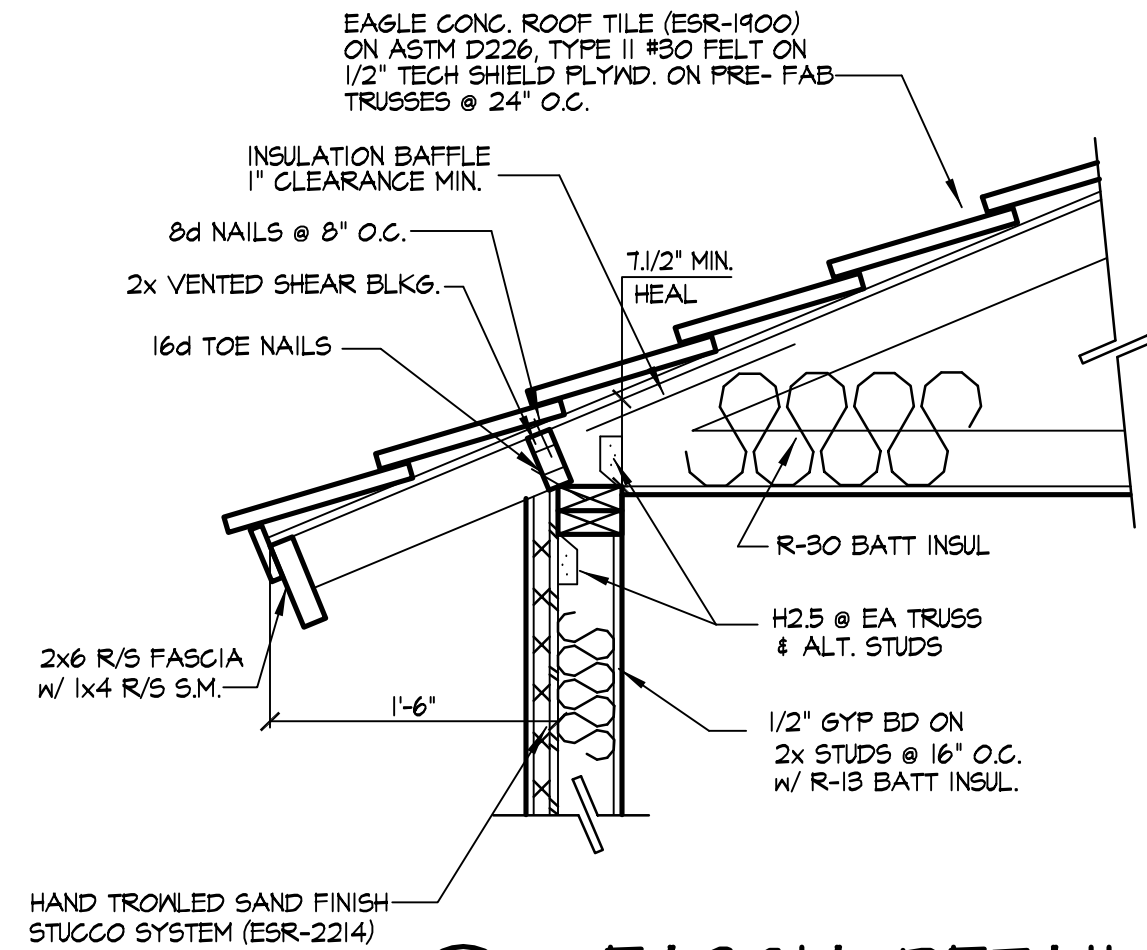
ELEVATIONS  
SPANISH MONTEREY

DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1670M  
SHEET:

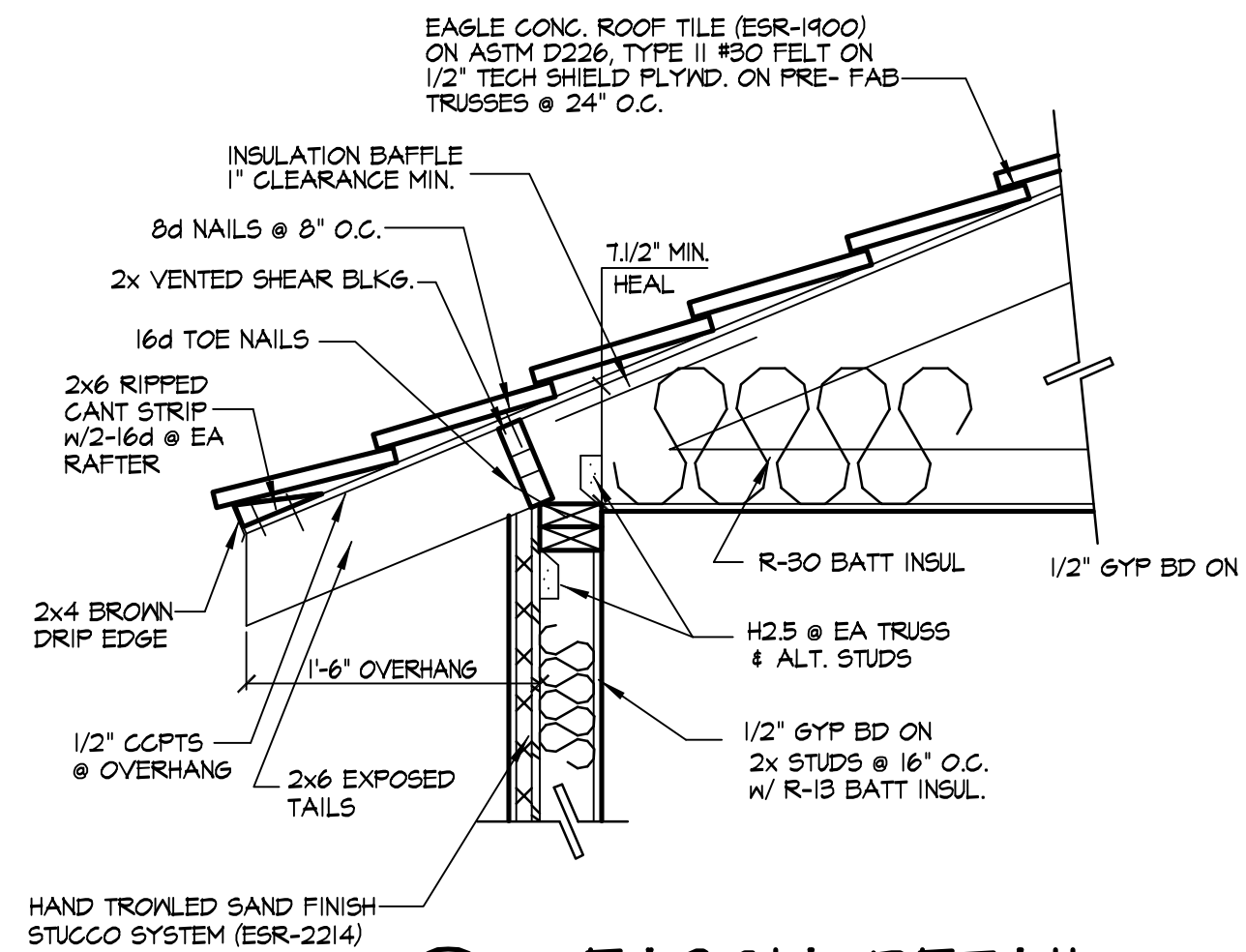
A-4b



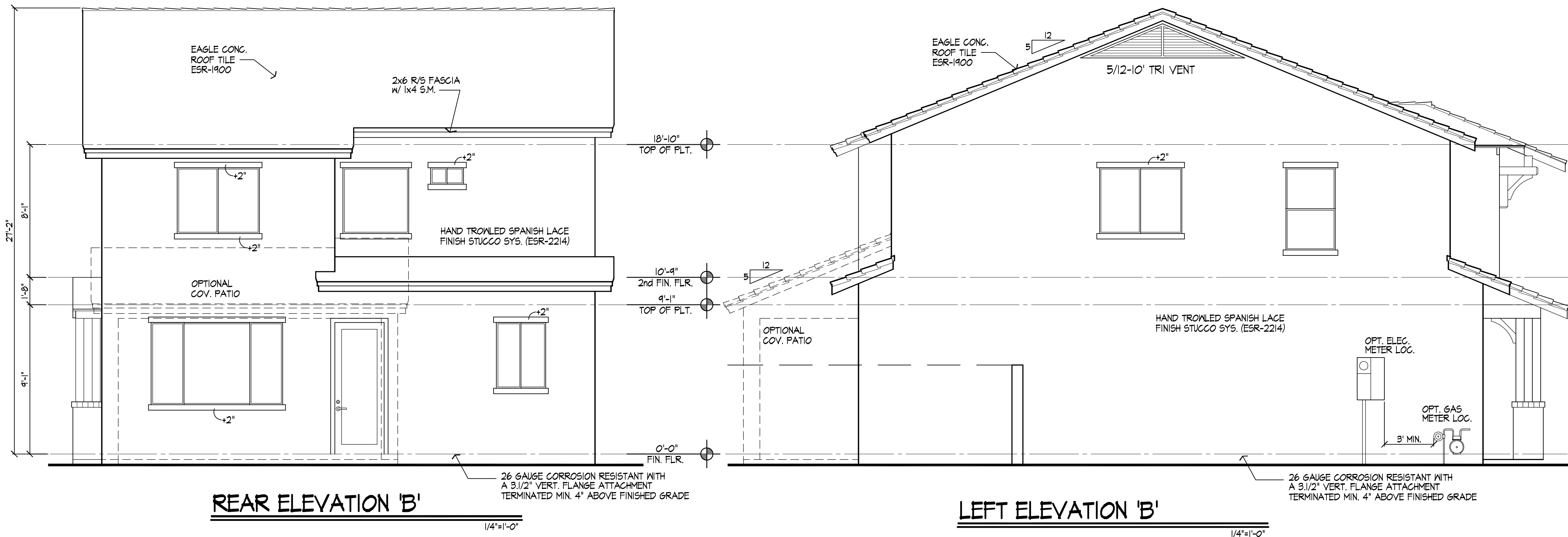
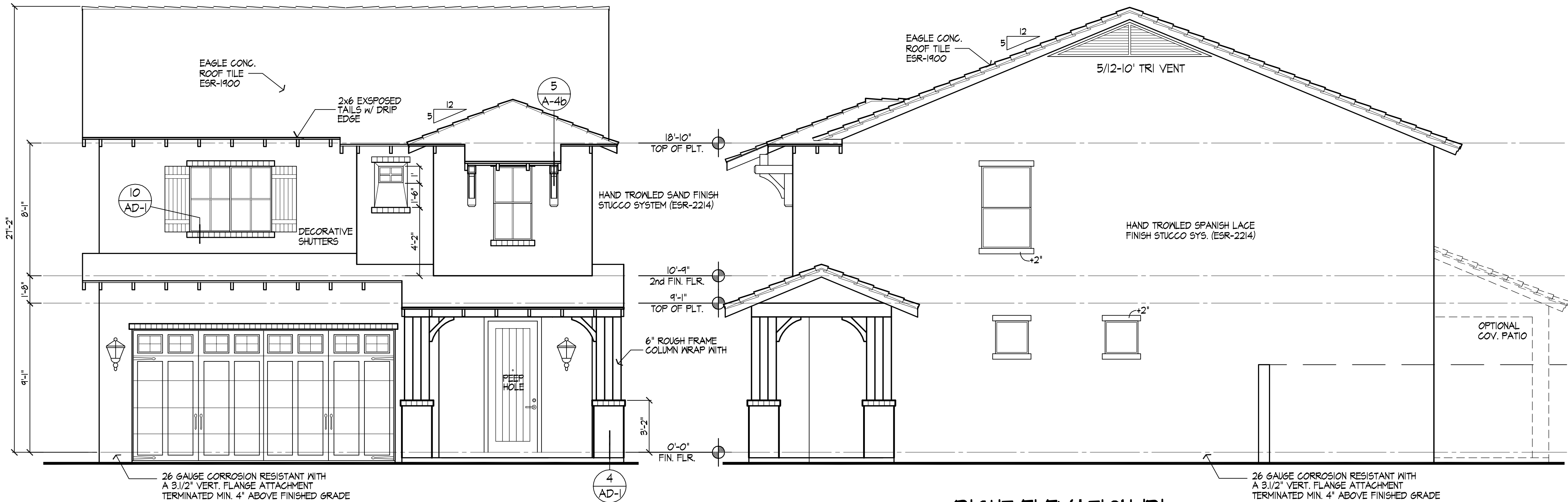
5 WINDOW ANNING



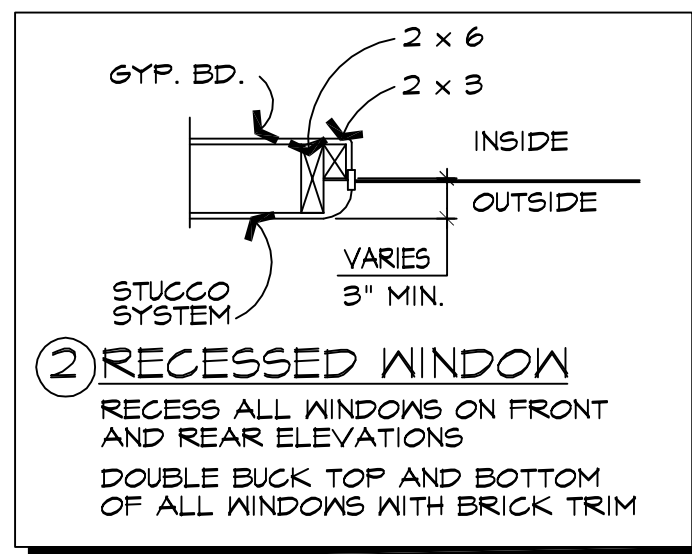
4 FASCIA DETAIL



3 FASCIA DETAIL



SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERWALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4313-01)  
OVER A WEATHER BARRIER CONSISTING OF  
(1) LAYER OF OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.



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1000 996-140

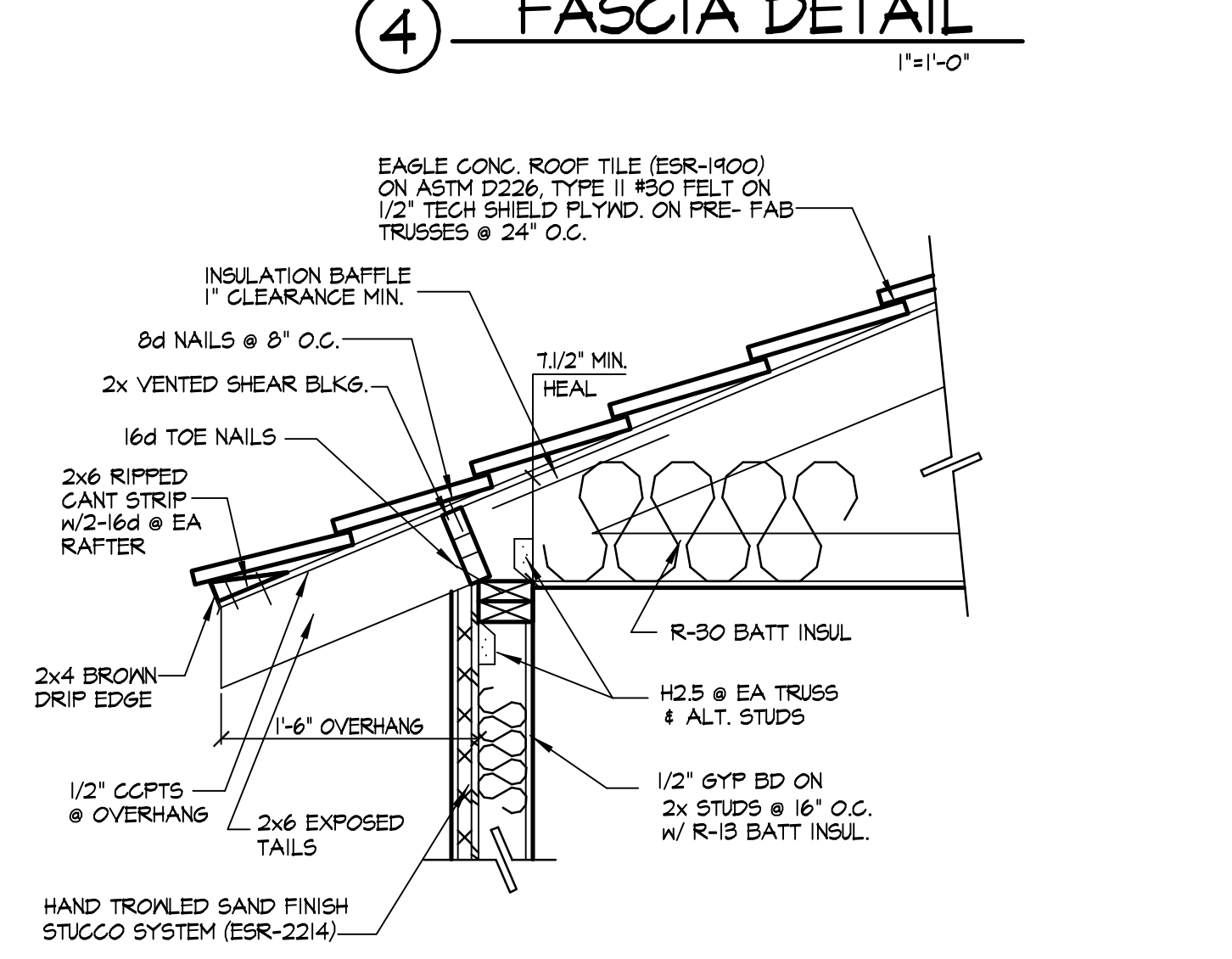
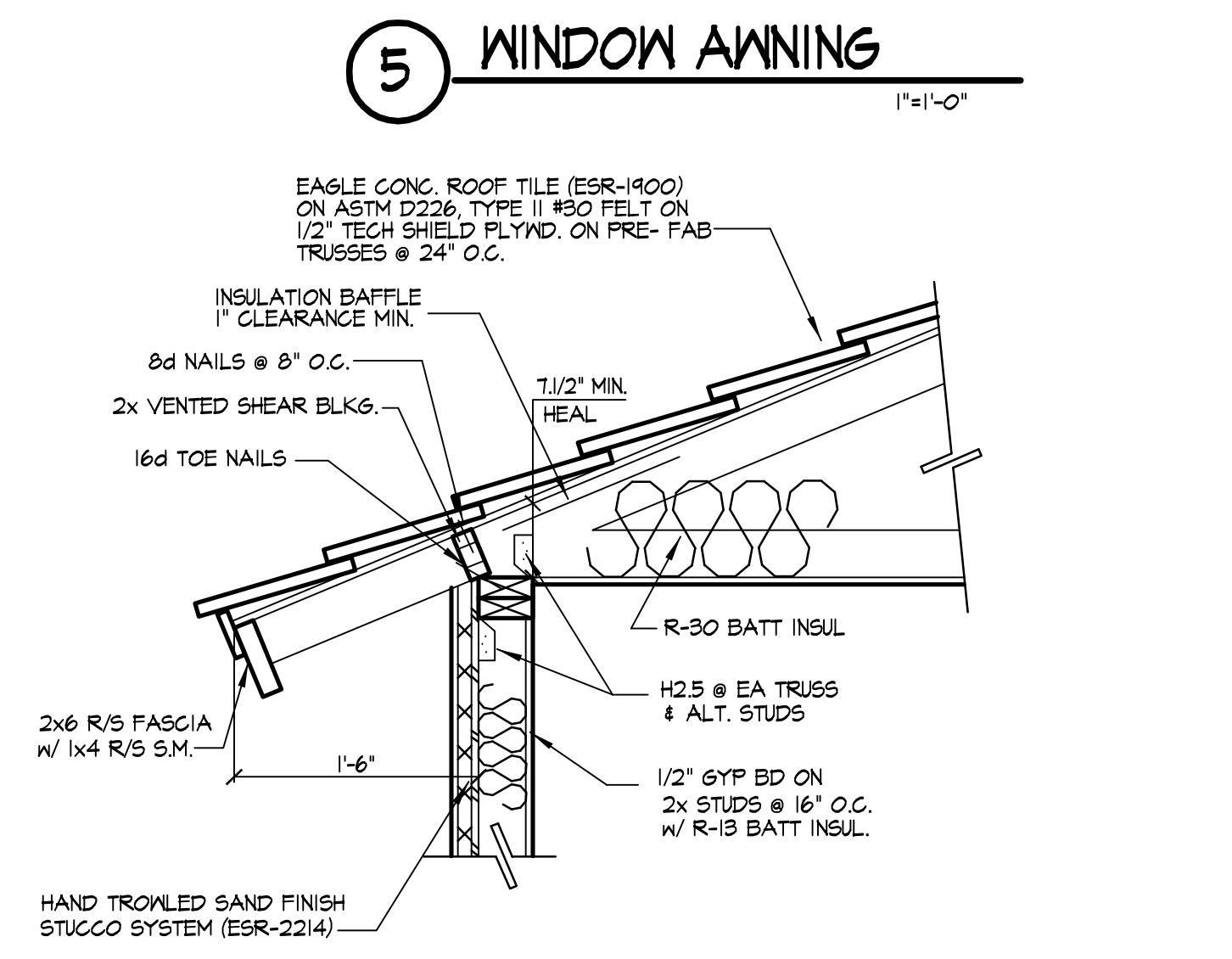
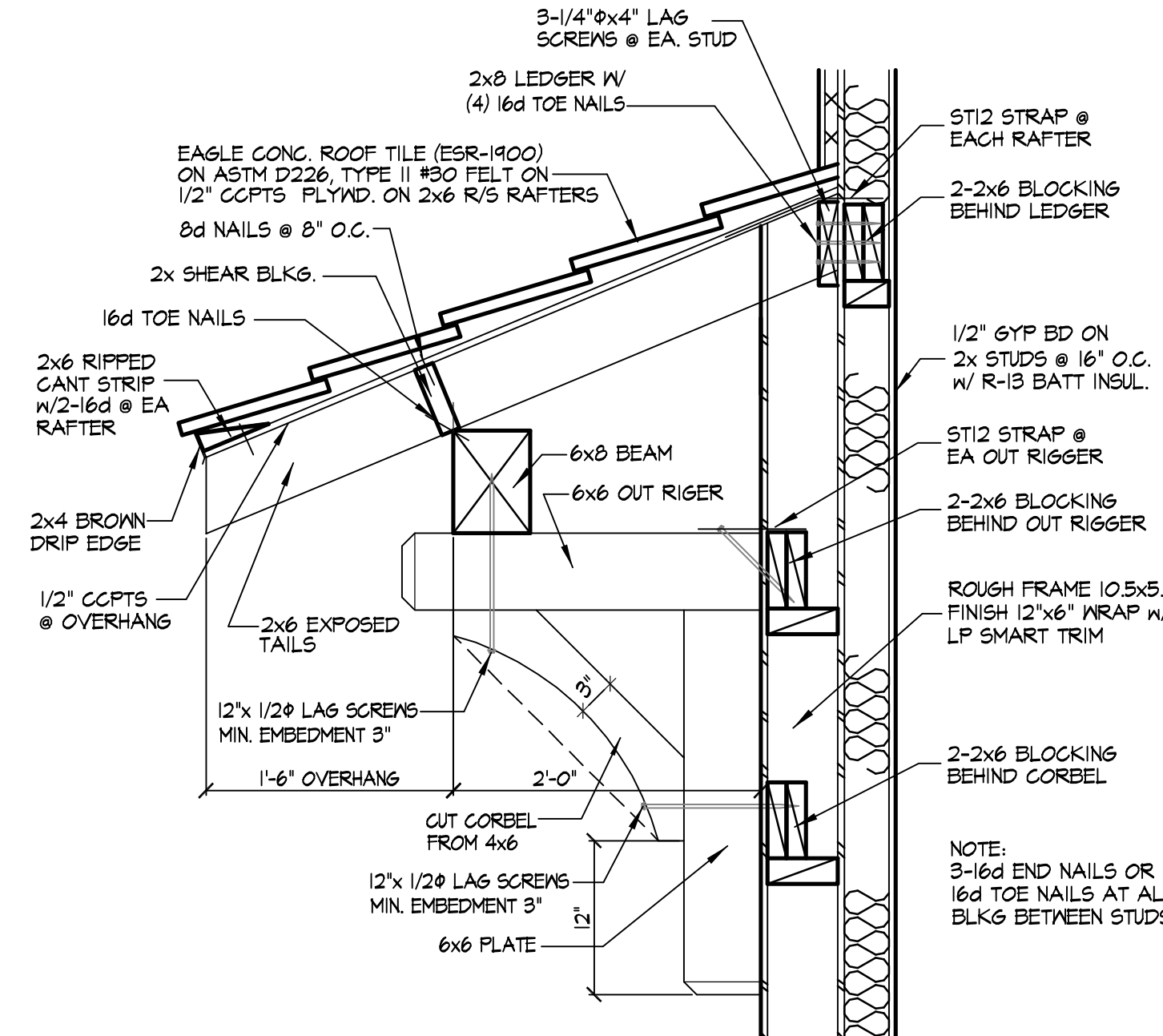
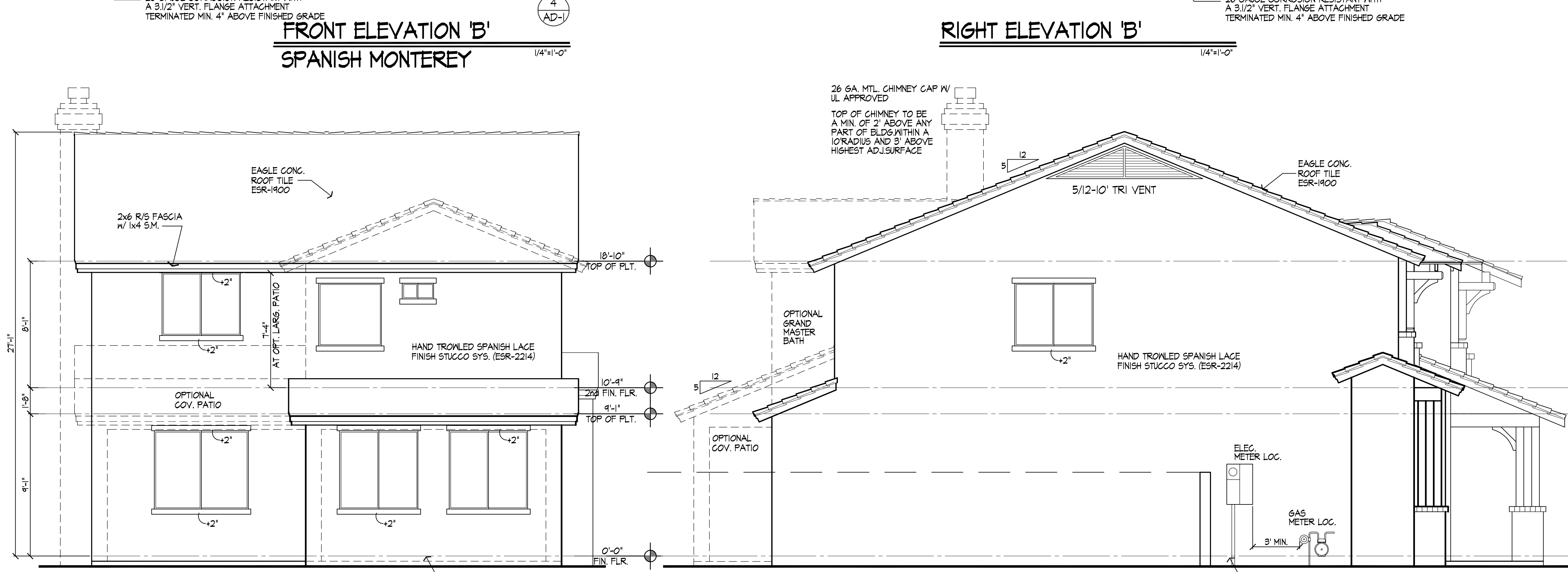
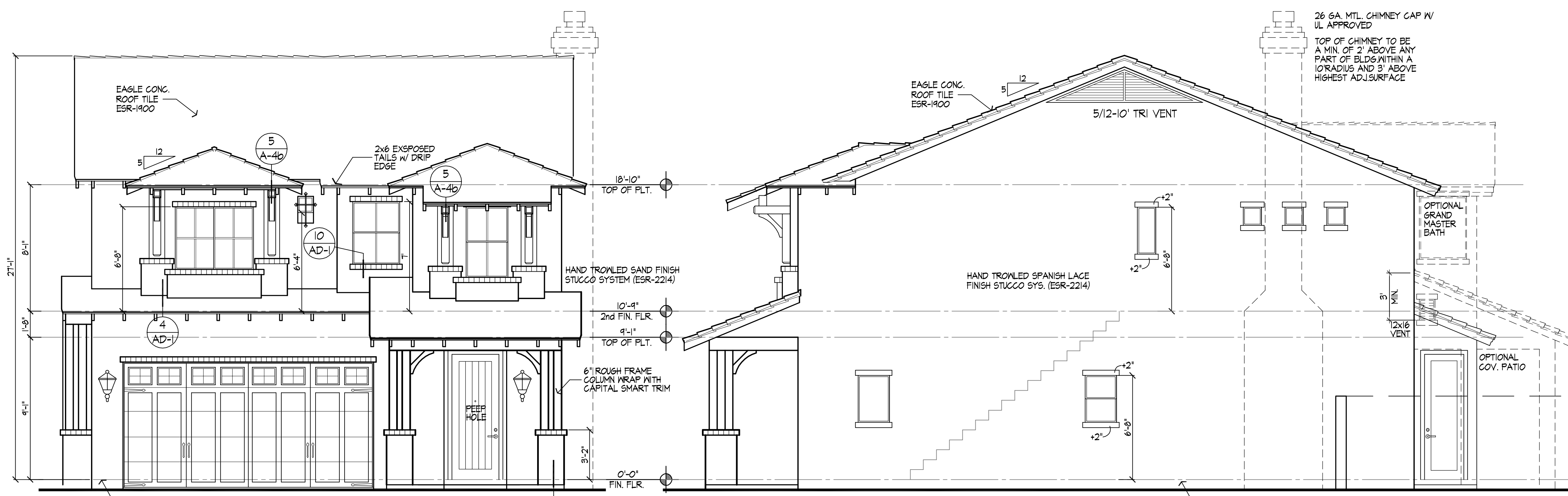
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1206 NORTH LINDSAY ROAD  
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PHONE: 602-481-0535

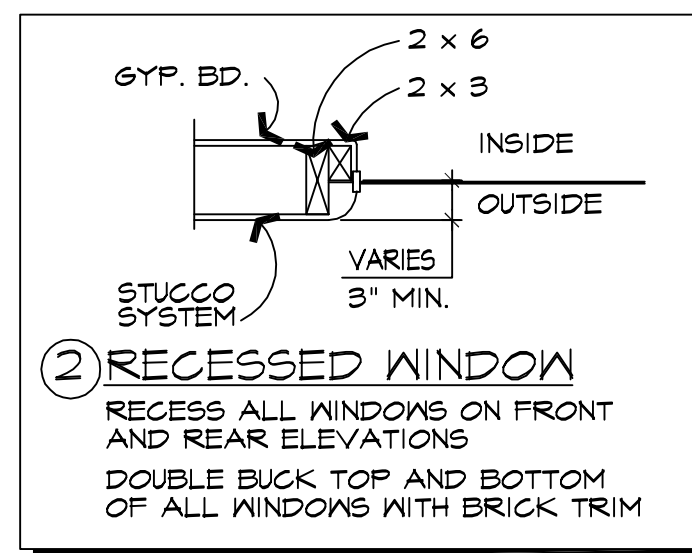
PLAN #1799

ELEVATIONS  
SPANISH MONTEREY

DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1799  
SHEET:  
A-4b

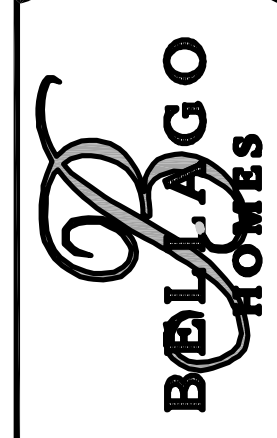
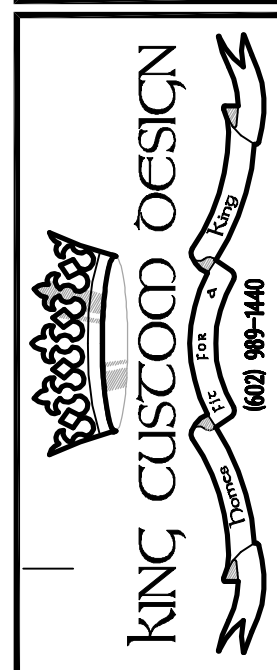


SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERWALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (IL ER493-01)  
OVER A WEATHER BARRIER CONSISTING OF (1) LAYER OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.



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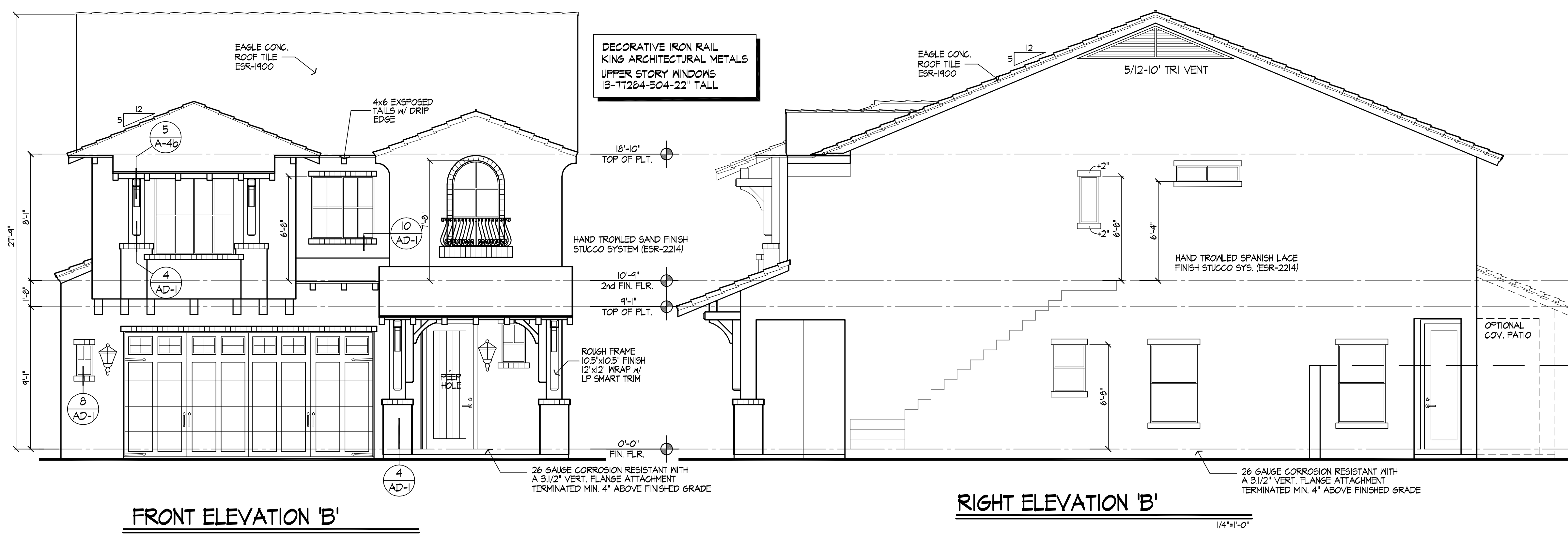
BELLASO DEVELOPMENT LLC.  
1806 NORTH LINDSAY ROAD  
MESA, ARIZONA 85215  
PHONE: 602-491-0535

PLAN #2035

ELEVATIONS  
SPANISH MONTEREY

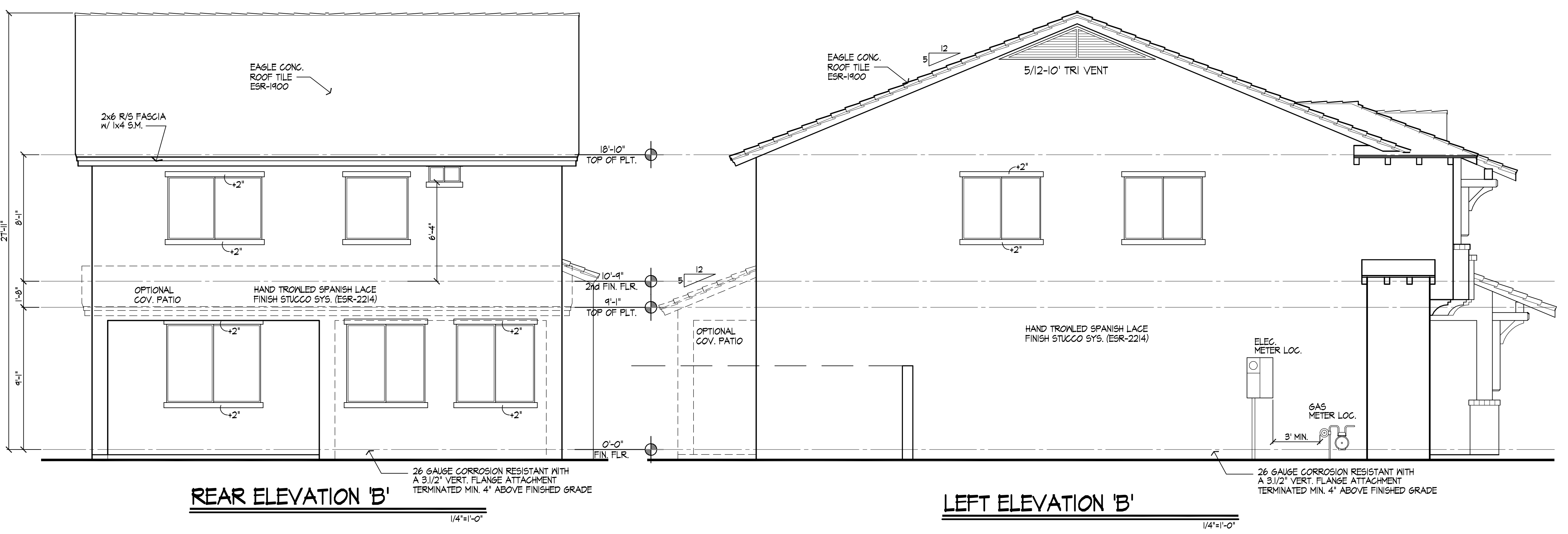
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SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-2035  
SHEET:

A-4b



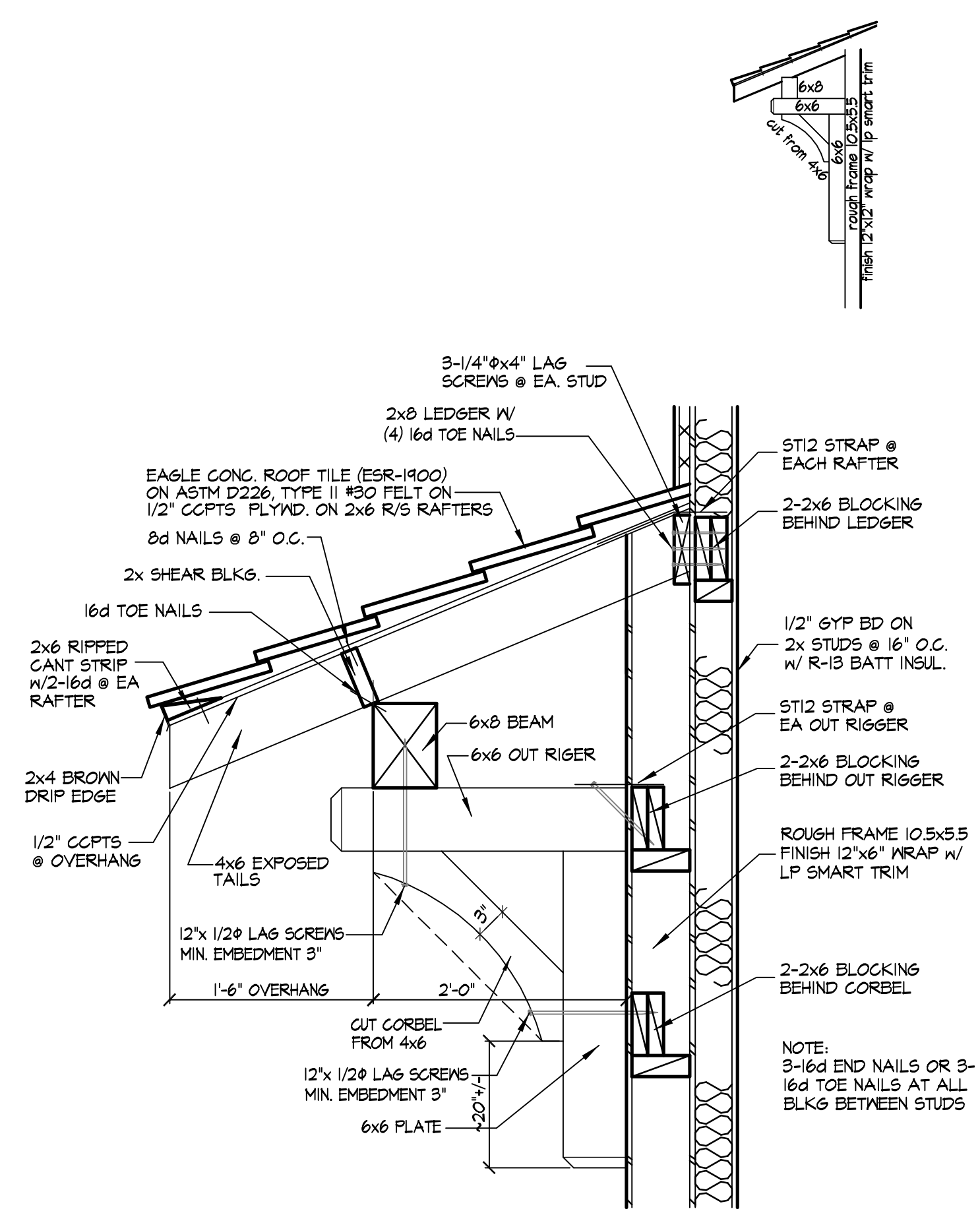
FRONT ELEVATION 'B'  
SPANISH MONTEREY

RIGHT ELEVATION 'B'

