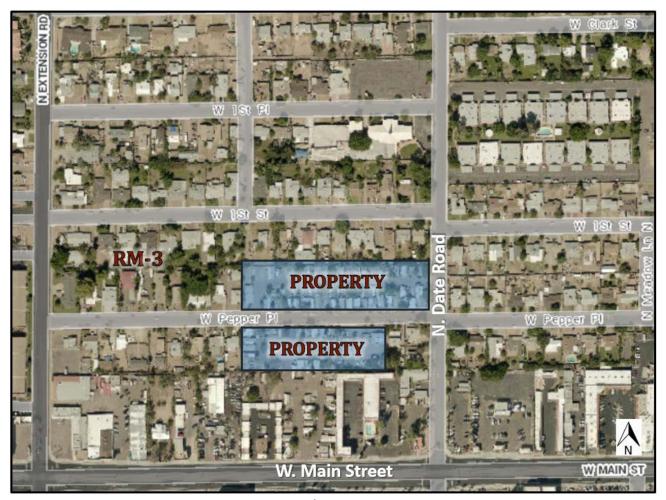
INTRODUCTION

Chicanos Por La Causa ("CPLC"), a non-profit social services and community development organization, intends to redevelop approximately 3.4 acres of land as depicted on the <u>Aerial Map</u> below (the "Site") as a residential condominium community. This application is submitted to request a Rezone of the Site from RM-2 to RM-3 with a PAD Overlay concurrent with Site Plan Review approval and Preliminary Plat approval to entitle the proposed Mesa Royale Condominium community (collectively the "Applications").

The Site abuts W. Pepper Place and N. Date Road within the City of Mesa ("City") and includes the following five (5) Maricopa County Assessor Parcels: 135-57-019; -020; -021; -072; and -073 ("Property"). The Light Rail Transit (LRT) line follows the W. Main Street alignment south of the Site.



Aerial Map

The Site is currently zoned RM-2 Multiple Residence and abuts the General Commercial zoning district to the south, RS-6 Single Residence zoning district to the east across N. Date Road, RM-2 to the north and west, and RM-3 Multiple Residence zoning further to the west as depicted on the City's <u>Zoning Map</u> below.





Zoning Map

CPLC intends to redevelop the Site in phases to create 56 residential units through a Condominium Plat ("Project"), which requires approval of a Rezone, Site Plan Review, and Preliminary Plat. The Rezone includes a proposed Planned Area Development ("PAD") Overlay, which is designed to create the framework to allow for flexibility in design while ensuring the high quality development standards and key elements of the Project are provided in the final development. The flexibility in this PAD allows CPLC to pursue sustainable design options and thoughtful redevelopment of the Site into an urban, high-density residential community.

The existing RM-2 zoning does not correspond to the modern vision of CPLC and the Project, nor does it allow for redevelopment of the Site consistent with the City's long-range planning guidance documents - the West Main Street Area Plan, the Mesa Central Main Plan, and the Mesa 2040 General Plan, which are addressed in detail below. As demonstrated throughout this document, approval of this Rezone with a PAD Overlay is both necessary and appropriate.

REZONE REQUEST

The overarching goal of the Project is to create a unique and distinctive place to live that is supported by quality pedestrian connectivity and access to public transit in an emerging area of Mesa. CPLC requests a Rezone of the Site from RM-2 to RM-3 with a PAD Overlay in order to achieve the following Project goals for the Mesa Royale Condominium community:

- Replace a portion of an outdated mobile home park with modern vibrant urban development
- Construct residential units at urban densities near LRT Station
- Provide private enclosed parking, thereby reducing the heat island effect
- Enhance the pedestrian experience along Pepper Place and Date Road
- Provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building) with street-facing residential porches/stoops
- Establish clear and well-designed greenway courtyard entries
- Include enhanced landscaping for pedestrian shade
- Facilitate "eyes" on the street and common open spaces
- Include outdoor patios, porches, and/or balconies to provide residents with private outdoor spaces in addition to landscaped open spaces
- Maintain accessible community open spaces and pedestrian pathways through an HOA
- Increase inventory of workforce housing diversity options with attached for-sale residential units
- Transition from commercial uses to the south and existing low-density residential neighborhoods to the north

The Project is proposed to be constructed in phases as shown on the <u>Phasing Plan Exhibit</u> below, and in the following scheme:

Phase 1: 10 units/2 buildings/3-story townhomes Phase 2: 27 units/9 buildings/2-story townhomes Phase 3: 19 units/4 buildings/3-story townhomes



Phasing Plan Exhibit

CPLC requests a Rezone of the Site from RM-2 to RM-3 with a PAD Overlay concurrent with Site Plan Review approval and Preliminary Plat approval to entitle the proposed Mesa Royale Condominium community.

Site Plan Review

The Applications are submitted to request Specific Preliminary Site Plan Review approval for all three phases of the Project and includes the requisite detailed drawings, site plans, landscape plans, and grading, drainage and utility plans.

Condominium Plat

The Project proposes to create 56 market rate, for-sale residential housing units through a condominium plat. Open space areas, sidewalks, and private shared drives on-site will be held in common ownership and maintained by a Homeowners Association. The requisite plans and documents for review of a Preliminary Plat concurrent with the Rezone request and Site Plan Review are included.

Planned Area Development (PAD) Overlay

This Rezone request includes a PAD Overlay designed to create the framework to allow for flexibility in design while ensuring the high quality development standards and key elements of the Project are provided in the final development. The flexibility in this PAD allows CPLC to pursue sustainable design options and thoughtful redevelopment of the Site. The existing RM-2 zoning does not correspond to the modern vision of CPLC and the Project; therefore, this Rezone with a PAD Overlay is both necessary and appropriate.

Specifically, CPLC requests a PAD Overlay as part of the Rezone for the Project because it provides opportunity for innovative design and flexibility necessary to achieve a creative, high-quality development that incorporates open space, a sustainable homeowners association, unique building design, and homeownership opportunities near public transit. The Project proposes a unique set of development standards utilizing the City's PAD Overlay Ordinance in order to accomplish the goals and policies envisioned by the City and the community for urban high-density redevelopment of the Site.

Benefits

It is anticipated that the proposed development will result in a considerable increase in revenue to be generated from new construction and new residents. Reinvestment in this area through redevelopment will contribute to the vitality of Mesa by providing a great place for residents to live in close proximity to public transit and the amenities and services of the Downtown district, including employment, retail, neighborhood gathering places, and dining and shopping.

Urban residential redevelopment within the City provides greater stability and a healthier environment because existing infrastructure is in place, it limits sprawl and auto-dependency, reduces the heat island effect, and allows construction of buildings with greater energy/water efficiencies, which helps to improve everyone's health with cleaner air, soil, and water.

The Project will improve Mesa's economic development and will likely spur other redevelopment activity in the area, thereby bolstering economic activity at nearby shops, restaurants, and other businesses. In addition, the Project will help to ensure the fiscal soundness of the LRT line by increasing ridership. The City, and the community as a whole will benefit from redevelopment of the Site.

Overall, this Project will advance the City's policies and community values by adding to the diversity of housing options, improving walkability, increasing tax revenues, and reducing reliance on cars. CPLC requests approval to Rezone the Site in order to facilitate redevelopment that is consistent with localized land uses and, more specifically, is consistent with the vision and core values of the City's long-range planning documents - the West Main Street Area Plan, the Mesa Central Main Plan, and the City's General Plan, each of which is addressed in detail below.

<u>BACKGROUND</u>

Background – West Main Street Area Plan

In 2007, in anticipation of Light Rail Transit (LRT) line coming to Mesa along Main Street, the City developed the West Main Street Area Plan ("West Main Plan") to reflect the community's vision for future redevelopment in the area. The West Main Plan document was adopted by Mesa City Council on December 3, 2007, through Resolution No. 9132. The Plan covers 2.5 square miles bounded by University Drive to the north, Broadway Road to the south, Country Club Drive to the east, and the Mesa/Tempe city limits to the west.