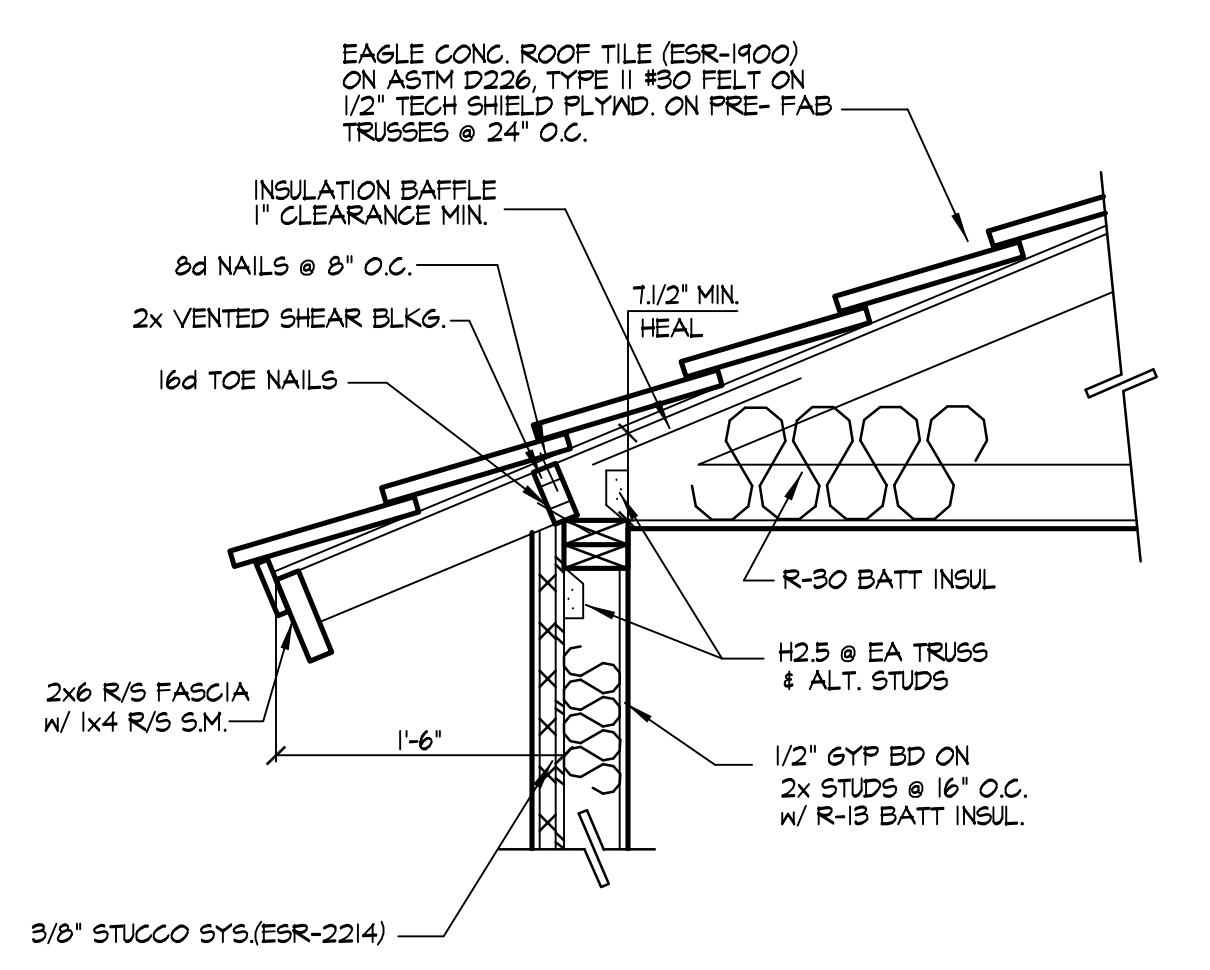


REAR ELEVATION 'B'

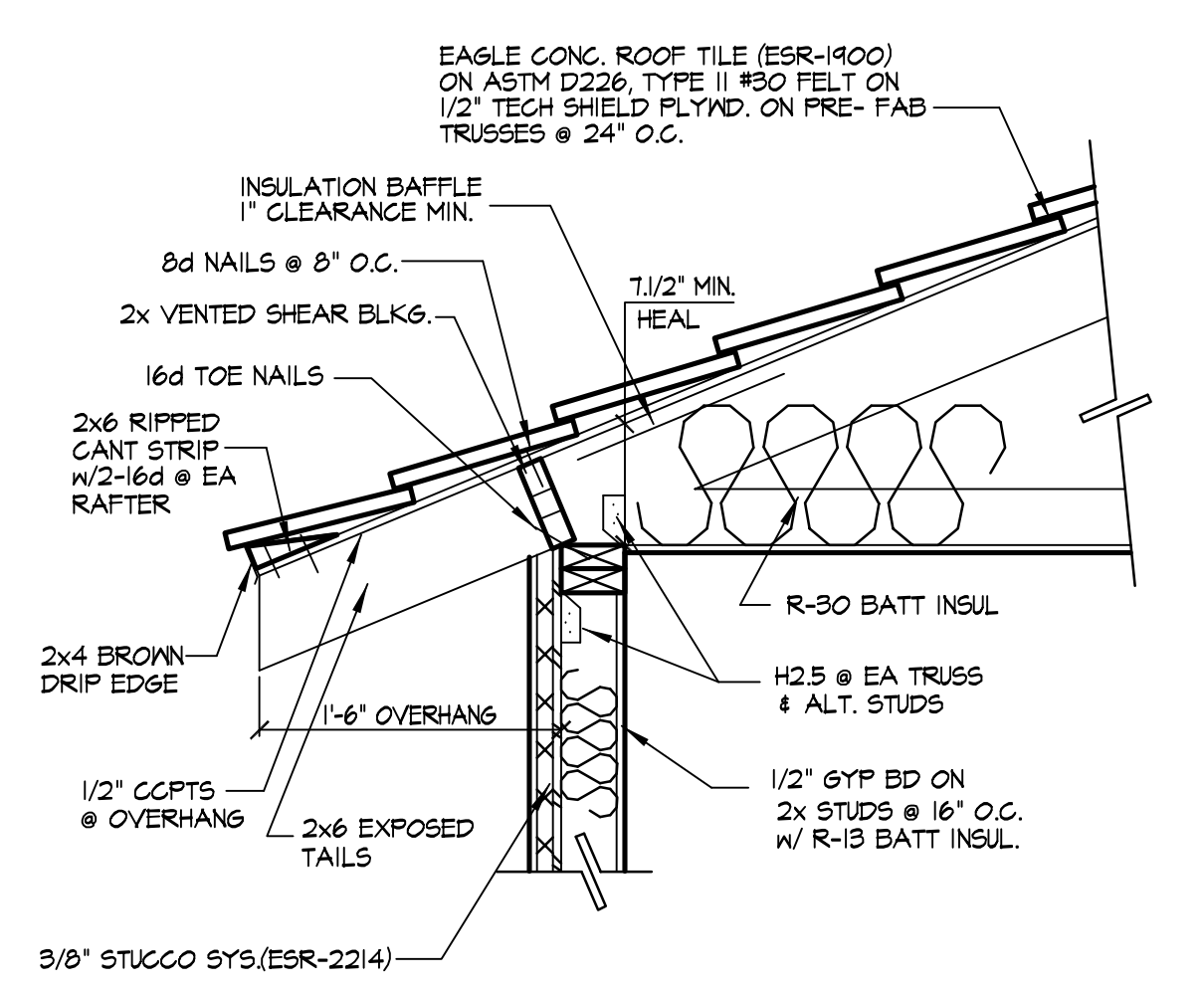
LEFT ELEVATION 'B'



5 WINDOW ANNING

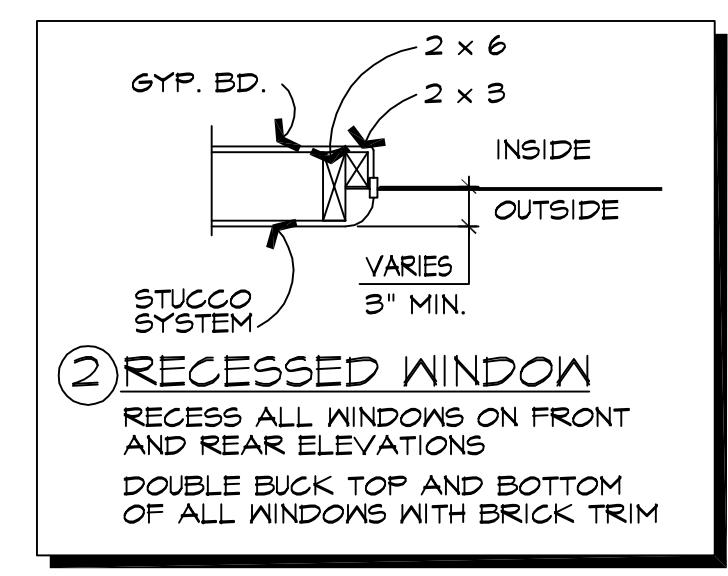


4 FASCIA DETAIL



3 FASCIA DETAIL

SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERMALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4913-01)  
OVER A WEATHER BARRIER CONSISTING OF  
(1) LAYER OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.

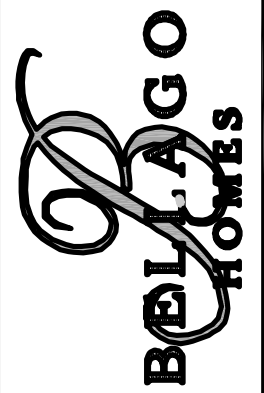
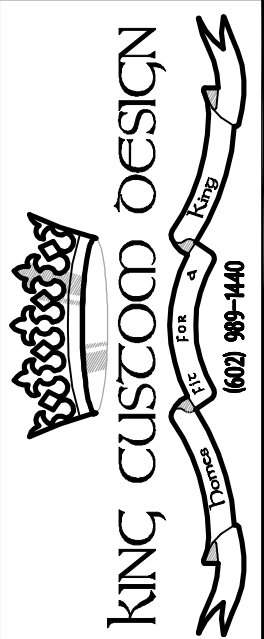


2 RECESSED WINDOW  
RECESS ALL WINDOWS ON FRONT AND REAR ELEVATIONS  
DOUBLE BUCK TOP AND BOTTOM OF ALL WINDOWS WITH BRICK TRIM



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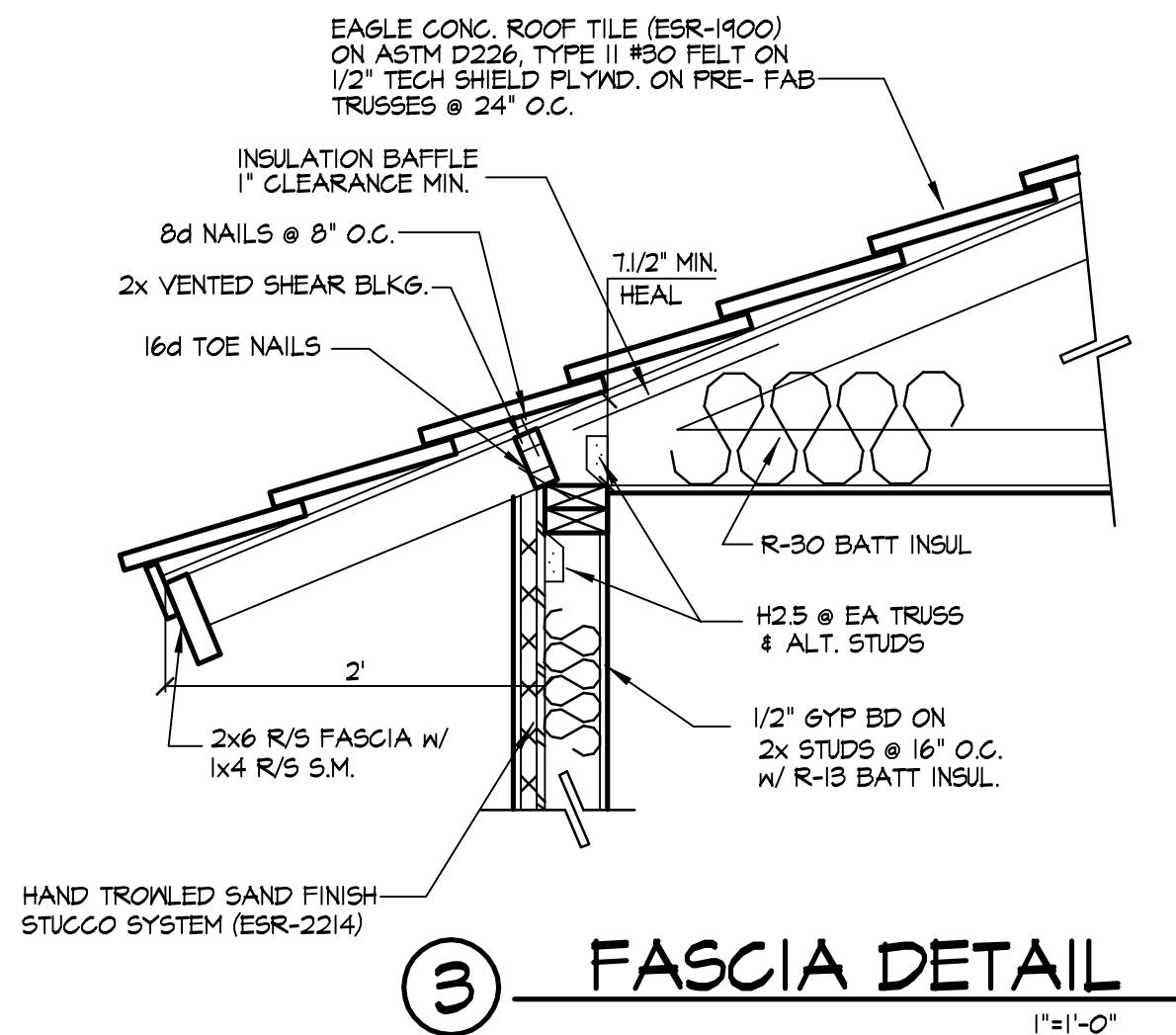
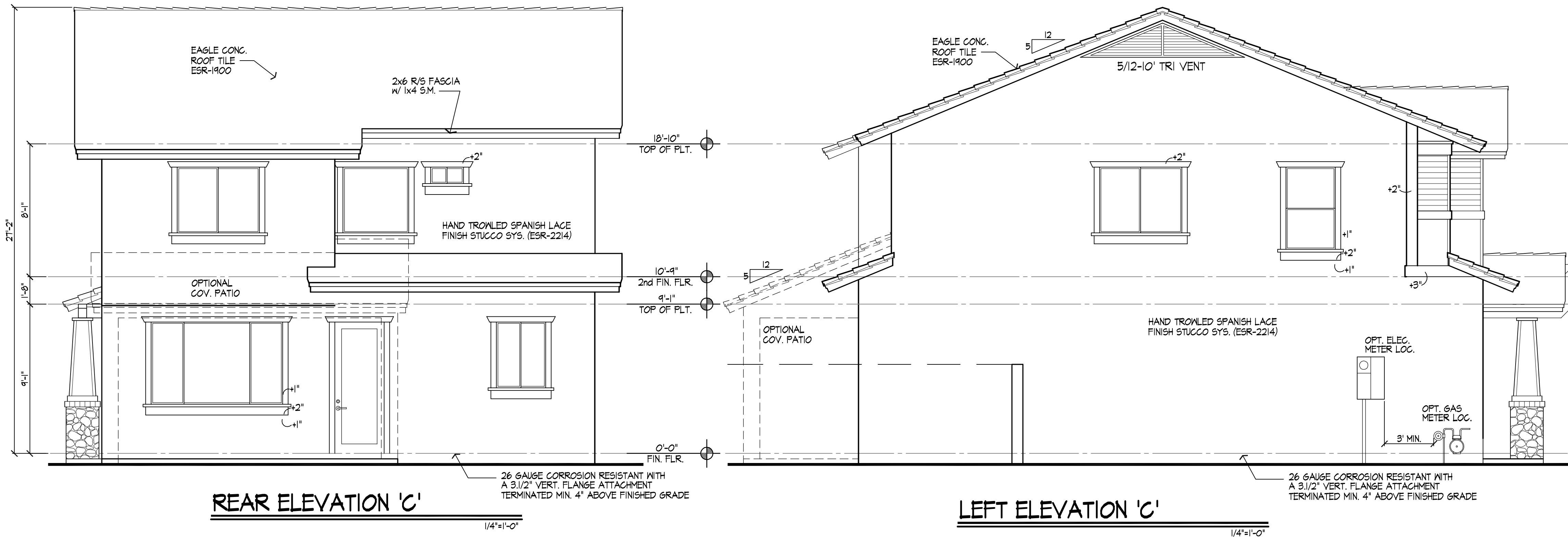
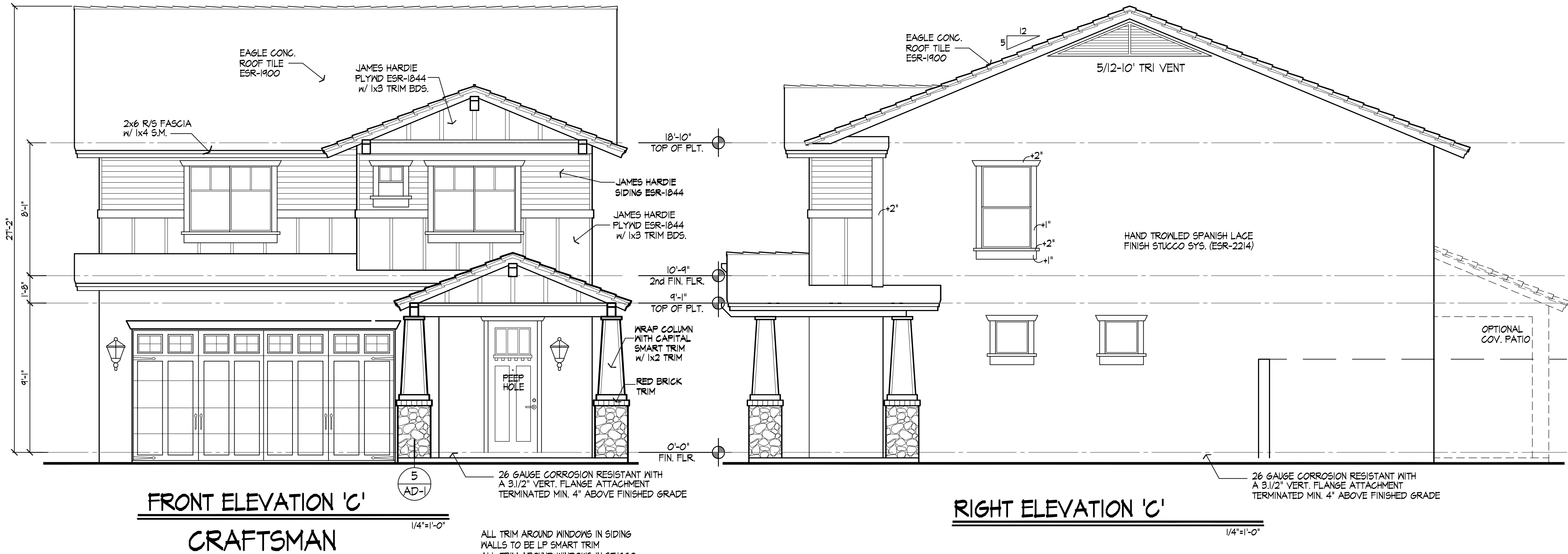
BELLASGO DEVELOPMENT LLC.  
1206 NORTH LINDSAY ROAD  
WINK@BELLASGOHOMES.COM  
MESA, ARIZONA 85213  
PHONE: 602-491-0535

PLAN #1670

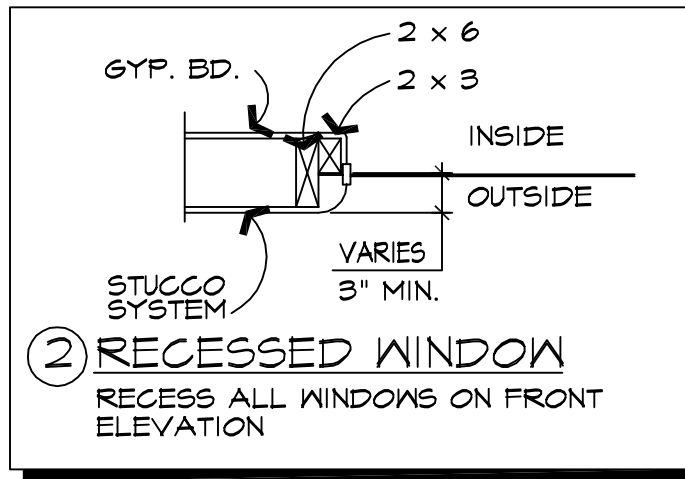
ELEVATIONS  
CRAFTSMAN

DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1670M  
SHEET:

A-4c

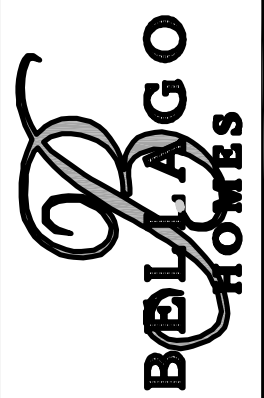
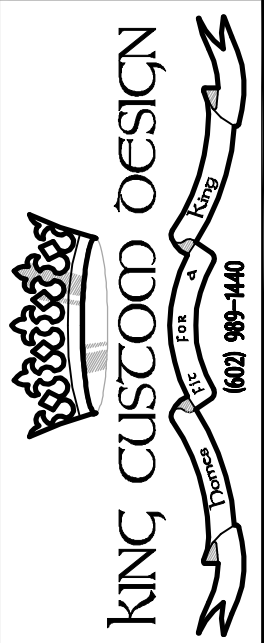


SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERMALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4913-01)  
OVER A WEATHER BARRIER CONSISTING OF:  
(1) LAYER OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.



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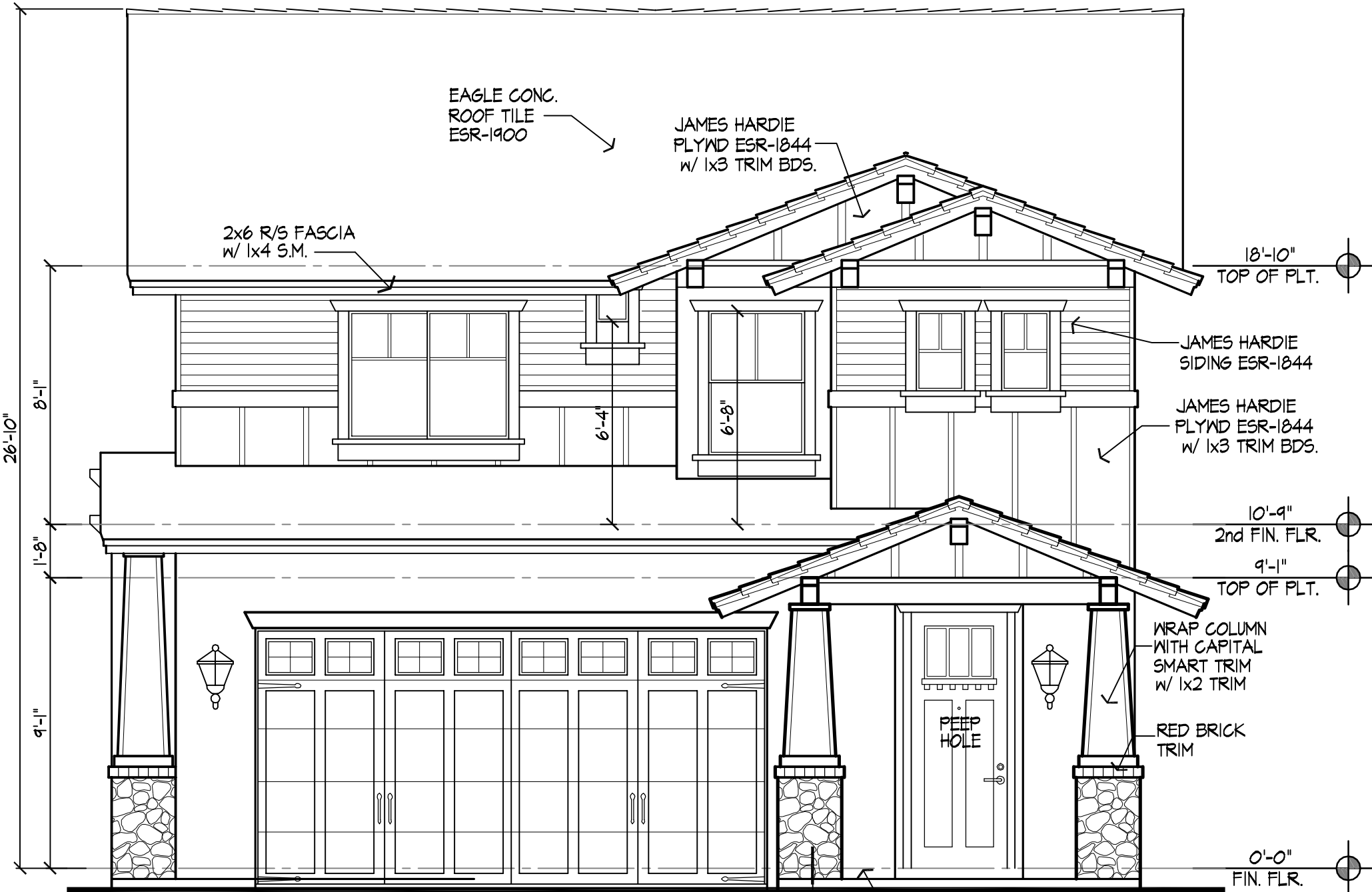
BELLASO DEVELOPMENT LLC.  
1206 NORTH LINDSAY ROAD  
WINK@BELLASOHOMES.COM  
MESA, ARIZONA 85213  
PHONE: 602-481-0535

PLAN #1799

ELEVATIONS  
CRAFTSMAN

DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1799  
SHEET:

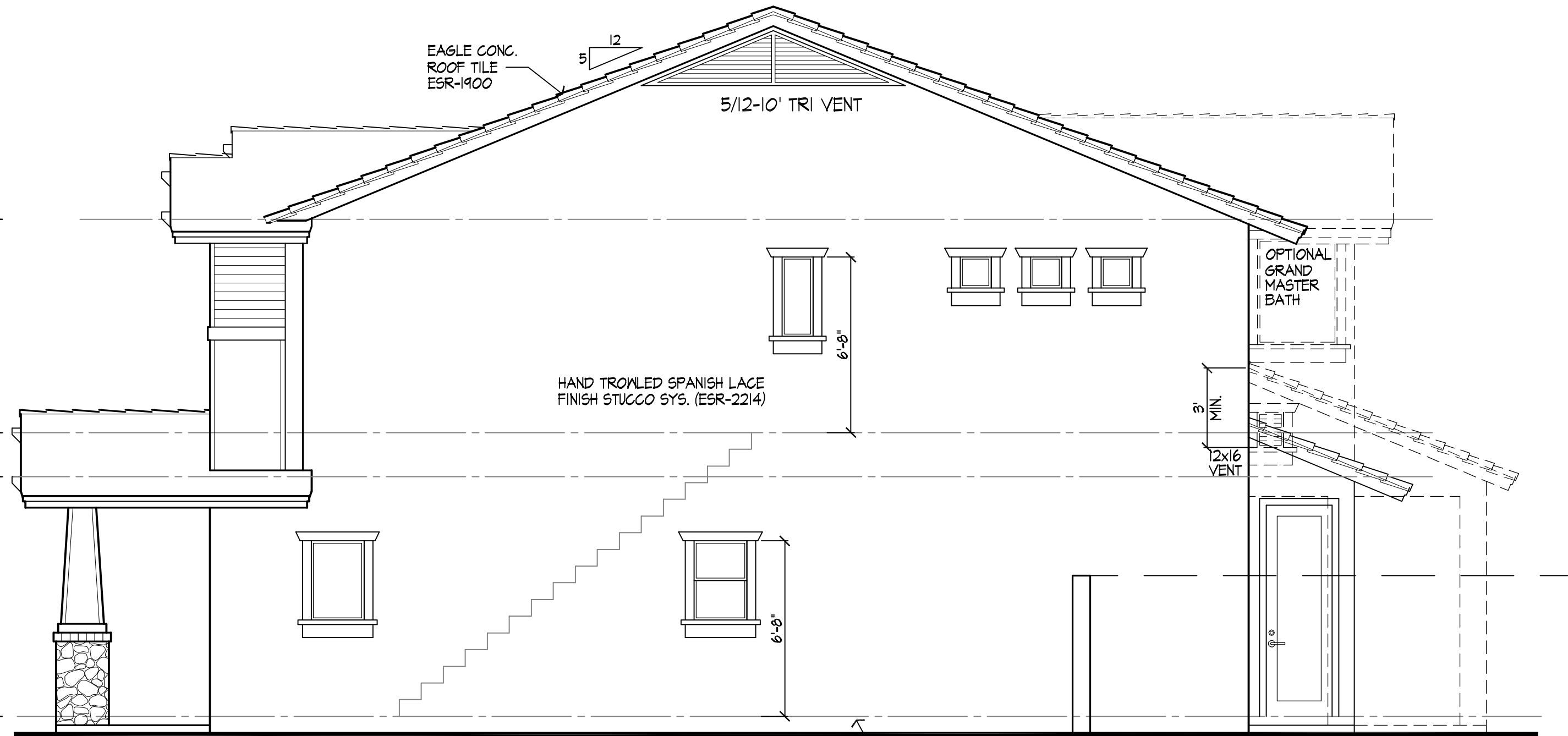
A-4c



FRONT ELEVATION 'C'  
CRAFTSMAN

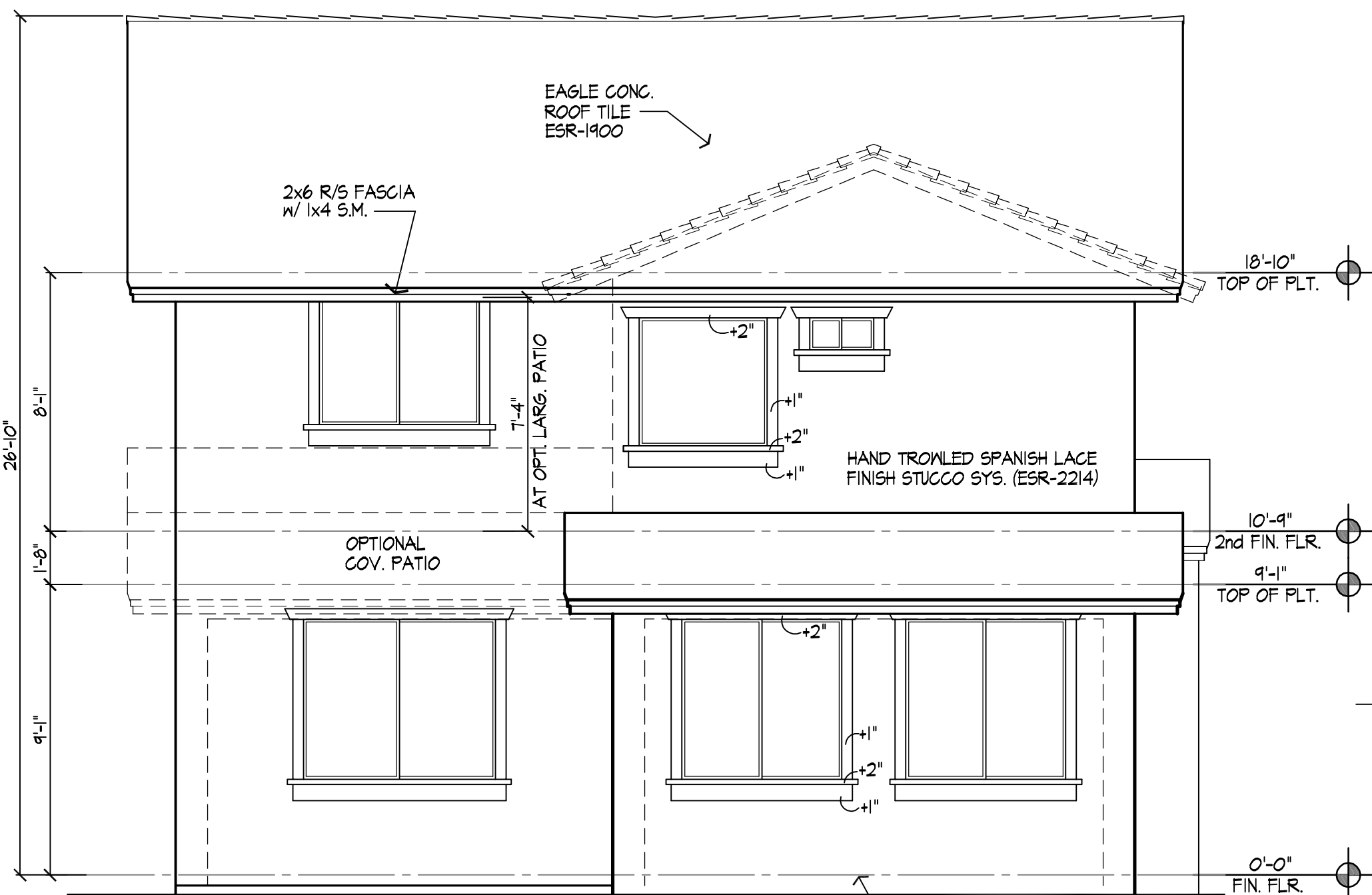
1/4"=1'-0"

ALL TRIM AROUND WINDOWS IN SIDING WALLS TO BE LP SMART TRIM  
ALL TRIM AROUND WINDOWS IN STUCCO WALLS TO BE STUCCO POP-OUTS



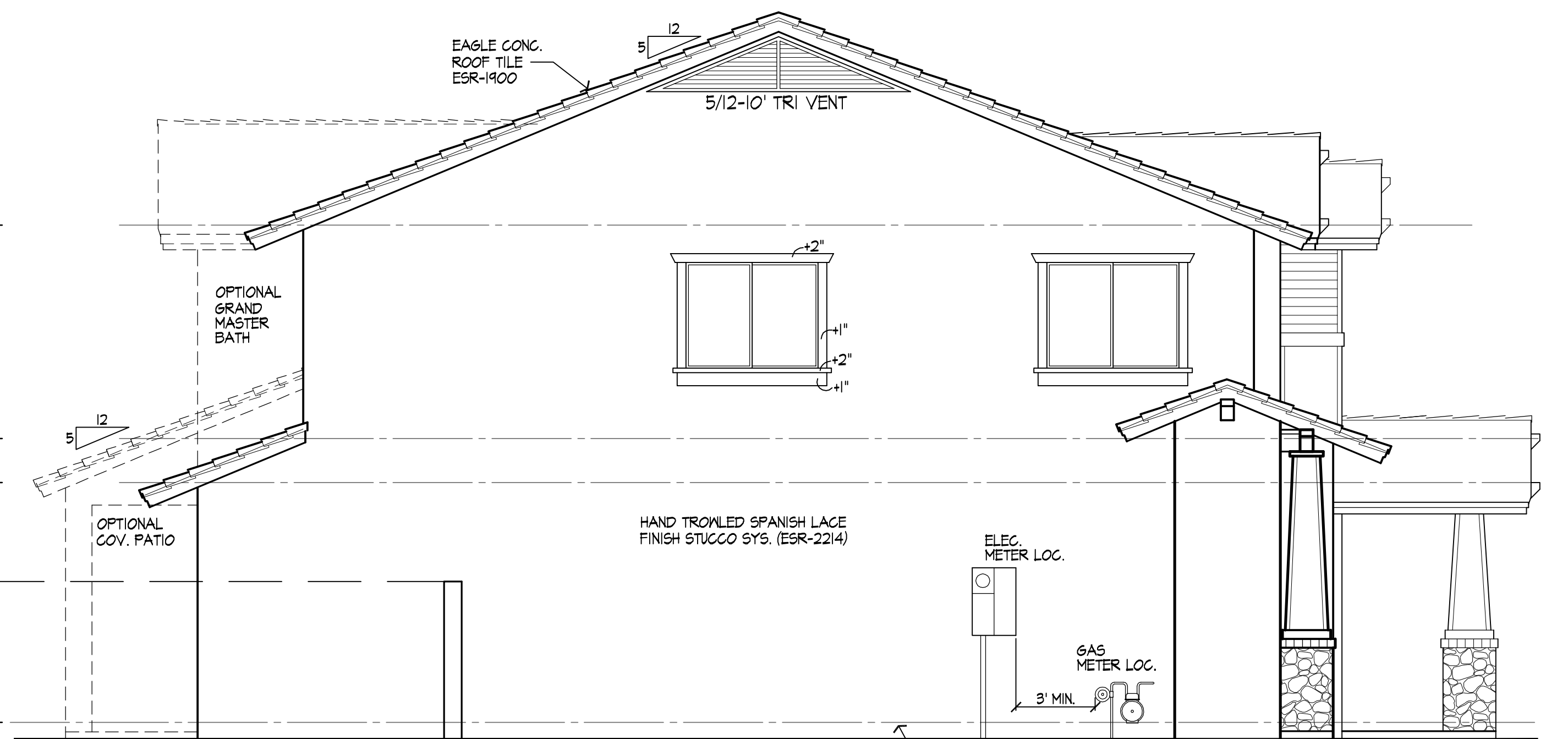
RIGHT ELEVATION 'C'

1/4"=1'-0"



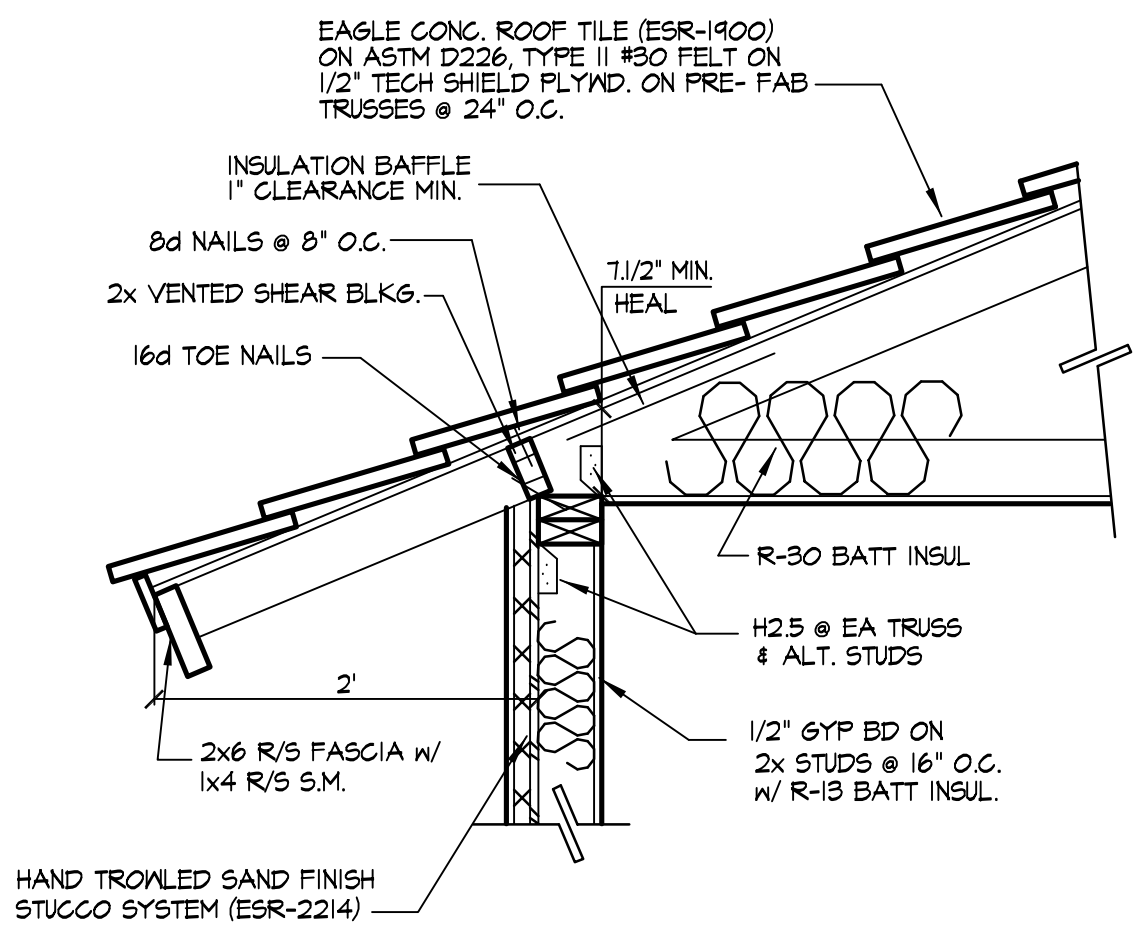
REAR ELEVATION 'C'

1/4"=1'-0"



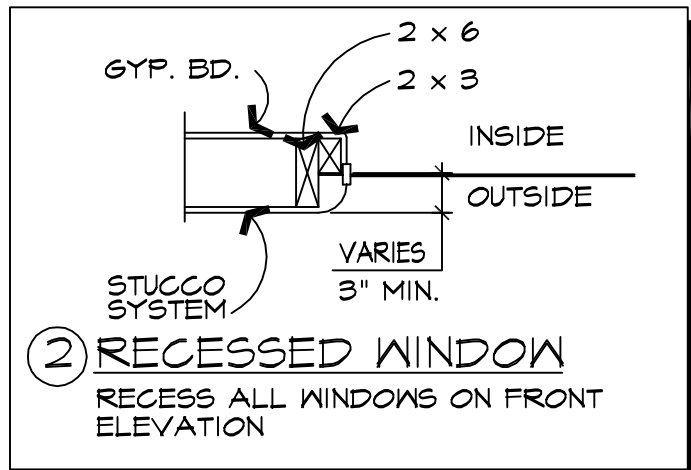
LEFT ELEVATION 'C'

1/4"=1'-0"



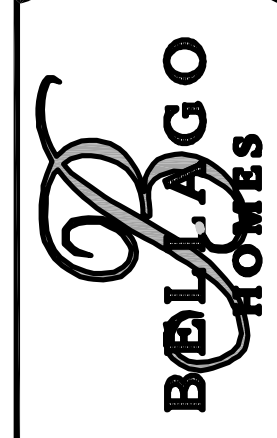
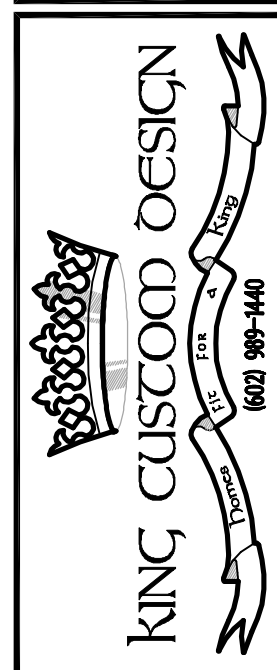
3 FASCIA DETAIL  
1"=1'-0"

SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERMALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4913-01)  
OVER A WEATHER BARRIER CONSISTING OF (1) LAYER OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.