The Site lies within the boundaries of the West Main Plan, which anticipates the character of the area transitioning toward increased intensity, density, and diversity. Because of the Site's proximity to the LRT line, now constructed along Main Street to the south, increasing residential density beyond what is permitted in the current RM-2 district will move toward fulfilling the community's redevelopment vision for the area.

This Plan recognizes that current zoning in this area poses restrictions and limitations for future urban development at densities necessary to support the LRT line:

The current Zoning Ordinance development standards have limited provisions for redevelopment of narrow lots and older commercial development in the area. Setbacks and landscape provisions limit the possible re-use of some of these small, narrow lots. . . . The current development standards encourage suburban-style, auto-dependent uses and site design near the LRT station. — Page 18

The Zoning Ordinance allows for innovative design and flexibility when approved through the provisions of a Planned Area Development (PAD) Overlay District. Approval of the proposed Rezone of the Site from RM-2 to RM-3 / PAD will create a compact development near transit that is supported by pedestrian links, thereby increasing ridership and helping to ensure the fiscal soundness of the LRT line.

Additionally, the Plan provides the following policies for the TOD Corridor Area (Page 67):

• LUP21: Residential Density. Residential density in the TOD Corridor Area should not be less than 17 dwelling units per acre in single-use projects.

The maximum density allowed in the RM-2 district is 15 units per acre, which falls short of the West Main Plan's intent for redevelopment within this TOD Corridor Area to provide a minimum of 17 units per acre. To fulfill the Plan's goals, the Site Plan proposes a maximum density of 20 units per acre, which may be approved through a PAD Overlay as provided for in the Zoning Ordinance. Approval of the proposed Rezone from RM-2 to RM-3 / PAD will further the City's goals and policies to increase residential density in proximity to its LRT line.

• LUP23: Building Height. A building height of minimum 2 stories and maximum 5 stories is acceptable for buildings in the TOD Corridor Area. . . . A building height step-back may be required for developments adjacent to single-family residences.

The Project is designed to maintain the proper transitioning of building heights from the most intensive zoning to the south (General Commercial) and the lower building heights found to the north of the Project site. The building height of the 3-story buildings will step-back in the side yard setbacks in Phases 1 and 3. At 40

feet, the 3-story buildings will be compatible with the adjacent zoning districts. The height of the 2-story buildings is 26 feet, which is less than the maximum building height of 30 feet permitted in the RM-2 district.

• LUP25: Pedestrian Pathways: Pedestrian-oriented areas should be continuous and link with the public sidewalk along Main Street.

Shared open space areas and pedestrian connectivity are core components of the overall Site Plan layout. The development team has put much thought into providing these key features while, at the same time, being able to offer additional home ownership opportunities in the area. Pedestrian connectivity is discussed in more detail below.

Additionally, the Plan identifies the following issues:

- Existing low-density residential developments as well as non-residential developments are under-utilized and have densities insufficient to support transit-oriented development (TOD).
- The existing zoning and land use designation do not provide for the mixed-use, highdensity environment necessary for a successful transit-oriented development. — Page 35

This application requests to Rezone the Site from RM-2 to RM-3 / PAD in order to apply site-specific development standards necessary and appropriate for the Project in order to achieve the higher residential density envisioned for the Site.

Background – Mesa Central Main Plan

Mesa's City Council adopted Resolution No. 9980 on January 23, 2012, approving the Mesa Central Main Plan ("Central Main Plan"). The Central Main Plan was created by stakeholders in the community and covers 3.75 square miles of land bounded by University Drive to the north, Broadway Road to the south, Country Club Drive to the west, and Gilbert Road to the east. Preparation of the Central Main Plan began in 2010 and included extensive public involvement, outreach, and input led by a Plan Advisory Committee (PAC). The central Main Plan was developed to "take advantage of the significant public investment in extending the light rail line to Downtown Mesa. . . The primary goal of the Plan is to facilitate economic development in this area". — Page 1.

The Site is identified in the Central Main Plan as lying within the Transit Adjacent – Residential (Downtown and West Main), which envisions redevelopment of the Site to an urban medium- to high-density residential environment as part of an overall mixed-use urban community near public transit.

The Transit Adjacent – Residential areas are envisioned to transform to a more urban environment with improved streetscape and an emphasis on medium- to medium-high-density residential developments with limited mixed-use. The development of these areas will support an urban environment with buildings addressing the public realm along Main Street.

West Main

The Main Street Corridor west of Country Club Drive consists of suburban strip retail, motor courts, individually-accessed commercial lots, and a *mobile home park* adjacent to Main Street.

... Given the proximity to the Country Club Drive LRT station, redevelopment should focus on residential use with concentration of neighborhood-scale commercial uses at the intersections with Date and Extension Road... focus should be placed on residential uses that orient towards, and are coordinated with, redevelopment that occurs along Main Street. . . These recommendations are consistent with the adopted West Main Street Neighborhood Area Plan, which placed an emphasis on creating a pedestrian-friendly environment.

Policy TAR-W 1: Encourage **redevelopment that focuses on residential use** with concentration of neighborhood-scale commercial uses at the intersections of Main Street with Date and Extension Road.

Policy TAR-W 2: Improve the balance between pedestrian and automobile needs. Discourage additional strip development along Country Club Drive and Main Street, and over time, redevelop with uses that reduce traffic conflicts and integrate into the adjacent neighborhood.

Policy TAR-W 3: Recognition that creation of viable **redevelopment sites that appropriately transition to adjacent neighborhoods may require consolidation of parcels** and the limited incorporation of adjacent residential properties. [Emphasis added]

CPLC has acquired an assemblage of properties in this location that includes three single-residence parcels. CPLC proposes to rezone the subject Site for high-density residential uses on the parcels abutting W. Pepper Place, consistent with the policies above. The Project does not include any properties adjacent to Main Street.

The Project will provide pedestrian connectivity from all residential units to the public sidewalks on Pepper Place and Date Road. Residents will have access to the public transit opportunities on Main Street (LRT line and buses) by walking from Pepper Place, east to Date Road, and then south to Main Street. The wall along the south property line of the Project will be constructed with opportunity for future pedestrian gate(s) that will allow a more direct route to Main Street for residents in the future. The gate(s) would be opened for use once the commercial Site to the south has been redeveloped, which will create a more complete mixed-use urban environment as envisioned for the area.

The Central Main Plan further describes the Transit Adjacent – Residential Development Character Type as "creation of low to mid-rise residential . . . Common building form and development characteristics include:

- Typical building heights of two- to three-stories; could be up to 85' in the Downtown area.
- Lot coverage typically 40 to 80 percent. Page 63

The vision above clearly defines the Project, which proposes up to 50% overall lot coverage and twoand three-story building heights up to 40 feet, thereby fulfilling the character envisioned for this area.

Background – General Plan Use and Policy Objectives

In 2010, the City adopted the Mesa 2040 General Plan ("General Plan"), which designates the Site as Neighborhood Traditional. Any request for a Rezone is required to address how the proposal complies with the General Plan land use and policy objectives. As demonstrated below, this Rezone request is consistent with the General Plan and fulfills the Plan's vision, key elements, and guidelines as summarized below.

SECTION II. BUILDING A BETTER MESA: CREATING A CITY OF CHOICE(S) Chapter 3. A Vision For The Future B. Challenges and Opportunities

Urban Design/Place-Making

The importance of creating more recognizable neighborhoods and complete communities includes facilitating development that connects people to where they live, work, shop, and play. When people feel connected to a place, they have a greater sense of ownership and are more likely to participate in community activities, work together for community improvement, and help create a safer environment.

The location of the Site in proximity to the City's LRT line is ideal for redevelopment and construction of a high-density, urban residential community. The proposed enhanced streetscape and landscaped entry courtyards will activate the pedestrian experience along Pepper Place and Date Road. More importantly, the Project redevelopment will advance this area of Mesa as the ultimate place to live in a modern urban, mixed-use, multi-modal neighborhood.