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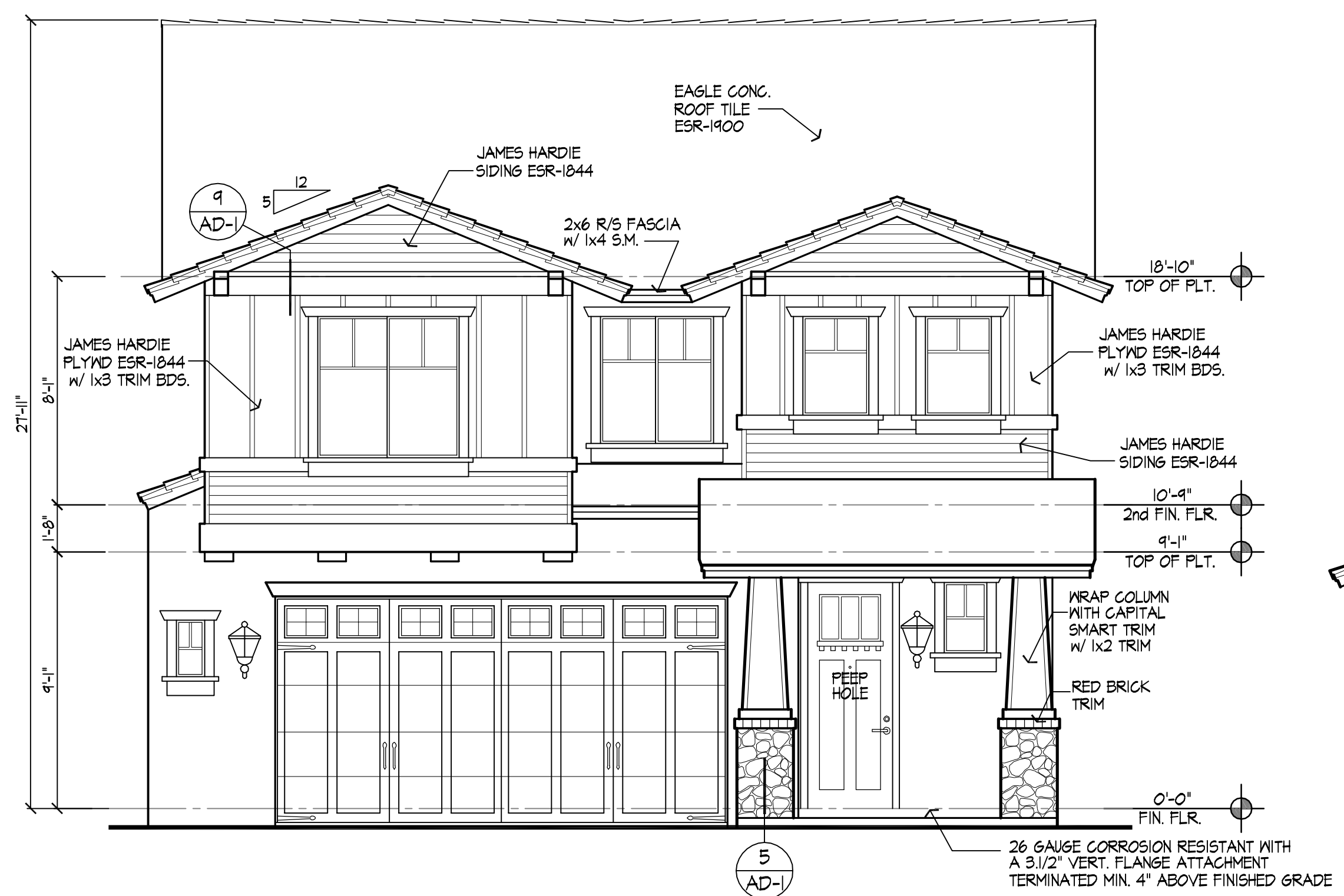
BELLASGO DEVELOPMENT LLC.  
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MESA, ARIZONA 85213  
PHONE: 602-491-0535

PLAN #2035

ELEVATIONS  
CRAFTSMAN

DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-2035  
SHEET:

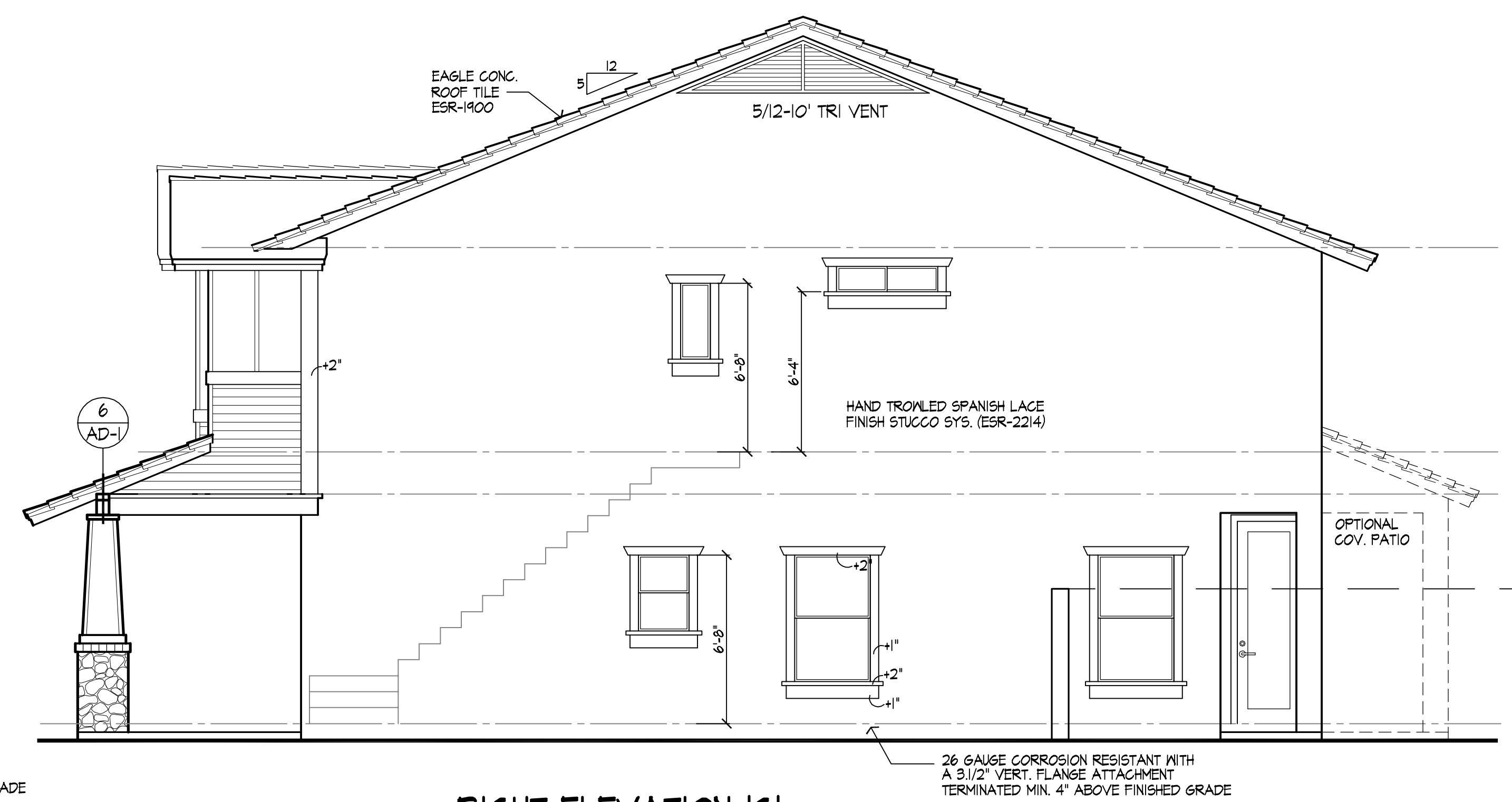
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FRONT ELEVATION 'C'  
CRAFTSMAN

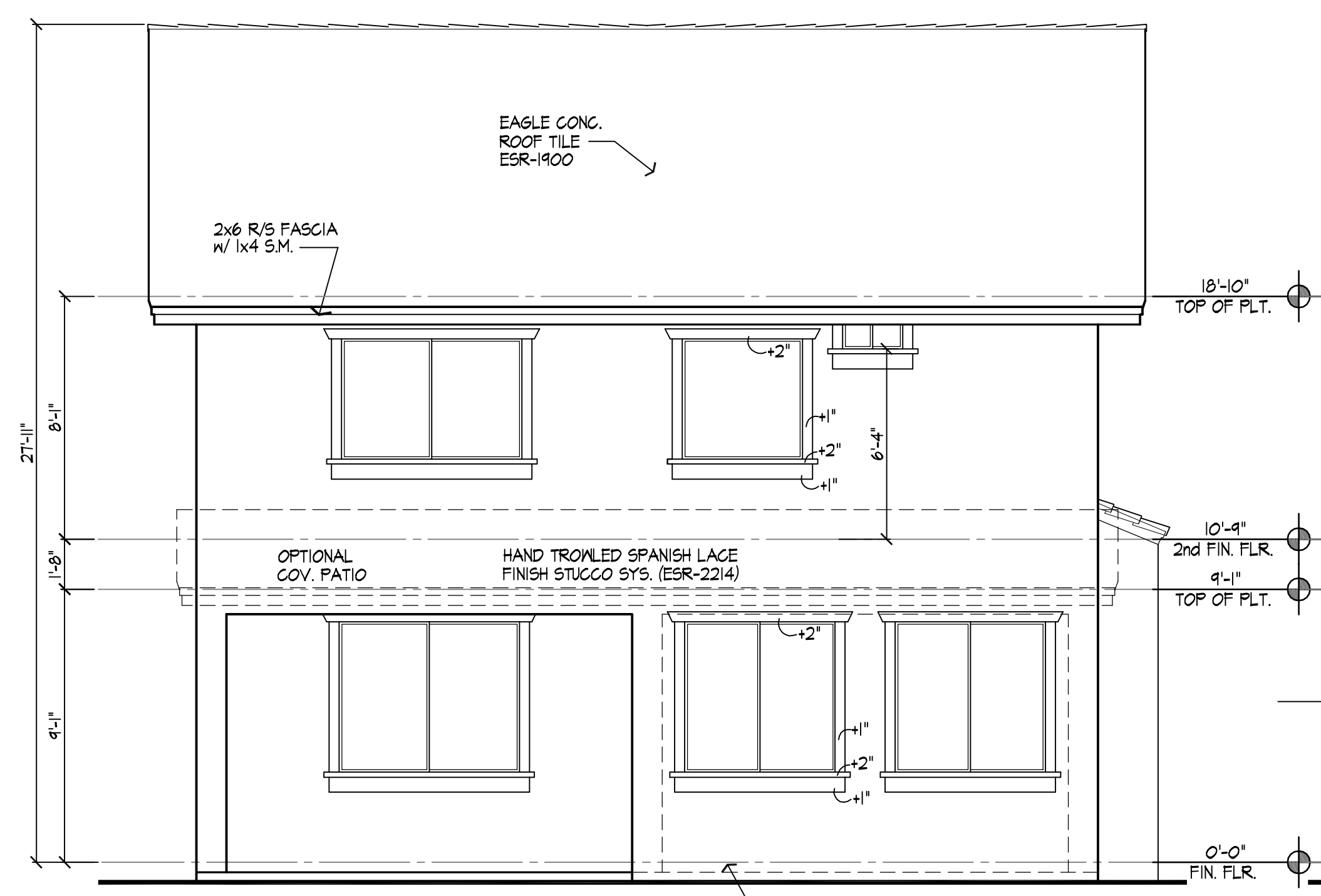
1/4"=1'-0"

ALL TRIM AROUND WINDOWS IN SIDING WALLS TO BE LP SMART TRIM  
ALL TRIM AROUND WINDOWS IN STUCCO WALLS TO BE STUCCO POP-OUTS



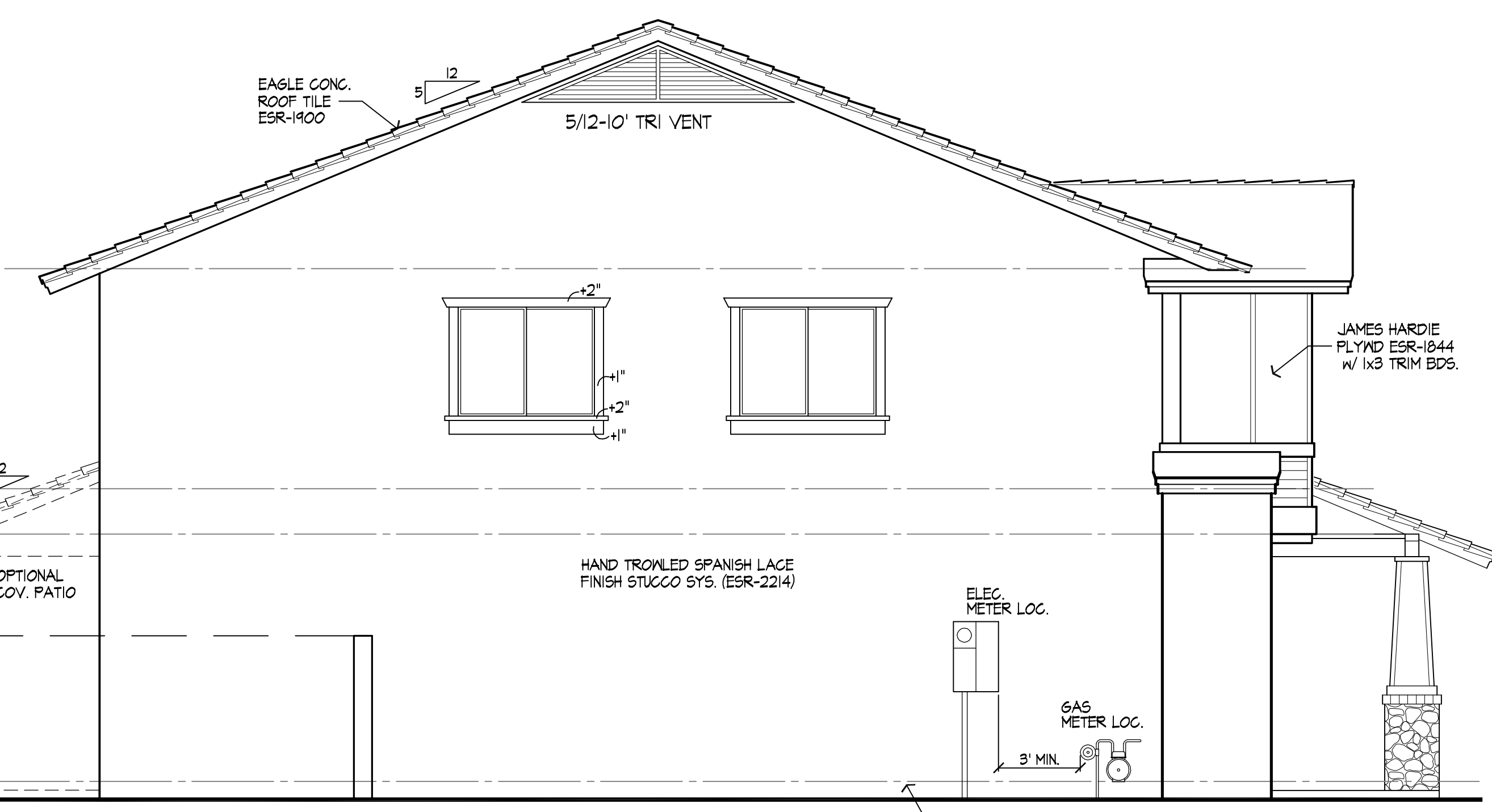
RIGHT ELEVATION 'C'

1/4"=1'-0"



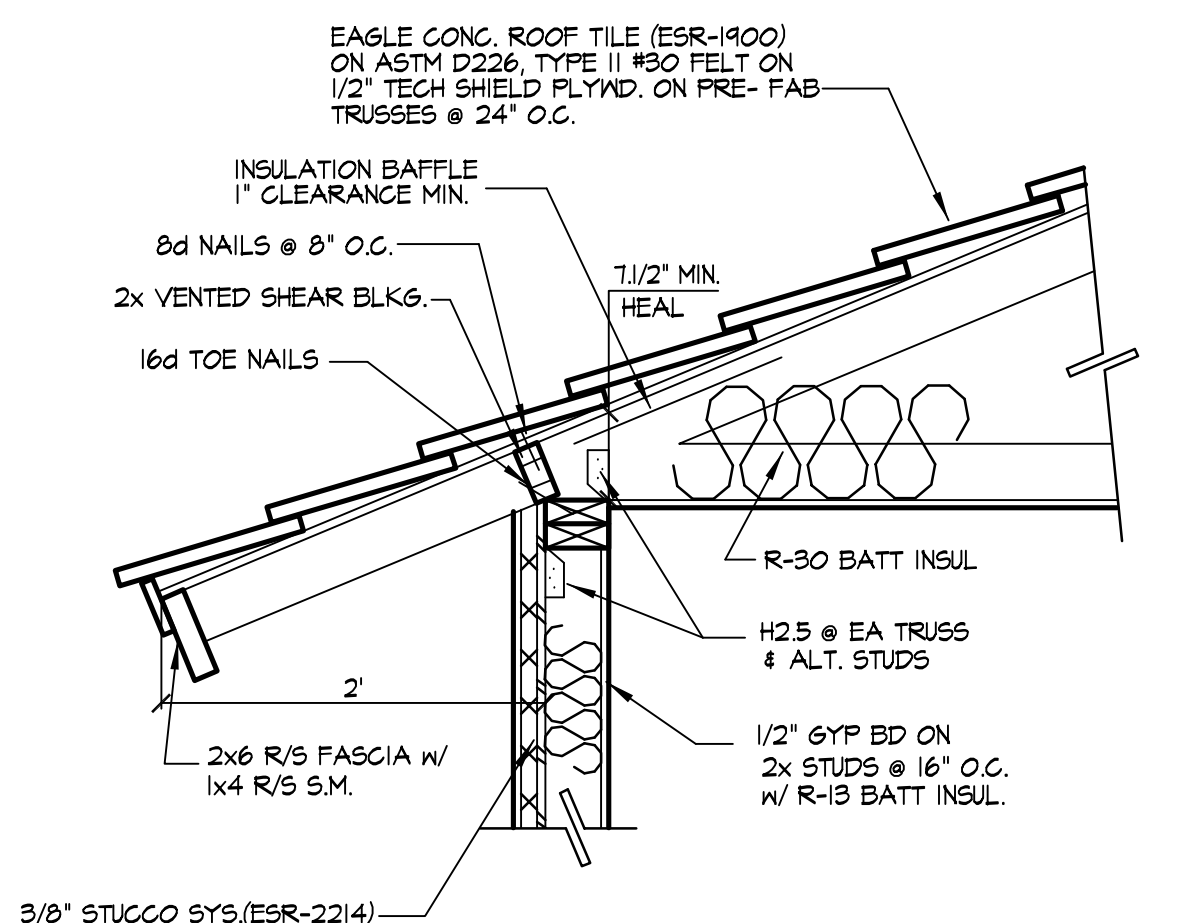
REAR ELEVATION 'C'

1/4"=1'-0"



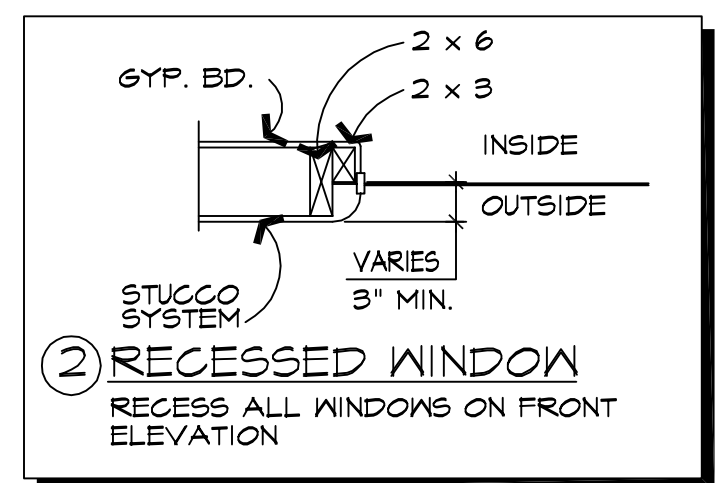
LEFT ELEVATION 'C'

1/4"=1'-0"

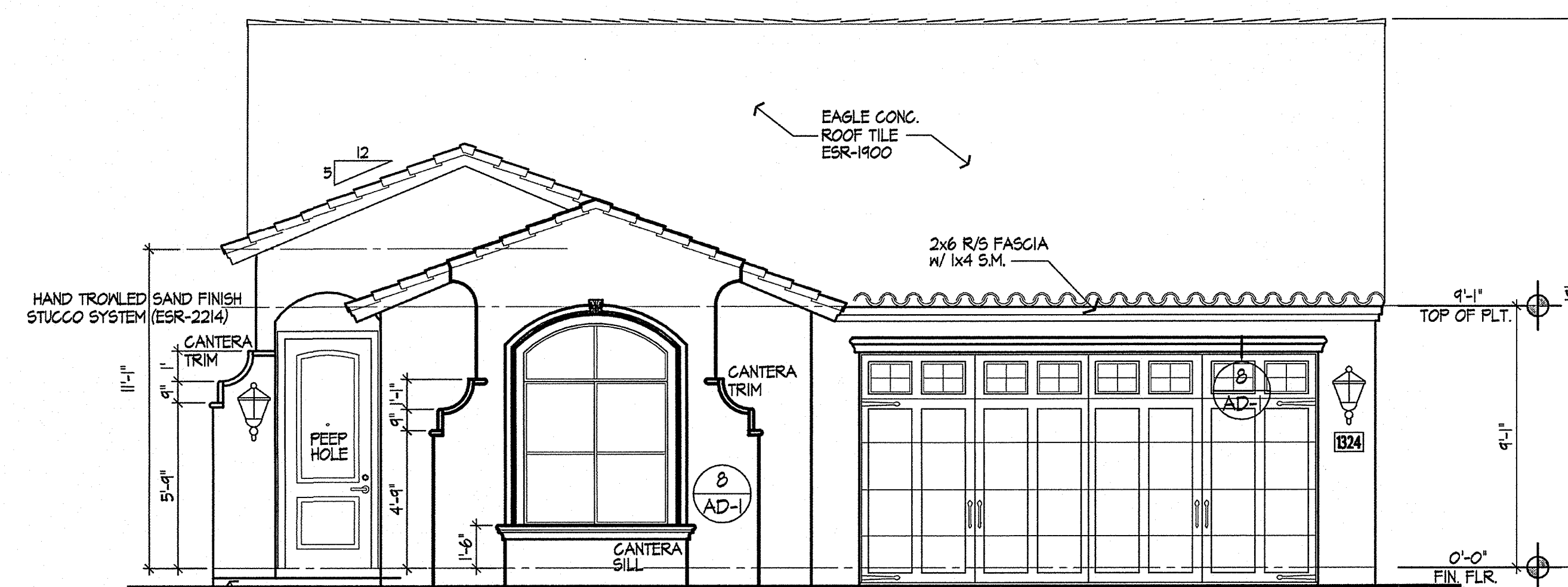


3 FASCIA DETAIL  
1"=1'-0"

SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERWALL STUCCO SYS. (ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4313-01)  
OVER A WEATHER BARRIER CONSISTING OF (1) LAYER OF OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.



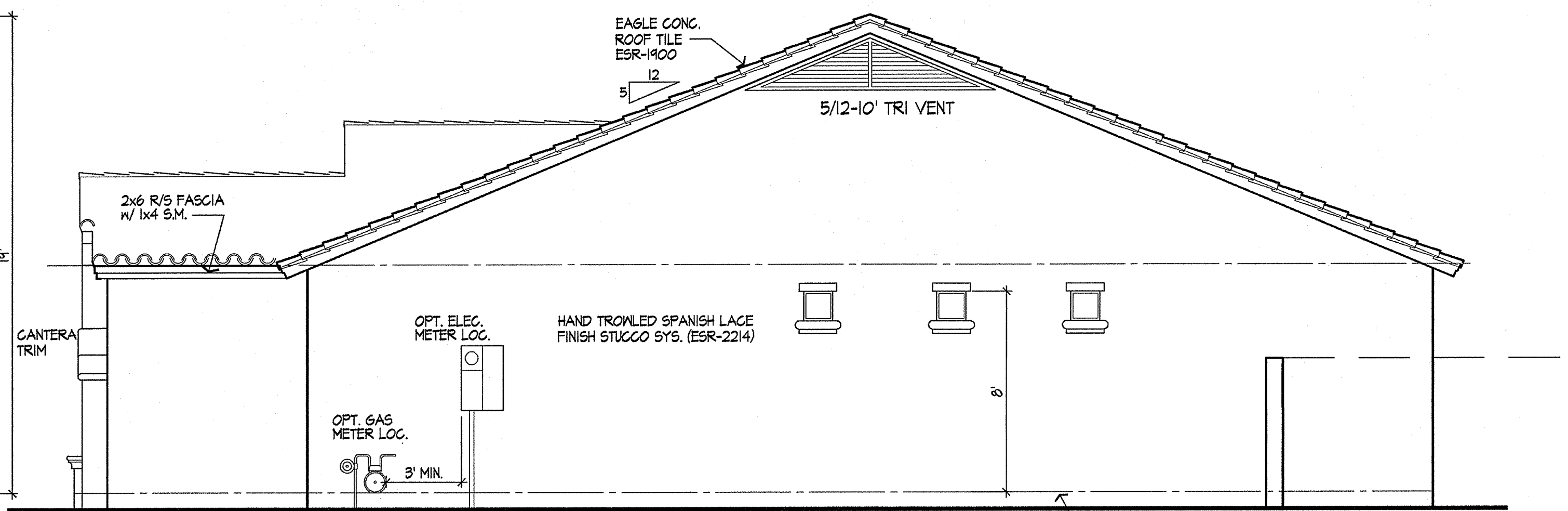




**FRONT ELEVATION 'A'**

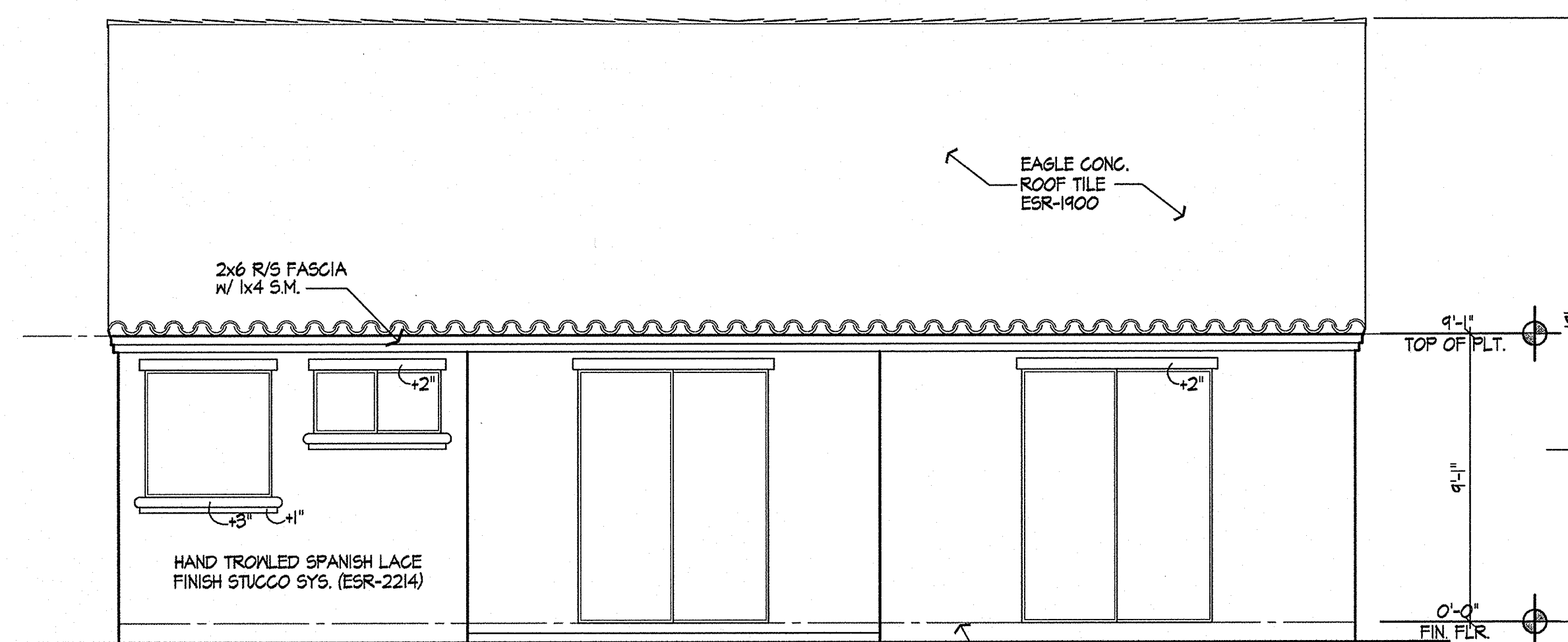
**SPANISH COLONIAL**

1/4"=1'-0"



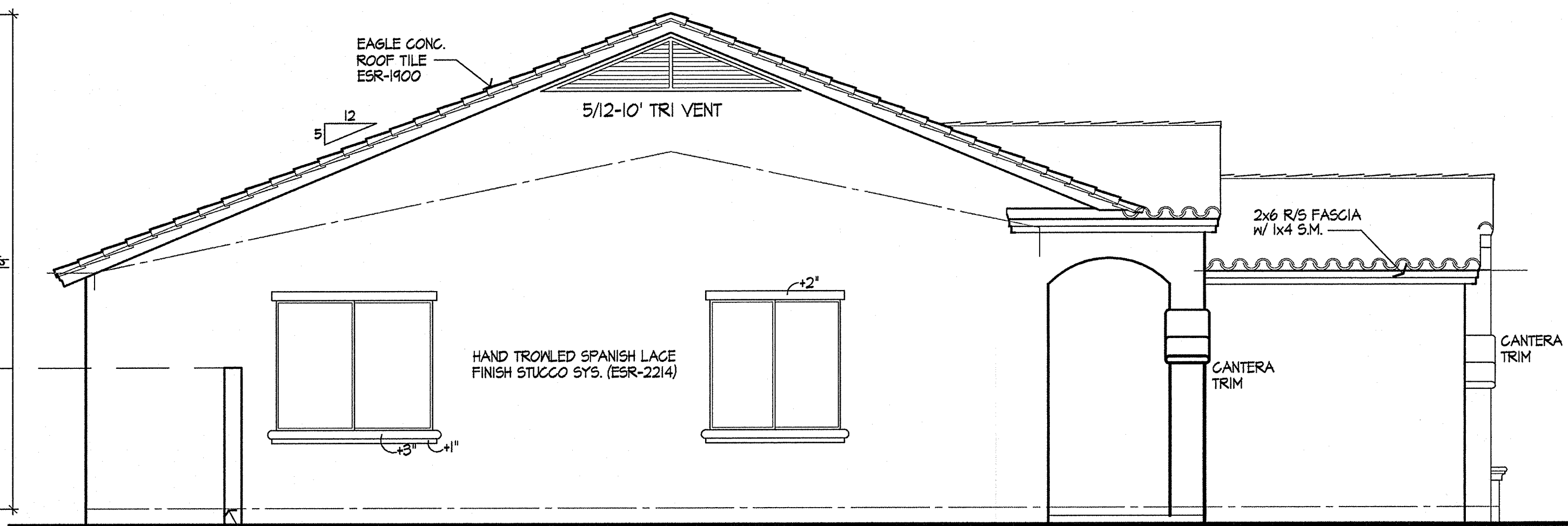
**RIGHT ELEVATION 'A'**

1/4"=1'-0"



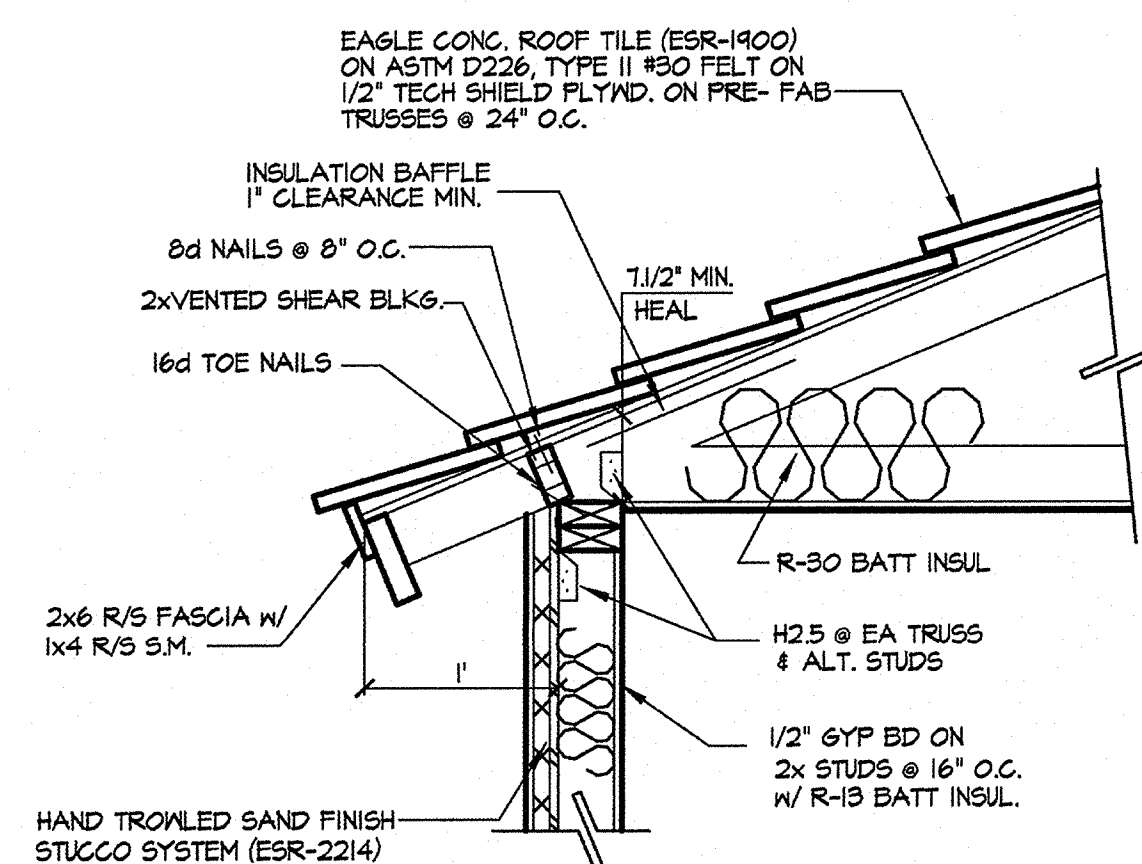
**REAR ELEVATION 'A'**

1/4"=1'-0"



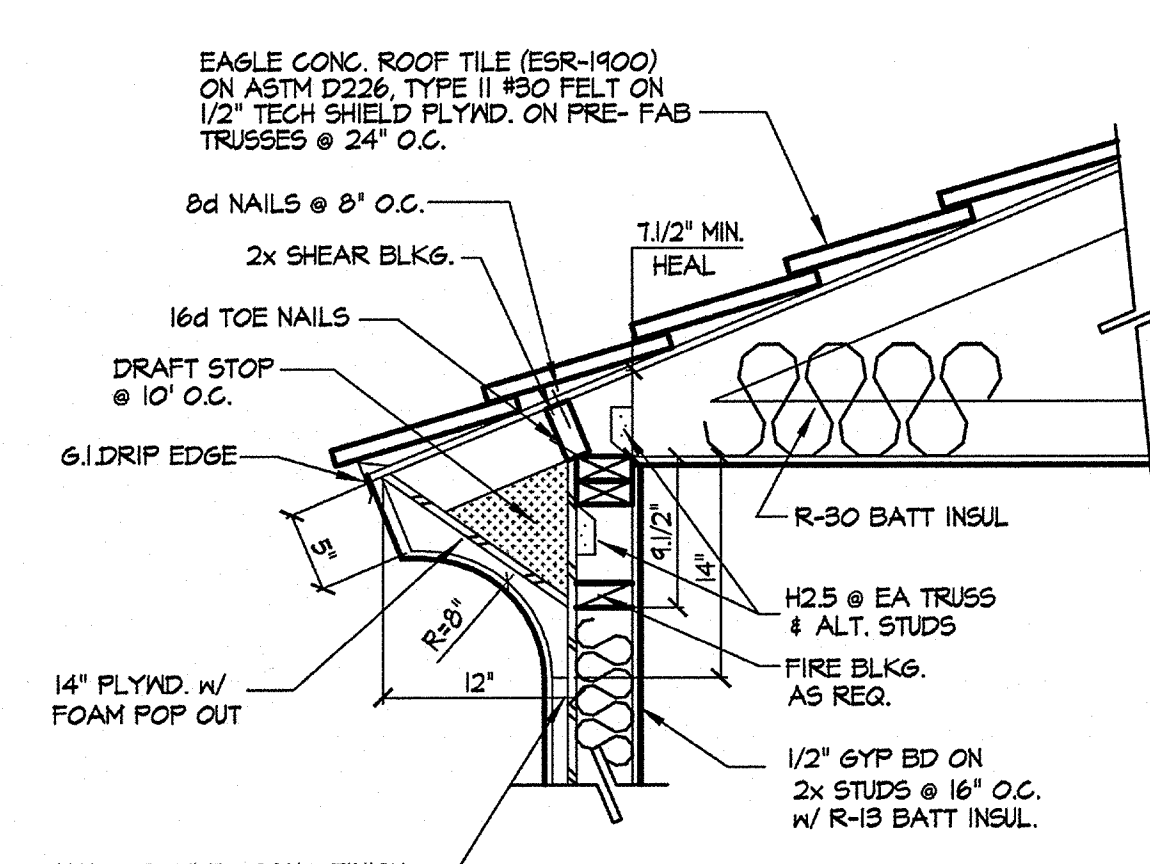
**LEFT ELEVATION 'A'**

1/4"=1'-0"



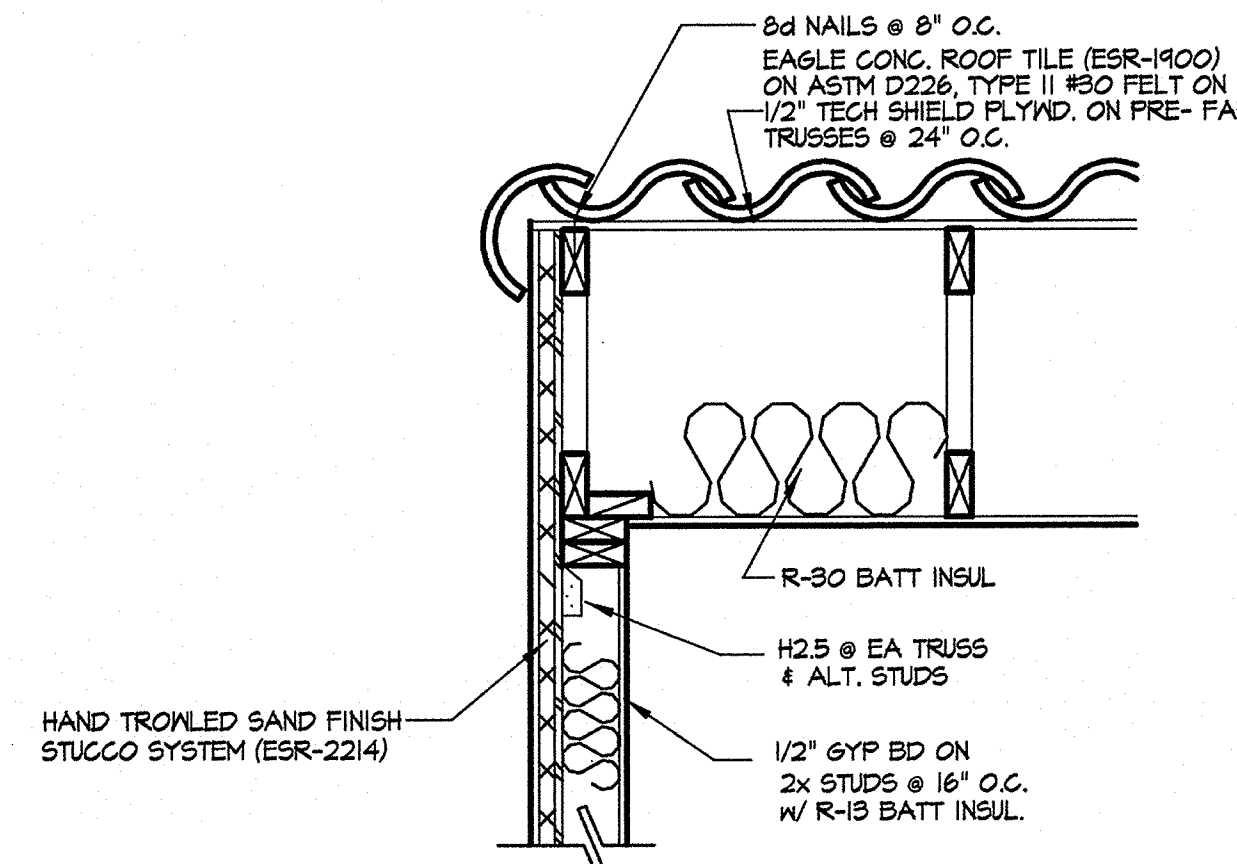
**③ FASCIA DETAIL**

1"=1'-0"



**④ FASCIA DETAIL**

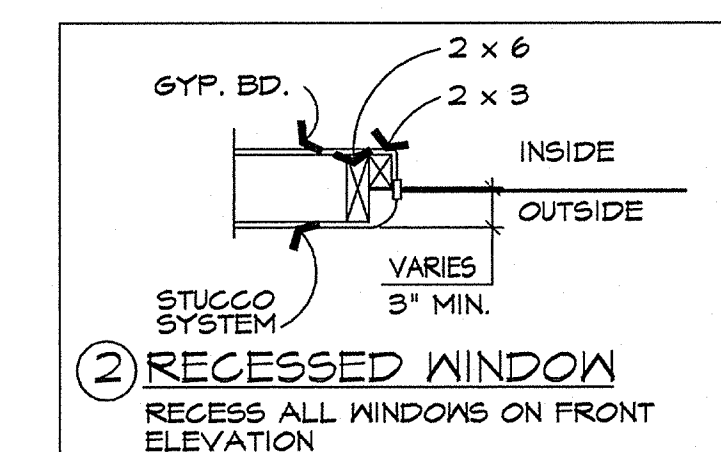
1"=1'-0"



**⑥ RAKE DETAIL**

1"=1'-0"

SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERWALL STUCCO SYS. (ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4313-01)  
OVER A WEATHER BARRIER CONSISTING OF (1) LAYER OF OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.



REVISIONS	BY
3/20/15	KK
11/14/15	KK
3/23/16	KK

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**KING CUSCOO DESIGN**  
602-989-1440

**BELLAGO HOMES**

BELLAGO DEVELOPMENT LLC.  
1806 NORTH LINDSAY ROAD  
MESA, ARIZONA 85213  
PHONE: 602-481-0535

**PLAN #1324**  
**Monticello**

**ELEVATION 'A'**  
**SPANISH COLONIAL**

DATE: 6/5/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1324  
SHEET:

**A-4a**

REVISIONS		BY
Δ	3/20/15	KK
Δ	11/14/15	KK
Δ	3/23/16	KK

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**KING CUSCOO DESIGN**  
1002 899 1440

**BELLAGO HOMES**

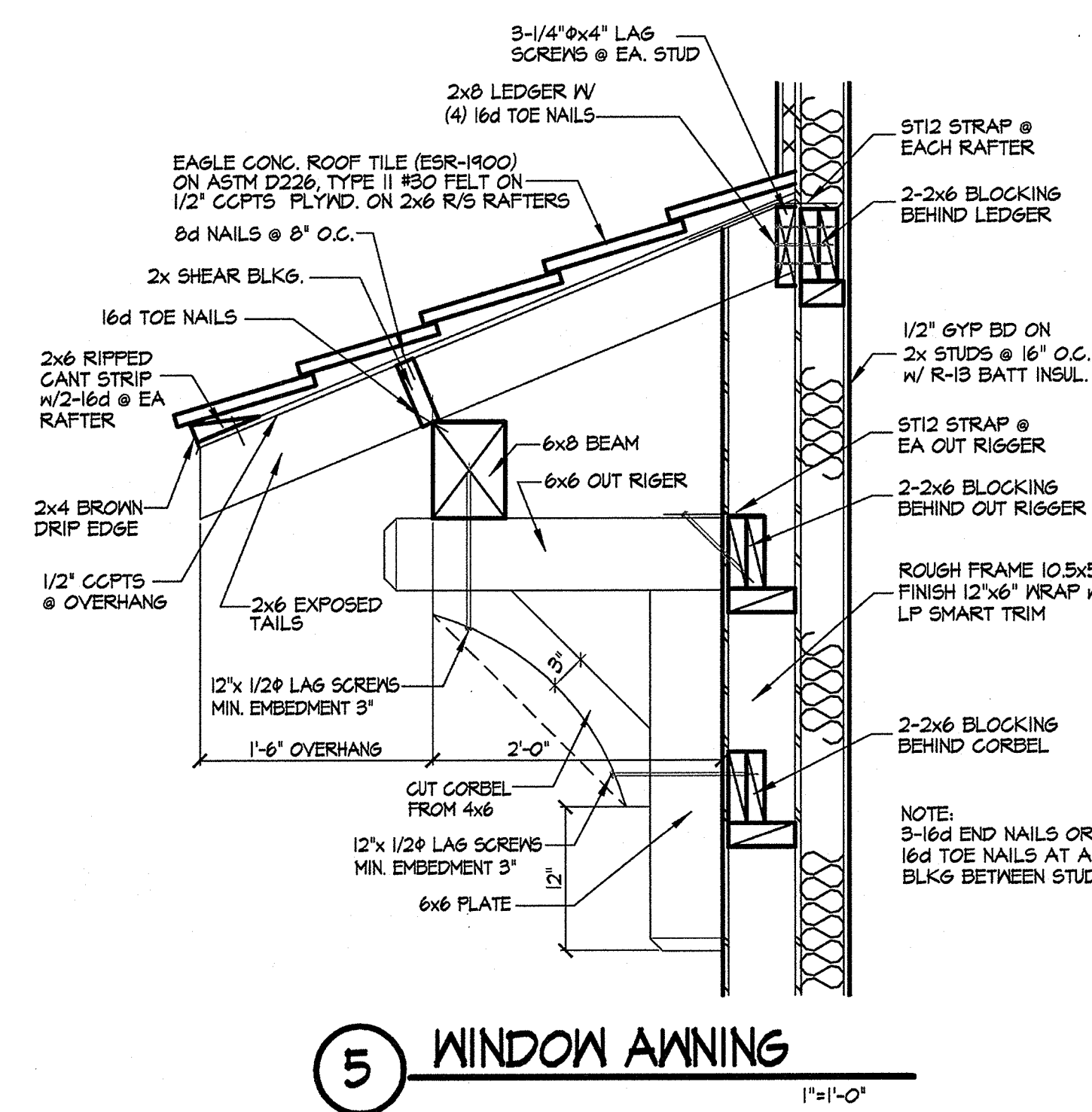
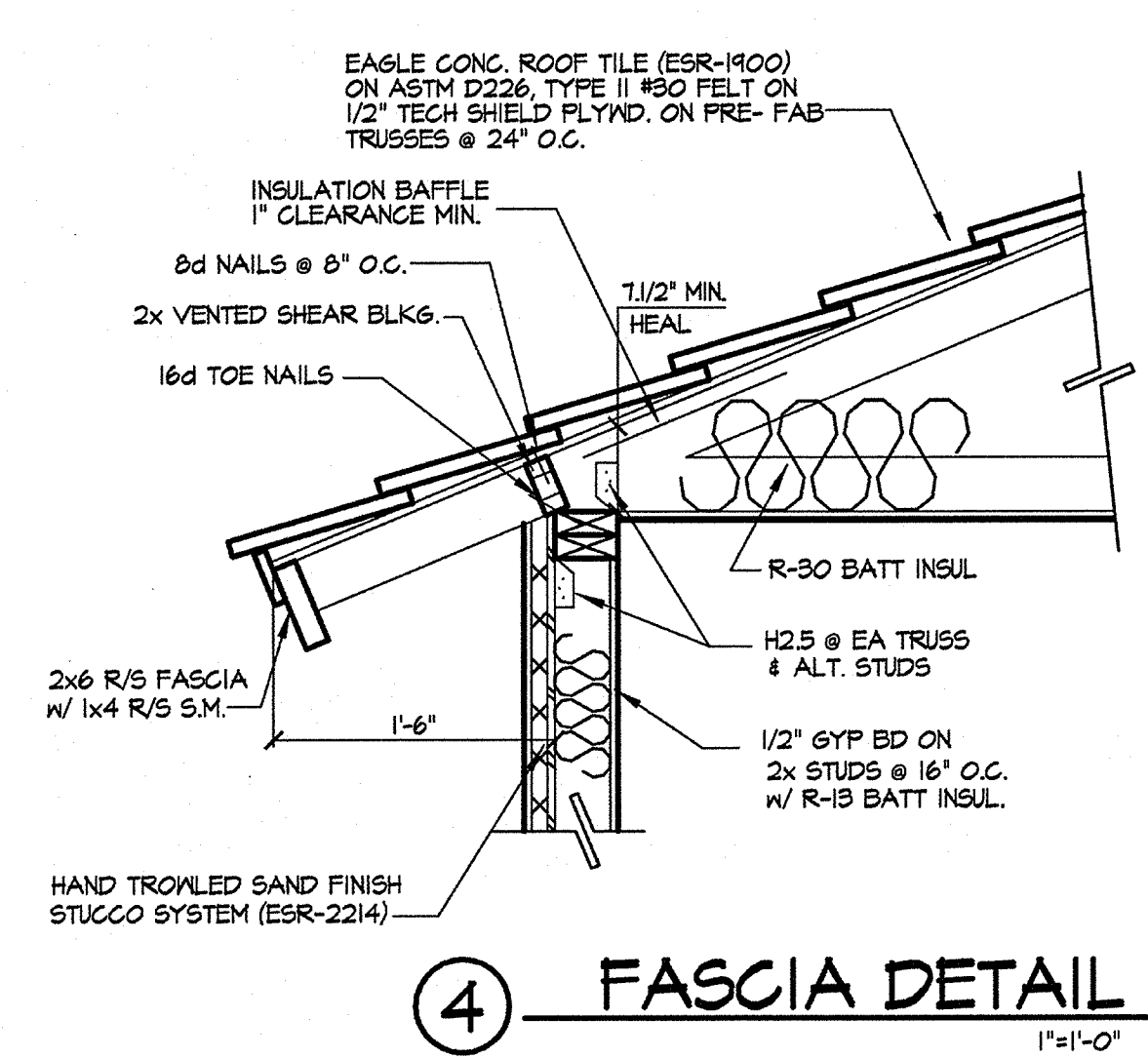
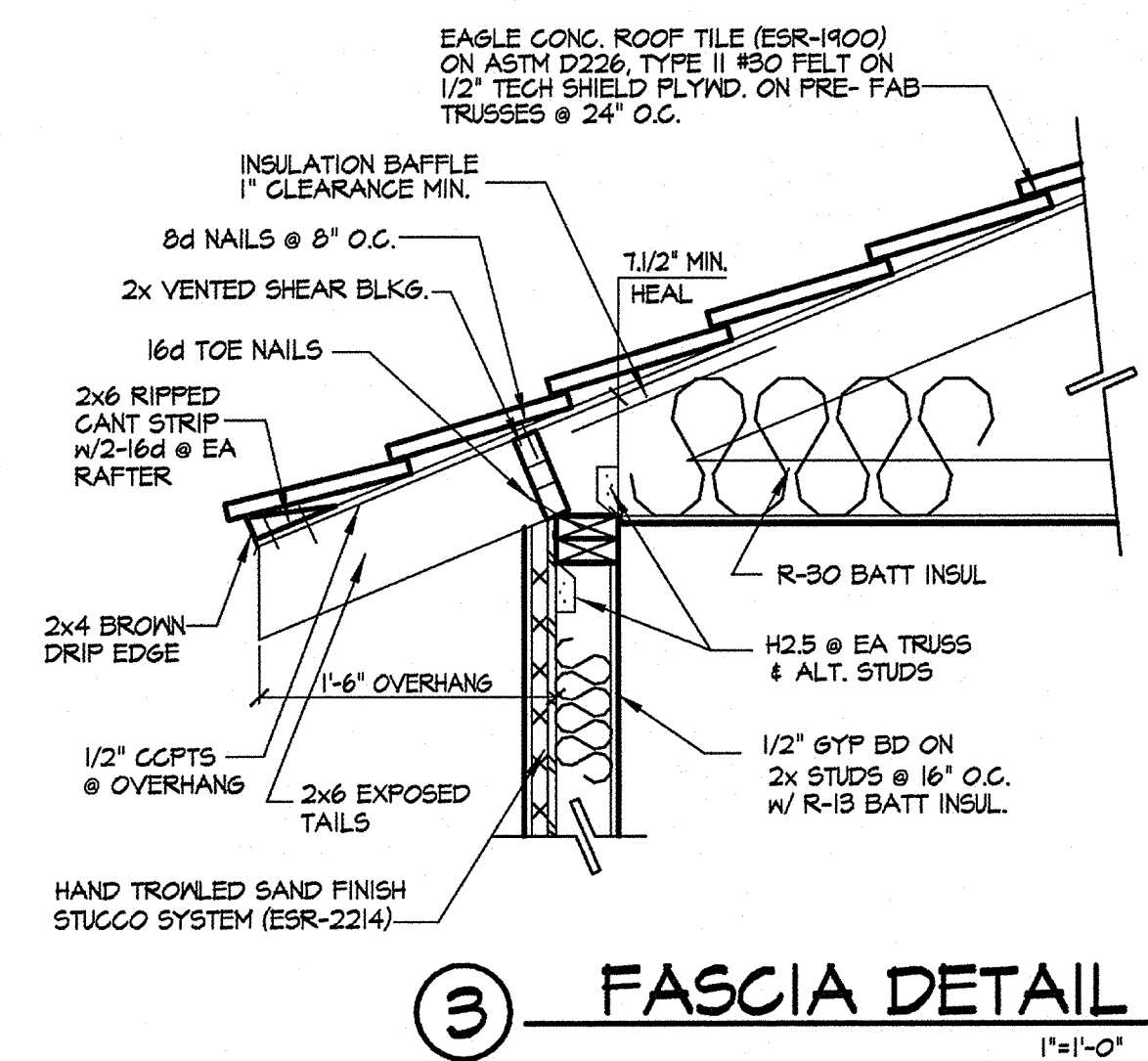
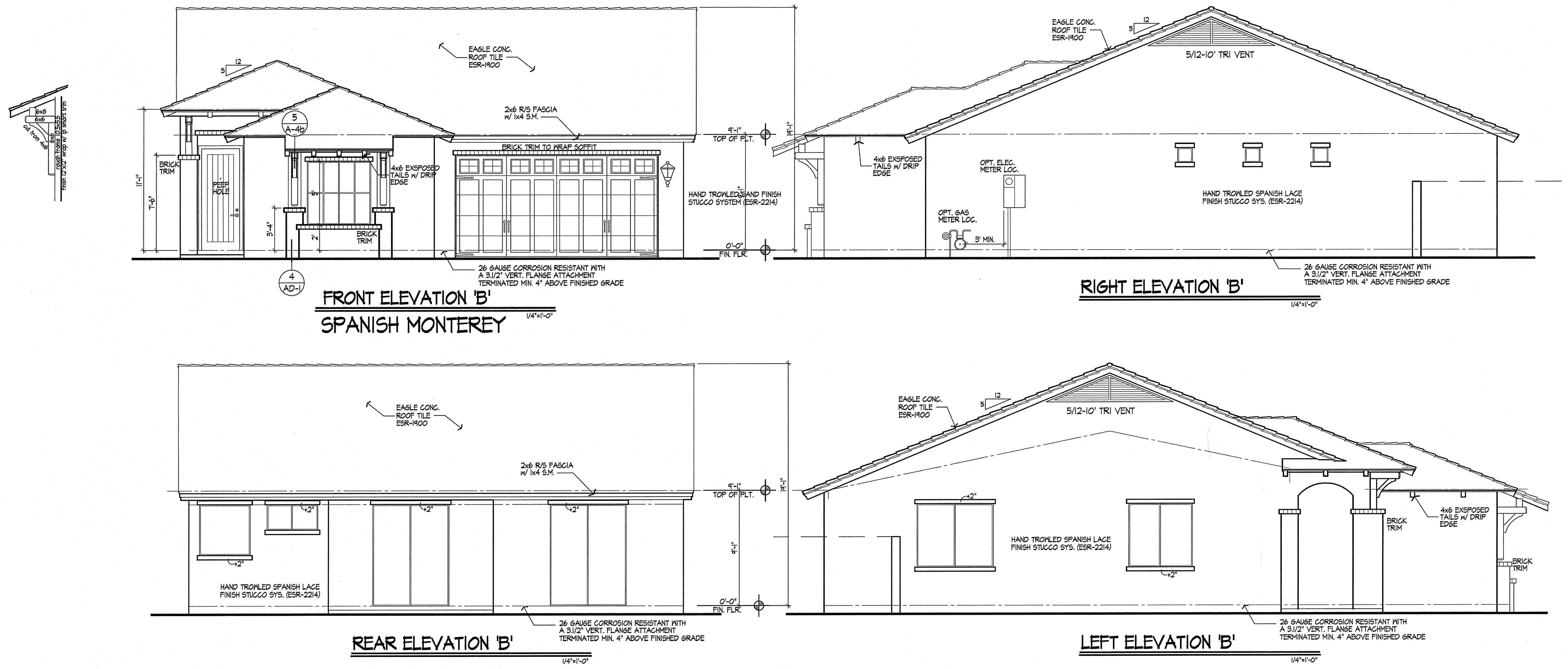
BELLAGO DEVELOPMENT LLC  
1806 NORTH LINDSAY ROAD  
MESA, ARIZONA 85213  
PHONE: 602-481-0535

**PLAN #B24**  
Monticello

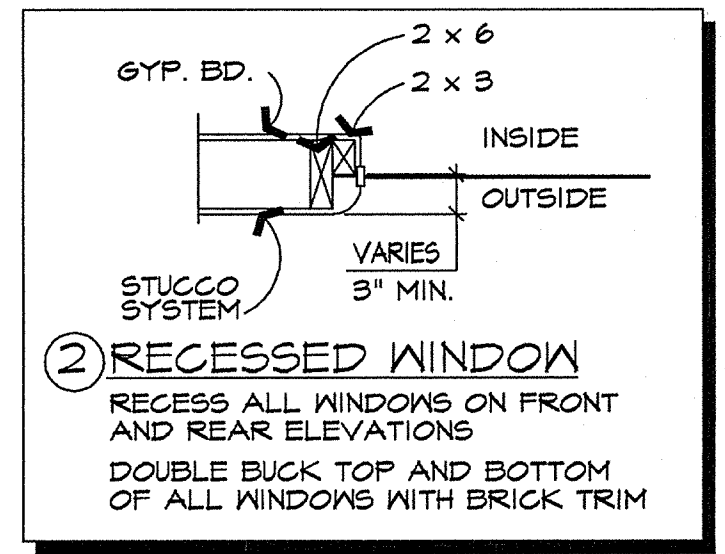
**ELEVATION 'B'**  
SPANISH MONTEREY

DATE: 6/5/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-B24  
SHEET:

**A-4b**



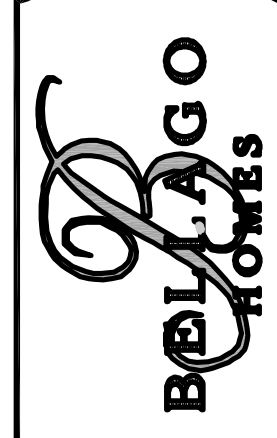
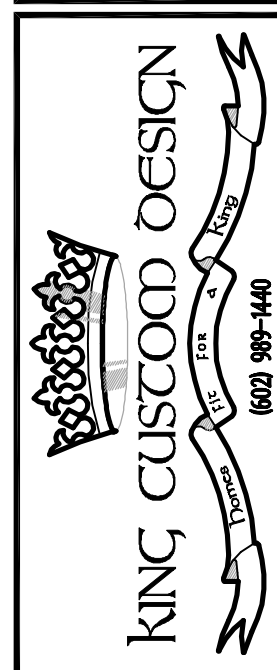
SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERWALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4313-01)  
OVER A WEATHER BARRIER CONSISTING OF  
(1) LAYER OF OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.





REVISIONS	BY
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3/23/16	KK

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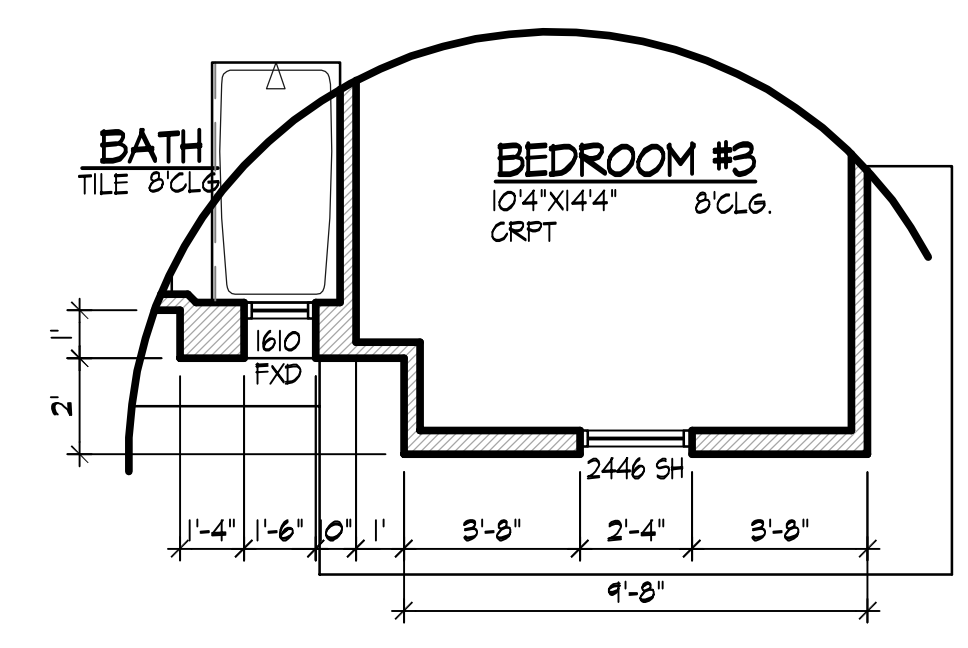
BELLASO DEVELOPMENT LLC.  
1806 NORTH LINDSAY ROAD  
MESA, ARIZONA 85205  
PHONE: 602-491-0555

PLAN #1670

# FLOOR PLANS

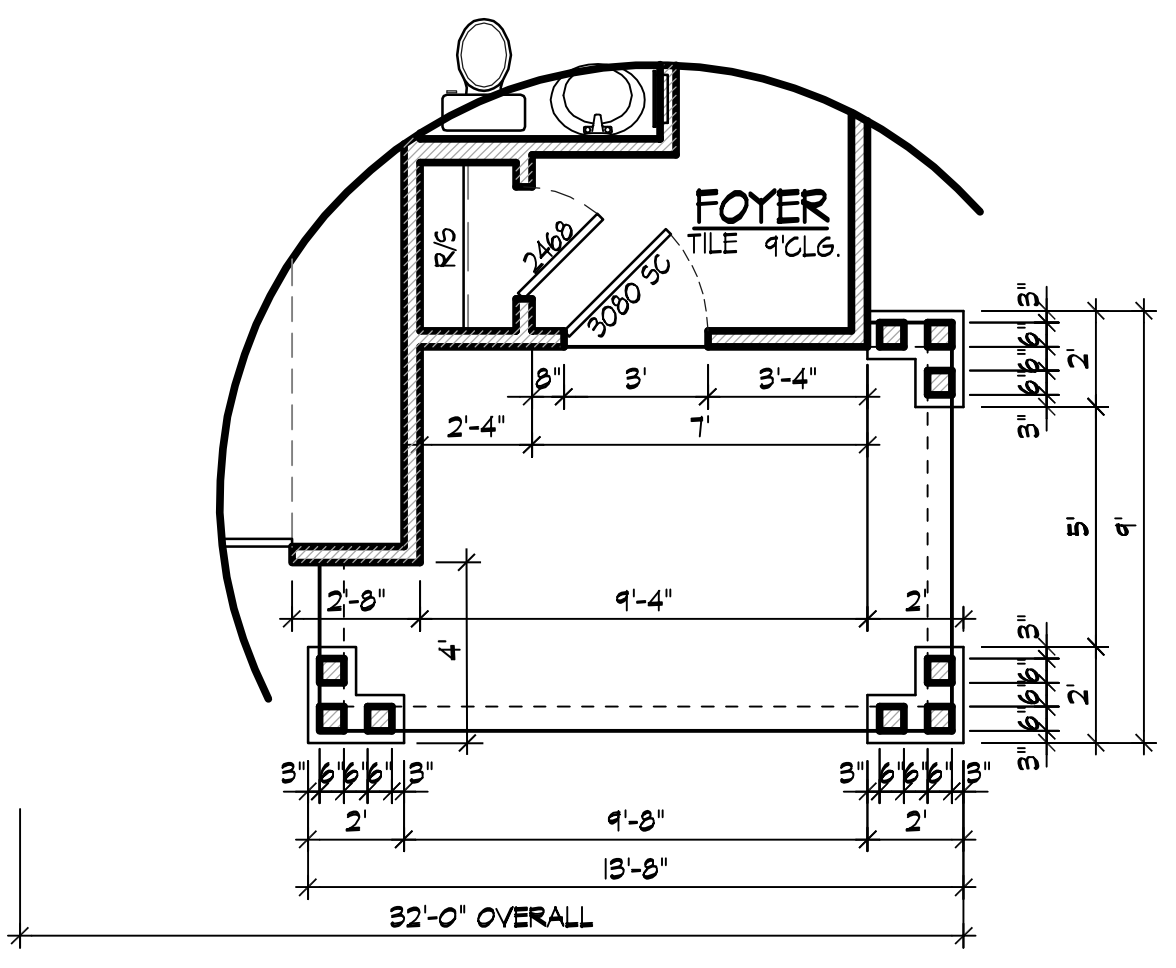
DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1670M  
SHEET:

A-3



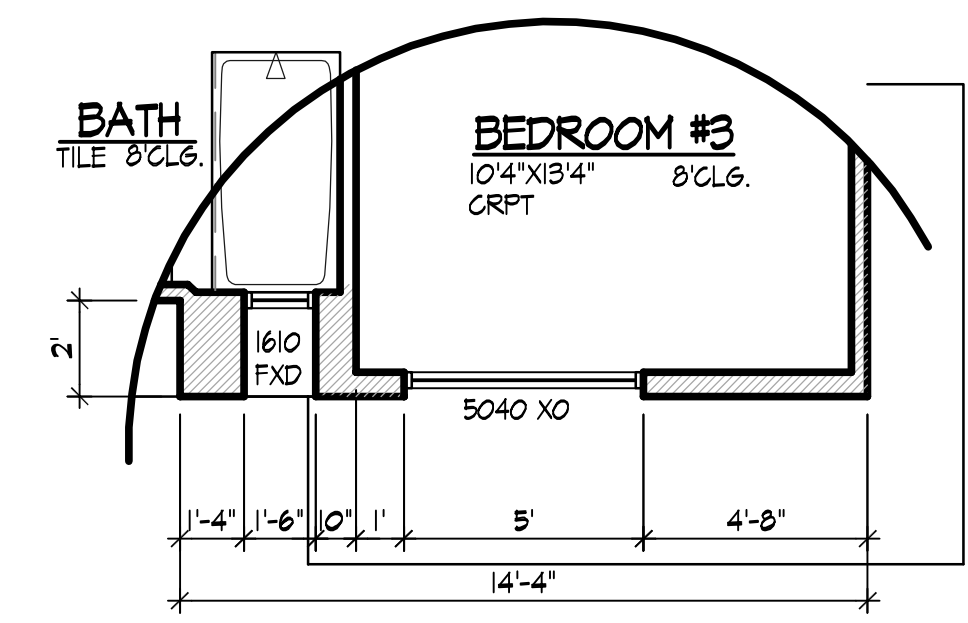
UPPER FLOOR PLAN 'B'

1/4"=1'-0"



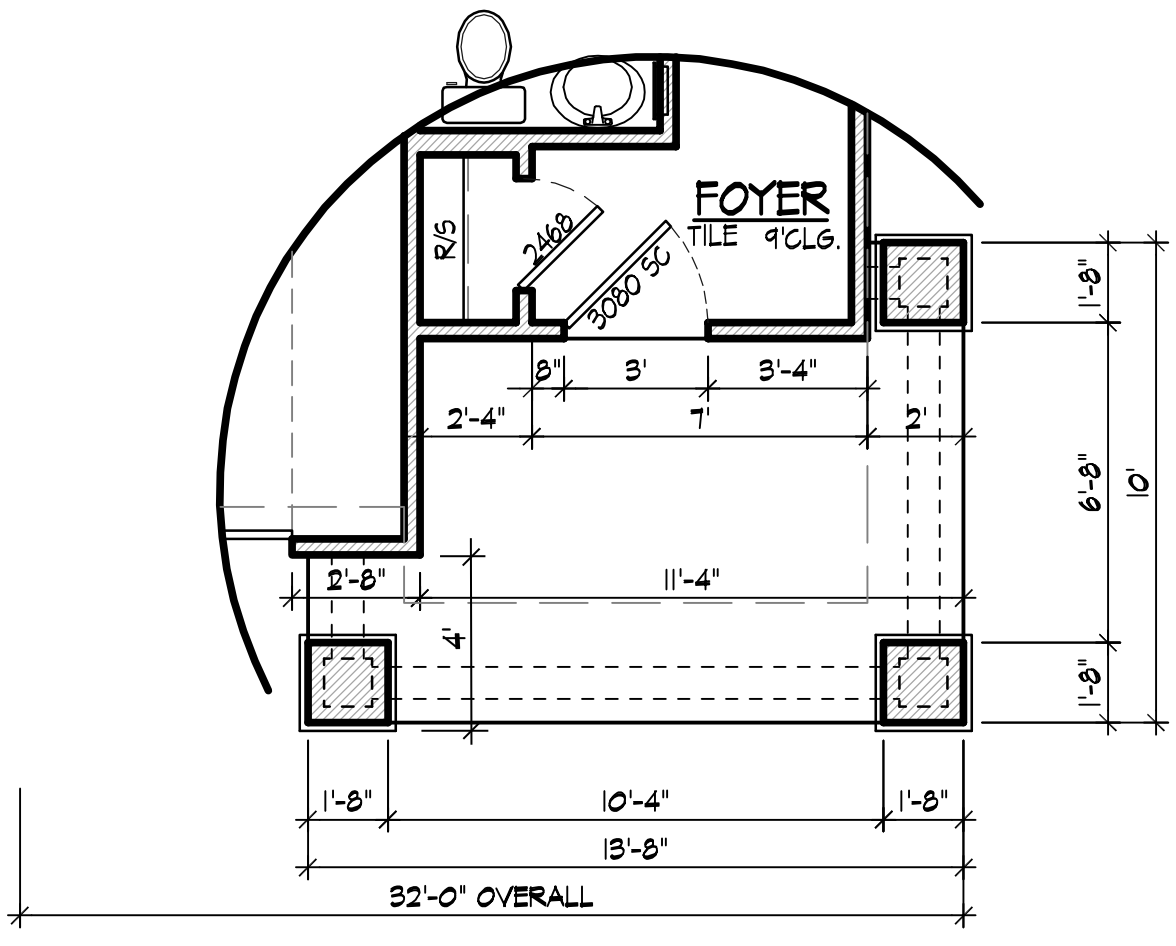
LOWER FLOOR PLAN 'B'

1/4"=1'-0"



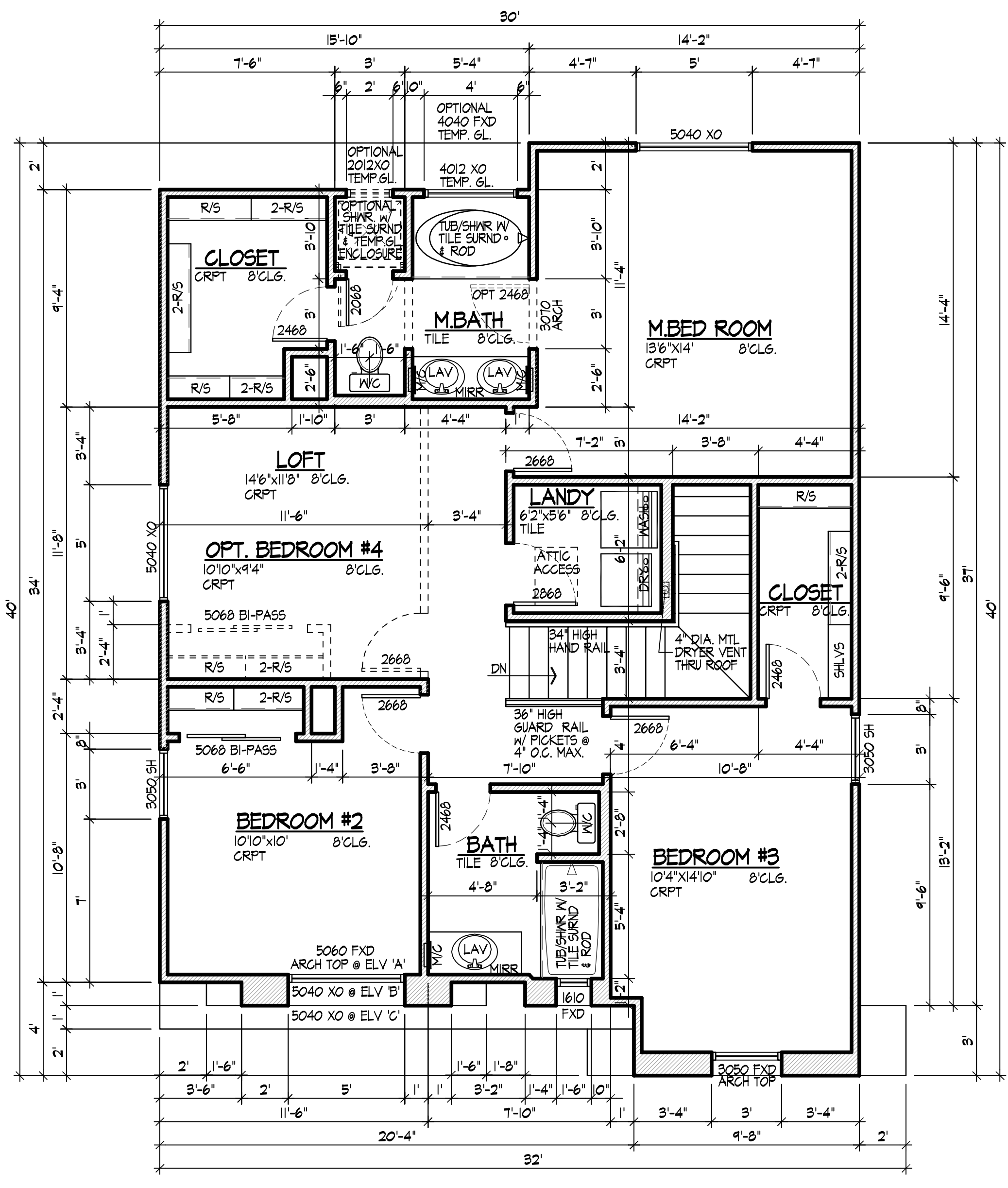
UPPER FLOOR PLAN 'C'

1/4"=1'-0"



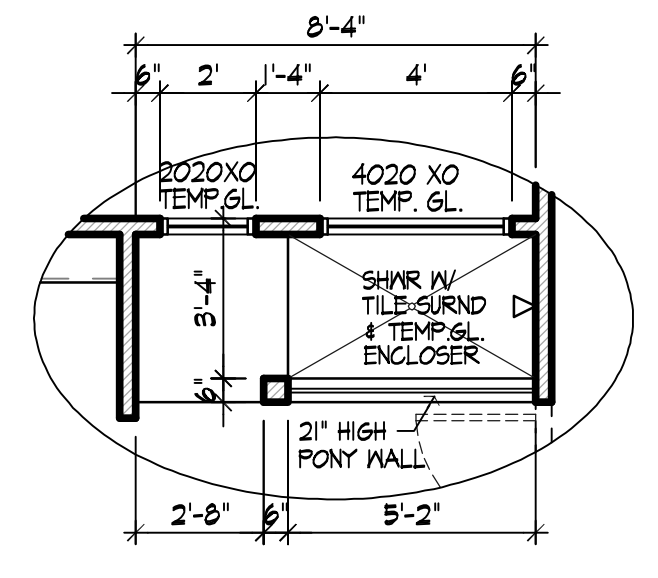
LOWER FLOOR PLAN 'C'

1/4"=1'-0"



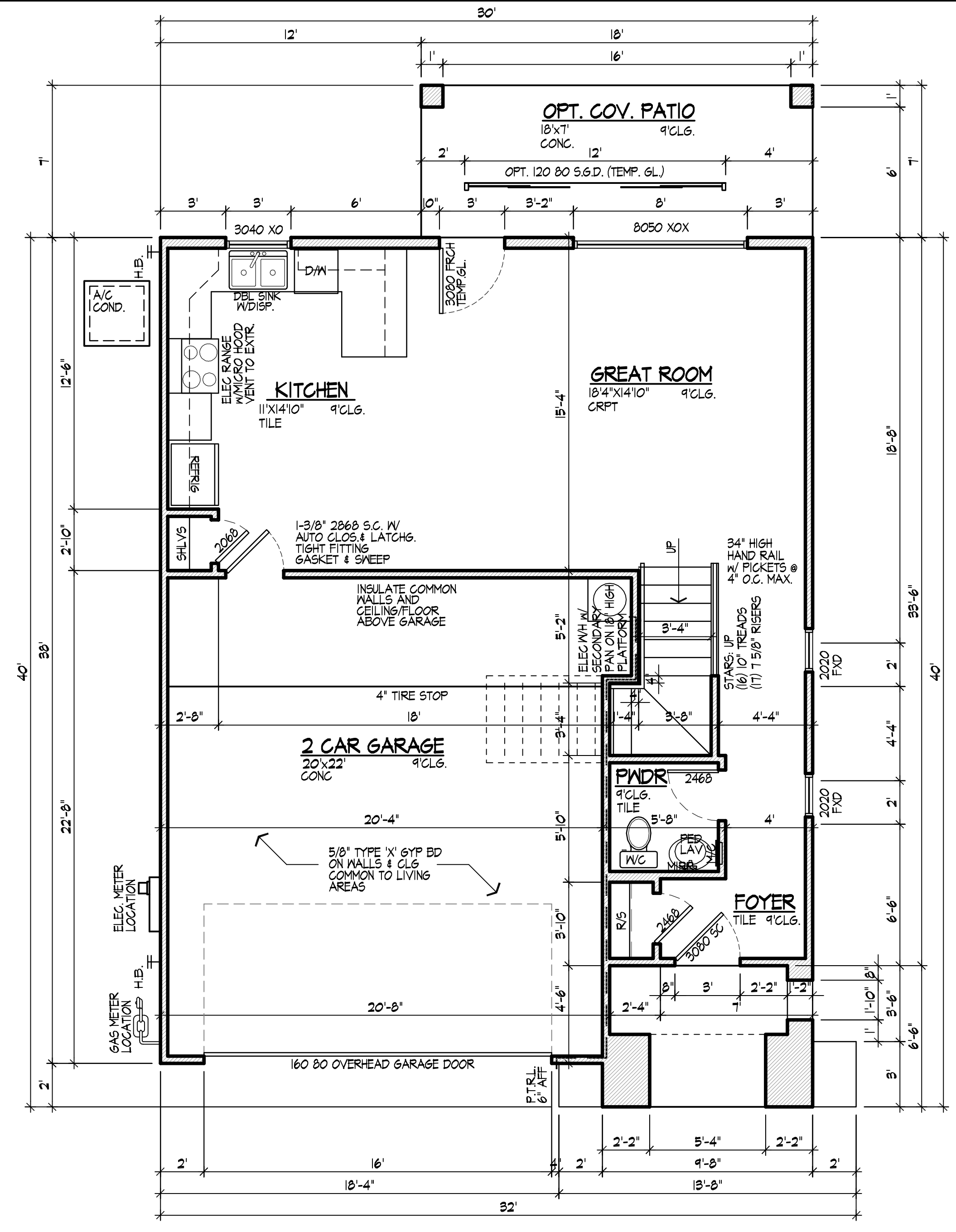
UPPER FLOOR PLAN 'A'

1/4"=1'-0"



GRAND MASTER SHOWER OPT.

1/4"=1'-0"



LOWER FLOOR PLAN 'A'

1/4"=1'-0"

### NOTE:

1. SHOWER WALLS TO BE FINISHED WITH MOISTURE RESISTANT SHEETROCK AND CERAMIC TILE OR EQUAL TO A HEIGHT OF 10' ABOVE DRAIN. A VAPOR RETARDER IS NOT PERMITTED BEHIND MOISTURE RESISTANT SHEETROCK, AND MOISTURE RESISTANT SHEETROCK IS NOT PERMITTED ON CEILINGS. VERIFY PER TYPE OF TILE INSTALLATION. SEE R 102.3.3 & R 103.4.2.
2. MINIMUM 22" CLEAR OPENING @ DOOR.
3. PROVIDE 18" HIGH PLATFORM UNDER ALL APPLIANCES INSTALLED IN (OR ACCESSIBLE FROM INSIDE) ACCESSIBLE FROM INSIDE) GARAGES.
4. PROVIDE 100 SQ. IN. OF MAKE UP AIR PER I.M.C., IN LAUNDRY ROOM.
5. PROVIDE APPROVED AIRSAP AT DISHWASHER.
6. APPLIANCES WHICH DEPEND UPON THE COMBUSTION OF FUEL SHALL NOT BE INSTALLED IN BEDROOMS, OR BATHROOMS OR ROOMS WHICH OPEN TO THE BEDROOM OR BATHROOM (I.E. CLOSETS).
7. TOTAL LENGTH OF 4" DRYER EXHAUST SHALL NOT EXCEED 25' WHEN FITTINGS USED, REDUCE LENGTH PER IRC M502.6
8. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE
9. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
10. REAR YARDS WHICH ARE THE ONLY EMERGENCY EGRESS ROUTE FROM BEDROOM(S) AND THAT ARE NON APPROACHABLE FROM PUBLIC OR DEDICATED COMMON WAYS ARE PROHIBITED.
11. IN ALL SLEEPING AREAS, PROVIDE AN OPENABLE WINDOW OR DOOR WITH AN AREA OF 5.7 SQ. FT. (MINIMUM OPENING DIRECTLY TO THE OUTSIDE WITH A MINIMUM NET CLEAR OPENING OF 20" WIDE AND 24" HIGH. MAXIMUM WINDOW SILL HEIGHT 44".
12. ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANES WITH 4 SQ. FT. OR LESS AREA) SHALL BE SAFETY GLASS.
13. FRONT DOOR TO HAVE A PEEP HOLE VIEWER HAVING A FIELD OF VISION OF NOT LESS THAN 180 DEGREES
14. ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH SECTION R 325 SECURITY STANDARDS OF CITY OF MESA RESIDENTIAL CODE.