C. A Vision for the Future

In 2040, Mesa is a recognizable City with a great sense of place where:

- Neighborhood and village centers, of appropriate scale and in appropriate locations, have replaced auto-dominant suburban sprawl to create stronger neighborhoods with a greater sense of place.
- Existing neighborhoods are well maintained and appropriate infill and redevelopment is encouraged.
- There are efficient, *multi-modal transportation and transit systems* that provide for the movement of goods and people, whether it is around the corner or around the world.
- Residents feel a sense of inclusion and ownership in their community and a connection to each other through such things as innovative use of technology; participatory government; high degrees of volunteerism; and community events.
- We have a choice in a variety of environments from rural to urban; low-rise to high-rise; passive to active to meet the needs and desires of all residents. [Emphasis added]

The site design incorporates shared open space courtyards to encourage neighbor interaction and to create a sense of place, community, and connection. All units will be for sale, thereby increasing the City's inventory of housing with increased opportunities for home ownership. A Homeowners Association will be established to ensure ongoing maintenance and upkeep of the neighborhood. Approval of the Mesa Royale Rezone will also fulfill the *following goals and policies of the City's General Plan:*

Chapter 4. Creating and Maintaining a Variety of Great Neighborhoods B. Key Elements Needed for Strong Neighborhoods

1. Safe, Clean and Healthy Living Environment

 Encouraging new development and redevelopment that improves walkability between housing and key amenities and services such as parks, schools, shopping, and transit connections.

3. Connectivity and Walkability

Connectivity and walkability is improved through:

• Requiring high quality design of streets, sidewalks, and buildings along streets to provide attractive and interesting places to walk.

4. Provide for Diversity

Having a diversity of housing types within a neighborhood provides interest to the built environment and provides the opportunity for differing people to live in close proximity to one another. The variety of housing also allows people to stay in the same neighborhood as their housing needs change throughout their life. Having long-term residents in a neighborhood brings stability and cohesion and makes continued investment in the neighborhood more likely.

5. Neighborhood Character and Personality

Steps that can be taken to improve the character and personality of neighborhoods include:

- Reviewing new/reuse developments for the elements needed to add to the surrounding community and create a unique sense of place.
- Requiring the use of high quality architecture, building materials and landscape design and maintenance in all developments.

6. Quality Design and Development

Steps that can be taken to create, maintain, or improve the quality of neighborhoods in Mesa include:

- In smaller lot and multi-residence areas, requiring developer-provided landscaping of front yards throughout the development and a *mechanism for ongoing maintenance*; the same requirements should apply to neighborhood-based businesses located in and serving any residential neighborhood.
- Requiring that all building facades that face a street or public space have architectural interest.
- Design of blocks and street systems that promote walkability between uses and provide for multi-modal transportation options.
- Using a variety of high-quality, durable materials that are appropriate for this climate.
- Maintaining a pedestrian scale and attractiveness along streets. [Emphasis added]

The Mesa Royale Condominium will provide home ownership opportunities by adding diversity to the City's housing inventory. A Homeowners Association will be established to ensure ongoing maintenance and upkeep of the neighborhood. The engaged front porch projections on the street facing units will promote interaction at the street level. The Project will ensure that the City achieves its goals and vision for a high-quality residential community that is safe, walkable, and connected to public transit while improving the character, quality, and diversity of the surrounding neighborhoods.

C. Plan Elements

Goal: Create and maintain a variety of great neighborhoods.

General Policies and Strategies

Neighborhoods S5:

Investigate strategies and incentives to encourage appropriate infill and Site reuse consistent with neighborhood goals and values.

From the 2010 planning area population of 482,503, Mesa is expected to grow by approximately 174,430 persons for a total population of 656,933 by 2040. . . Mesa will need

between 270,000 and 280,000 dwelling units to house this future population. The means we will need to add at least 70,000 additional dwelling units over the planning period. Multi-residence Housing:

Multiple residence housing plays a critical role in accommodating persons of all economic classes, but is often a preferred housing option for those of moderate means. **Multiple-residence housing plays an important role in the city's economic growth** because it serves employees of hundreds of Mesa businesses who live and shop in Mesa. Such housing also plays an important role in attracting new industry and retaining existing businesses in Mesa. In the coming years this form of housing is likely to become even more important to provide urban living environments desired by retirees and for the creative class. . . Several features that will be part of the ongoing development of multi-residence housing in Mesa include:

- Encouraging the integration of a mix of housing options in each area of the city;
- Focusing the *higher density developments (those over 20 units per acre)* within the designated Transit Districts;
- Requiring architectural design, outdoor space, and amenities that will maintain value over time, and including a requirement for perpetual maintenance of these original design features; . . .

Workforce Housing:

For illustrative purposes, affordable housing facilitates persons who make 80% or less of the area median income, any pay no more than 30% of their gross income for housing. It is possible to provide decent, code-compliant housing for all residents of Mesa through:

Housing developed specifically as workforce housing should be built in places where there are mobility options as well as easy access to community services, such as parks, schools, jobs, shopping, etc. [Emphasis added]

The proposal will supply multiple-residence housing to meet the need for additional workforce housing with the added benefit of home ownership at a density of 20 units per acre, thereby fulfilling the goals, policies, and strategies of the General Plan.

Chapter 7. Community Character Transit Districts

The transit districts character type includes the light rail corridor, bus rapid transit corridors, and areas designated for a consistent high level of transit options. The focus of this character type is to develop a mix-use pedestrian-oriented, urban environment, particularly within walking distance of transit stops.

This proposal is for an urban high-density residential development within the transit corridor. When the commercial properties along Main Street to the south redevelop, this residential development combined with future commercial development will create the overall mixed-use community that the City has envisioned for this area. The City's policies and strategies above are reflected in the Project design and are consistent with the overarching goals and vision of the Project, as further described below.

PROJECT DESCRIPTION

The vision for the proposed Mesa Royale Condominium community is to create a unique urban living environment offering market rate for-sale residential units. The Project proposes a 56-unit residential condominium community comprised of contemporary two- and three-story buildings that face inward toward shared open space courtyards, with the exception of end units and Building O that front onto Pepper Place and Date Road.

Building height has been stepped down as the Site transitions away from the General Commercial district to the south, and the RM-2 district to the north. Specifically, three-story buildings are proposed on the south side of Pepper Place and two-story buildings are proposed on the north side of Pepper Place to buffer the existing single-residence properties to the north. The individual residences are located within north-south oriented three- and five-unit buildings that are accentuated with visually stimulating architectural styles and articulation.

Site Layout

A featured component of the Project is to provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). The main facade of the street-facing buildings provides an elevated stoop as the front entry for the units facing Pepper Place and Date Road. Stairs from these stoops lead directly to the public sidewalk. The stoop is elevated above the sidewalk to engage the public realm, while at the same time ensuring privacy within the building. These units will have private covered porches projecting into the standard street-facing front yard setback with 12" stoops (two 6-inch steps) that will accommodate grade changes and drainage.

The main facade of the buildings face an internal greenspace, or shared courtyard (min. 24-ft width). The front yard spaces created within these open spaces remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages. Overall, the Project provides approximately 266 square feet of open space per unit, and sets aside more than 24% of the Site in landscaping and open space.

Another key component of the site design is to provide private garages. Each unit will have an attached 2-car garage with access in the rear of the building via a shared private driveway accessed from Pepper Place. The site design limits visibility of garages from the street and places the focus on building entrances and common open spaces, thereby de-emphasizing automobile facilities.

Trash Collection

A bump-out area is provided for storage of waste and recycling containers within each garage outside of the minimum 20' x 22' required clear space. Future residents will haul their containers to Pepper Place for pick-up. The site design reduces the visual clutter of trash and refuse collection areas by enclosing the barrels in a safe and convenient location.

Vehicular Circulation / Parking

Vehicular access to the site will be provided via shared private driveways from Pepper Place. This design reduces the number of driveway connections from Pepper Place and allows the Project to offer private,

enclosed 2-car garages for all units. The Zoning Ordinance requires 1.2 parking spaces per unit. The Project proposes 2.0 spaces per unit, thereby exceeding the City's minimum parking standard. Though not a requirement of the Ordinance, the Site Plan proposes up to 11 on-site parking spaces, and up to 13 on-street parking spaces for visitors and guests.