### PLUMBING NOTE:

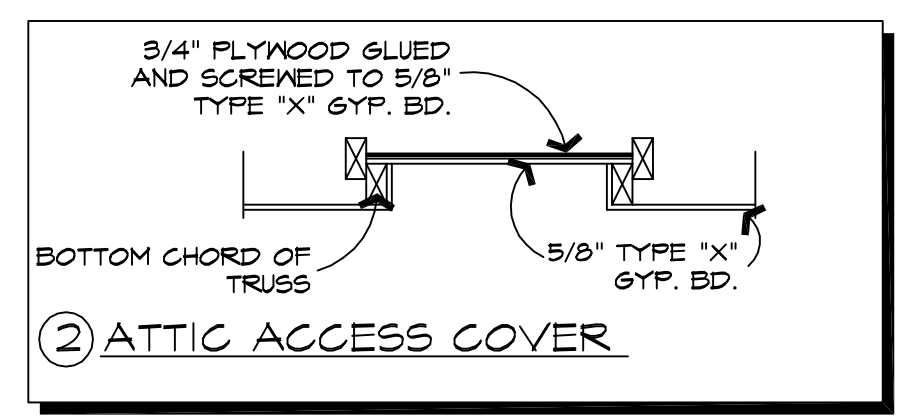
- PIPING TYPE AS FOLLOWS:
- A. WASTE LINE TO BE ABS SPECIFIED SCHEDULE 40 DWV, SCHEDULE 40 PVC DWV.
  - B. VENT PIPE TO BE ABS SPECIFIED SCHEDULE 40 DWV, SCHEDULE 40 PVC DWV.
  - C. COPPER TUBING USED IN WATER PIPING MUST BE SPECIFIED TYPE "M" MINIMUM WEIGHT IN THE BUILDINGS ABOVE SLABS & COPPER TUBING USED IN WATER PIPING BELOW FLOOR SLABS MUST BE TYPE "L" MINIMUM WEIGHT INSTALLED WITH JOINTS.
  - D. ALL HOSE BIBS SHALL HAVE ANTI SIPHON VALVES INSTALLED.
  - E. GAS FUEL PIPING SHALL BE WROUGHT IRON OR STEEL, GALVANIZED, BLACK OR YELLOW BRASS.

### NOISE ATTENUATION STIPULATIONS:

1. PROVIDE EXTERIOR WALL INSULATION EQUAL TO A VALUE OF R-14 WHERE ADJACENT TO LIVABLE AREAS.
2. PROVIDE CEILING INSULATION EQUAL TO A VALUE OF R-38 OVER
3. ALL EXTERIOR DOORS EXISTING FROM LIVABLE AREAS SHALL BE SOLID CORE OR INSULATED, WITH WEATHER TIGHT GASKETS AND THRESHOLDS OR GASKETED GLASS.
4. ALL EXTERIOR WINDOWS ADJACENT TO LIVABLE AREAS SHALL BE DOUBLE GLAZED (DUAL PANE).
5. SOLE PLATES OF EXTERIOR WALLS ADJACENT TO LIVABLE AREAS SHALL BE CAULKED OR SEALED AT THE FLOOR LINE.

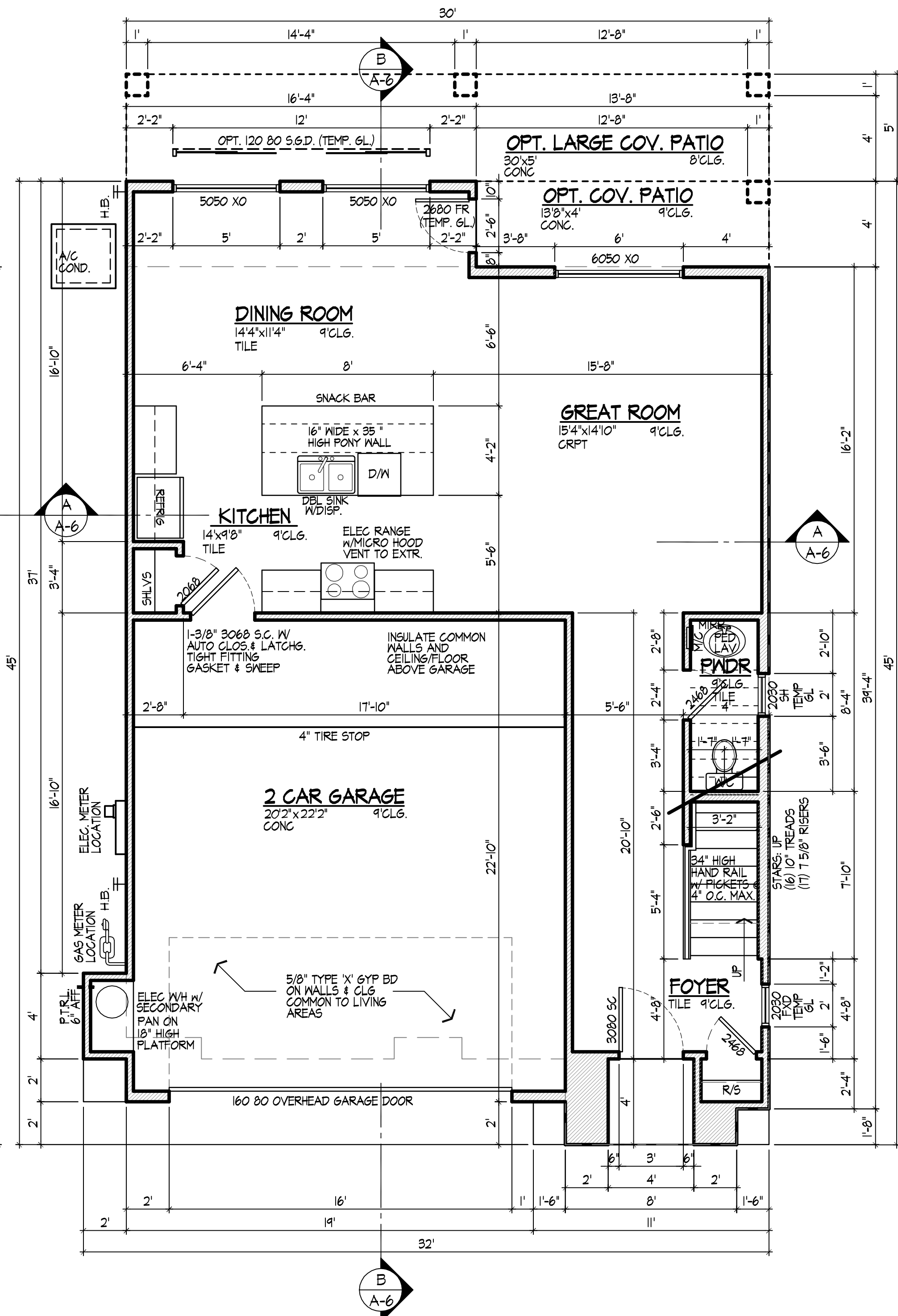
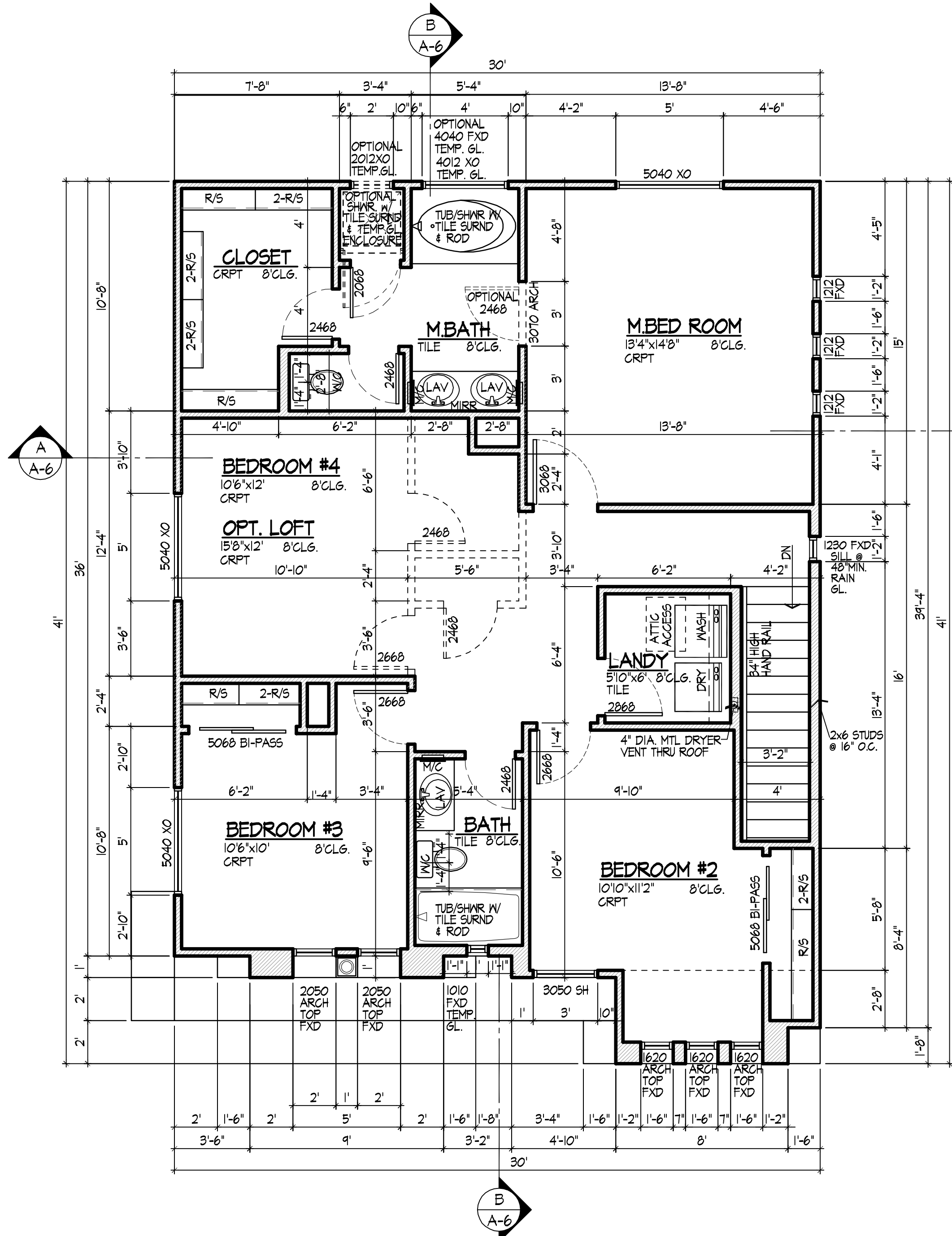
AREA SCHEDULE				
ALL ELEVATIONS	LIVABLE	U/R	U/R W/PATIO	
(A) MAIN FLOOR LIVABLE 'A', 'B' & 'C'	600			
(B) UPPER FLOOR LIVABLE 'A'	1,085			
(C) UPPER FLOOR LIVABLE 'B'	1,082			
(D) UPPER FLOOR LIVABLE 'C'	1,071			
(E) 2-CAR GARAGE		498		
(F) OPTIONAL COVERED PATIO			126	
(G) COVERED PORCH 'A'		61		
(H) COVERED PORCH 'B'		97		
(I) COVERED PORCH 'C'		103		
TOTAL - 'A'	1,685	2,244		2,310
TOTAL - 'B'	1,682	2,277		2,403
TOTAL - 'C'	1,671	2,278		2,404

GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C.  
OR  
USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD, TABLE R102.3.5 (d).





AREA SCHEDULE						
ALL ELEVATIONS	LIVABLE	W/R	OPT. PATIO	OPT. LR.G. PATIO	GRAND MB LIV.	GRAND MB W/R
(A) MAIN FLOOR LIVABLE 'A','B' & 'C'	763					
(B) UPPER FLOOR LIVABLE 'A'	1,061					
(C) UPPER FLOOR LIVABLE 'B' & 'C'	1,069					
(D) 2-CAR GARAGE		469				
(E) OPTIONAL PATIO			55			
(F) OPTIONAL LARGE PATIO				150		
(G) COVERED PORCH 'A'		27				
(H) COVERED PORCH 'B' & 'C'		71				
(I) GRAND MASTER BATH 'A' (+65)					1,146	
(J) GRAND MASTER BATH 'B' & 'C' (+65)					1,130	
TOTAL - 'A'	1,844	2,340	2,395	2,545	1,909	2,405
TOTAL - 'B'	1,832	2,378	2,433	2,583	1,874	2,443
TOTAL - 'C'	1,832	2,378	2,433	2,583	1,874	2,443



#### NOTE:

1. SHOWER WALLS TO BE FINISHED WITH MOISTURE RESISTANT SHEETROCK AND CERAMIC TILE OR EQUAL TO A HEIGHT OF 10" ABOVE DRAIN. A VAPOR RETARDER IS NOT PERMITTED BEHIND MOISTURE RESISTANT SHEETROCK AND MOISTURE RESISTANT SHEETROCK IS NOT PERMITTED ON CEILINGS. VERIFY PER TYPE OF TILE INSTALLATION. SEE R 1023.8 & R 103.4.2.
2. MINIMUM 22" CLEAR OPENING @ DOOR.
3. PROVIDE 18" HIGH PLATFORM UNDER ALL APPLIANCES INSTALLED IN (OR ACCESSIBLE FROM INSIDE) GARAGES.
4. PROVIDE 100 SQ. IN. OF MAKE UP AIR PER I.M.C., IN LAUNDRY ROOM.
5. PROVIDE APPROVED AIRGAP AT DISHWASHER.
6. APPLIANCES WHICH DEPEND UPON THE COMBUSTION OF FUEL SHALL NOT BE INSTALL IN BEDROOMS, OR BATHROOMS OR ROOMS WHICH OPENS TO THE BEDROOM OR BATHROOM (I.E. CLOSETS).
7. TOTAL LENGTH OF 4" DRYER EXHAUST SHALL NOT EXCEED 25' WHEN FITTINGS USED, REDUCE LENGTH PER IRC M1502.6
8. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
9. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
10. REAR YARDS WHICH ARE THE ONLY EMERGENCY EGRESS ROUTE FROM BEDROOM(S) AND THAT ARE NON APPROACHABLE FROM PUBLIC OR DEDICATED COMMON WAYS ARE PROHIBITED.
11. IN ALL SLEEPING AREAS, PROVIDE AN OPENABLE WINDOW OR DOOR WITH AN AREA OF 57 SQ. FT. (MINIMUM OPENING DIRECTLY TO THE OUTSIDE WITH A MINIMUM NET CLEAR OPENING OF 20" WIDE AND 24" HIGH. MAXIMUM WINDOW SILL HEIGHT 44".
12. ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANES WITH 9 SQ. FT. OR LESS AREA) SHALL BE SAFETY GLASS.
13. FRONT DOOR TO HAVE A PEEP HOLE VIEWER HAVING A FIELD OF VISION OF NOT LESS THAN 180 DEGREES.
14. ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH SECTION R 325 SECURITY STANDARDS OF CITY OF MESA RESIDENTIAL CODE.

#### PLUMBING NOTE:

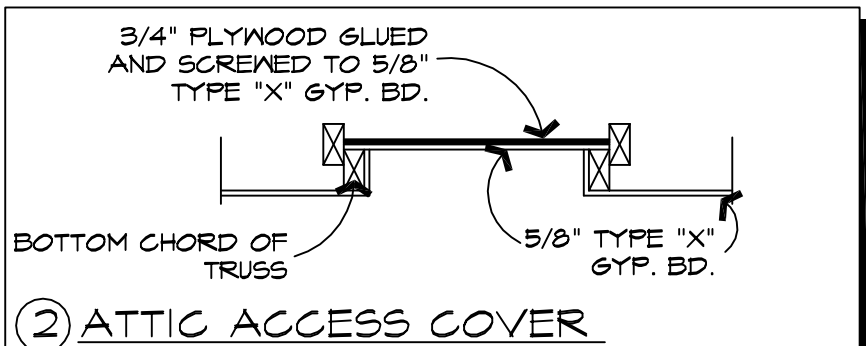
- PIPING TYPE AS FOLLOWS:
- A. WASTE LINE TO BE ABS SPECIFIED SCHEDULE 40 DWV, SCHEDULE 40 PVC DWV.
  - B. VENT PIPE TO BE ABS SPECIFIED SCHEDULE 40 DWV, SCHEDULE 40 PVC DWV.
  - C. COPPER TUBING USED IN WATER PIPING MUST BE SPECIFIED TYPE "M" MINIMUM WEIGHT IN THE BUILDINGS ABOVE SLABS & COPPER TUBING USED IN WATER PIPING BELOW FLOOR SLABS MUST BE TYPE "L" MINIMUM WEIGHT INSTALLED WITH JOINTS.
  - D. ALL HOSE BIBS SHALL HAVE ANTI SIPHON VALVES INSTALLED.
  - E. GAS FUEL PIPING SHALL BE WROUGHT IRON OR STEEL, GALVANIZED, BLACK OR YELLOW BRASS.

#### NOISE ATTENUATION STIPULATIONS:

1. PROVIDE EXTERIOR WALL INSULATION EQUAL TO A VALUE OF R-19 WHERE ADJACENT TO LIVABLE AREAS.
2. PROVIDE CEILING INSULATION EQUAL TO A VALUE OF R-38 OVER
3. ALL EXTERIOR DOORS EXITING FROM LIVABLE AREAS SHALL BE SOLID CORE OR INSULATED WITH WEATHER TIGHT GASKETS AND THRESHOLDS OR GASKETED GLASS.
4. ALL EXTERIOR WINDOWS ADJACENT TO LIVABLE AREAS SHALL BE DOUBLE GLAZED (DUAL PANE).
5. SOLE PLATES OF EXTERIOR WALLS ADJACENT TO LIVABLE AREAS SHALL BE CAULKED OR SEALED AT THE FLOOR LINE.

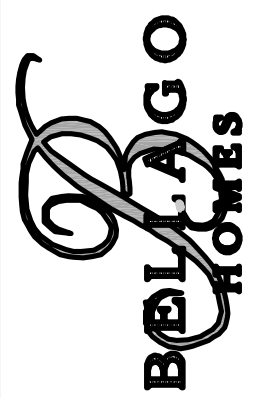
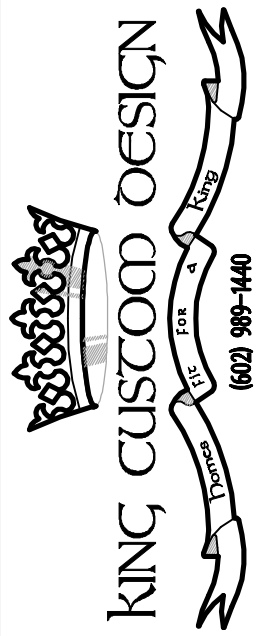
GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C.

OR  
USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD, TABLE R102.9.5 (d).



REVISIONS	BY
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12/11/15	KK
3/22/16	KK

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PHONE: 602-481-0535

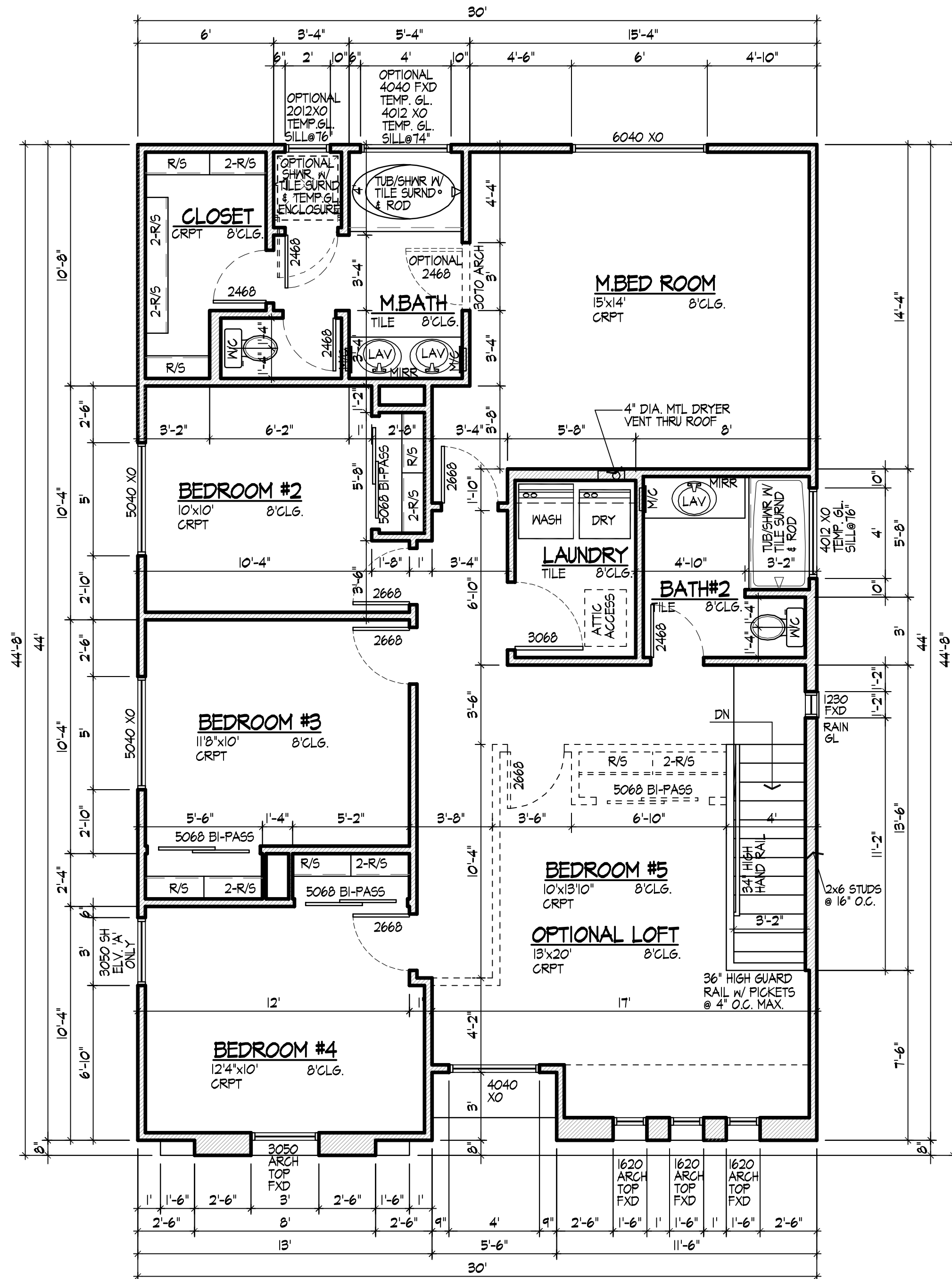
PLAN #1799

FLOOR PLANS

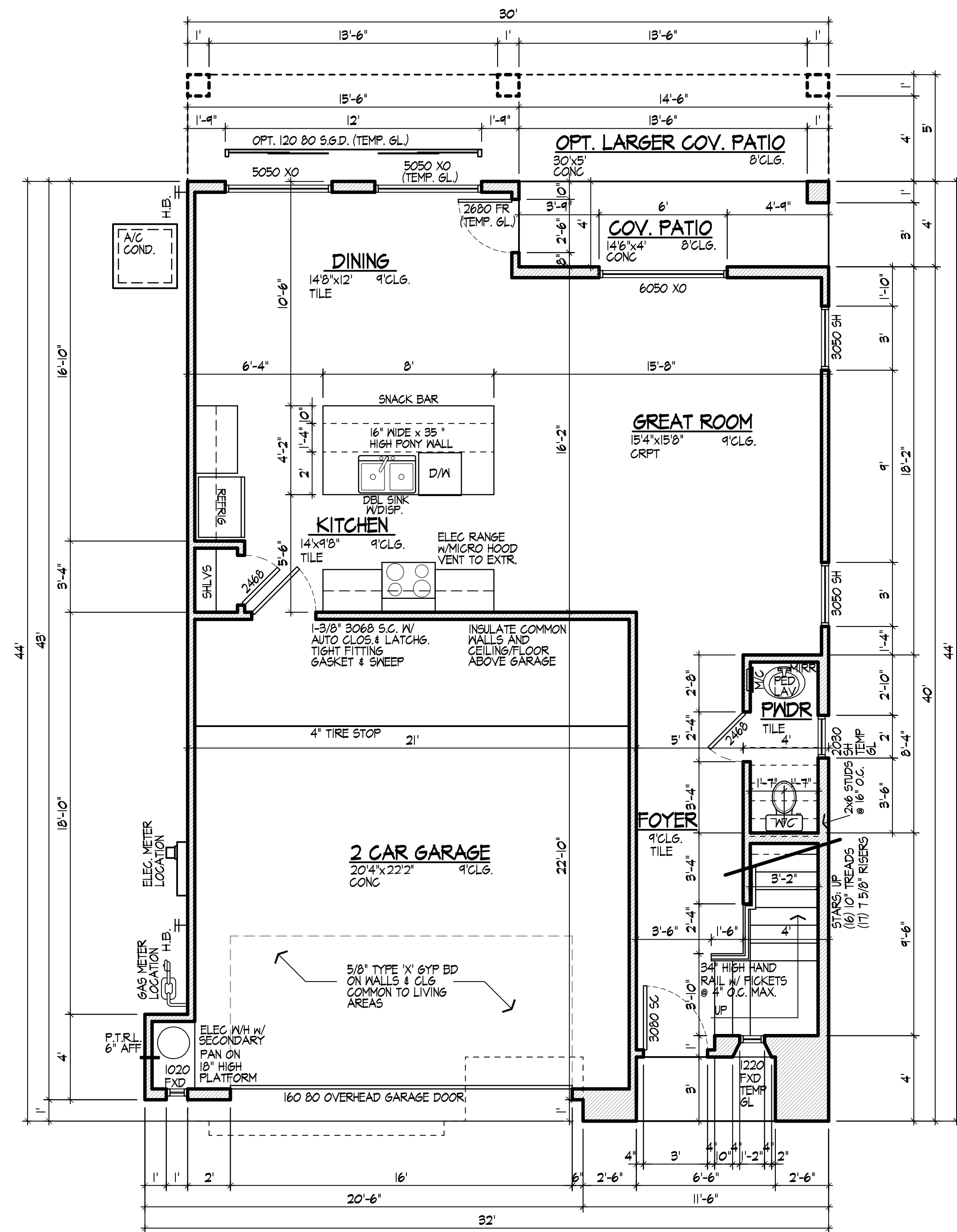
DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1799  
SHEET:

A-3a

AREA SCHEDULE			
ALL ELEVATIONS	LIVABLE	U/R	OPT. PATIO
(A) MAIN FLOOR LIVABLE 'A'	748		
(B) MAIN FLOOR LIVABLE 'B' & 'C'	744		
(C) UPPER FLOOR LIVABLE 'A'	1275		
(D) UPPER FLOOR LIVABLE 'B' & 'C'	1280		
(E) 2-CAR GARAGE		466	
(F) COVERED PATIO		56	
(G) OPTIONAL COVERED PATIO			150
(H) COVERED PORCH 'A'		30	
(I) COVERED PORCH 'B'		67	
(J) COVERED PORCH 'C'		40	
TOTAL - 'A'	2023	2571	2,727
TOTAL - 'B'	2024	2,615	2,765
TOTAL - 'C'	2024	2,638	2,788



UPPER FLOOR PLAN 'A'

$$1/4'' = 1' - 0''$$


LOWER FLOOR PLAN 'A'

$$1/4^0 = 1 - 0^0$$

NOTE:

1. SHOWER WALLS TO BE FINISHED WITH MOISTURE RESISTANT SHEETROCK AND CERAMIC TILE OR EQUAL TO A HEIGHT OF 7'0" ABOVE DRAIN. A VAPOR RETARDER IS NOT PERMITTED BEHIND MOISTURE RESISTANT SHEETROCK, AND MOISTURE RESISTANT SHEETROCK TO BE APPLIED ON CEILINGS, VERIFY TYPE OF TILE INSTALLATION. SEE R 1023.3.2 & R103.4.2.
2. MINIMUM 22" CLEAR OPENING @ DOOR.
3. PROVIDE 18" HIGH PLATFORM UNDER ALL APPLIANCES INSTALLED IN (OR ACCESSIBLE FROM INSIDE) ACCESSIBLE FROM INSIDE) GARAGES.
4. PROVIDE 100 SQ. IN. OF MAKE UP AIR PER I.M.C. IN LAUNDRY ROOM.
5. PROVIDE APPROVED AIRSAKE AT DISHWASHER.
6. APPLIANCES WHICH DEPEND UPON THE COMBUSTION OF FUEL SHALL BE INSTALLED IN KITCHENS OR BATHROOMS OR ROOMS WHICH OPEN TO THE BEDROOM OR BATHROOM (I.E. CLOSETS).
7. TOTAL LENGTH OF 4" DRYER EXHAUST SHALL NOT EXCEED 25' WHEN FITTINGS USED, REDUCE LENGTH PER IRC M1502.6
8. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE
9. MANUALLY OPERATED EGRESS OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
10. REAR YARDS WHICH ARE THE ONLY EMERGENCY EGRESS ROUTE FROM BEDROOMS AND THAT ARE NON APPROACHABLE FROM PUBLIC OR DEDICATED COMMON WAYS ARE PROHIBITED.
11. IN ALL SLEEPING AREAS, PROVIDE AN OPENABLE WINDOW OR DOOR WITH A MINIMUM 20" MINIMUM NET CLEAR OPENING DIRECTLY TO THE OUTSIDE WITH A MINIMUM NET CLEAR OPENING OF 20" WIDE AND 24" HIGH. MAXIMUM WINDOW SILL HEIGHT 44".
12. ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANES WITH 4 SQ. FT. OR LESS AREA) SHALL BE SAFETY GLASS.
13. FRONT DOOR TO HAVE A PEEP HOLE VIEWER HAVING A FIELD OF VISION OF NOT LESS THAN 180 DEGREES.
14. ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH SECTION R 325 SECURITY STANDARDS OF CITY OF MESA RESIDENTIAL CODE.

PLUMBING NOTE:

PIPING TYPE AS FOLLOWS:

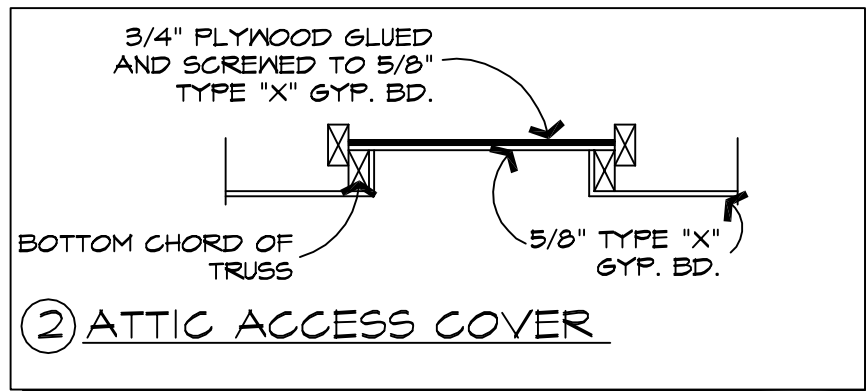
- A. WASTE LINE TO BE ABS SPECIFIED SCHEDULE 40 DWV, SCHEDULE 40 PVC DWV.
- B. VENT PIPE TO BE ABS SPECIFIED SCHEDULE 40 DWV , SCHEDULE 40 PVC DWV.
- C. COPPER TUBING USED IN WATER PIPING MUST BE SPECIFIED TYPE "M" MINIMUM HEIGHT IN THE BUILDINGS ABOVE SLABS & COPPER TUBING USED IN WATER PIPING BELOW FLOOR SLABS MUST BE TYPE "L" MINIMUM HEIGHT INSTALLED WITH JOINTS.
- D. ALL HOSE BIBS SHALL HAVE ANTI SIPHON VALVES INSTALLED.
- E. GAS FUEL PIPING SHALL BE WROUGHT IRON OR STEEL, GALVANIZED, BLACK OR YELLOW BRASS.

NOISE ATTENUATION STIPULATIONS:

1. PROVIDE EXTERIOR WALL INSULATION EQUAL TO A VALUE OF R-19 WHERE ADJACENT TO LIVABLE AREAS.
2. PROVIDE CEILING INSULATION EQUAL TO A VALUE OF R-30 OVER
3. ALL EXTERIOR DOORS EXITING FROM LIVABLE AREAS SHALL BE SOLID CORE OR INSULATED, WITH WEATHER TIGHT GASKETS AND THRESHOLDS OR GASKETED GLASS.
4. ALL EXTERIOR WINDOWS ADJACENT TO LIVABLE AREAS SHALL BE DOUBLE GLAZED (DUAL PANE).
5. SOLE PLATES OF EXTERIOR WALLS ADJACENT TO LIVABLE AREAS SHALL BE CAULKED OR SEALED AT THE FLOOR LINE.

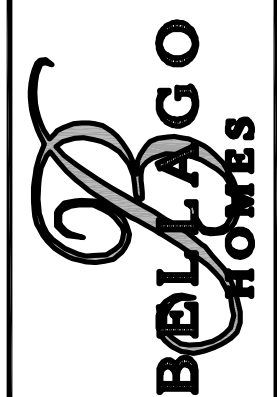
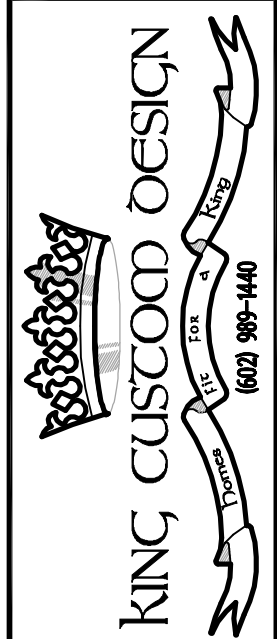
GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C.

OR  
USE LABELED 1/2" SAG- RESISTANT GYPSUM  
CEILING BORD. TABLE R702.3.5 (d).



REVISIONS		BY
①	11/18/15	KK
②	12/11/15	KK
③	3/15/16	KK
④		

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PHONE: 602-481-0535

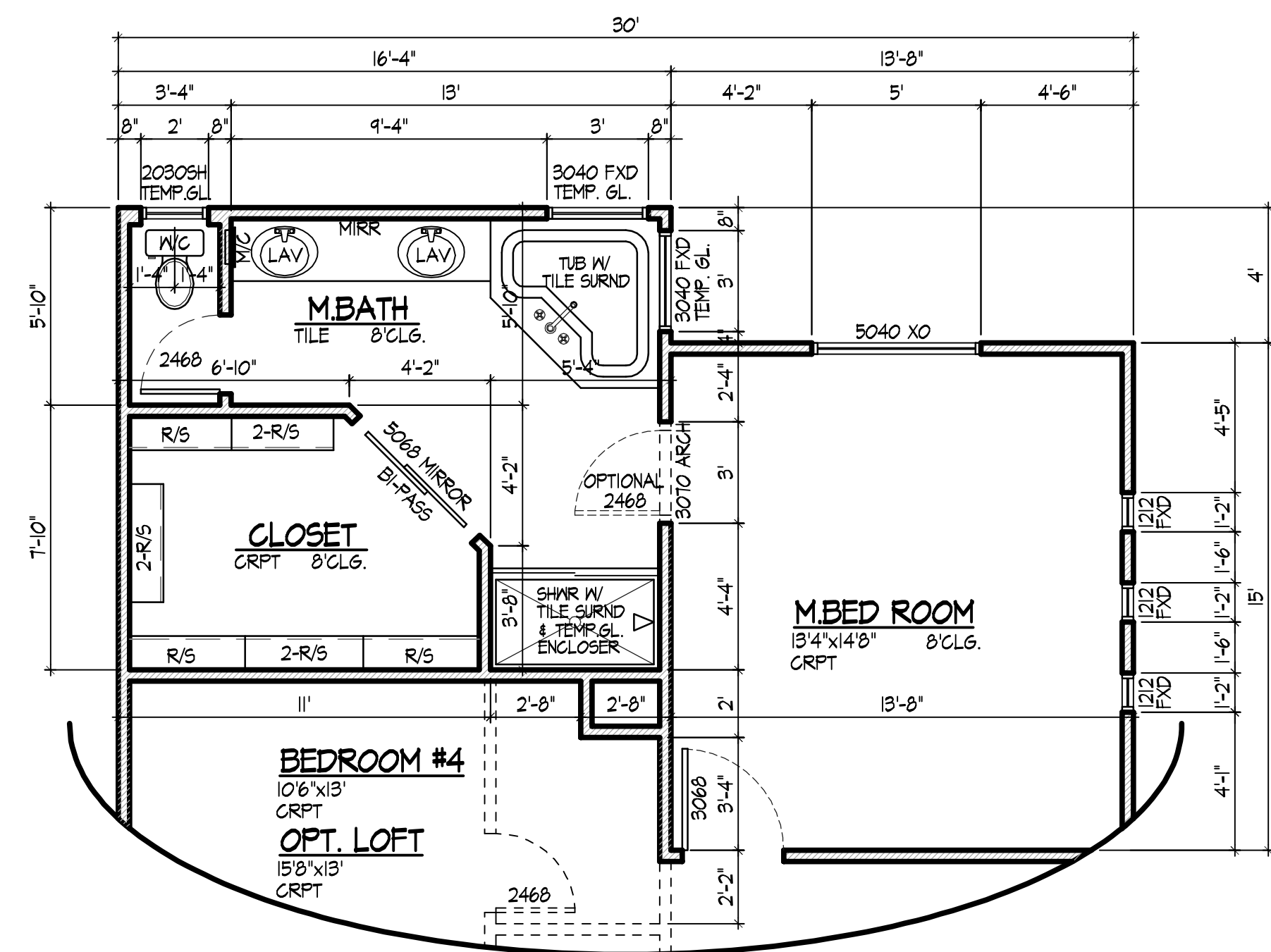
PLAN #2035

# FLOOR PLANS

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SCALE: 1/4"=1'-0"
DRAWN: K.KING
JOB: BEL-2035
SHEET:

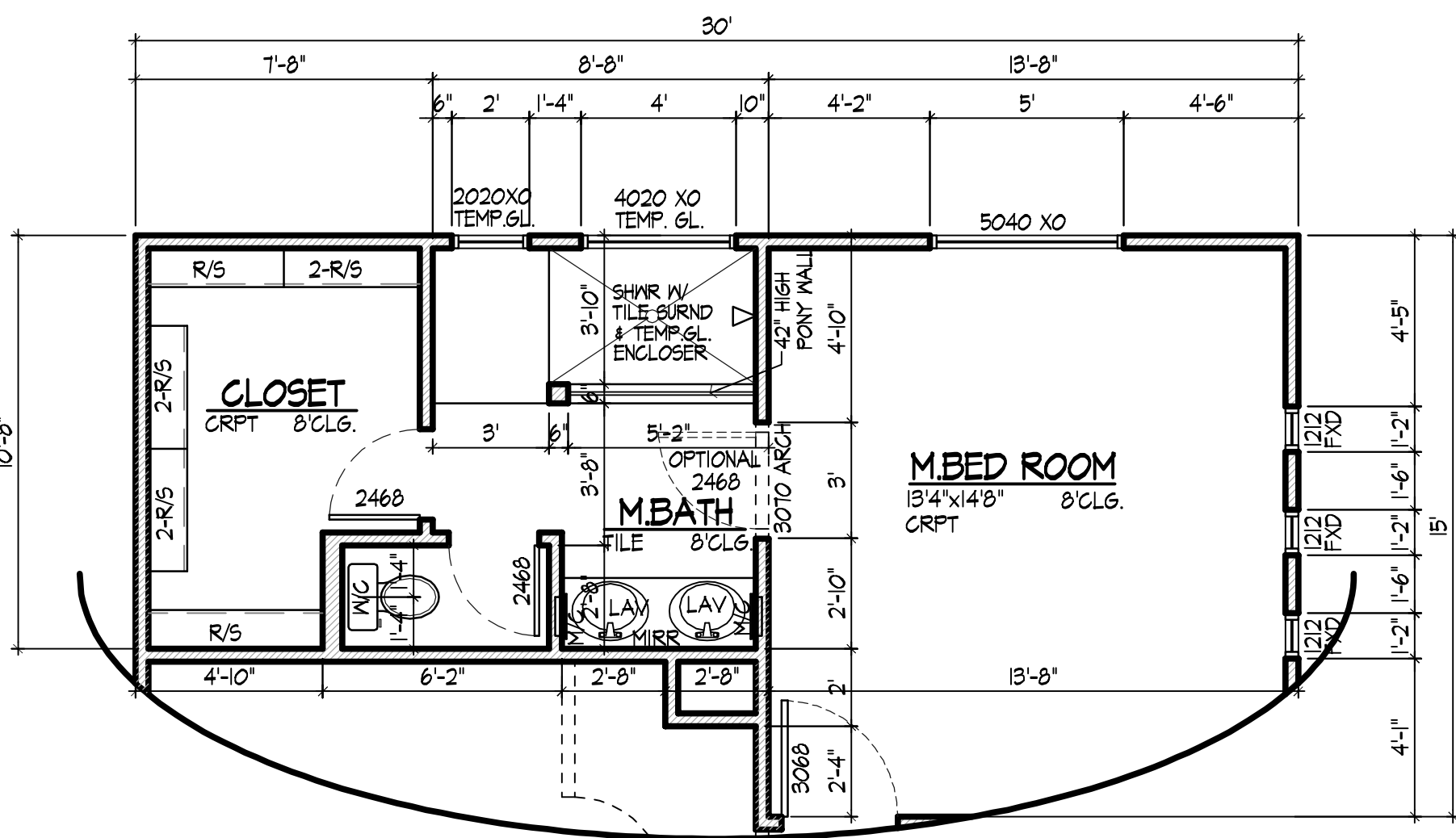
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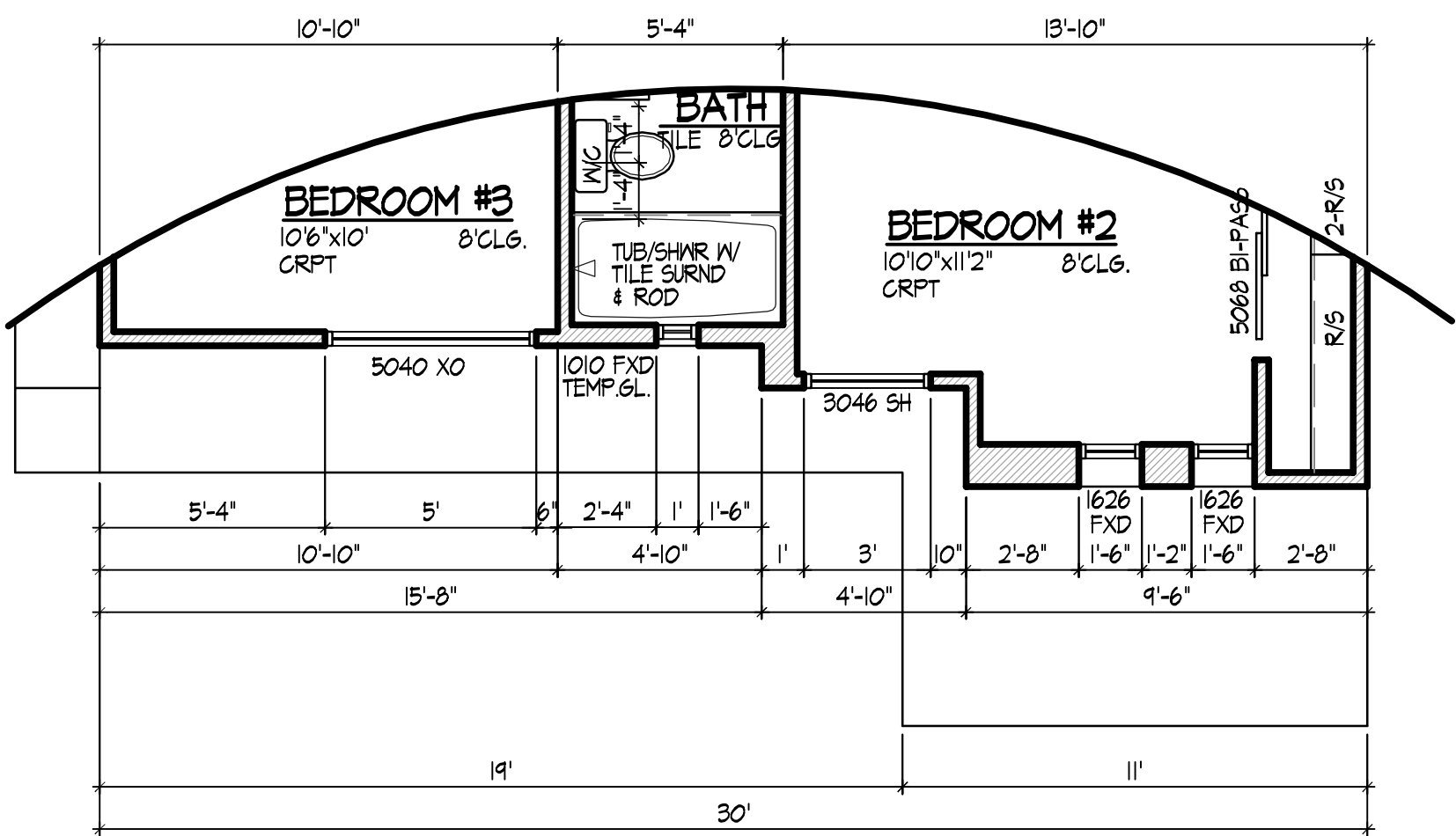
OPT. GRAND MASTER BATH