Each driveway will include minimum 24-foot pavement to allow for two-way vehicle movement and will provide colored accented concrete along the outer edges to distinguish pedestrian travel ways. Each driveway will serve up to 10 residential units with access to garages in the rear of the buildings. The private driveways provide space to accommodate vehicle turnaround area between the perimeter wall and the end units. These end units have windows to facilitate "eyes" on the open spaces. As with the entire Project site, the driveways will have adequate lighting for safety and security.

Pedestrian Connectivity

All buildings will have direct access to a comprehensive pedestrian system. The internal network of sidewalks provide access to each private residential unit, which front either onto a shared open space courtyard or onto the adjacent public streets. Sidewalks will connect to the adjacent public sidewalks along Pepper Place and Date Road. The Project will encourage people to walk by providing safe, convenient, comfortable and efficient pedestrian connections.

Lighting

All lighting will be consistent with the City's standards of the Mesa Zoning Ordinance and will include exterior lighting appropriate for the Project. Special care will be taken to provide lighting levels that promote security while avoiding spill over onto adjacent residential properties. The Project will comply with the City's Lighting and Illumination standards.

Walls and Fences

Site improvements will include perimeter fencing and walls. Wall requirements shall comply with the City's Fences and Freestanding Walls standards of the Mesa Zoning Ordinance.

Open Space / Landscaping

The primary goal of the Landscape Plan is to create an aesthetically pleasing and inviting space for residents and pedestrians both on-site and off-site. Landscaping will serve to soften the building exteriors adjacent to pedestrian sidewalks. The portions of the Site that front onto Pepper Place and Date Road will be planted with a pedestrian friendly urban landscape, lined with a canopy of trees to provide shade and screening, as well as beautiful accent trees creating visual interest. Protection from the sun will be provided by building overhangs, covered private porches, trees, and the surrounding architecture.

Overall, the Project proposes to set aside more than 24% of the Site in landscaping and common open space. Landscaping will be installed both internal to the Project site as well as along the street frontages. The site perimeter will be landscaped with trees, shrubs, and groundcover while providing storage basins for storm water retention. Ownership and maintenance of the shared open spaces, in addition to the private driveways, will be provided through a Homeowners Association.

In addition to the landscaped courtyards and perimeter open spaces, each unit will include a private covered patio, porch, and/or balcony. Overall, an average of 266 square feet of open space (combined private and common) will be provided per unit, which exceeds the City's standard for combined private and common open space at 175 square feet per 3-bedroom unit.

Storm Water, Potable Water, and Sewer

The City of Mesa requires the Project site to retain the 100-year/2-hour event on-site and meter out through a pump system to the street storm system or other appropriate means. Since there is not a nearby City street storm system, the City allows the use of drywells to dispose of the runoff retained in the surface basins. Because the project straddles Pepper Place, the storm systems will be designed individually and function independently of each other. For purposes of this project, these will be referred to as the North site and the South site.

The Project site lies within the City of Mesa's Downtown Redevelopment District, which reduces the retention requirement for the 100-year event from 2.2 inches per hour to 1.5 inches per hour. As the calculations on Sheet C1 show, the required volume to be retained by the North site is 9,621 cubic feet, and the volume required to be retained by the South site is 7,707 c.f. of storage. The retention basins for both sites make use of the rear wall of the sites to be able to accommodate the required volumes. The North site retains 13,117 c.f., and the South site retains 8,422 c.f. as shown on the plans. Both basins will be drained via a Maxwell IV drywell placed at the west edge of each of the basins to allow any overflow from the basins into Pepper Place.

Water service for the units will be individually metered from the 8" line in Pepper Place. Sanitary sewer service for each unit will be collected by a singular 6" line in the driveways that will connect to the 6" line in Pepper Place.

Cultural Resources Survey

CPLC acknowledges that the Property may contain subsurface cultural remains based on a cultural resources survey. The City has requested the following note be included in this project narrative:

The Class III Cultural Resources Survey for this project identified the possibility of intact subsurface cultural remains - including human remains - in the northeast portion of the study area. Mesa's Historic Preservation Office concurs with the report's recommendation of monitoring not only the area within the project but also a buffer of about 250 ft to ensure adequate monitoring for the potential of subsurface remains. The State Historic Preservation Office has also made this recommendation.

DEVELOPMENT STANDARDS

Proposed Development Standards for RM-3 with PAD Overlay

The following table compares the development standards of the existing RM-2 district with the RM-3 / District, and lists the development standards proposed for the Project under the RM-3 / PAD.

Table 11-5-5: Modified Development Standards – RM Residential Multiple Dwelling Districts

Proposed Deviation from the RM-3 Standard

Standard	RM-2 (R-2)	RM-3 (R-3)	Proposed RM-3 / PAD
Minimum Lot Area (sq ft)	7,200	6,000	N/A Condominium Plat
Minimum Lot Width (ft)			
Multiple-Residence	60	60	60
Minimum Lot Depth (ft)			
Multiple- Residence	94	94	94
Maximum Density (dwelling units/net acre)	15	20	20
Minimum Density (dwelling units/net acre)	-	-	-
Minimum Lot Area per Dwelling Unit (sf)	2,904	2,183	2,183
Maximum Height (ft)	30	40	40
Minimum Yards (ft)			
Front and Street-Facing Side	Local Street: 20 ft (Pepper and Date)		5 ft
Interior Side and Rear: 3 or more units on lot	Single Story: 20 ft Multiple Story: 15 ft per story		Side / Rear 1st Story - 17 ft / 15 ft 2nd Story - 17 ft / 15 ft 3rd Story - 30 ft / 15 ft

Standard	RM-2 (R-2)	RM-3 (R-3)	Proposed RM-3 / PAD
Building Form Standards	The building form standards of section 11-5-3.E shall not apply to this PAD.		-
Minimum Separation Between Buildings on Same Lo	pt		
Two-story building	30	30	24
Three-story building	N/A	35	24
Maximum Building Coverage (% of lot)	45	50	50
Minimum Open Space (sq ft/unit) Private and Common Open Spaces Combined	200	175	175
Minimum Private Open Space (3-bedroom units)	120 sq ft/unit Minimum 10-ft dimension		30 sq ft/unit Minimum 5-ft dimension
Parking: Apartments, Condominiums within ¼ mile radius of bus rapid transit or light rail station (26 or more total units)	1.2 spaces per dwelling unit		2.0 space per unit
Minimum dimensions for residential enclosed garage	20 feet wide and 22 feet long		20 feet x 22 feet
Minimum perimeter landscaping (Non-single residence use adjacent to single residence)	20 to 25 feet		Varies (6" – 17 feet)
Minimum Local Street Frontage Plantings	1 Tree per 25 Linear Feet		1 Tree per 80 Linear Feet
Minimum Number of Plants Adjacent to Single Residence	1 Tree per 20 Linear Feet		1 Tree per 32 Linear Feet
Minimum Number of Plants Adjacent to Other Non- Single Residence	3 Trees per 100 Linear Feet		2 Trees per 100 Linear Feet

<u>Justification for Modified Development Standards</u>

The overarching goal of the Project is to create a unique and distinctive place to live that is supported by quality pedestrian connectivity and access to public transit, while fulfilling many of the City's long-range planning goals for the TOD Corridor Area, not the least of which is density. The Site is currently zoned and subject to the permitted uses and development standards of the RM-2 zoning district. The proposed residential condominium community is a permitted use in the existing RM-2 district. However, a Rezone to the RM-3

district is required in order to achieve the targeted density, and modifications to the RM-3 development standards through a PAD Overlay are necessary to accommodate the desired high-quality, urban for-sale residential development proposed.

Through approval of this Rezone request, CPLC will utilize the RM-3 zoning district and associated development standards except that the below-described modifications are requested as part of the Rezone to the RM-3 district with a PAD Overlay. The PAD Overlay Ordinance (11-22-3) provides for modifications to the Development Standards, which states: "The general development standards established in this Ordinance and the specific development standards for each underlying zoning district are required, unless specifically modified by the City Council with the approval of the PAD Overlay". [Emphasis added]

The Site meets the criteria for development standard modifications allowed under the PAD Overlay, which requires parcels less than 5 acres in size to include a minimum of 20 dwelling units. The Project site is less than 5 acres and proposes a 56-unit residential condominium community. Additionally, the Project meets the Supplemental Regulations by providing common open space and access to a public street. Accordingly, the Project qualifies for the following modifications to the RM-3 development standards as permitted under the PAD Overlay regulations.

Setbacks

The Project proposes a residential condominium community with 56 units dispersed within fifteen 2-and 3-story buildings, which fulfills many of the goals and policies of the City's General Plan. As demonstrated above, the proposed Mesa Royale Condominium community will create an urban environment as envisioned in the City's long-range planning documents, but not contemplated in the RM-3 development standards. Because of the parcels' configuration and narrow lot depth, the buildings must be positioned in a north/south orientation in order to provide the targeted 20 units per acre. This requires locating residential entrances closer to the street, and results in reduced side and rear yard setbacks.

The City's RM-3 district requires, at a minimum, a 20-foot front/street-facing setback, a 20-foot side and rear yard setback for single-story buildings, a 35-foot side and rear yard setback for a 2nd story, and a 50-foot side and rear yard setback for a 3rd story. The Site Plan proposes a minimum 5-foot front/street facing yard setback, a minimum 15-foot rear yard setback, and a minimum 17-foot side yard setback. A modification to the setback standards through a PAD Overlay, therefore, is required.

Front/Street-Facing Setback: A featured component of the Project is to provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). The main facade of the street-facing buildings provides an elevated stoop as the front entry for the units facing Pepper Place and Date Road. Stairs from these stoops lead directly to the public sidewalk. The stoop is elevated above the sidewalk to engage the public realm, while at the same time ensuring privacy within the building. These units will have private covered porches projecting into the standard street-facing front yard setback with 12" stoops (two 6-inch steps) that will accommodate grade changes and drainage.

The main facade of the buildings face an internal greenspace, or shared courtyard (min. 24-ft width). The front yard spaces created within these open spaces remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages.

Overall, the Project provides approximately 266 square feet of open space per unit, and sets aside more than 24% of the Site in landscaping and open space. A reduction to the street-facing front yard setback standard will not result in a reduction to the overall yard area or common open space area. The Project, therefore, requests a reduction of the front/street-facing yard setback standard from 20 feet to 5 feet for purposes of accommodating the private frontage stoops as described above.

Rear Yard Setback: The 3-story buildings on the southern property boundary are abutting the General Commercial zoning district to the south. It is not anticipated that the proposed 3-story buildings in this location would have an adverse impact on future redevelopment of the commercial properties to the south. A modification through the PAD Overlay is required to reduce the 1st story rear yard setback from 20 feet to 15 feet, the 2nd story rear yard setback from 50 feet to 15 feet.

The 2-story buildings on the northern property line abut the adjacent RM-2 zoning district to the north. The ends of these 2-story buildings that face the north have minimal windows to mitigate potential privacy impacts on the neighbors in the residential district to the north. It is worth noting that the height of these 2-story buildings (26 ft) is less than the maximum building height permitted under the existing RM-2 district, which allows up to 30 feet in height. A modification is necessary to reduce the 1st and 2nd story rear yard setbacks from 20 and 35 feet respectively, to 15 feet.

Overall, the Project provides approximately 266 square feet of open space per unit, and sets aside more than 24% of the Site in landscaping and open space. A reduction to the rear yard setback standard will not result in a reduction to the overall yard area or common open space area. A modification through the PAD Overlay, therefore, is required to reduce the 1^{st} story rear yard setback standard from 20 feet to 15 feet, the 2^{nd} story rear yard setback standard from 35 feet to 15 feet, and the 3^{rd} story rear yard setback standard from 50 feet to 15 feet.

Side Yard Setbacks: The Site Plan provides a minimum 17-foot side yard building setback for the 1st floor, a minimum 17-foot side yard setback for the 2nd floor, and a minimum 30-foot side yard setback for the 3rd floor. Because these buildings are adjacent to residential uses, these building have been stepped back. A modification through the PAD Overlay is required to reduce the 1st floor side yard setback from 20 feet to 17 feet, the 2nd story side yard setback from 50 feet to 30 feet.

Because these residential units are proposed as vertical townhome-style condominiums, rather than horizontal, strict adherence to these step-back standards is not feasible. A modification to the side yard setback standard is necessary for the Project to provide market rate, for-sale workforce housing units at the targeted density. A modification to the side yard setback standard is both necessary and appropriate for the Project to achieve its goals.

Minimum Separation Between Buildings

The minimum separation between buildings required in the RM-3 district is 25 feet for the 1st story, 25 feet for the 2nd story, and 30 feet for the 3rd story. The Project proposes a minimum building separation of 24 feet for all buildings, which requires a modification to the RM-3 standard. The proposed 24-foot building separation meets the Building Code and Fire Code standards, and may be approved through a PAD Overlay.

Minimum Private Open Space

The Project will be a residential condominium community with attached common walls as permitted in the Zoning Ordinance. Each residential unit's boundary is defined by its footprint, which includes the square footage of vertical living spaces (2 and 3 stories), a 2-car garage, and associated porch or patio. As such, each condominium unit does not have a private front, side, or rear yard beyond the building/porch/patio footprint. All yard areas (and private drives) will be held in common ownership through a condominium plat and maintained through a Homeowners Association. This is standard practice for residential condominiums.

Each of the 3-bedroom units has a private patio, porch, and/or balcony ranging in size from 30 square feet to 105 square feet. Because of the generous amount of landscaping and common open space (more than 24% of the Site) that will be provided through the condominium plat, CPLC requests a modification to the private open space standard. Overall, an average of 266 square feet of open space (combined private and common) will be provided per unit, which exceeds the City's standard for combined private and common open space at 175 square feet per 3-bedroom unit.

The Ordinance requires a minimum of 120 square feet of private open space per 3-bedroom unit. Though the Project provides an average of 266 square feet of open space (combined private and common) per unit, a modification to the minimum private open space standard is required.

Perimeter Landscaping

The Project provides perimeter landscaping, varying in width from 6 inches to 17 feet. Many uses are proposed within the perimeter of the Project, including storm water storage, perimeter walls, utility easements, overhead power lines, streetscape, vehicle maneuvering, and guest parking in addition to perimeter landscaping. The site design allows for all of these uses to exist harmoniously and without conflict, but requires a modification to the perimeter landscaping standard.

In areas where the landscape buffer widths are reduced, the Landscape Plan proposes plantings that are appropriate in those areas. Where the landscape buffer is reduced to 6 inches, notch-out pavers will be provided for vine bases to be installed in open ground planter spaces. This will allow green screen/landscape features to grow in front of the perimeter walls at the end of the drive aisles to soften the hardscape, while not interfering with the overhead power lines. Additionally, planters will be installed between the garage doors to further soften the hardscape area associated with the private drive aisles.

In conjunction with the request for reduced building setbacks, it stands to reason that the perimeter landscaping within these setbacks must also be reduced. Reducing the perimeter landscaping will not result in a reduction to the overall landscaping or open space, both of which exceed the minimum standards.

Minimum Perimeter/Street Tree Plantings

The Project as proposed does not meet the minimum perimeter tree planting standards. The majority of the trees are proposed to be clustered within the greenspace courtyards and will off-set the reduced number of trees planted in the perimeter setback areas. The tree locations as proposed will be more visible from the public way than if they were planted along the rear yard perimeters in strict adherence to the Ordinance.