1/4"=1'-0"



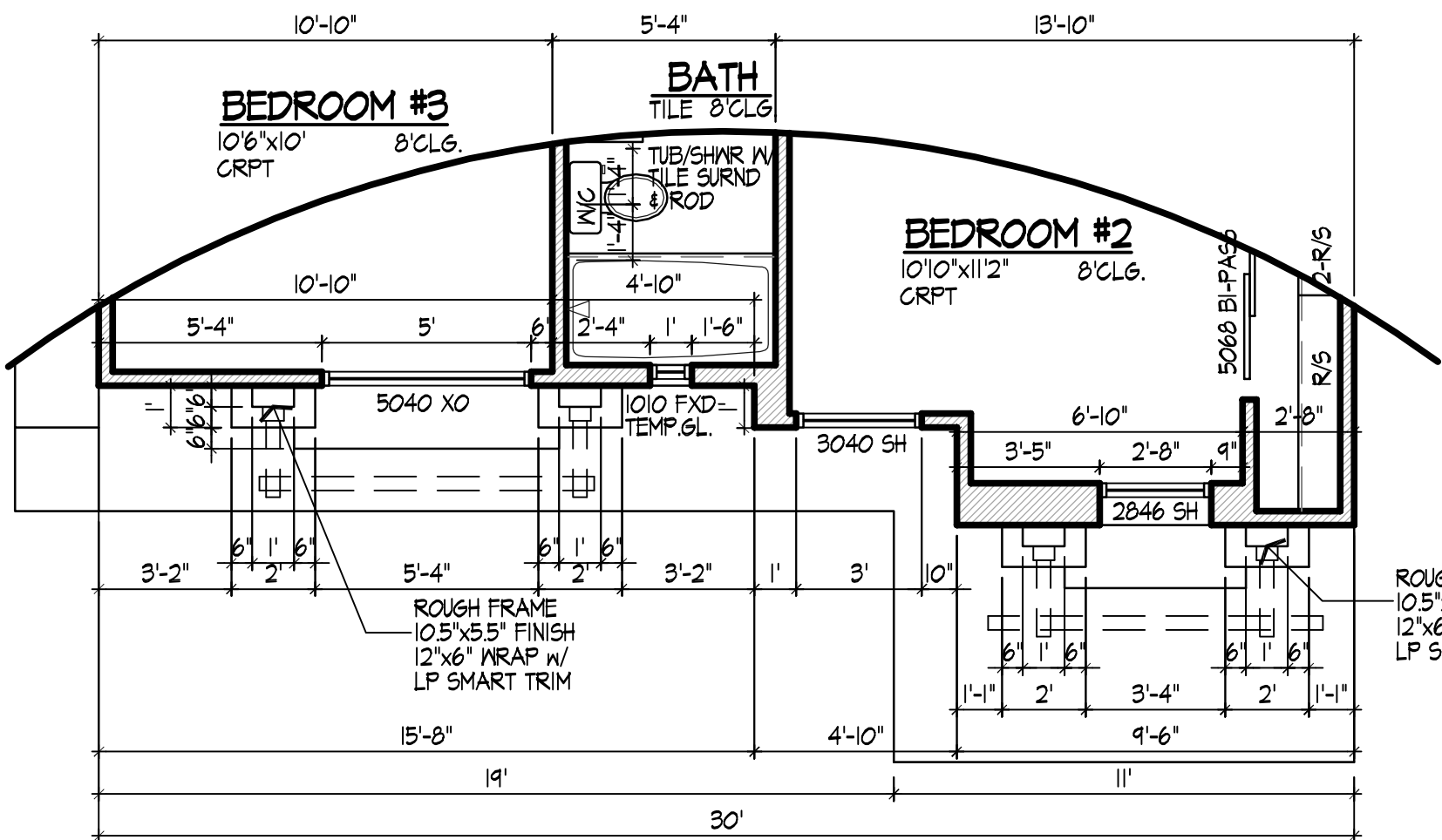
OPT. GRAND SHOWER

1/4"=1'-0"



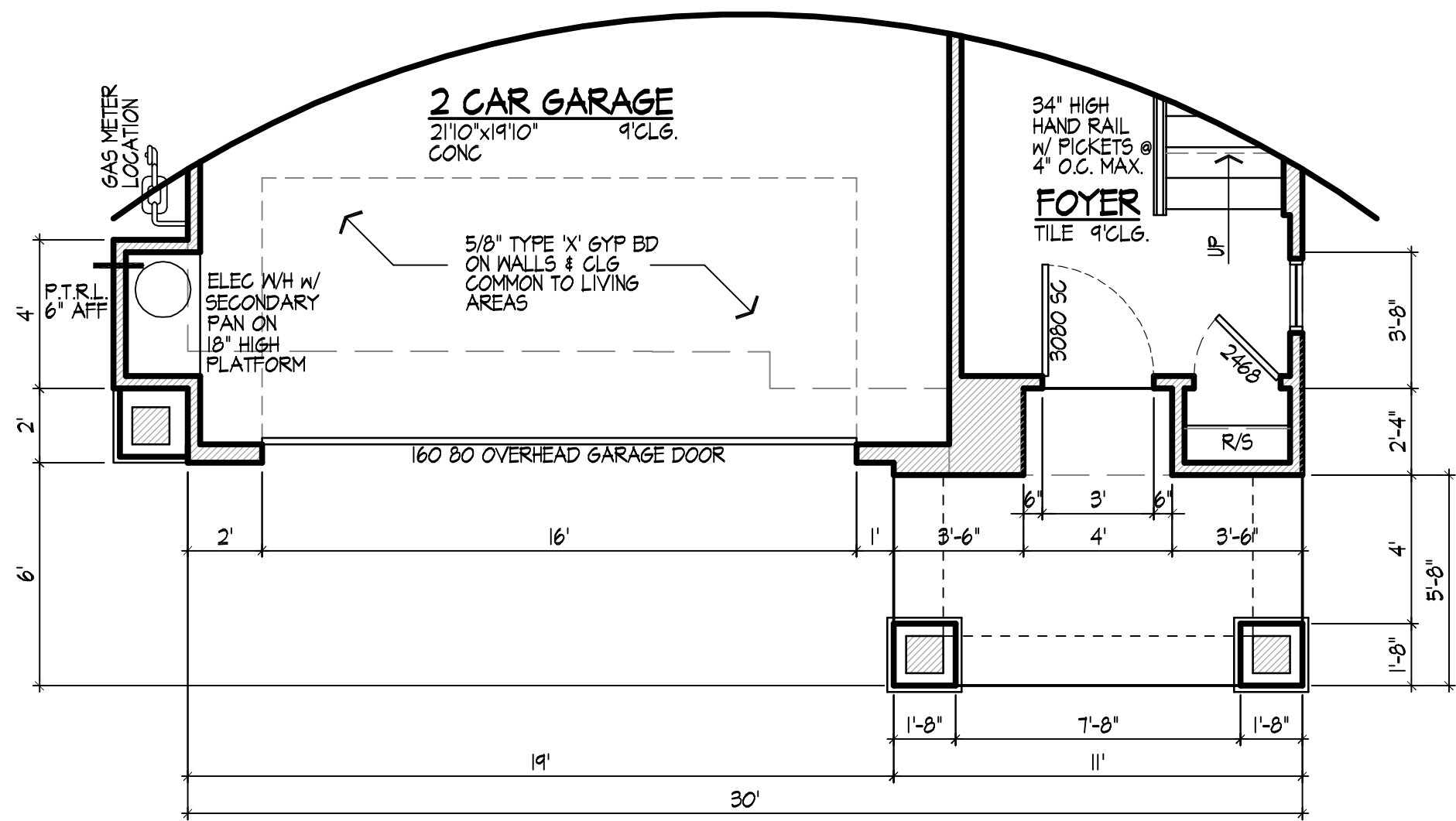
UPPER FLOOR PLAN 'C'

1/4"=1'-0"



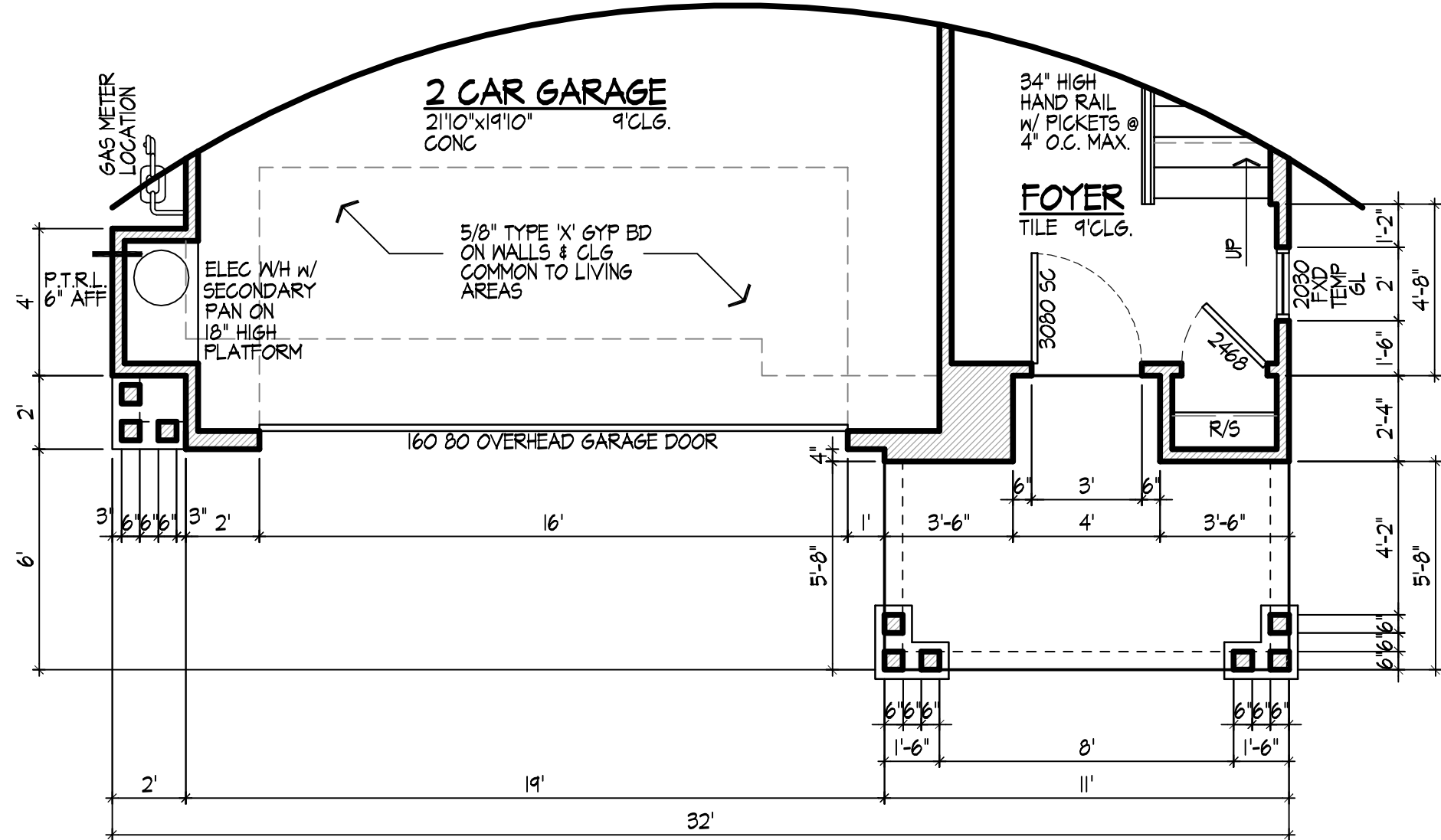
UPPER FLOOR PLAN 'B'

1/4"=1'-0"



LOWER FLOOR PLAN 'C'

1/4"=1'-0"

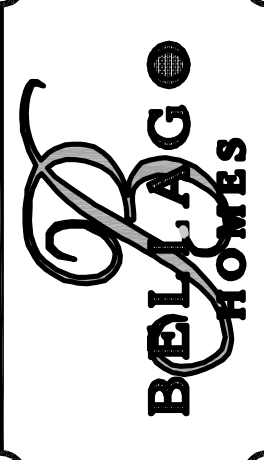
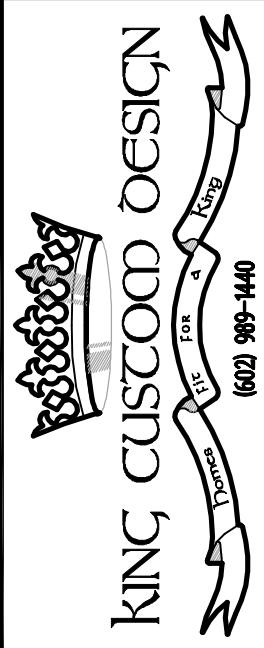


LOWER FLOOR PLAN 'B'

1/4"=1'-0"

REVISIONS	BY
11/18/15	KK
12/11/15	KK
3/22/16	KK

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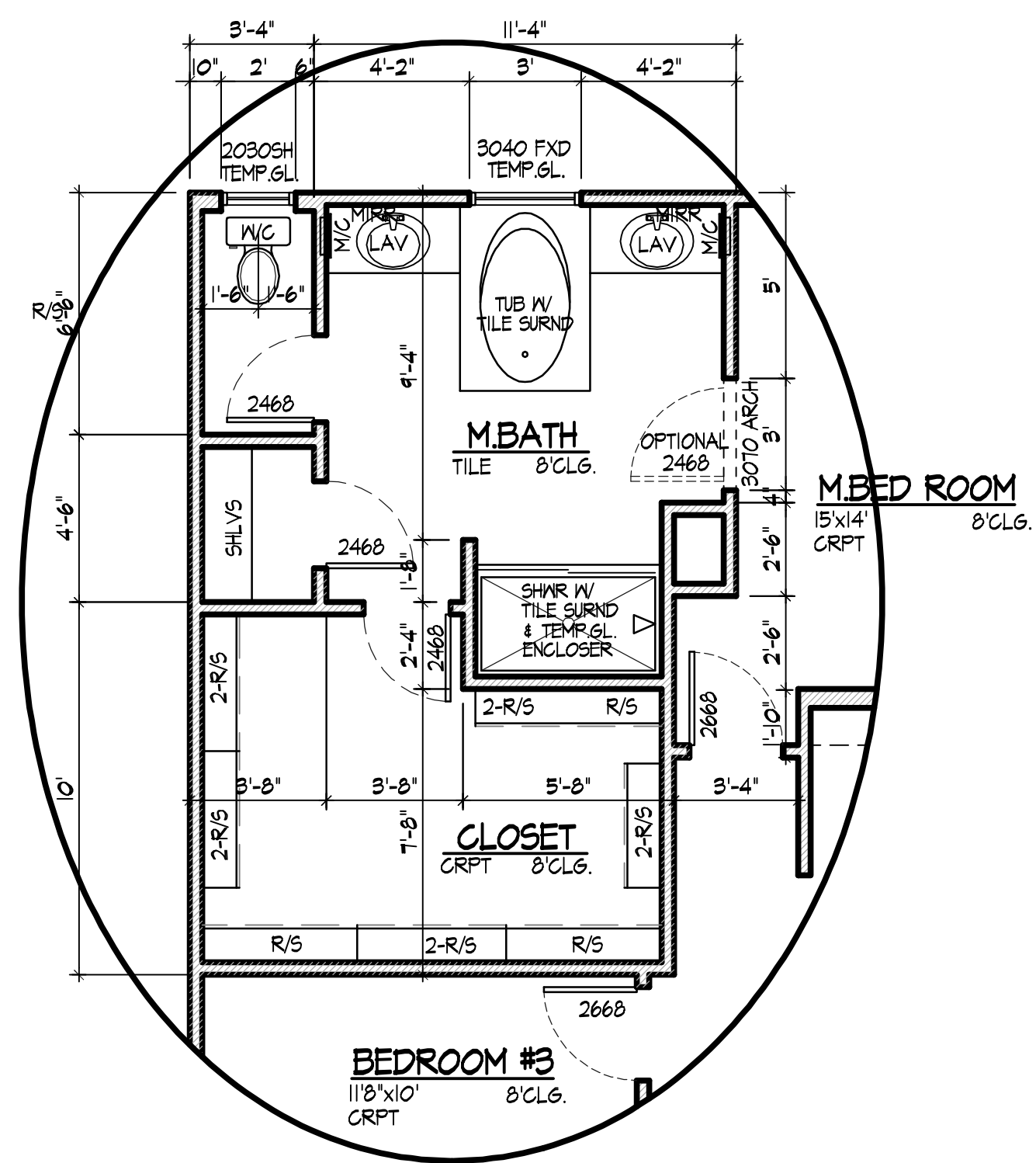
BELLAGO DEVELOPMENT LLC.  
1806 NORTH LINDSAY ROAD  
MESA, ARIZONA 85215  
PHONE: 602-491-0535

PLAN #1799

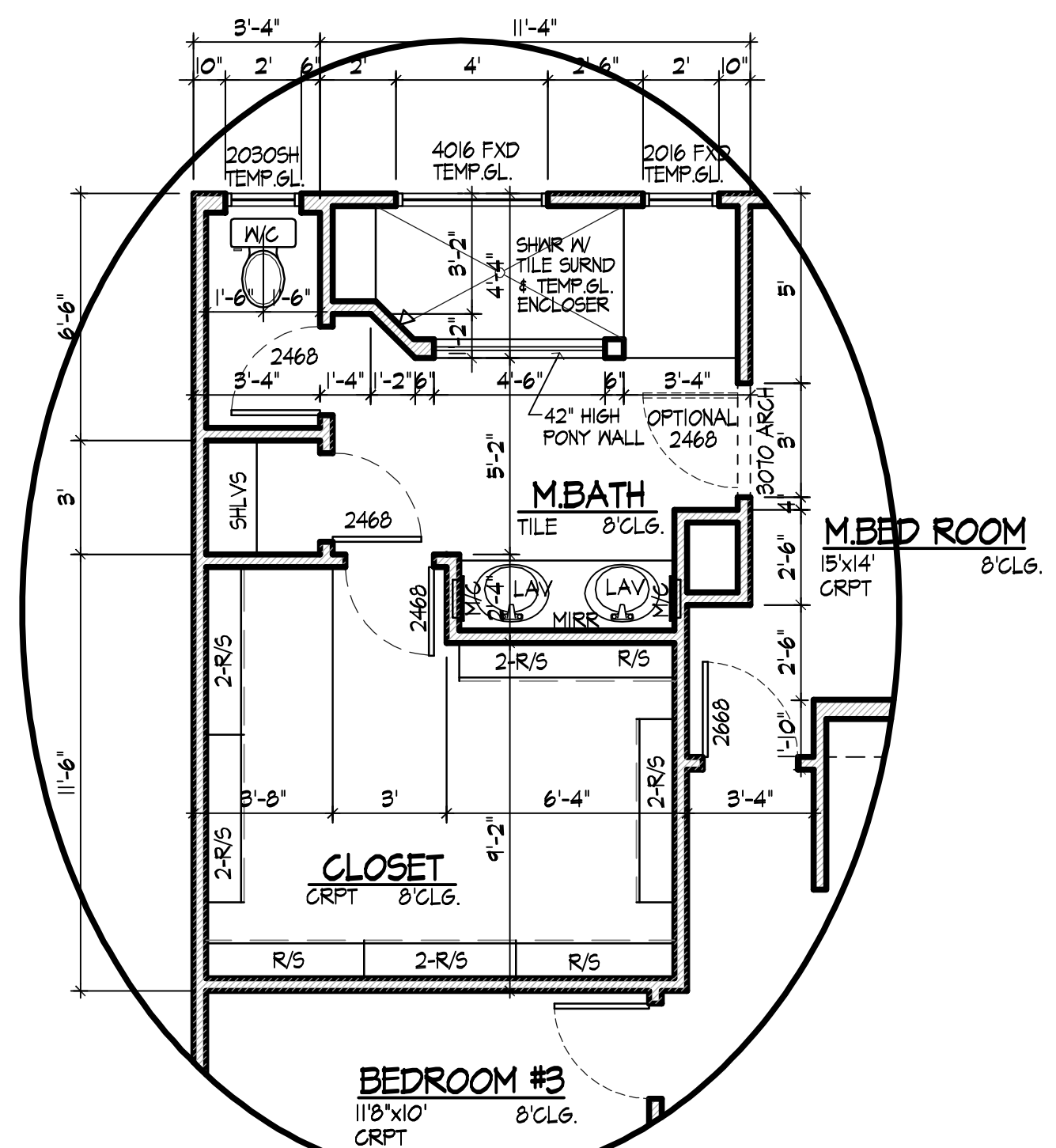
FLOOR PLAN OPTIONS

DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-1799  
SHEET:

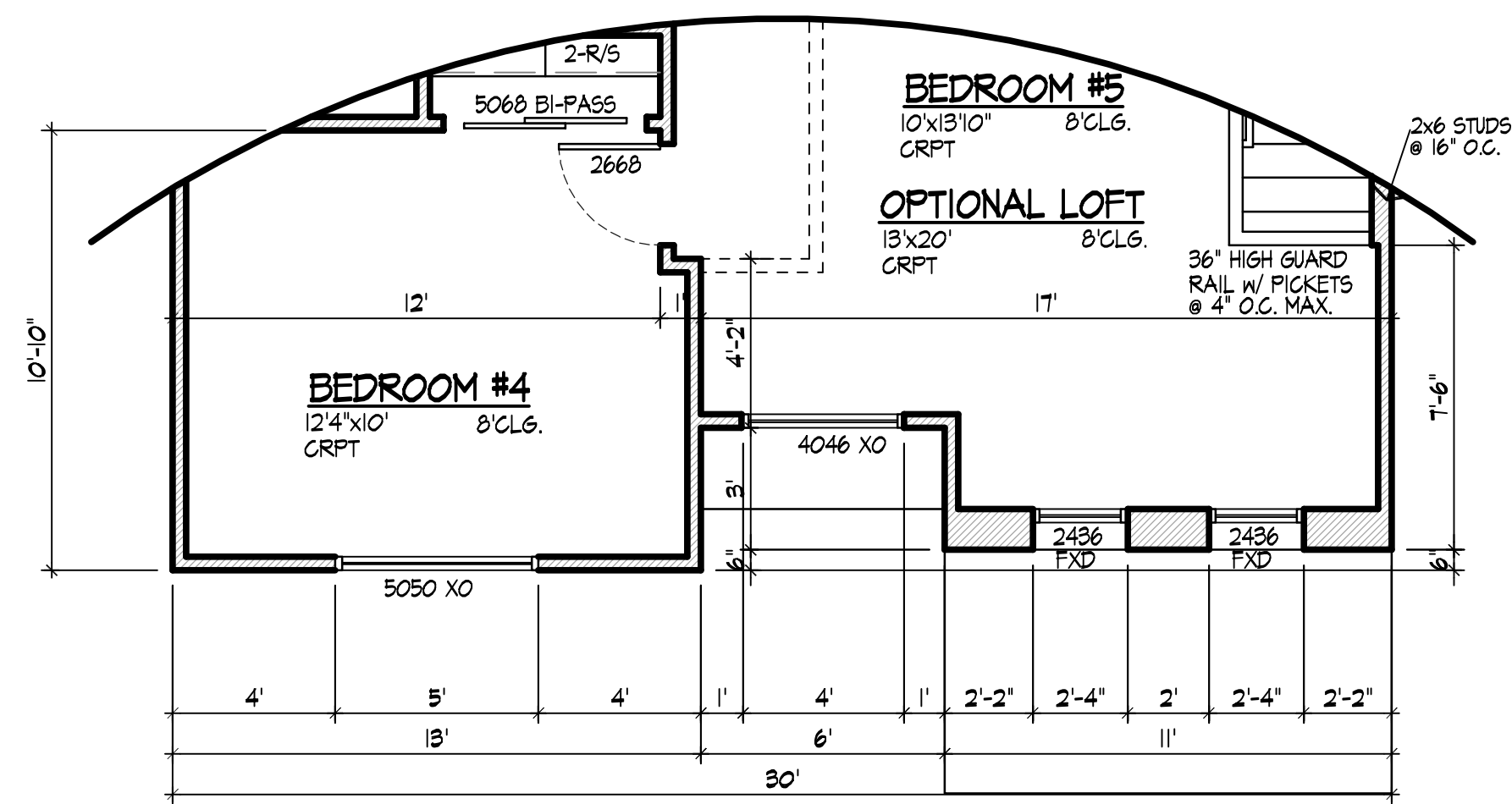
A-3b



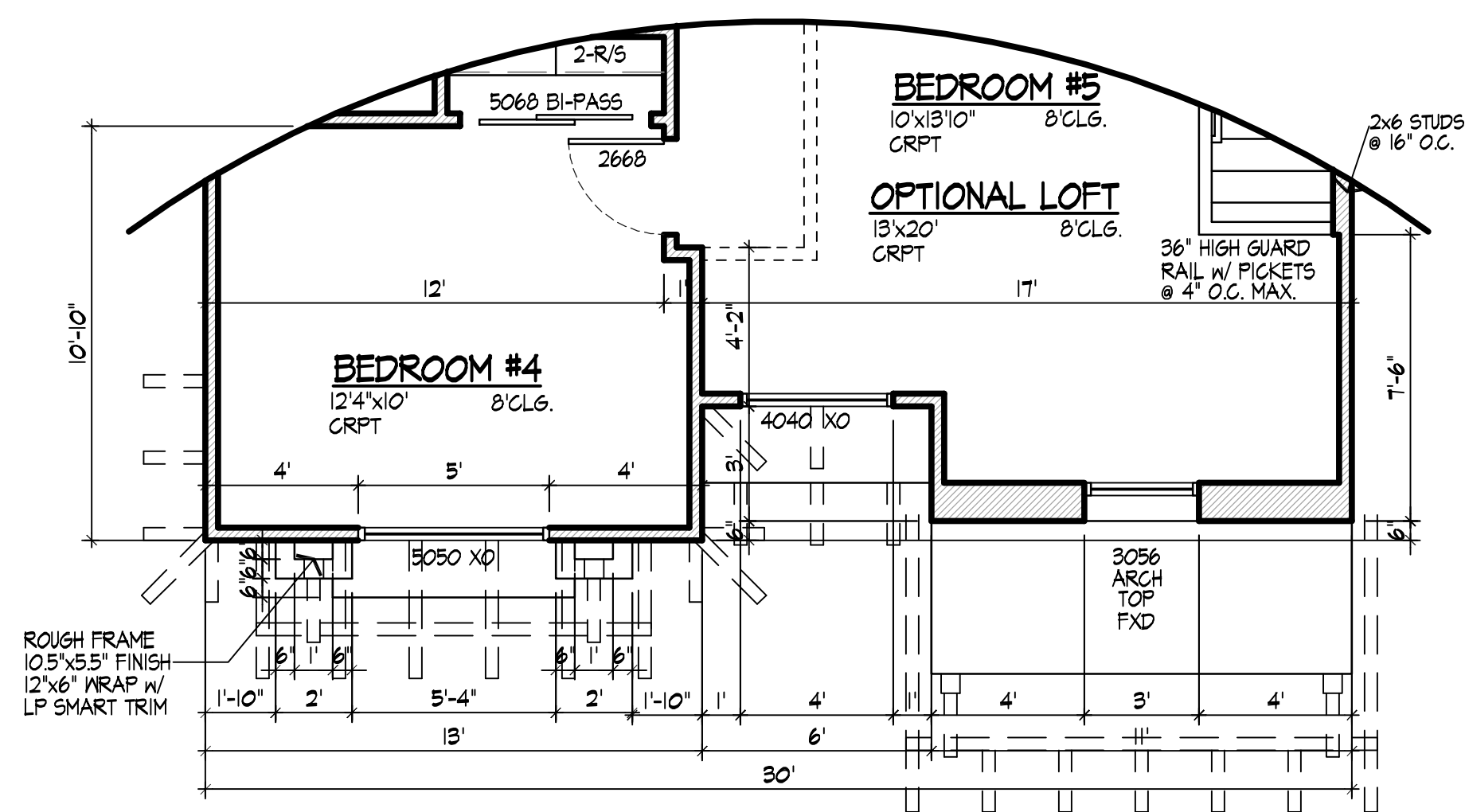
OPT. GRAND MASTER BATH



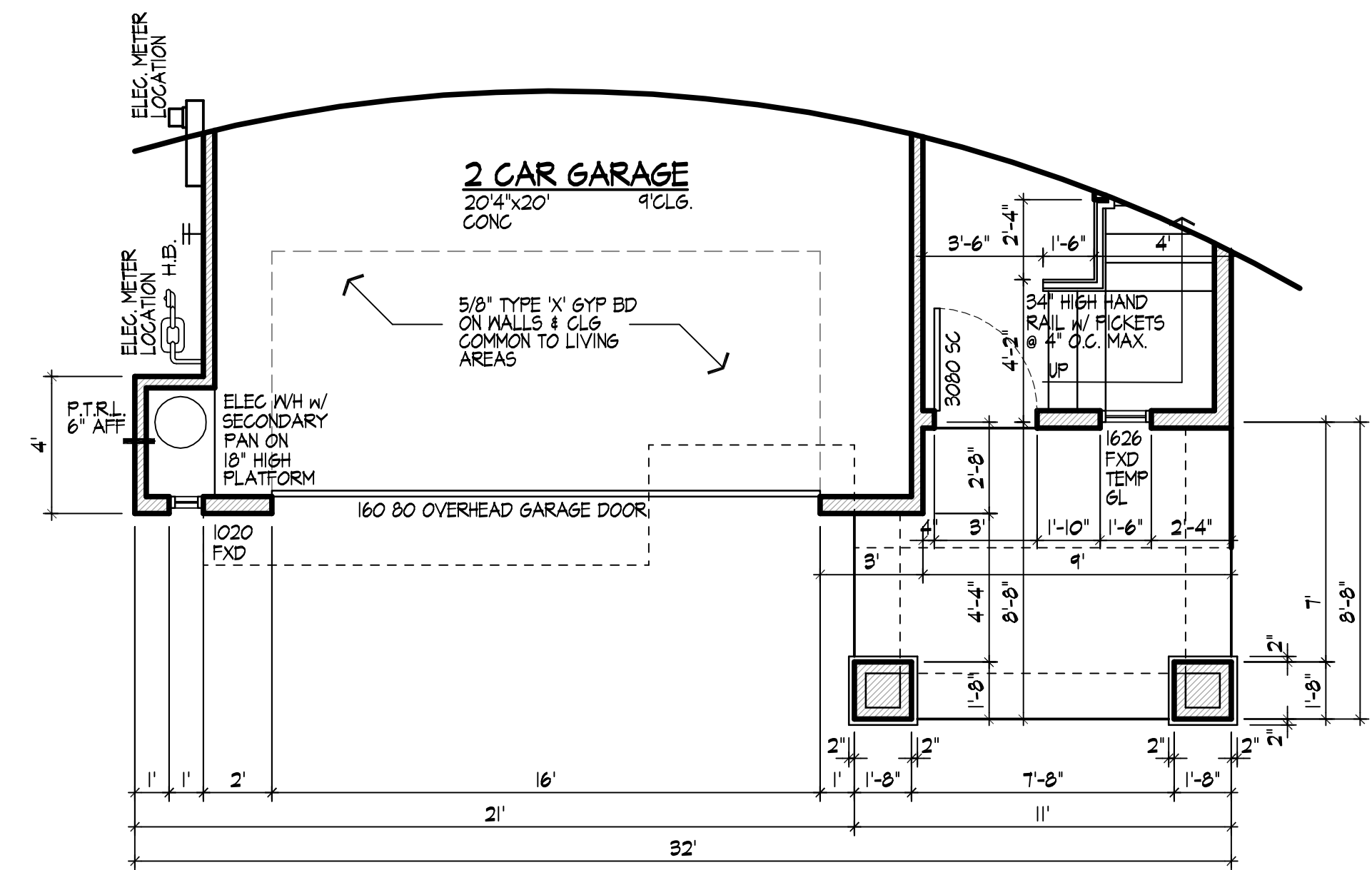
OPT. GRAND SHOWER



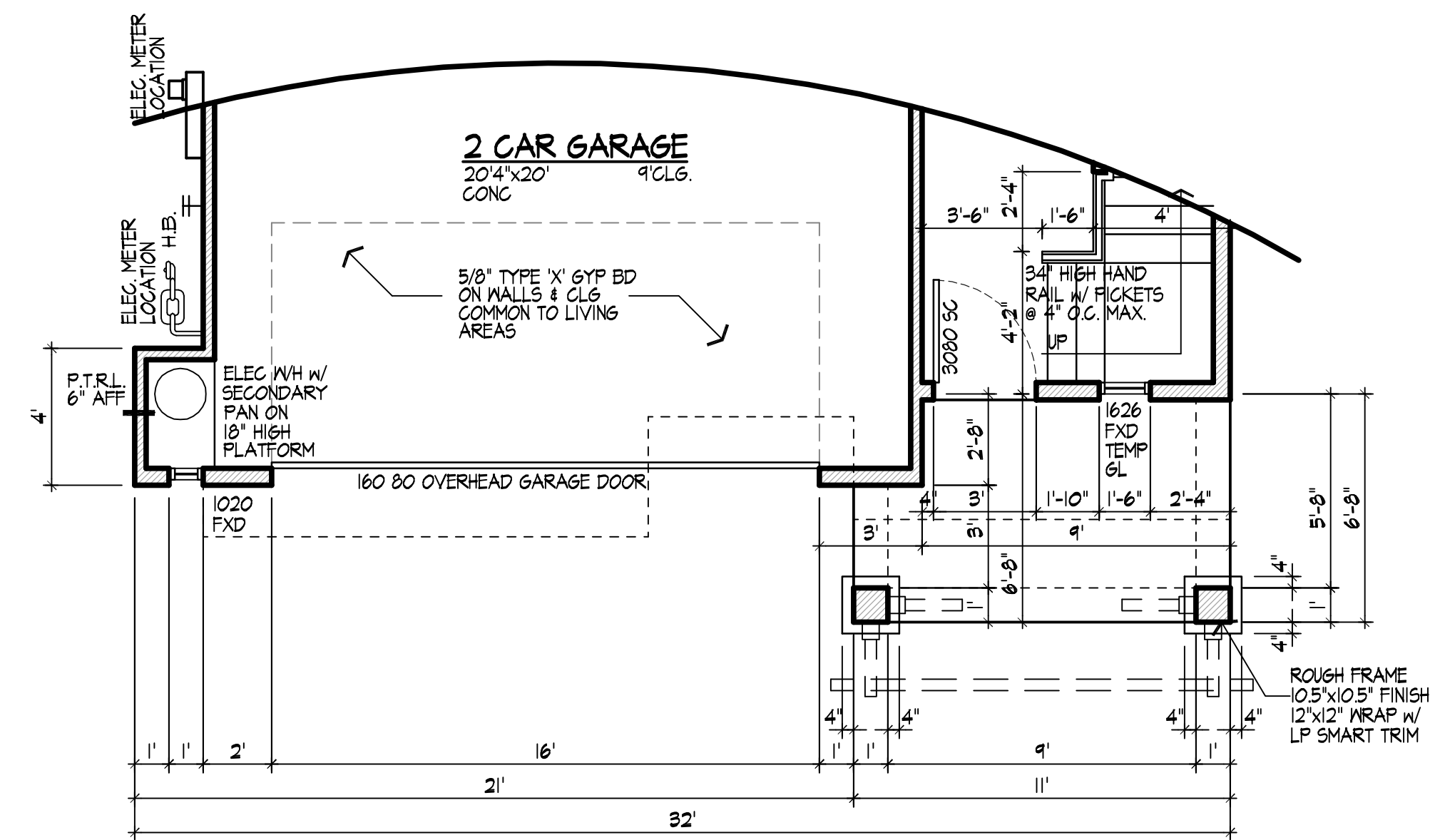
UPPER FLOOR PLAN 'C'



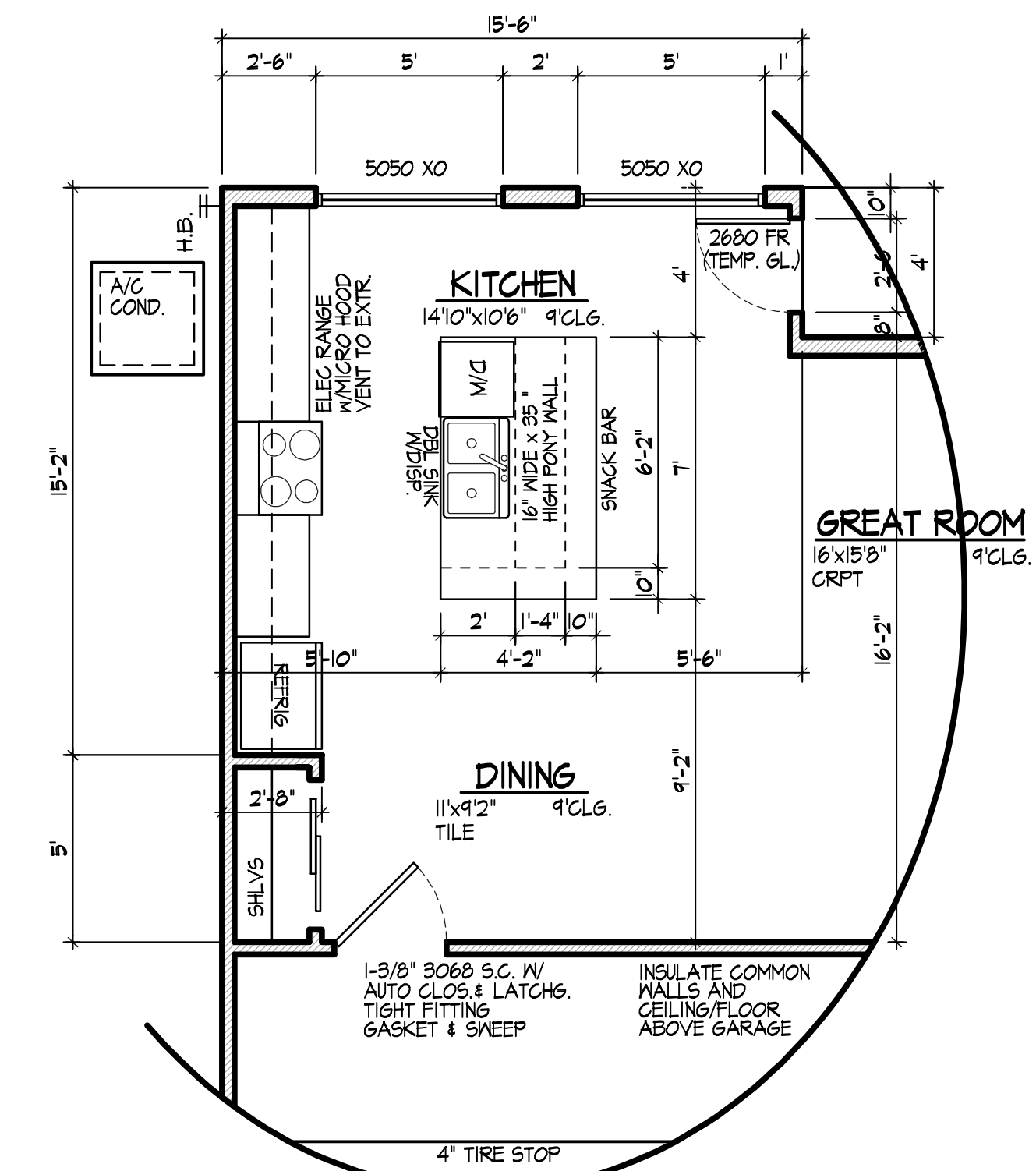
UPPER FLOOR PLAN 'B'



LOWER FLOOR PLAN 'C'