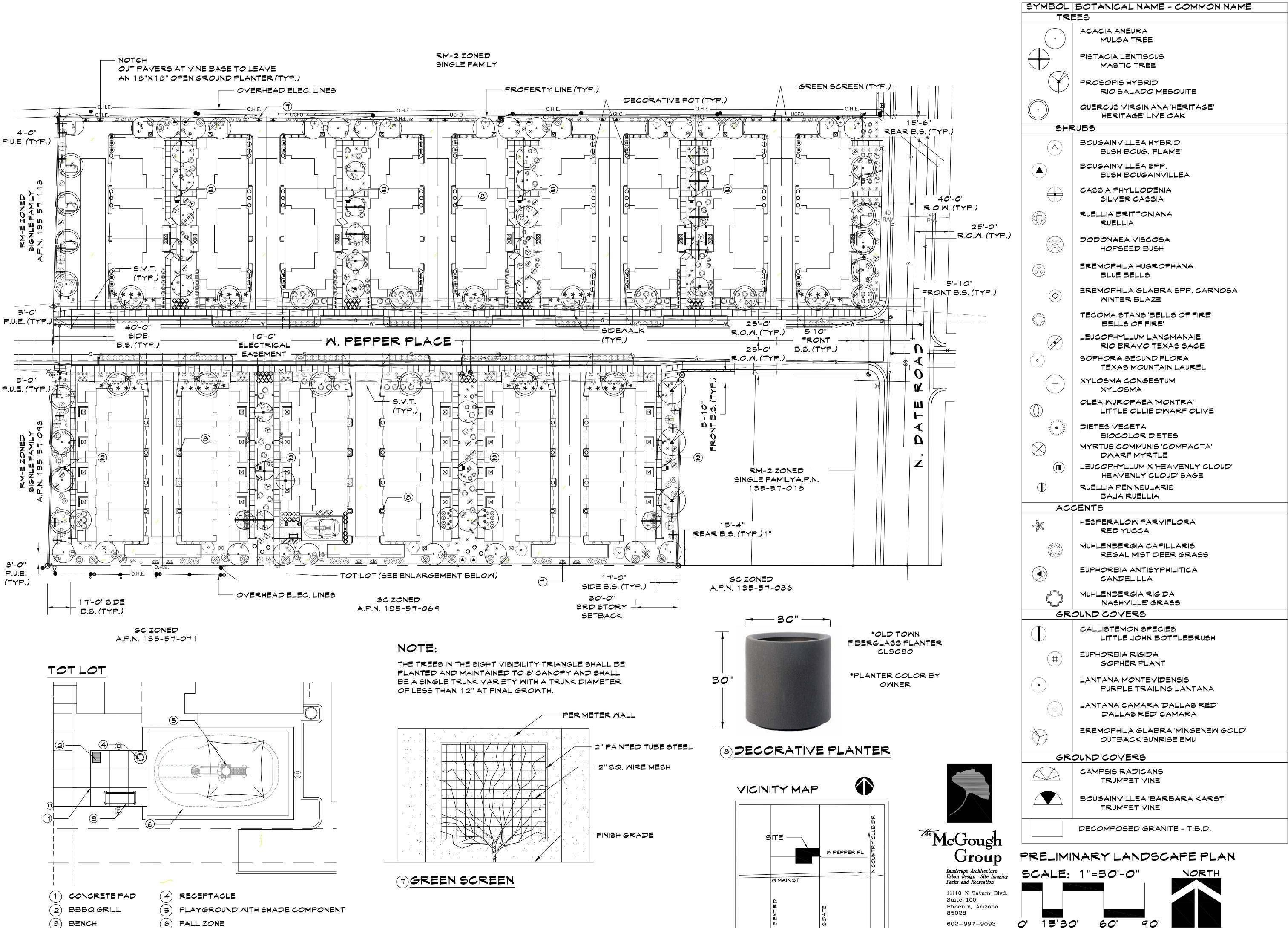
CONCLUSION

Reinvestment in this area through redevelopment will contribute to the vitality of Mesa by providing a great place for future residents to live in close proximity to public transit and the amenities of the Downtown district. It is anticipated that the City will realize a considerable increase in revenue to be generated from new construction and future residents living in this up-and-coming urban mixed-use environment.

The development team has put much thought and care into the site design and architecture to afford future residents with a fulfilling lifestyle in a modern urban neighborhood with easy access to transit and major urban commercial, retail, and employment opportunities. As progress is made toward redevelopment of the Site, CPLC remains committed to offering relocation assistance for current residents.

In summary, the Rezone proposes to advance the City's policies and community values by adding to the diversity of housing options, improving walkability, increasing tax revenues, and reducing reliance on cars. The attached plans and exhibits demonstrate that the Project is consistent with localized land uses and the vision and core values of the West Main Street Area Plan, the Mesa Central Main Plan, and the Mesa 2040 General Plan.

In order to achieve the vision for the Mesa Royale Condominium community, we respectfully request approval of the Applications for a Rezone of the Site concurrent with Site Plan Review and a Preliminary Plat to entitle the proposed Mesa Royale Condominium community.

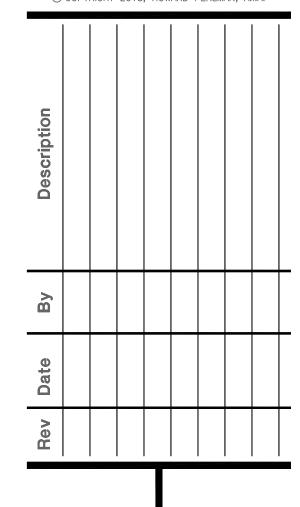


PLANT LEGEND

PERLMAN ARCHITECTS OF
ARIZONA, INC.
4808 N. 24th STREET
SUITE 100
PHOENIX, ARIZONA 85016
480.951.5900 480.951.3045 fax

Seal

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CHIC, EAS

MESA ROYALE 44 WEST MAIN STREET MESA, AZ 85201

Drawn/Checked By

JT/TM

08-07-2018

Project Number

N/A
Sheet Number

602-997-9031 fax

L 1.1



T.O. RIDGE 26' - 1 1/8" 3RD FLOOR T.O.D 21' - 7 3/4" 2ND FLOOR T.O.P 19' - 11" -TYP. 4 2ND FLOOR T.O.D. 10' - 9 7/8" 1ST FLOOR T.O.P. 9' - 1 1/8" ____3___ FINISH FLOOR 0' - 0"

3 EXTERIOR ELEVATION A - REAR
3/16" = 1'-0"

4 4 4 4 4 4 3RD FLOOR T.O.D 21' - 7 3/4" 2ND FLOOR T.O.P 19' - 11" 2ND FLOOR T.O.D. 10' - 9 7/8" 1ST FLOOR T.O.P. 9' - 1 1/8" FINISH FLOOR 0' - 0" 2 4 5 1 2 3 4 5 1 4 1 5

2 EXTERIOR ELEVATION A - VEHICULAR ENTRANCE SIDE 3/16" = 1'-0"



GENERAL NOTES

- INFORM THE ARCHITECT OF ANY DISCREPANCIES
- BEFORE BEGINNING WORK.
 2. ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND
- PERMIT
- PROVIDE CONTINUOUS CAULK MATCHED COLORING AT TRANSITION OF ALL DISSIMILAR
- MATERIALS. CONTRACTOR SHALL CONFIRM AND MARK ALL
- UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO START OF WORK.

MATERIAL LEGEND

PAINTED STUCCO - PRIMARY COLOR MANUF: DUNN EDWARDS COLOR: DE6208 TUSCAN MOSAIC

> PAINTED STUCCO - ALTERNATE COLOR MANUF: DUNN EDWARDS COLOR: DE6192 NOMADIC TAUPE

LAP SIDING MANUF: JAMES HARDIE STYLE: HARDIEPLANK LAP SIDING COLOR: DE6208 TUSCAN MOSAIC

TRIM, COLUMNS, BRACKETS, FASCIA MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY WAINSCOT STONE VENEER

MANUF: ELDORADO STONE

STYLE, COLOR: CLIFFSTONE, BOARDWALK

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY

WINDOWS MANUF: ANDERSON MODEL, COLOR: VINYL, WHITE FRAME

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY ASPHALT SHINGLE ROOFING MANUF: OWENS CORNING

COLOR: DRIFTWOOD

GARAGE DOOR

FRONT DOOR OPTION 1 MANUF: DUNN EDWARDS COLOR: DE5216 AUTUMN UMBER FRONT DOOR OPTION 2

MANUF: DUNN EDWARDS COLOR: DE5822 SILVER STORM FRONT DOOR OPTION 3

MANUF: DUNN EDWARDS COLOR: DE6165 TOASTED MARSHMALLOW LIGHT FIXTURES

KEYNOTES

SECTIONAL GARAGE DOOR. EXTERIOR WALL LIGHT - LIGHTS ALONG THE

COLOR: BRONZE

- PRIVATE DRIVE SHALL AUTOMATICALLY TURN OFF AND ON AT DUSK TO DAWN. 4"X4" FOAM POP-OUT/TRIM W/ STUCCO OVER,
- SLOPE TO DRAIN. FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE
- TO DRAIN.
- STUCCO FAUX PLANTER SHELF. SLOPE TO
- ROUGH SAWN WOOD POST -PAINTED.
- 6" HIGH WOOD TRIM. 4" HIGH WOOD TRIM.
- ROUGH SAWN WOOD BEAM -PAINTED. ROUGH SAWN WOOD CORBEL AND KICKER