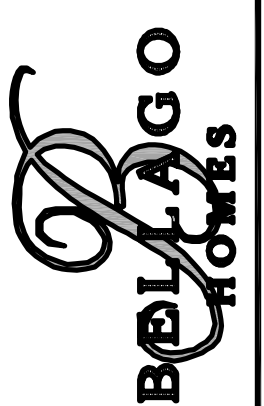
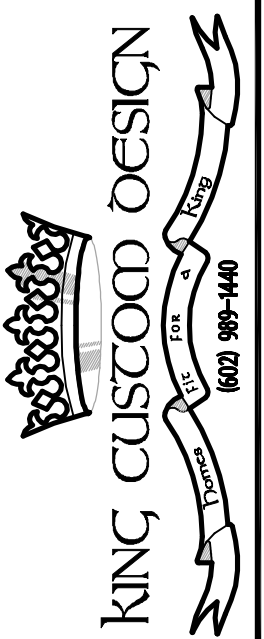
LOWER FLOOR PLAN 'B'



OPTIONAL KITCHEN PLAN

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WINKBELLAGOHOMES.COM  
MESA, ARIZONA 85213  
PHONE: 602-491-0535

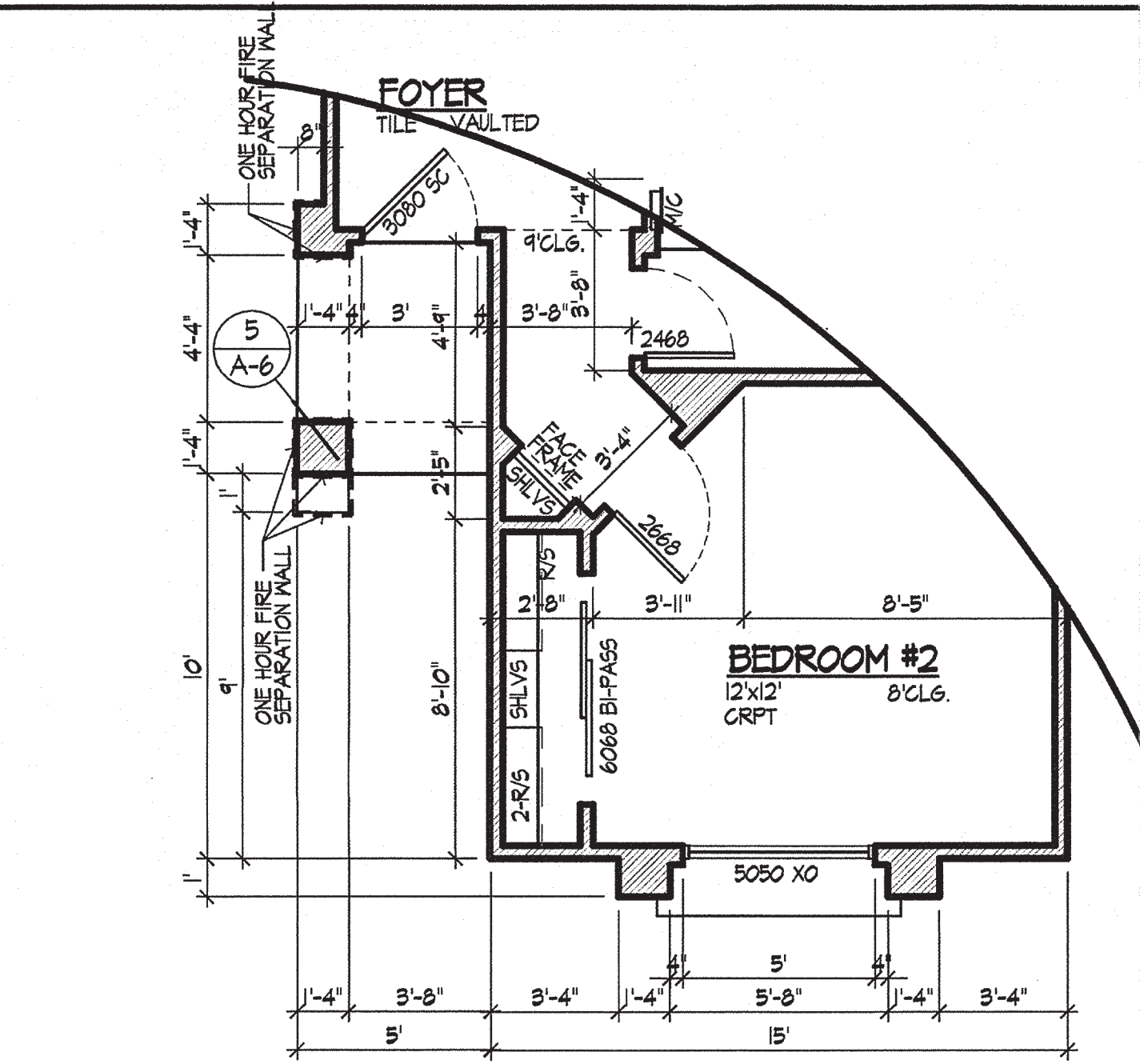
PLAN #2035

FLOOR PLAN OPTIONS

DATE: 6/3/15  
SCALE: 1/4"=1'-0"  
DRAWN: K.KING  
JOB: BEL-2035  
SHEET:

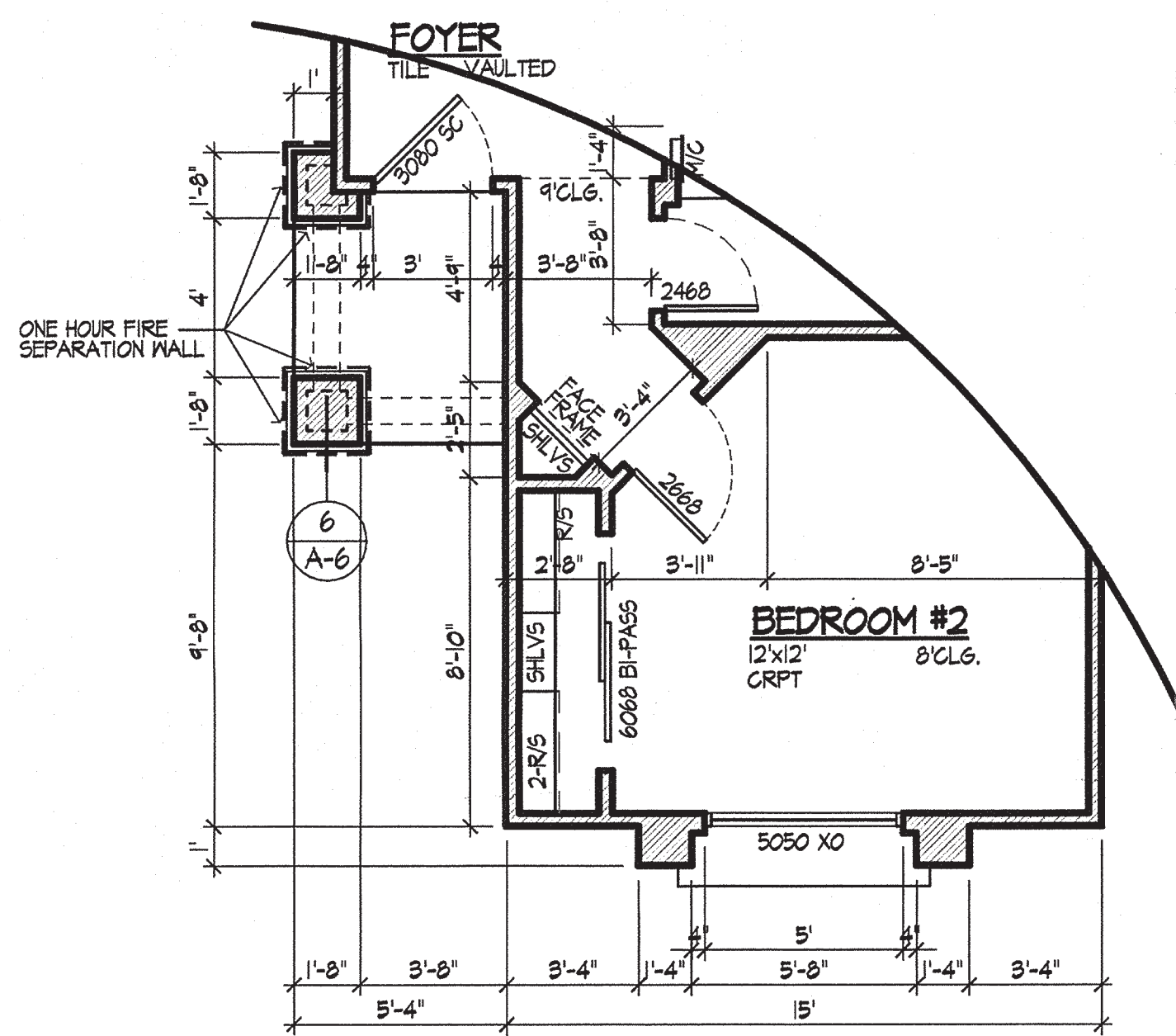
A-3b





FLOOR PLAN ELEV. 'B'

1/4"=1'-0"



FLOOR PLAN ELEV. 'C'

1/4"=1'-0"

**NOTE:**

1. SHOWER WALLS TO BE FINISHED WITH MOISTURE RESISTANT SHEETROCK AND CERAMIC TILE OR EQUAL TO A HEIGHT OF 10" ABOVE DRAIN. A VAPOR RETARDER IS NOT PERMITTED BEHIND MOISTURE RESISTANT SHEETROCK, AND MOISTURE RESISTANT SHEETROCK IS NOT PERMITTED ON CEILINGS. VERIFY PER TYPE OF TILE INSTALLATION. SEE R 1023.3 & R 103.4.2.
2. MINIMUM 22" CLEAR OPENING @ DOOR.
3. PROVIDE 18" HIGH PLATFORM UNDER ALL APPLIANCES INSTALLED IN (OR ACCESSIBLE FROM INSIDE) ACCESSIBLE FROM (INSIDE) GARAGES.
4. PROVIDE 100 SQ. IN. OF MAKE UP AIR PER I.M.C., IN LAUNDRY ROOM.
5. PROVIDE APPROVED AIRSAP AT DISHWASHER.
6. APPLIANCES WHICH DEPEND UPON THE COMBUSTION OF FUEL SHALL NOT BE INSTALLED IN BEDROOMS, OR BATHROOMS OR ROOMS WHICH OPEN TO THE BEDROOM OR BATHROOM (I.E. CLOSETS).
7. TOTAL LENGTH OF 4" DRYER EXHAUST SHALL NOT EXCEED 25' WHEN FITTINGS USED, REDUCE LENGTH PER IRC M502.6
8. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE
9. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
10. REAR YARDS WHICH ARE THE ONLY EMERGENCY EGRESS ROUTE FROM BEDROOM(S) AND THAT ARE NON APPROACHABLE FROM PUBLIC OR DEDICATED COMMON WAYS ARE PROHIBITED.
11. IN ALL SLEEPING AREAS, PROVIDE AN OPENABLE WINDOW OR DOOR WITH AN AREA OF 5.7 SQ. FT. MINIMUM OPENING DIRECTLY TO THE OUTSIDE WITH A MINIMUM NET CLEAR OPENING OF 20" WIDE AND 24" HIGH. MAXIMUM WINDOW SILL HEIGHT 44".
12. ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANE WITH 4 SQ. FT. OR LESS AREA) SHALL BE SAFETY GLASS.
13. FRONT DOOR TO HAVE A PEEP HOLE VIEWER HAVING A FIELD OF VISION OF NOT LESS THAN 180 DEGREES.
14. ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH SECTION R 525 SECURITY STANDARDS OF CITY OF MESA RESIDENTIAL CODE.

**PLUMBING NOTE:**

- PIPING TYPE AS FOLLOWS:
- A. WASTE LINE TO BE ABS SPECIFIED SCHEDULE 40 DWV, SCHEDULE 40 PVC DWV.
  - B. VENT PIPE TO BE ABS SPECIFIED SCHEDULE 40 DWV, SCHEDULE 40 PVC DWV.
  - C. COPPER TUBING USED IN WATER PIPING MUST BE SPECIFIED TYPE "M" MINIMUM HEIGHT IN THE BUILDINGS ABOVE SLABS & COPPER TUBING USED IN WATER PIPING BELOW FLOOR SLABS MUST BE TYPE "L" MINIMUM HEIGHT INSTALLED WITH JOINTS.
  - D. ALL HOSE BIBS SHALL HAVE ANTI SIPHON VALVES INSTALLED.
  - E. GAS FUEL PIPING SHALL BE WROUGHT IRON OR STEEL, GALVANIZED, BLACK OR YELLOW BRASS.

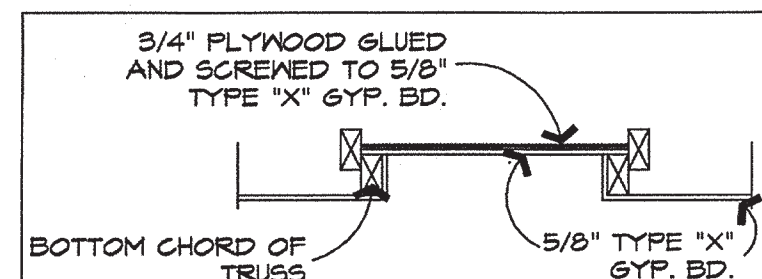
**NOISE ATTENUATION STIPULATIONS:**

1. PROVIDE EXTERIOR WALL INSULATION EQUAL TO A VALUE OF R-19 WHERE ADJACENT TO LIVABLE AREAS.
2. PROVIDE CEILING INSULATION EQUAL TO A VALUE OF R-38 OVER
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4. ALL EXTERIOR WINDOWS ADJACENT TO LIVABLE AREAS SHALL BE DOUBLE GLAZED (DUAL PANE).
5. SOLE PLATES OF EXTERIOR WALLS ADJACENT TO LIVABLE AREAS SHALL BE CAULKED OR SEALED AT THE FLOOR LINE.

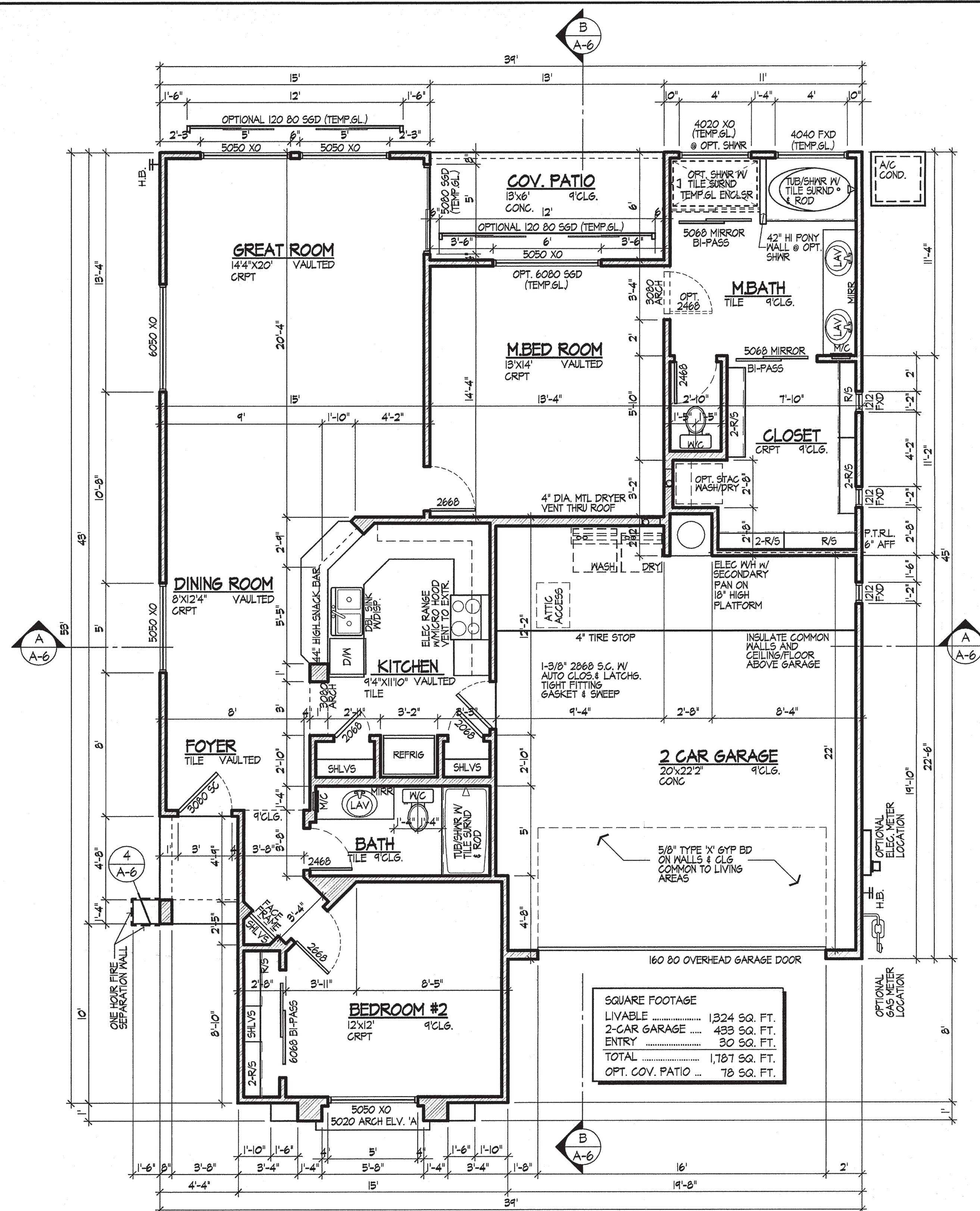
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OR

USE LABELED 1/2" SAS-RESISTANT GYPSUM CEILING BOARD, TABLE R1023.5 (d).



② ATTIC ACCESS COVER



FLOOR PLAN

1/4"=1'-0"

SQUARE FOOTAGE	
LIVABLE .....	1,324 SQ. FT.
2-CAR GARAGE .....	493 SQ. FT.
ENTRY .....	30 SQ. FT.
TOTAL .....	1,847 SQ. FT.
OPT. COV. PATIO .....	78 SQ. FT.

APPLICANT

CITY OF MESA-REVIEWED  
FOR CODE COMPLIANCE  
DATE 6/16/15 BY CCL

REVISIONS	BY
3/20/15	KK
11/4/15	KK
3/23/16	KK
8/1/16	KK

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KING CUSCO DESIGN  
DESIGN  
1111  
602 989-1440

BELLAGO HOMES

BELLAGO DEVELOPMENT LLC  
1206 NORTH LINDSAY ROAD  
MESA, ARIZONA 85213  
PHONE: 602-481-0535

PLAN #1324  
Monticello

FLOOR PLANS

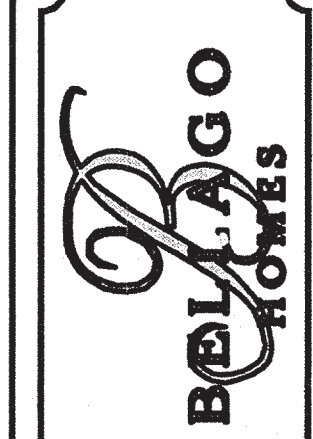
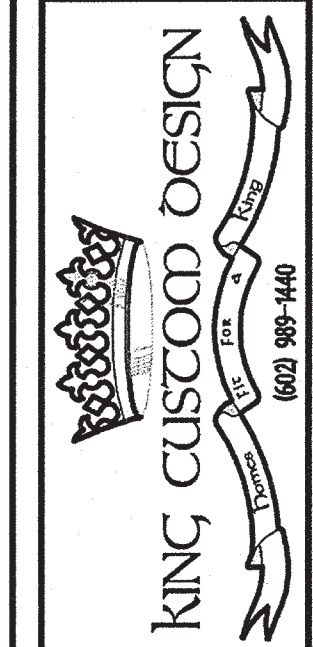
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DRAWN: K KING  
JOB: BEL-1324  
SHEET:

A-3



REVISIONS	BY
3/20/15	KK
11/14/15	KK
3/23/16	KK

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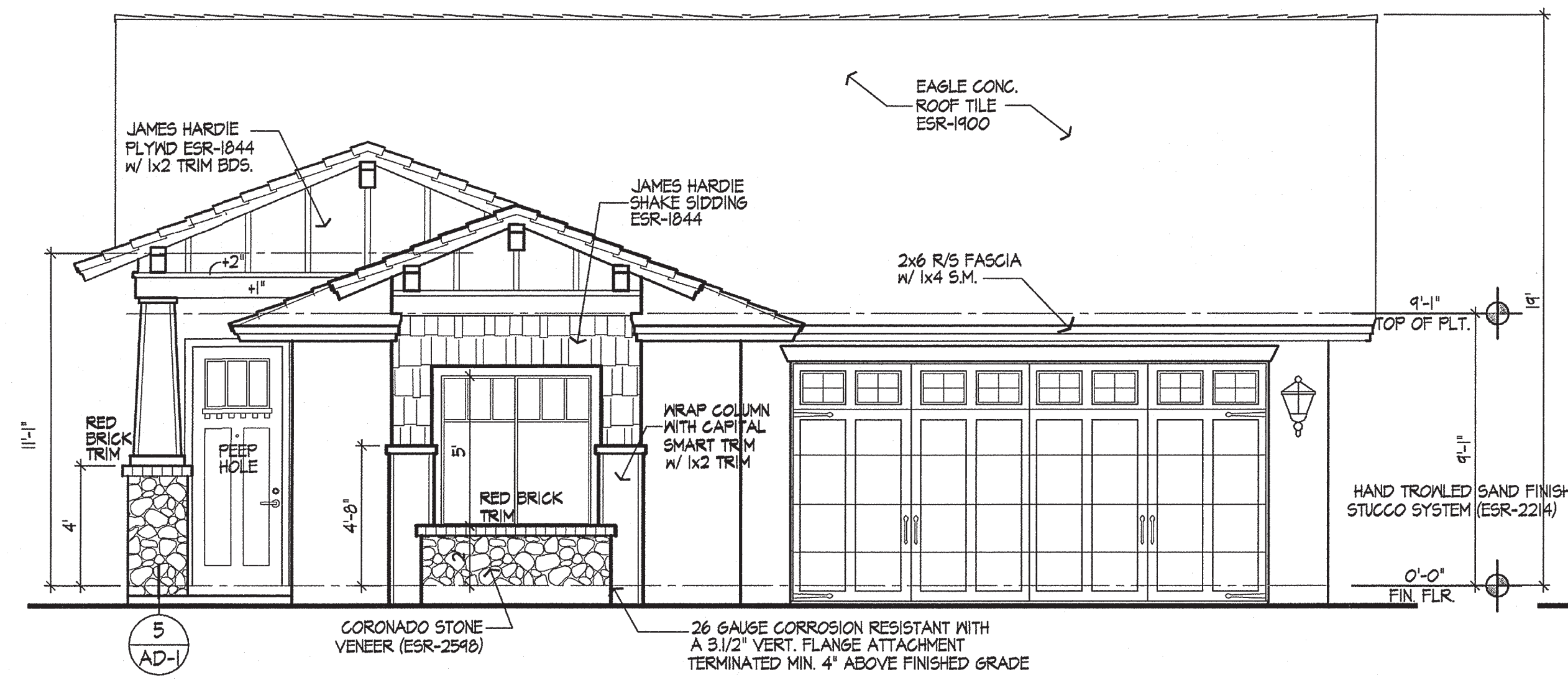


BELLAGO DEVELOPMENT, LLC.  
1806 NORTH LINDSAY ROAD  
MESA, ARIZONA 85213  
PHONE: 602-481-0555

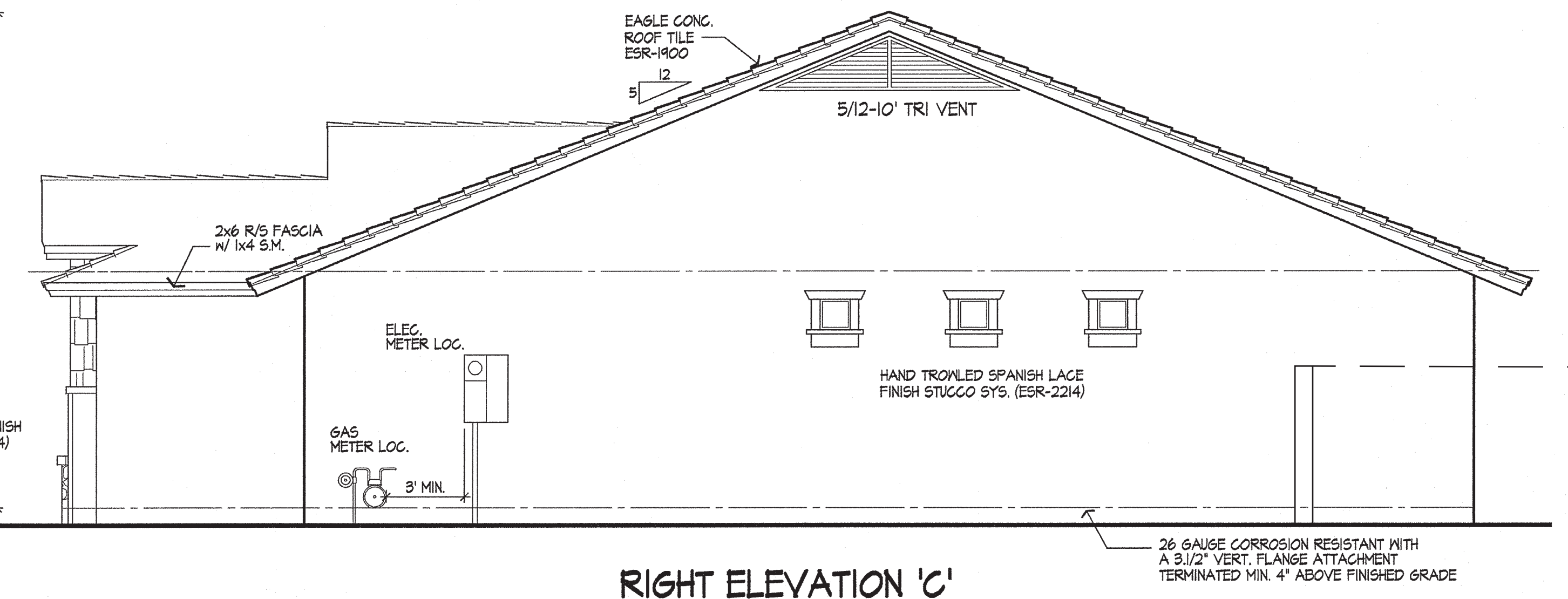
PLAN #1324  
Monticello

ELEVATION 'C'  
CRAFTSMAN

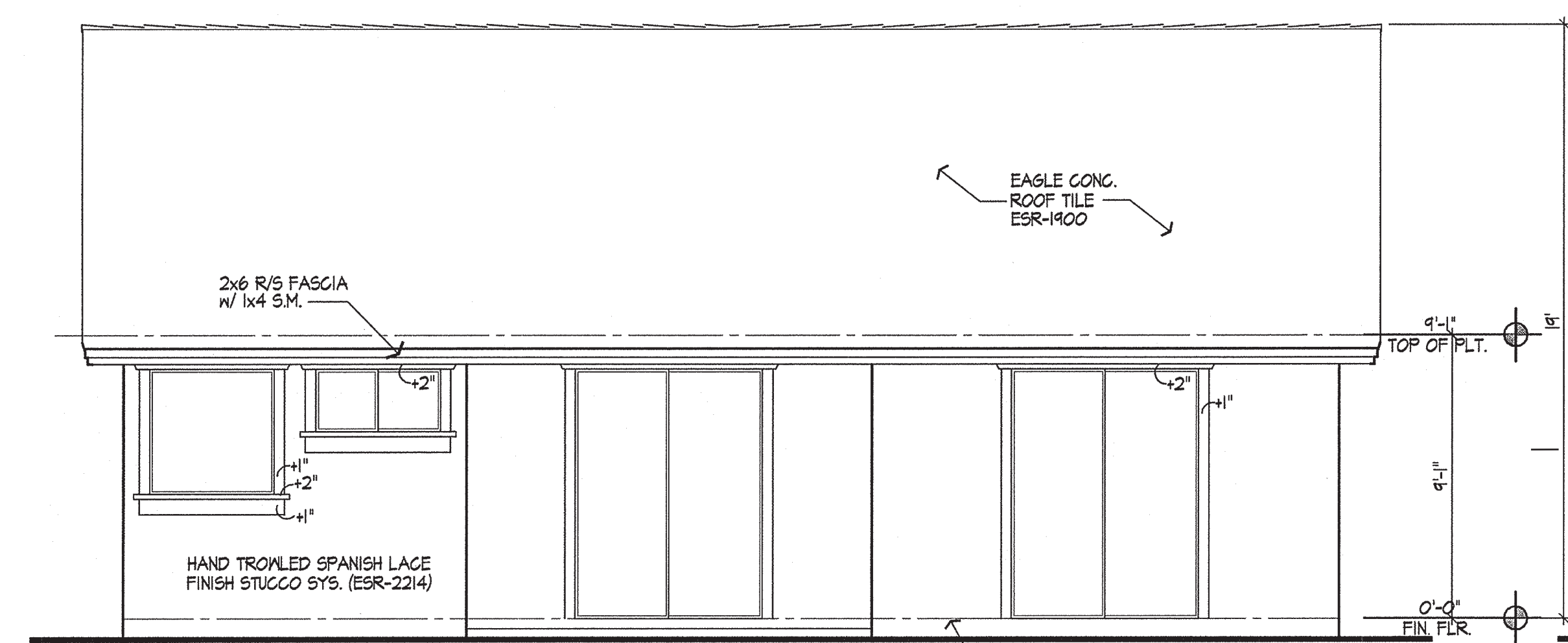
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DRAWN: K.KING  
JOB: BEL-1324  
SHEET:  
A-4c



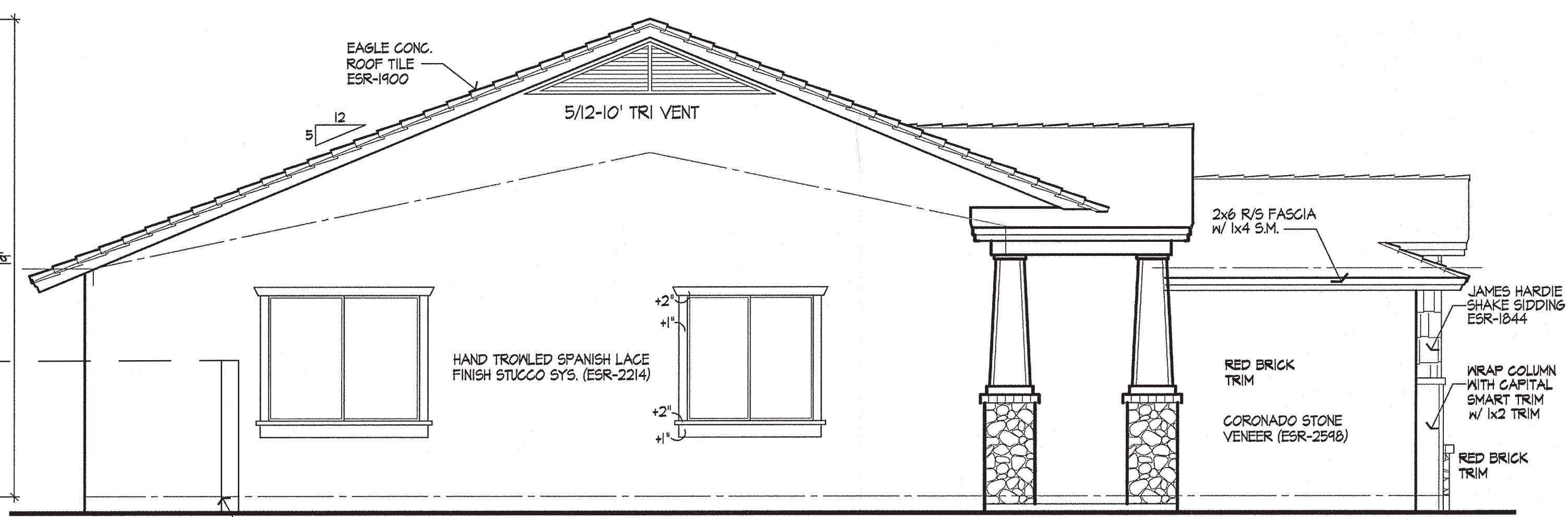
FRONT ELEVATION 'C'  
CRAFTSMAN



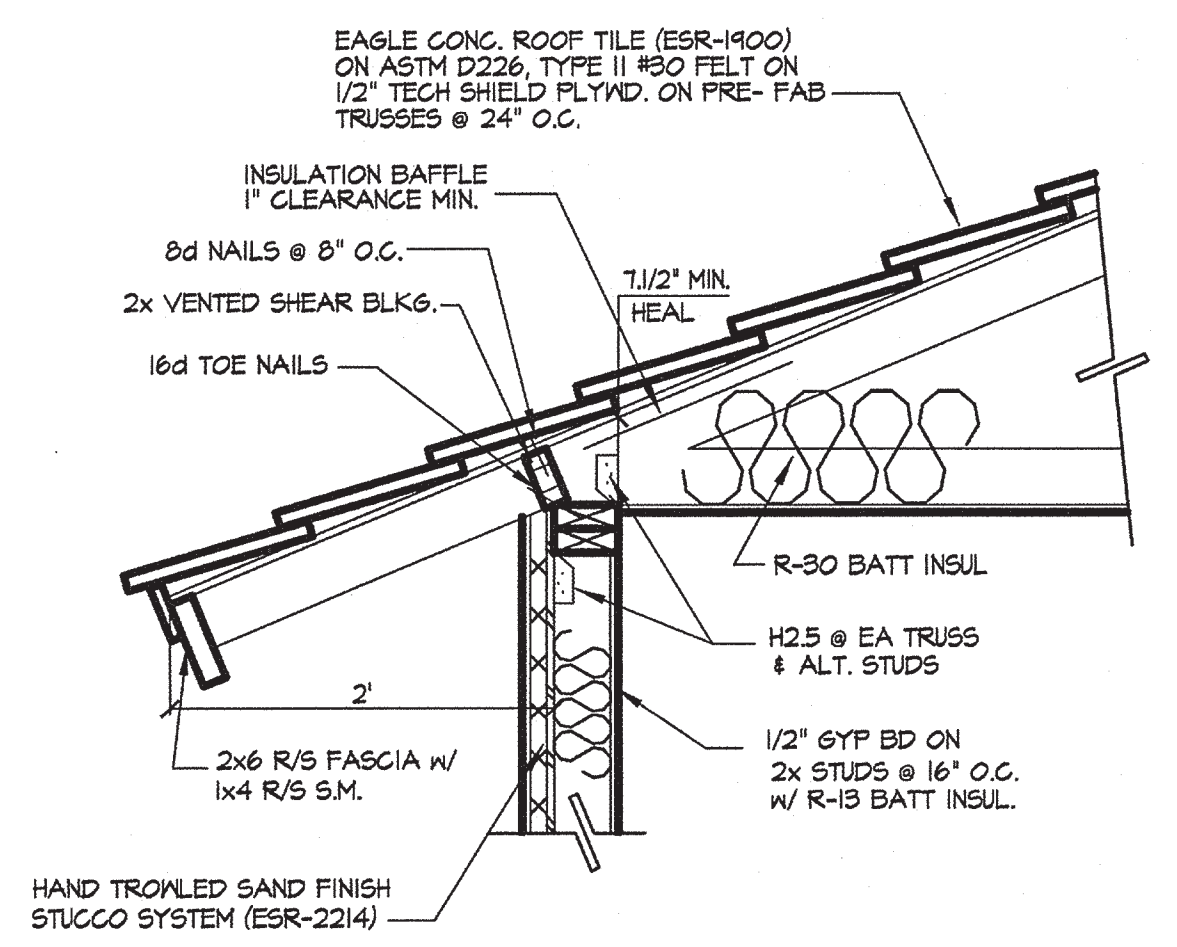
RIGHT ELEVATION 'C'



REAR ELEVATION 'C'

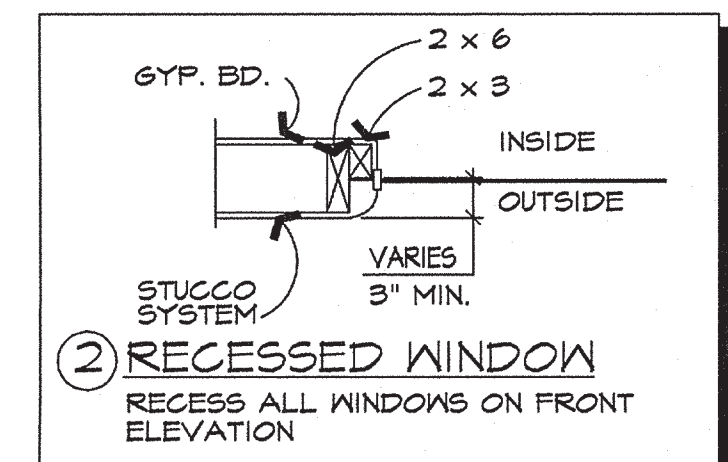


LEFT ELEVATION 'C'



FASCIA DETAIL

SAND FINISH ON FRONT ELEVATION  
SPANISH LACE FINISH ON SIDES AND REAR ELEVATION  
SUPERMALL STUCCO SYS.(ESR-2214)  
MAG- ONE COAT STUCCO COMPLIANCE PROGRAM  
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS  
OVER INSULFOAM ONE COAT STUCCO INSULATION BOARD OR GABLE-GUARD (UL ERI4313-01)  
OVER A WEATHER BARRIER CONSISTING OF (1) LAYER OF #15 ASPHALT FELT COMPLYING WITH ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL LAP AND 6" VERTICAL LAPS.





**Montelucia**  
**239 N Signal Butte Rd.**  
**South of SEC Signal Butte Rd. & University Dr.**  
**Citizen Participation Plan**  
**August 7, 2018**

**Purpose:**

The purpose of the Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa for the following:

1. To rezone the site from Maricopa County R1-8 to RSL-2.5 PAD
2. Approval of the preliminary plat as submitted

By providing opportunities for citizen participation, the applicant will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed plan.

**Contact Information:**

Those coordinating the Citizen Participation activities are as follows:

Mark Funk  
1806 N Lindsay Rd  
Mesa, AZ 85213  
(480) 378-3300 (office)  
[mfunk@bellagohomes.com](mailto:mfunk@bellagohomes.com)

Wayne Funk  
1806 N Lindsay Rd  
Mesa, AZ 85213  
(480) 378-3300 (office)  
[wfunk@bellagohomes.com](mailto:wfunk@bellagohomes.com)

Sean B. Lake  
Pew & Lake, PLC.  
1744 S. Val Vista Drive, Suite 217  
Mesa, AZ 85204  
(480) 461-4670 (office)  
(480) 461-4676 (fax)  
[sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com)

Valerie Claussen  
Pew & Lake, PLC.  
1744 S. Val Vista Drive, Suite 217  
Mesa, AZ 85204  
(480) 461-4670 (office)  
(480) 461-4676 (fax)  
[valerie.claussen@pewandlake.com](mailto:valerie.claussen@pewandlake.com)

**Actions:**

In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities for feedback from surrounding property owners:

1. A neighborhood meeting will be held with property owners, citizens and interested parties to discuss the proposed project. The notification list for the neighborhood meeting will include 1) all property owners within 1000' of the subject property west. Additionally, registered neighborhood contacts within 1-mile of the property will also be notified (the

registered neighborhood contacts list will be obtained from the City of Mesa Neighborhood Outreach Division). A total of 260 notification letters will be sent. A draft copy of the notification letter for the neighborhood meeting is included with this Citizen Participation Plan.

2. An e-mail distribution list will be collected at the neighborhood meeting in an effort to have continued dialogue with those in attendance at the meeting concerning changes, if any, to the proposed development plans.

**Attached Exhibits:**

- A) List of property owners within 1000' feet of the subject property.
- B) Notification Map of surrounding property owners.
- C) Draft Notification letter for the neighborhood meeting.

**Schedule:**

Pre-Application Submittal-

Pre-Submittal Conference- May 12, 2016

Neighborhood Meeting- tba

Formal Application- June 6, 2018

Follow-Up Submittal- August 7, 2018

Planning and Zoning Board Hearing-

City Council Introduction- tba

City Council Final Action- tba

**Montelucia**  
**239 N Signal Butte Rd.**  
**South of SEC Signal Butte Rd. & University Dr.**  
**Citizen Participation Report**  
**August 28, 2018**

**Purpose:**

The purpose of the Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa for the following:

1. To rezone the site from Maricopa County R1-8 to RSL-2.5 PAD
2. Approval of the preliminary plat as submitted

By providing opportunities for citizen participation, the applicant will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed plan.

**Contact Information:**

Those coordinating the Citizen Participation activities are as follows:

Mark Funk  
1806 N Lindsay Rd  
Mesa, AZ 85213  
(480) 378-3300 (office)  
[mfunk@bellagohomes.com](mailto:mfunk@bellagohomes.com)

Wayne Funk  
1806 N Lindsay Rd  
Mesa, AZ 85213  
(480) 378-3300 (office)  
[wfunk@bellagohomes.com](mailto:wfunk@bellagohomes.com)

In coordination with the following:

Sean Lake  
Pew & Lake, PLC  
1744 S Val Vista Dr, Ste 217  
Mesa, AZ 85204  
(480) 461-4670  
[sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com)

**Actions:**

In order to provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities for feedback from surrounding property owners:

1. A neighborhood meeting invitation letter was mailed out to all property owners with 1000' of the subject property and to all registered neighborhoods and HOA's within a mile.

2. Calls were taken from any interested parties.
3. A neighborhood meeting was held on August 27<sup>th</sup>. The minutes and sign in sheet are attached to this report.
4. An e-mail distribution list has been maintained in an effort to have continued dialogue with those parties who expressed an interest in order to keep people updated concerning changes, if any, to the proposed development plans.

**Attached Exhibits:**

- A) August 27, 2018 Neighborhood Meeting Minutes
- B) August 27, 2017 Neighborhood Meeting Sign-In Sheet
- C) Neighborhood Meeting Notification letter.
- D) Notification Map of surrounding property owners.
- E) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property.

**Schedule:**

Pre-Submittal Conference- May 12, 2016

Neighborhood Meeting- August 27, 2018

Formal Application- June 6, 2018

Follow-Up Submittal- August 8, 2018

Final Submittal- September 5, 2018

Planning and Zoning Board Hearing- September 19, 2018

City Council Introduction- TBA

City Council Final Action- TBA



## Montelucia Neighborhood Meeting Summary

**August 27, 2018**

Sousa Elementary School  
Multi-Purpose Room  
616 N Mountain Road  
Mesa, AZ 85207

Meeting began at 7:00 pm.