11 A/C SCREEN WALL. 6" MASONRY WITH STONE VENEER AND 4" STUCCO CAP.

Phoenix, AZ 85016 480.951.5900 480.951.3045f

MESA ROYALE



ROYALE

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04/17/18

Project Number 317032.1

Sheet Number UNIT A BUILDING - EXTERIOR **ELEVATION A**



PEDESTRIAN ENTRANCE ELEVATION



STREET SIDE ELEVATION



REAR ELEVATION



VEHICULAR ENTRANCE ELEVATION



10 T.O. RIDGE 26' - 1 1/8" 3RD FLOOR T.O.D 21' - 7 3/4" 2ND FLOOR T.O.P 19' - 11" -TYP. 4 2ND FLOOR T.O.D. 10' - 9 7/8" 1ST FLOOR T.O.P. 9' - 1 1/8" 3 6 7 FINISH FLOOR 2

3 EXTERIOR ELEVATION B - STREET SIDE

4 EXTERIOR ELEVATION B - REAR



2 EXTERIOR ELEVATION B - VEHICULAR ENTRANCE SIDE



GENERAL NOTES

- 1. INFORM THE ARCHITECT OF ANY DISCREPANCIES
- BEFORE BEGINNING WORK. ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND
- PERMIT
- 3. PROVIDE CONTINUOUS CAULK MATCHED COLORING AT TRANSITION OF ALL DISSIMILAR MATERIALS.
- CONTRACTOR SHALL CONFIRM AND MARK ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO START OF WORK.

MATERIAL LEGEND

PAINTED STUCCO - PRIMARY COLOR MANUF: DUNN EDWARDS COLOR: DE6229 CALICO ROCK

PAINTED STUCCO - ALTERNATE COLOR MANUF: DUNN EDWARDS COLOR: DE6228 PLAY ON GRAY **BOARD AND BATT**

MANUF: JAMES HARDIE STYLE: HARDIEPANEL & HARDIETRIM COLOR: DE6229 CALICO ROCK TRIM, COLUMNS, BRACKETS, FASCIA

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY WAINSCOT STONE VENEER

MANUF: ELDORADO STONE

STYLE, COLOR: CLIFFSTONE, BARLEY

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY

WINDOWS MANUF: ANDERSON MODEL, COLOR: VINYL, WHITE FRAME

MANUF: DUNN EDWARDS

COLOR: DE6226 FOGGY DAY ASPHALT SHINGLE ROOFING MANUF: OWENS CORNING COLOR: ESTATE GRAY

GARAGE DOOR

FRONT DOOR OPTION 1 MANUF: DUNN EDWARDS COLOR: DE5216 AUTUMN UMBER FRONT DOOR OPTION 2

MANUF: DUNN EDWARDS

COLOR: DE5822 SILVER STORM FRONT DOOR OPTION 3 MANUF: DUNN EDWARDS COLOR: DE6165 TOASTED MARSHMALLOW

LIGHT FIXTURES COLOR: BRONZE

KEYNOTES

- SECTIONAL GARAGE DOOR. EXTERIOR WALL LIGHT - LIGHTS ALONG THE
- PRIVATE DRIVE SHALL AUTOMATICALLY TURN OFF AND ON AT DUSK TO DAWN. 3 4"X4" FOAM POP-OUT/TRIM W/ STUCCO OVER,
- SLOPE TO DRAIN. FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE
- STUCCO FAUX PLANTER SHELF. SLOPE TO
- ROUGH SAWN WOOD POST -PAINTED.
- 6" HIGH WOOD TRIM. 4" HIGH WOOD TRIM.
- ROUGH SAWN WOOD BEAM -PAINTED.
- ROUGH SAWN WOOD CORBEL AND KICKER
- 11 A/C SCREEN WALL. 6" MASONRY WITH STONE VENEER AND 4" STUCCO CAP.

KENNETH W.

Phoenix, AZ 85016 480.951.5900 480.951.3045f

MESA ROYALE

ROYALE MAIN STREE , AZ 85201

Drawn/Checked

04/17/18

Project Number 317032.1

Sheet Number UNIT A BUILDING - EXTERIOR **ELEVATION B**



PEDESTRIAN ENTRANCE ELEVATION



STREET SIDE ELEVATION



REAR ELEVATION



VEHICULAR ENTRANCE ELEVATION

Architects of Arizona 1. INFORM THE ARCHITECT OF ANY DISCREPANCIES 4808 N. 24th Street Ste, 100 Phoenix, AZ 85016 2. ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND

480.951.5900 480.951.3045f Seal 25759 KENNETH W.

POWERS

AIA. Written dimensions on these drawings shall have precedence over scaled

KEYNOTES

- 6" HIGH WOOD TRIM.
- ROUGH SAWN WOOD POST -PAINTED. VENEER AND 4" STUCCO CAP. ROUGH SAWN WOOD CORBEL AND KICKER
- FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE
- EXTERIOR WALL LIGHT LIGHTS ALONG THE PRIVATE DRIVE SHALL AUTOMATICALLY TURN OFF AND ON AT DUSK TO DAWN.
- SLOPE TO DRAIN. 9 SECTIONAL GARAGE DOOR.

MATERIAL LEGEND PAINTED STUCCO - PRIMARY COLOR MANUF: DUNN EDWARDS COLOR: DE6208 TUSCAN MOSAIC PAINTED STUCCO - ALTERNATE COLOR MANUF: DUNN EDWARDS COLOR: DE6192 NOMADIC TAUPE LAP SIDING MANUF: JAMES HARDIE STYLE: HARDIEPLANK LAP SIDING COLOR: DE6208 TUSCAN MOSAIC TRIM, COLUMNS, BRACKETS, FASCIA MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY WAINSCOT STONE VENEER MANUF: ELDORADO STONE STYLE, COLOR: CLIFFSTONE, BOARDWALK MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY WINDOWS MANUF: ANDERSON MODEL, COLOR: VINYL, WHITE FRAME GARAGE DOOR MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY ASPHALT SHINGLE ROOFING MANUF: OWENS CORNING COLOR: DRIFTWOOD FRONT DOOR OPTION 1 MANUF: DUNN EDWARDS COLOR: DE5216 AUTUMN UMBER FRONT DOOR OPTION 2 MANUF: DUNN EDWARDS COLOR: DE5822 SILVER STORM FRONT DOOR OPTION 3 MANUF: DUNN EDWARDS COLOR: DE6165 TOASTED MARSHMALLOW LIGHT FIXTURES COLOR: BRONZE

BEFORE BEGINNING WORK.

MATERIALS.

TO START OF WORK.

3. PROVIDE CONTINUOUS CAULK MATCHED

COLORING AT TRANSITION OF ALL DISSIMILAR

4. CONTRACTOR SHALL CONFIRM AND MARK ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR

- 4" HIGH WOOD TRIM. A/C SCREEN WALL. 6" MASONRY WITH STONE
- 8 4"X4" FOAM POP-OUT/TRIM W/ STUCCO OVER,

Drawn/Checked

Date

04/17/18

Project Number 317032.1

Sheet Number UNIT B BUILDING - EXTERIOR ELEVATION A



1 EXTERIOR ELEVATION A - VEHICULAR ENTRANCE SIDE



2 EXTERIOR ELEVATION A - PEDESTRIAN ENTRANCE SIDE

2 EXTERIOR ELEVATION A - STREET SIDE

___5___



1 EXTERIOR ELEVATION A - REAR
3/16" = 1'-0"

GENERAL NOTES

BEFORE BEGINNING WORK.