There were approximately twenty-three residents in attendance.

Mr. Lake gave introductions and a presentation on the project including the following points:

- ❖ The Funk Family have been local homebuilders for two generations; they have many projects in the Valley and one as close as 202 and Brown Rd
- ❖ Bellago Homes are of high quality with fine details
- ❖ The project consists of 37 single family homes and an amenity area that will be maintained by the development's HOA
  - Not a gated community
- ❖ Road improvements include the half street improvements to Boston and Mercury, and dedication of full right-of-way and improvements along Signal Butte project frontage.
  - Boston intersection will essentially be double the size than it is today.

Then there was a project question and answer period. *(Refer to table.)*

Lastly, there were general questions on the elevations and home products. Additional discussion on the home elevations, materials and styles was held, and the display boards of the homes and elevations were shown.

Meeting ended at 7:52 pm

*The following lists the questions/comments received from the meeting:*

Public Comment	Applicant Response
Is the City going to annex Mercury?	We have submitted proposal to improve the southern half street of Mercury, but we are still working with the City on whether or not the road will be annexed.

<i>Will this affect the property value of the homes on Mercury?</i>	The saying applies, “a rising tide raises all boats in the harbor”. In our experience, property values increase. These homes are expected to be within the mid-\$200K and will help the area.
<i>My house is on the low point of mercury. Will the drainage hit my home once the property is developed?</i>	No it will not. We have a retention basin that we are responsible for retaining the drainage of our property. We have to engineer and design the drainage for the 1 hour 100-year event. The drainage should actually be improved once the development is completed.
<i>Will there be one or two story homes on Mercury?</i>	<p>Similar to the homes to the south, there will be single and two story homes. It is typical for new subdivisions that the homebuyer selects the lot and the floor plan.</p> <p>Our other current development, Monticello, there are only a few lots that can fit a single story and there was a high demand for the single story homes. What we did differently with this project is every lot can fit a single story, so we know there will be a lot more single story homes in this development.</p>
<i>Are all those homes facing Mercury going to enter from Mercury? And will Mercury be posted with no parking signs?</i>	Yes, these are traditional homes with driveways in front of the home. We can bring up to the City the parking/no parking on Mercury.
<i>Are you going to put a fire hydrant there?</i>	Yes, the City has adopted the most recent building and fire codes and will require fire hydrants at a certain spacing in the development.
<i>When you build these houses on Mercury Street how is the street going to take that much traffic and aren't you going to have to widen the road?</i>	We won't be shutting down Mercury, we will be following standard access control procedures and access to Mercury will be maintained for existing residents. When road construction is complete, there will be a wider and safer Mercury road.
<i>What about the noise when you're doing all of this construction?</i>	Mesa has a restriction on the hours of construction that varies with the time of year. But for instance, they are not permitted construction work in the middle of the night.



<i>When you're improving Mercury, will you be hooking us up to sewer?</i>	Sewer lines installed in conjunction with this project will serve the homes in the development. Any future connections to the sewer line, outside of the project, would be coordinated with the City of Mesa.
<i>Is there any point in the process where this might not happen? Or are you all the way into it and now it's just a matter of time to making it work with everyone? Is there any point where this [development] cannot happen?</i>	The applicant owns the property and they want to develop the property as a single-family residential subdivision, so we are here to make things work, to identify concerns and issues and to work through them.
<i>Are the cactus and trees and saguaros staying? Will there be additional trees?</i>	What is salvageable and what isn't is still in process. What we can salvage we usually do and move over to our retention basins and open space areas. We will be following Mesa standards and requirements on this and do have a conceptual landscape plan showing additional trees and landscape throughout the development.
<i>How do you maintain or control dust?</i>	There are Maricopa County and City of Mesa standards that must be observed, such as watering the site and to keep the dust down. The property will also be posted with the phone number to call if there are issues.
<i>At the northeast corner at the bend in the road, is that park or just landscape?</i>	It is part of the amenity play area of the community.
<i>What is the bottom line of benefits to our area?</i>	The water (drainage) issues on the property should go away. Water from the street will be retained and picked up before it flows into your drainage area. Service utility lines that weren't previously nearby will be installed, meaning sewer line connections may be possible. Lastly, we offer a nice housing product that we have found people in the area also fix up their houses. That's a positive sign, with appreciation.
<i>What are your square footage of the homes?</i>	From 1,324 square feet on up to 2,000 square feet.

<i>All goes well what is the ETA for starting and finishing?</i>	We are in the fairly early stages of annexation and rezoning, which process takes 4-6 months. Assuming the project is approved by Mesa City Council. Then plats and construction documents are reviewed, and also home floorplans and elevations are reviewed over another 6 months. Lastly, construction to prepare the pads for construction commences. Our last project took about 2 years to get all the homes sold from the time the first model opened. So in total it is about three years.
<i>I'm very well aware my house and property needs TLC I'm assuming that my house will affect the value of these new homes. Are you going to force us to fix up our house? Do you have concerns with homes not selling because of the way the neighboring homes look like?</i>	No you will not be forced to fix up your homes. Your property is not part of the HOA. We are an infill builder. Where there are homes built around it, some existing homes are nicer and some are not as nice, but the value of surrounding property tends to raise and home equity loans become possible, etc and reinvestment in the immediate community typically can occur.
<i>These are larger lots that can fit more single story homes.</i>	This development has a very similar density as Desert Point to the south.
<i>What is the distance between homes?</i>	A minimum of 8 feet distance. It depends on the model of home, because some configuration might give you more distance.
<i>My daughter and I have driven around all [Bellago's] developments. If you're interested on how good they are need to go and look. We've gone to all of them and they are very nice.</i>	Noted.
<i>Signal Butte is being widened. Are you aware of this?</i>	Yes we are aware of that, and the right-of-way the City is requiring from us accommodates this road widening.



**Funk Family Enterprises, LLC and Bellago Development, LLC**  
**NEIGHBORHOOD MEETING**  
 Sign-In Sheet

**Applicant:**

**Funk/Bellago Dev**

**Property Location:**

**Southeast Corner of Signal Butte and Mercury Drive**  
**APN 220-54-073B & 073G**

**Date:**

**August 27, 2018**

**Meeting Location:**

**Sousa Elementary School (MPR)**  
**616 N Mountain Road**  
**Mesa, AZ 85207**

**Time:**

**7:00 PM**

**Case:**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Edna Ferguson	10705 E. Mercury DR	85120	mysunrise09.com	_____
2	Robin Faliveno	324 N. 110 <sup>th</sup> St	85120	_____	_____
3	DIANE HAUGEN	311 N. 110 st.	85120	_____	_____
4	GAIL W. Roberts	10937 E. Boston ST	85120	grannmagn@nolan	_____
5	Connie Hnack	10912 E Boston St	85120	cds@earthlink.net	_____
6	Anna Lowens	10912 E Boston St	85120	_____	_____
7	MARILYN Huit	10941 E Boston St.	85120	_____	_____
8	Ralph Huit	10941 E BOSTON ST	85120	Ralph.Huit@GMAIL.COM	_____
9	VIOLA KINNEY	10919 E. MERCURY	85120	_____	MARK HAS IT
10	Tony Filograsso	222 N Signal Butte Rd	85120	tfilograsso02@gmail.com	_____
11	Jessica Filograsso	222 N Signal Butte Rd	85120	_____	_____
12	LEE Gladder	10812 E Mercury	85120	_____	_____

Funk Family Enterprises, LLC and Bellago Development, LLC  
NEIGHBORHOOD MEETING  
Sign-In Sheet

Applicant:

Funk/Bellago Dev

Property Location:

Southeast Corner of Signal Butte and Mercury Drive  
APN 220-54-073B & 073G

Date:

August 27, 2018

Meeting Location:

Sousa Elementary School (MPR)  
616 N Mountain Road  
Mesa, AZ 85207

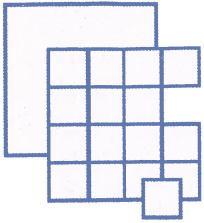
Time:

7:00 PM

Case:

#	NAME	ADDRESS	ZIP	Email	PHONE
1	KEVIN E. RAMSEY	10948 E. BOSTON ST.	85120	kevin.e.ramsey@cox.net	480 323 5658
2	THERESA A. PRATER	10924 E. Boston St.	85120	ARIZONAR1E@GMAIL.COM	(w) 602 532 5888 480 226 9045
3	Robyn Ahearn	302 N Keith Street AS	85120		480 274 7537
4					
5					
6					
7					
8					
9					
10					
11					
12					





**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**  
Certified Real Estate Specialist  
**Sean B. Lake**  
**Reese L. Anderson**

August 13, 2018

Dear Neighbor:

Together with our clients, Funk Family Enterprises, LLC and Bellago Development, LLC, we are pleased to invite you to a neighborhood meeting to receive your comments on our application to the City of Mesa for the development of approximately 6.26 acres at the southeast corner of Signal Butte and Mercury Drive. The project is located a quarter mile south of University and on the east side Signal Butte (APNs: 220-54-073B and -073G).

The development requests to the City include the following:

- 1) **Rezoning** of approximately 6.26 acres from Maricopa County R1-8 to RSL 2.5 with a PAD Overlay
- 2) **Site Plan and Preliminary Plat approval** for the single-family residential subdivision

A neighborhood meeting has been scheduled to give property owners in the area an opportunity to meet with the applicant and property owner, and to learn more about the proposed project. A site plan of the project has been attached for your reference. At the meeting, we will have information available for your review and comment.

The details of this meeting are as follows:

**Date: Monday, August 27, 2018**

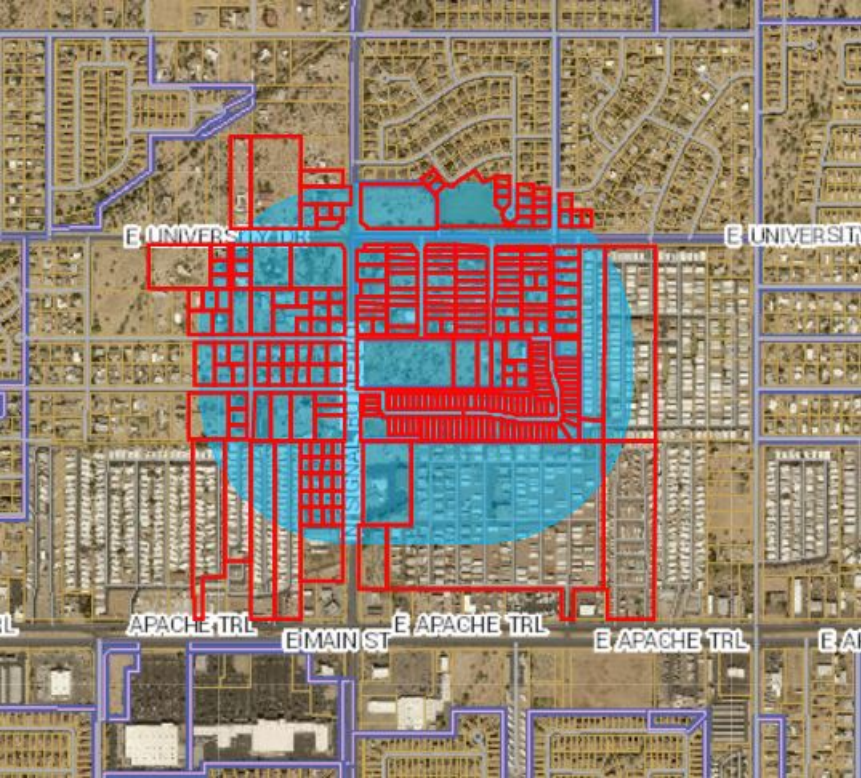
**Time: 7:00 p.m.**

**Place: Sousa Elementary School**  
Multi-Purpose Room  
**616 N Mountain Rd**  
**Mesa, AZ 85207**

If you have any questions regarding this matter before or after the neighborhood meeting, please contact me, or Valerie Claussen at our office (480) 461-4670.

Sincerely,

Sean B. Lake  
PEW & LAKE, PLC



Brannon Russell  
10425 E Bonnell St  
Mesa AZ 85207

Kara Tratbar  
1600 W Broadway Rd 200  
Tempe AZ 85282

Andrea Rizen  
638 N Clancy  
Mesa AZ 85207

Rhonda Leshner  
10655 E Baywood Ave  
Mesa AZ 85208

Ken Larsen  
10710 E Ananea  
Mesa AZ 85208

Tina Flynn  
10665 E Balmoral Ave  
Mesa AZ 85208

Anthony Scopellite  
115 S Noble  
Mesa AZ 85208

Lesley Prenez  
259 S Noble  
Mesa AZ 85208

Keli Copeland  
3438 N Ravine  
Mesa AZ 85215

Roberta Cullen  
10418 E Diamond Ave  
Mesa AZ 85208

Nancy Salzwedel  
11306 E Cicero St  
Mesa AZ 85207

Julia Norton  
713 S Canfield  
Mesa AZ 85208

Debbie McNabb  
10704 E Enid Ave  
Mesa AZ 85208

Donnis Plumb  
10458 E El Moro Ave  
Mesa AZ 85208

Misti Rash  
10614 E Carmel Ave  
Mesa AZ 85208

Michael Russo  
11240 E Caballero St  
Mesa AZ 85207

HOA Name Corp Comm Link

ADOBE ESTATES HOA  
4645 E COTTON GIN LOOP  
PHOENIX, AZ 85040

CRISMON CROSSING HOA  
1414 W BROADWAY RD STE 205  
TEMPE, AZ 85282

MERIDIAN HILLS HOA  
1600 W BROADWAY RD STE 200  
TEMPE, AZ 85282

SALERNO RANCH HOA  
% PMG SERVICES  
1839 S ALMA SCHOOL RD #15  
MESA, AZ 85210

SIGNAL BUTTE MANOR II HOA  
10699 N 82ND STREET STE B-2  
SCOTTSDALE, AZ 8526

SIGNAL BUTTE RANCH  
COMMUNITY ASSOCIATION  
3317 S HIGLEY RD STE 114-454  
GILBERT, AZ 85297

SUPERSTITION VIEW ESTATES HOA  
1400 EAST SOUTHERN AVE STE 400  
SCOTTSDALE, AZ 85258

SAGEWOOD COMMUNITY HOA  
23535 N 75TH PLACE  
SCOTTSDALE, AZ 85255

SAGEWOOD II COMMUNITY HOA  
23535 N 75TH PLACE  
SCOTTSDALE, AZ 85255

SUPERSTITION HEIGHTS HOA  
PO BOX 25877  
SCOTTSDALE, AZ 85255



10718 E MERCURY DR LLC  
4921 S ANTONIO  
MESA, AZ 85212

2018-3 IH BORROWER LP  
1717 MAIN ST SUITE 2000  
DALLAS, TX 85201

229 N 110TH LLC  
7006 E JENSEN ST UNIT 47  
MESA, AZ 85207-2832

A TO Z PROPERTIES LLC  
1308 E TREASURE COVE DR  
GILBERT, AZ 85234-2655

AGUAYO JUDITH ANN  
434 N SIGNAL BUTTE RD  
MESA, AZ 85207

AGUILAR SAMUEL  
134 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

AHEARN SEAN T/ROBYN  
302 N KEITH ST  
APACHE JUNCTION, AZ 85220

AIOP LOST DUTCHMAN NOTES LLC  
27777 FRANKLIN RD STE 200 SLOT  
MAR133  
SOUTHFIELD, MI 48034

AIOP LOST DUTCHMAN NOTES LLC  
380 PARK PLACE BLVD STE 200  
CLEARWATER, FL 33759

ANDERSON JOHN T  
421 N ST CLAIRE CIR  
MESA, AZ 85207

ANDERSON STEVEN D/KATHRYN A  
10657 E BOULDER DR  
APACHE JUNCTION, AZ 85120

ARMENTA STEPHANIE  
256 N 110TH ST  
APACHE JUNCTION, AZ 85220

AURO REAL ESTATE LLC  
PO BOX 39  
APACHE JUNCTION, AZ 85217

AVILA SAUL/ROSALIO V  
10949 E BOSTON ST  
APACHE JUNCTION, AZ 85220-4283

AYERS HARLEY WILLIAM  
P O BOX 144  
APACHE JUNCTION, AZ 85220

BALCOM BRUCE G  
244 N 110TH ST  
APACHE JUNCTION, AZ 85220

BARKUBEIN DUANE D  
4704 E HOBART  
MESA, AZ 85205

BARLOW SUSAN M  
10861 E BOSTON ST  
APACHE JUNCTION, AZ 85220

BARRINGER JAMES W/LAURA L  
10719 E UNIVERSITY  
APACHE JUNCTION, AZ 85220

BARRINGER LESLIE A  
10953 E BOSTON ST  
APACHE JUNCTION, AZ 85220

BARRIOS INES TR  
10811 E CONTESSA ST  
MESA, AZ 85207

BASSUENER ROBERT H  
10647 E UNIVERSITY DR  
APACHE JUNCTION, AZ 85120

BECHTOLD ROBERT A  
4086 TOWN HALL RD NE  
SAUK RAPIDS, MI 56379

BELLOWS LEO/VIRGINIA  
241 N 110TH ST  
APACHE JUNCTION, AZ 85220

BELLOWS VIRGINIA/LEO  
241 N 110TH ST  
APACHE JUNCTION, AZ 85220

BIDDINGER CRAIG ROBERT  
349 N JAMES CT  
APACHE JCT, AZ 85220

BISHOP STEVEN  
10653 E MERCURY DR  
APACHE JUNCTION, AZ 85120

BODE MARTIN D  
2481 W BROADWAY # 71  
APACHE JUNCTION, AZ 85120

BOILLOT BRET J  
436 N BAILEY  
APACHE JUNCTION, AZ 85220

BOOTH THOMAS/ALEXANDRA  
201 N 110TH ST  
APACHE JUNCTIN, AZ 85120

BRECKENRIDGE PROPERTY FUND  
2016 LLC- 2015 MANHATTAN BEACH  
BLVD STE 100  
REDONDO BEACH, CA 90278

BREIT ROSEHAVEN MHC LLC  
222 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

BREWER FELICIA J/ZEHNER TRACY L  
436 N SAINT CLAIRE CIR  
MESA, AZ 85207

BROOKS TROY  
10741 E MERCURY DR  
MESA, AZ 85220

BROWN EDWARD M/JOHNSON  
BEVERLEY A  
312 N KEITH ST  
APACHE JUNCTION, AZ 85120

BROWN ROBIN  
243 N 109TH WY  
APACHE JUNCTION, AZ 85120

BRYAN BARRY LEE/ELIZABETH  
JEAN  
10720 E BOULDER DR  
APACHE JUNCTION, AZ 85120

BULLDOG HOMES LLC  
PO BOX 2  
APACHE JUNCTION, AZ 85117

BURRESS RUSSELL J/CAROL J TR  
711 E LAKE ST  
VENTURA, IA 50482

CABALLERO ROSE M  
10647 E MERCURY DR  
APACHE JUNCTION, AZ 85220-4260

CALEN JOAN E  
10727 E MERCURY DR  
APACHE JUNCTION, AZ 85220

CAMPBELL CLAYTON/BROWN  
BARBARA JEAN TR  
422 N 110TH ST  
MESA, AZ 85207

CARTAGENA WILLIAM  
254 PEABODY  
SAN FRANCISCO, CA 94134

CASTRO JESUS/CAMERINA  
405 N ST CLAIRE CIR  
MESA, AZ 85207

CAVANAGH HUNTER/TODD/PAMELA  
10748 E MERCURY DR  
APACHE JUNCTION, AZ 85120

CHAVEZ ERNESTO  
337 N JAMES CT  
APACHE JUNCTION, AZ 85120

CLARK JOHN K/SHARON G  
114 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

COBLE NICHOLAS F/MELISSA J  
10940 E BOSTON ST  
APACHE JUNCTION, AZ 85120

COHEN JULES J/RONNIE E  
2623 S COPPERWOOD  
MESA, AZ 85209

CONVERSE JOHNATHAN  
331 N KEITH ST  
MESA, AZ 85120

COPLEY ROBERT J  
344 N JAMES CT  
APACHE JUNCTION, AZ 85220

CROSS SUSAN  
10829 E BOSTON ST  
APACHE JUNCTION, AZ 85120-4267

DAWSON NORM J/LYNN  
10801 E BOSTON ST  
APACHE JUNCTION, AZ 85120-4267

DAY CHRISTOPHER/LENNY  
232 N 110TH ST  
APACHE JUNCTION, AZ 85120

DELFAVERO THOMAS J/NADINE M  
10939 E MERCURY  
APACHE JUNCTION, AZ 85220

DENNEE RUTH/KENNETH  
2785 W GREASEWOOD ST  
MESA, AZ 85210

DENNIS EARL III/MISTERIOUS DAWN  
336 N 110TH ST  
APACHE JUNCTION, AZ 85120

DENT DAVID G  
PO BOX 50175  
MESA, AZ 85208

DESERT POINT AT SIGNAL BUTTE  
COMMUNITY ASSOC  
PO BOX 25466  
TEMPE, AZ 85285

DEUTSCHE BANK NATIONAL TRUST  
COMPANY  
1661 WORTHINGTON RD  
WEST PALM BEACH, FL 33409



DIANE JEANNETTE HAUGEN LIVING  
TRUST  
311 N 110TH ST  
APACHE JUNCTION, AZ 85120

DIAZ MARTHA A  
10845 E BOSTON ST  
MESA, AZ 85220

DILAURENZIO THOMAS  
316 N DEWEY ST  
APACHE JUNCTION, AZ 85220

DL MAGADINI LLC  
PO BOX 10245  
PHOENIX, AZ 85064

DOESCHER WILMER F/JOYCE D TR  
410 N 110TH ST  
MESA, AZ 85207

DOUCET MILES/TIFFANY  
10413 E BONNELL ST  
APACHE JUNCTION, AZ 85120

DUNN KATHERINE D  
3510 E MICHELLE WY  
GILBERT, AZ 85234

EARL KEVIN R  
118 S SIGNAL BUTTE  
APACHE JUNCTION, AZ 85220

EAST VALLEY CHURCH OF THE  
NAZARENE  
P O BOX 51870  
MESA, AZ 85208

EASTHAM MICHAEL L/TONYA D  
10736 E BOULDER  
MESA, AZ 85220

ERIC WEINBRENNER LIVING TRUST  
PO BOX 25157  
PHOENIX, AZ 85002

ESPINOSA RODNEY A  
345 N KEITH ST  
APACHE JUNCTION, AZ 85220

ESTRELLA OSCAR J  
413 N ST CLAIRE CIR  
MESA, AZ 85207

ETHINGTON DANIEL R/JODY J K  
10445 E IRWIN CIR  
MESA, AZ 85209

EVANS BRADLEY W  
209 N 110TH ST  
APACHE JUNCTION, AZ 85120

FALIVEND ROBIN/GURNIAK SUSAN  
324 N 110TH ST  
APACHE JUNCTION, AZ 85120

FALLAS MARISSA ELISE/FALLAS-  
DENGRO ROBERTO  
11351 E STEARN AVE  
MESA, AZ 85212-7070

FAVAZZO CHRISTINE ELAINE  
10865 E BOSTON ST  
APACHE JUNCTION, AZ 85120

FEATHER DANA C/DATHYL L TR  
10735 E BOULDER  
APACHE JUNCTION, AZ 85220

FEDERAL NATIONAL MORTGAGE  
ASSOCIATION  
PO BOX 650043  
DALLAS, TX 75265-0043

FENIQUITO SHELLEY G  
10864 E BOSTON ST  
APACHE JUNCTION, AZ 85220

FERGUSON EDRIE A  
10705 E MERCURY DR  
APACHE JUNCTION, AZ 85220

FIDELITY HAUS INVESTMENTS LLC  
902 N BENSON LN  
CHANDLER, AZ 85224

FILOGRASSO ANTHONY M/JESSICA  
222 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

FLANNIGAN CHARLES E TR  
10852 E BOSTON ST  
APACHE JUNCTION, AZ 85220

FORD SEAN M  
122 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

FORQUER MARK WAYNE JR  
233 N 110TH ST  
APACHE JUNCTION, AZ 85120

FOSTER FRANK L/LINDA J  
10714 E MERCURY DR  
APACHE JUNCTION, AZ 85120

FUNK FAMILY ENTERPRISES LLC  
1806 N LINDSAY RD NO 101  
MESA, AZ 85213

FUNK FAMILY ENTERPRISES LLC  
1806 N LINDSAY RD STE 102  
MESA, AZ 85213

FURBEE DANIEL R/SARAH L/BORG  
KAREN FURBEE  
6612 E ARBOR  
MESA, AZ 85206

GABOR GUY C/CHRISTY D  
10853 E BOSTON ST  
APACHE JUNCTION, AZ 85220

GARCIA RICHARD ROGER  
10747 E BOULDER DR  
APACHE JUNCTION, AZ 85120

GARDNER ADRIENNE A  
246 N 109TH WY  
APACHE JUNCTION, AZ 85120

GARO KEVIN  
330 107TH PLACE  
APACHE JUNCTION, AZ 85220

GIANCOLA BRIAN/HSIU LIEN  
10640 E MERCURY DR  
APACHE JUNCTION, AZ 85120

GIANCOLA BRIAN/HSIU-LIEN  
10640 E MERCURY DR  
APACHE JUNCTION, AZ 85120

GILLIES THOMAS  
331 N 110TH ST  
APACHE JUNCTION, AZ 85220

GIPSON CRYSTAL/MARIE CAITLIN  
342 N KEITH ST  
APACHE JUNCTION, AZ 85220

GOFF STEPHANIE L  
217 N 110TH ST  
MESA, AZ 85220

GOMEZ SANDRA/ECKLEBERRY  
ADAM  
112 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

GONZALEZ JACOB A  
10837 E BOSTON ST  
APACHE JUNCTION, AZ 85120

GREENE JAMES S/KATHLEEN L  
10711 E MERCURY DR  
APACHE JUNCTION, AZ 85120

GRIMSHAW ROBERT L/CAROLYN J  
225 N 110TH ST  
MESA, AZ 85220

GROSS GREGORY A/CHARLES  
WILLIAM JR/SANDRA M  
426 N SIGNAL BUTTE RD  
MESA, AZ 85207

GUINN PILGRIM/SHASTA R  
10662 E UNIVERSITY DR  
MESA, AZ 85207

GUNSELMAN MARGARET J  
341 N DEWEY ST  
APACHE JUNCTION, AZ 85220

GURROLA SILVESTRE/PEREZ ELSA G  
355 N DEWEY ST  
APACHE JUNCTION, AZ 85220

GUZMAN MARK A/DIANA  
10812 E BOSTON ST  
APACHE JUNCTION, AZ 85120

HALL SHANNON K  
1561 TURF DR  
HENDERSON, NV 89002

HANSEN BYRON/CHRISTINE  
228 N 110TH ST  
APACHE JUNCTION, AZ 85120

HARMONY COMMUNITY BAPTIST  
CHURCH  
PO BOX 6315  
MESA, AZ 85216

HARMONY COMMUNITY BAPTIST  
CHURCH  
PO BOX 315  
MESA, AZ 85216

HARNEY JAMES W JR/MELINDA K  
PO BOX 63  
APACHE JUNCTION, AZ 85120

HARTWIG SHANE G  
353 N KEITH ST  
APACHE JUNCTION, AZ 85120

HAWLEY SANDRA C  
9625 MERRILL RD  
SILVERWOOD, MI 48760

HEFNER ANDREW P  
322 N DEWEY ST  
APACHE JUNCTION, AZ 85220

HERNANDEZ HECTOR A/CHARLOTTE  
311 N KEITH ST  
APACHE JUNCTION, AZ 85220

HERRERA GRIMALDO JR  
1621 N LINDSAY RD  
MESA, AZ 85213-3005

HILL VIVIAN JOYCE TR  
404 N 110TH ST  
MESA, AZ 85207



HILLER REANGRAT/GREGG  
10840 E BOSTON ST  
MESA, AZ 85220

HINCKLE CONSTANCE  
10912 E BOSTON ST  
APACHE JUNCTION, AZ 85120-4284

HINKLE DONNA M/CHRISTOPHER J  
356 N 110TH ST  
APACHE JUNCTION, AZ 85220

HINOJOS CHRISTOPHER J/KAYCIE J  
239 N 110TH ST  
APACHE JUNCTION, AZ 85120

HOBBY WILLIAM H  
10933 E BOSTON ST  
APACHE JUNCTION, AZ 85220

HOCHGRAEF ALLISON C  
331 N DEWEY ST  
APACHE JUNCTION, AZ 85220

HOLMAN MICHELE  
262 N 110TH ST  
APACHE JUNCTION, AZ 85120

HUGHES TAMMIE  
15170 E 400 NORTH RD  
RIDGE FARM, IL 61870

HUIT RALPH/MARILYN  
10941 E BOSTON ST  
APACHE JUNCTION, AZ 85120

IMUS HARRY J  
10928 E BOSTON ST  
APACHE JUNCTION, AZ 85120

INMAN HANNELORE R  
411 S T AVE  
NATIONAL CITY, CA 91950

IRELAN JUDITH L/MICHAEL E  
10824 E BOSTON ST  
APACHE JUNCTION, AZ 85220

ISLAS VINCENTE MORGADO  
8142 E 3RD AVE  
MESA, AZ 85208

JACKSON AARON/CECILIA  
238 N 110TH ST  
APACHE JUNCTION, AZ 85120

JAMMES FRANK E/REVENELL M  
10957 E BOSTON ST  
MESA, AZ 85220

JASSO ANNA DOLORES/DOLORES A  
250 N 110TH ST  
APACHE JUNCTION, AZ 85220

JAUREQUI ADOLPH JR/CAYER  
JOSEPH D  
336 N DEWEY ST  
APACHE JUNCTION, AZ 85220

JENSEN DAVID E  
302 N 110TH ST  
APACHE JUNCTION, AZ 85120

JOHNSON BRAD/CHANEL  
8318 E LAUREL CIR  
MESA, AZ 85207

JOHNSTON DARLA M/RICKY LEE  
130 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

JONES SCOTT  
9582 INGRAM AVE  
GARDEN GROVE, CA 92844

JORDAN RICHARD/HALE SANDRA  
10706 E BOULDER DR  
APACHE JUNCTION, AZ 85120

KACERIK CAROLINE E  
10820 E BOSTON ST  
APACHE JUNCTION, AZ 85120

KANNAH VALLEY CONSTRUCTION  
LLP  
401 PURDY MESA RD  
WHITEWATER, CO 81527

KASIOR PHILIP P  
9117 E RANGE RIDER TRL  
MESA, AZ 85207

KIMBRELL JAMES E/ WILLIE LOU  
322 N KEITH  
APACHE JUNCTION, AZ 85220

KIME TAMMY M  
10709 E BOULDER DR  
APACHE JUNCTION, AZ 85120

KINNEY VIOLA M  
10919 E MERCURY DR  
APACHE JUNCTION, AZ 85120

KNICKERBOCKER NICHOLAS  
8233 E KRAMER CIR  
MESA, AZ 85207

LACY GERALD W  
10720 E MERCURY DR  
APACHE JUNCTION, AZ 85120

LAM CHRISTOPHER  
22085 SUMMIT HILL DR  
LAKE FOREST, CA 92630

LAPLANTE JONATHAN MARK  
PO BOX 747  
APACHE JUNCTION, AZ 85117

LARD GEOFFREY/RONALD  
301 DEWEY ST  
APACHE JUNCTION, AZ 85120

LARSON HOPE J  
326 N KEITH ST  
APACHE JUNCTION, AZ 85120

LAWRENCE DOUGLAS D &  
CATHERINE A  
328 N SIGNAL BUTTE RD  
APACHE JCT, AZ 85220

LAWSON SEAN M/KATHIE J  
CHADWICK  
237 N 109TH WY  
APACHE JUNCTION, AZ 85220

LEE EDWARD GLADDEN FAMILY  
LIVING TRUST  
10812 E MERCURY DR  
APACHE JUNCTION, AZ 85120

LEE HEEUN/CHON SEONJA  
10660 E BOULDER AVE  
APACHE JUNCTION, AZ 85220

LEI JIN YUAN/YU QI XIA  
639 FRANDALE AVE  
LA PUENTE, CA 91744

LEMMON DANETTE L  
316 N 110TH ST  
APACHE JUNCTION, AZ 85120

LEWIS CARROLL M JR/NICOLE M  
428 N ST CLAIRE CIR  
APACHE JUNCTION, AZ 85220

LEWIS HILLARD R/JACQUELIN  
345 N SIGNAL BUTTE  
APACHE JUNCTION, AZ 85202

LEWIS HILLARD RAY/JACQUELIN  
345 SIGNAL BUTTE RD  
APACHE JUCTION, AZ 85220

LINDELL BRITTANY  
10821 E BOSTON ST  
APACHE JUNCTION, AZ 85120

LOCKWOOD SEAN/EASTHAM KAYLA  
416 N 110TH ST  
MESA, AZ 85207

LOPEZ MARIA L  
612 N 8TH ST  
ELOY, AZ 85131

LUCHINI PETER L  
10111 E ILLINI ST  
MESA, AZ 85208

LUSANIA VINCENT  
10660 MERCURY DR  
APACHE JUNCTION, AZ 85120

LYONS MELISSA M  
322 N DEWEY ST  
APACHE JUNCTION, AZ 85220

MACE DEV B/COLLEEN  
EAKINS/BARBARA J  
220 N 110TH ST  
MESA, AZ 85220

MANSUETO MICHAEL J/BRIANA M  
420 N ST CLAIRE CIR  
MESA, AZ 85207

MARIN JENNIFER  
11420 E DOWNING ST  
MESA, AZ 85207

MARIS CHERRILYN/GERALD B  
106 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85220

MARTINEZ LUIS JOSE/BLANCA L  
336 N KEITH ST  
APACHE JUNCTION, AZ 85120

MCDANIEL LESLEY R/HELEN R  
351 N 110TH ST  
APACHE JUNCTION, AZ 85120

MCKEE BECKY  
152 N SIGNAL BUTTE  
APACHE JUNCTION, AZ 85220

MCMURDO PETER  
2923 3RD ST  
TRENTON, MI 48183

MCNAMARA ELIZABETH M  
10921 E BOSTON ST  
APACHE JUNCTION, AZ 85120

MCSHANE JENA L  
224 N 110TH ST  
APACHE JUNCTION, AZ 85120

MEISTER PATRICIA L/JASON A  
10917 E BOSTON ST  
APACHE JUNCTION, AZ 85220



MESA CITY OF  
20 E MAIN ST STE 650  
MESA, AZ 85211

MILLER AMY R  
205 NORTH 110TH STREET  
APACHE JUNCTION, AZ 85120

MILLER DANIEL MARK & DEBRA  
ANN  
10752 E MERCURY DR  
APACHE JUNCTION, AZ 85120

MONTFORD RICHARD  
2914 E LIBRA ST  
GILBERT, AZ 85234

MOORE GARY/REBECCA  
10742 E MERCURY DR  
APACHE JUNCTION, AZ 85220

MORENO JOSUE  
102 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

MURRAY JORDANN  
321 N 110TH ST  
APACHE JUNCTION, AZ 85120

MYERS MICHAEL  
10740 E BOULDER DR  
APACHE JUNCTION, AZ 85120

NICK TIBSHRAENY DECEDENT'S  
TRUST  
130 W PEPPER PL  
MESA, AZ 85201

NIEMAN JOHN/BONNIE  
10909 E BOSTON ST  
APACHE JUNCTION, AZ 85120

NOLASCO JUAN MARTINEZ  
154 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85220

NORRIS CINDY G  
10857 E BOSTON ST  
APACHE JUNCTION, AZ 85120

PAGUIA RODNEY S  
301 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

PARSONS DEBRA K  
315 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

PENDLEBURY JOSHUA EDWARD  
10866 E MERCURY DR  
APACHE JUNCTION, AZ 85120

PEREZ JOSE L/AURORA  
10805 E BOSTON ST  
APACHE JUNCTION, AZ 85120

PEREZ LUZ O/GARCIA ALEXIS L  
302 N DEWEY ST  
APACHE JUNCTION, AZ 85120

PHILLIPS MIKE S  
126 N SIGNAL BUTTE RD  
APACHE JUCTION, AZ 85220

RAEDER MARIA C/KEVIN L  
10925 E BOSTON ST  
APACHE JUNCTION, AZ 85220

RAFFERTY JOHN L/DEBORRAH S  
10638 E BOULDER DR  
APACHE JUNCTION, AZ 85120

RAMSEY KEVIN E  
10948 E BOSTON ST  
APACHE JUNCTION, AZ 85220

REED MARSHALL T/WILSON DONNA  
10648 E BOULDER  
MESA, AZ 85207

RELAFord DIANE  
305 N DEWEY  
APACHE JUNCTION, AZ 85120

RICHINS JOHN S/KRISTEEN A  
3480 S 159TH ST  
GILBERT, AZ 85297

ROBBINS RAY/DANIELLE  
10728 E BOULDER DR  
APACHE JUNCTION, AZ 85120

ROBERTS BOBBY E/GAIL W  
10937 E BOSTON ST  
APACHE JUNCTION, AZ 85220

RODRIGUEZ JOSE  
10920 E BOSTON ST  
APACHE JUNCTION, AZ 85120

RONALD L BERGEN TRUST  
514 S NORWALK  
MESA, AZ 85206

ROSALES INELDA/JESUS  
10824 E MERCURY DR  
APACHE JUNCTION, AZ 85120

ROSENDAHL DALE/REGINA  
DARLENE  
1762 N 99TH ST  
MESA, AZ 85207

ROTH SANDRA M TR  
933 N 94TH PL  
MESA, AZ 85207

ROUNDS NIKKI  
10841 E BOSTON ST  
APACHE JUNCTION, AZ 85120

RUBY FRANK L III/ROBIN M  
10712 E BOULDER DR  
APACHE JUNCTION, AZ 85220

SAVANNA HOLDINGS LLC  
1037 E BUENA VISTA DR  
TEMPE, AZ 85284

SCHMIDLING JESSICA  
10848 E BOSTON ST  
APACHE JUNCTION, AZ 85120

SCHUBERT MATTHEW/BRANDY  
245 N 110TH ST  
MESA, AZ 85207

SCHUTTE LARRY/VELDA  
6435 N HIGHLAND RD  
HASTINGS, NE 68901

SECRETARY OF VETERANS AFFAIRS  
3225 N CENTRAL AVE  
PHOENIX, AZ 85012

SHARP STEVEN P/DEBRA A  
10610 E ENSENADA ST  
MESA, AZ 85207

SIMPSON MARK C/DENISE M  
10913 E BOSTON ST  
APACHE JUNCTION, AZ 85120

SMITH CURTIS W/WHITNEY K  
311 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85120

STAMPS MARIE  
10844 E BOSTON ST  
APACHE JUNCTION, AZ 85220

STEADMAN CATHY G  
444 N BAILEY  
MESA, AZ 85207

STEPHENS FRIEDA/TERRY/NEHER  
TERRY/SHIRLEY  
321 N KEITH ST  
APACHE JUNCTION, AZ 85120

STIENSTRA STEVEN D/PAMELA R  
9923 E JENSEN ST  
MESA, AZ 85207

STOUT DAVID L/KIMBERLEY J  
150 N SIGNAL BUTTE RD  
APACHE JUNCTION, AZ 85220-4208

STURM MARY C  
345 N DEWEY ST  
APACHE JUNCTION, AZ 85120

TABILE MADISON N/TY N  
10849 E BOSTON ST  
APACHE JUNCTION, AZ 85120

TAYLOR JAMES E  
10719 E MERCURY DR  
APACHE JUNCTION, AZ 85220

THEEL SALLY A  
10813 E BOSTON ST  
APACHE JUNCTION, AZ 85120

THERESA A PRATER LIVING TRUST  
10924 E BOSTON ST  
APACHE JUNCTION, AZ 85120

THR PHOENIX LP  
8665 E HARTFORD DR STE 200  
SCOTTSDALE, AZ 85255

TMF331SIGNALBUTTE LLC  
3048 E BASELINE RD  
MESA, AZ 85204

TORRES ROBERTA PEREZ  
315 N KEITH ST  
APACHE JUNCTION, AZ 85120

TORRES TRISTAN/WELLS KRISTINA  
10905 E BOSTON ST  
APACHE JUNCTION, AZ 85120

TOTH NATHANIEL  
401 N 111TH ST  
MESA, AZ 85207

TRISOLIERE ROBERT W & TRACI L  
10629 E UNIVERSITY DR  
APACHE JUNCTION, AZ 85220

TROTTER RICHARD L TR  
21 E 6TH ST NO 602  
TEMPE, AZ 85281-3691

VALLE MICHAEL/LAURIE  
1723 N 106TH PL  
MESA, AZ 85207

VANDER KOOI CALVIN/NANCY  
8532 E PRINCESS CIR  
MESA, AZ 85207



VARNEY CARMEN/GLORIA/RENEE  
PO BOX 6081  
FT MCMURRAY, AB T9H4W1

VELAZQUEZ DAVID O  
234 N 109TH WY  
APACHE JUNCTION, AZ 85120

VILLAGOMEZ SALVADOR  
AYALA/CHAVEZ CRYSTAL ANN  
330 N 110TH ST  
APACHE JUNCTION, AZ 85220

VOWELL MIKKI M/BRIAN K  
10951 E MERCURY DR  
APACHE JUNCTION, AZ 85120

WARD FAMILY LIVING TRUST  
346 N DEWEY  
APACHE JUNCTION, AZ 85220

WILKIE CAROLYN/CLIFFORD ALLEN  
10940 E MERCURY DR  
MESA, AZ 85220

WILLS TANYA  
10936 E BOSTON ST  
APACHE JUNCTION, AZ 85120

WILSON DAVID A/JOAN C TR  
348 N KEITH ST  
APACHE JUNCTION, AZ 85220

WILSON JAMES/CAROL ANN  
429 N ST CLAIRE CIR  
MESA, AZ 85207

WORKMAN WILLIAM R  
10752 E MERCURY DR  
APACHE JUNCTION, AZ 85120

WRIGHT FAMILY TRUST  
10825 E BOSTON ST  
APACHE JUNCTION, AZ 85120

YARGER THOMAS L/MARSHA A  
346 N KEITH ST  
APACHE JUNCTION, AZ 85220

YOUNG AMBER D  
341 N KEITH ST  
APACHE JUNCTION, AZ 85120

YOUNGDELL CINDY  
10836 E BOSTON ST  
APACHE JUNCTION, AZ 85120