MATERIALS.

TO START OF WORK.

MATERIAL LEGEND

LAP SIDING

RAILING

WINDOWS

MANUF: ANDERSON

GARAGE DOOR

3. PROVIDE CONTINUOUS CAULK MATCHED

COLORING AT TRANSITION OF ALL DISSIMILAR

CONTRACTOR SHALL CONFIRM AND MARK ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR

PAINTED STUCCO - PRIMARY COLOR MANUF: DUNN EDWARDS

PAINTED STUCCO - ALTERNATE COLOR MANUF: DUNN EDWARDS

COLOR: DE6208 TUSCAN MOSAIC

COLOR: DE6192 NOMADIC TAUPE

STYLE: HARDIEPLANK LAP SIDING COLOR: DE6208 TUSCAN MOSAIC

TRIM, COLUMNS, BRACKETS, FASCIA

STYLE, COLOR: CLIFFSTONE, BOARDWALK

MODEL, COLOR: VINYL, WHITE FRAME

MANUF: JAMES HARDIE

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY

WAINSCOT STONE VENEER MANUF: ELDORADO STONE

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY

ASPHALT SHINGLE ROOFING MANUF: OWENS CORNING

COLOR: DE5216 AUTUMN UMBER

COLOR: DE5822 SILVER STORM

COLOR: DE6165 TOASTED MARSHMALLOW

COLOR: DRIFTWOOD

FRONT DOOR OPTION 1 MANUF: DUNN EDWARDS

FRONT DOOR OPTION 2 MANUF: DUNN EDWARDS

FRONT DOOR OPTION 3

MANUF: DUNN EDWARDS

LIGHT FIXTURES COLOR: BRONZE

Architects of Arizona 1. INFORM THE ARCHITECT OF ANY DISCREPANCIES 4808 N. 24th Street Ste, 100 Phoenix, AZ 85016 480.951.5900 480.951.3045f 2. ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND

MESA ROYALE

Seal **POWERS**

AIA. Written dimensions on these drawings shall have precedence over scaled

KEYNOTES

- 6" HIGH WOOD TRIM.
- 4" HIGH WOOD TRIM.
 FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE TO DRAIN. ROUGH SAWN WOOD POST -PAINTED.
- STUCCO FAUX PLANTER SHELF. SLOPE TO
- ROUGH SAWN WOOD CORBEL AND KICKER -PAINTED.

Drawn/Checked

Date

04/17/18

Project Number 317032.1

Sheet Number UNIT B BUILDING - EXTERIOR ELEVATION A



PEDESTRIAN ENTRANCE ELEVATION



REAR ELEVATION



STREET SIDE ELEVATION



VEHICULAR ENTRANCE ELEVATION

2 EXTERIOR ELEVATION B - VEHICULAR ENTRANCE SIDE 1 -TYP. - ROOF RIDGE 37' - 9 7/8" 3RD FLOOR T.O.P 30' - 8 7/8" -TYP. 3RD FLOOR T.O.D 21' - 7 3/4" 2ND FLOOR T.O.P 19' - 11" 2ND FLOOR T.O.D. 10' - 9 7/8" 1ST FLOOR T.O.P. 9' - 1 1/8" _____4___--TYP. _____6___ -TYP. FINISH FLOOR 0' - 0" 8 8 8 2 -TYP. 8 7

GENERAL NOTES

INFORM THE ARCHITECT OF ANY DISCREPANCIES

BEFORE BEGINNING WORK.

2. ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND

ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND PERMIT
 PROVIDE CONTINUOUS CAULK MATCHED

MATERIALS.

4. CONTRACTOR SHALL CONFIRM AND MARK ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO START OF WORK.

COLORING AT TRANSITION OF ALL DISSIMILAR

MATERIAL LEGEND

PAINTED STUCCO - PRIMARY COLOR MANUF: DUNN EDWARDS COLOR: DE6229 CALICO ROCK

PAINTED STUCCO - ALTERNATE COLOR MANUF: DUNN EDWARDS COLOR: DE6228 PLAY ON GRAY

MANUF: JAMES HARDIE
STYLE: HARDIEPANEL & HARDIETRIM
COLOR: DE6229 CALICO ROCK

TRIM, COLUMNS, BRACKETS, FASCIA
MANUF: DUNN EDWARDS

BOARD AND BATT

COLOR: DE6226 FOGGY DAY

WAINSCOT STONE VENEER
MANUF: ELDORADO STONE
STYLE, COLOR: CLIFFSTONE, BARLEY

RAILING MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY

WINDOWS
MANUF: ANDERSON
MODEL, COLOR: VINYL, WHITE FRAME

GARAGE DOOR

MANUF: DUNN EDWARDS

ASPHALT SHINGLE ROOFING MANUF: OWENS CORNING COLOR: ESTATE GRAY

FRONT DOOR OPTION 1
MANUF: DUNN EDWARDS
COLOR: DE5216 AUTUMN UMBER

FRONT DOOR OPTION 2

MANUF: DUNN EDWARDS

COLOR: DE5822 SILVER STORM

FRONT DOOR OPTION 3
MANUF: DUNN EDWARDS
COLOR: DE6165 TOASTED MARSHMALLOW

LIGHT FIXTURES COLOR: BRONZE

KEYNOTES

1 FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE TO DRAIN.

2 4"X4" FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE TO DRAIN.

3 ROUGH SAWN WOOD CORBEL AND KICKER -PAINTED.

4 4" HIGH WOOD TRIM.5 ROUGH SAWN WOOD POST -PAINTED.

6 6" HIGH WOOD TRIM.7 A/C SCREEN WALL. 6" MASONRY WITH STONE

VENEER AND 4" STUCCO CAP.

EXTERIOR WALL LIGHT - LIGHTS ALONG THE PRIVATE DRIVE SHALL AUTOMATICALLY TURN

OFF AND ON AT DUSK TO DAWN.

9 WESTERN I-KOTE STUCCO SYSTEM O/ FOAM
BOARD ON 1/2" WOOD SHEATHING OR
APPROVED EQUAL - INSTALL PER
MANUFACTURER SPECS. (IAPMO EVALUATION

REPORT 382).

10 SECTIONAL GARAGE DOOR.

480.951.5900 480.951.3045f

Seal

ARED ARG

25759

KENNETH W.

POWERS

POWERS

ARED ARG

100915

Architects of Arizona

4808 N. 24th Street Ste, 100

Phoenix, AZ 85016

MESA ROYALE

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ESA ROYALE
WEST MAIN STREET
MESA, AZ 85201
ANOS POR LA CAUSA
BUCKEYE ROAD, STE 1

rawn/Chackad

Drawn/Checked

__/

04/17/18

Project Number 317032.1

Sheet Number
UNIT B BUILDING - EXTERIOR
ELEVATION B

A3.5

2 EXTERIOR ELEVATION B - STREET SIDE

3

2___

1



1 EXTERIOR ELEVATION B - REAR
3/16" = 1'-0"

GENERAL NOTES

INFORM THE ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING WORK.

 ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND PERMIT
 PROVIDE CONTINUOUS CAULK MATCHED

PROVIDE CONTINUOUS CAULK MATCHED
COLORING AT TRANSITION OF ALL DISSIMILAR
MATERIALS.
CONTRACTOR SHALL CONFIRM AND MARK ALL

MATERIALS.

4. CONTRACTOR SHALL CONFIRM AND MARK ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO START OF WORK.

MATERIAL LEGEND

PAINTED STUCCO - PRIMARY COLOR
MANUF: DUNN EDWARDS
COLOR: DE6229 CALICO ROCK

PAINTED STUCCO - ALTERNATE COLOR

MANUF: DUNN EDWARDS
COLOR: DE6228 PLAY ON GRAY

BOARD AND BATT

MANUF: JAMES HARDIE
STYLE: HARDIEPANEL & HARDIETRIM
COLOR: DE6229 CALICO ROCK

TRIM, COLUMNS, BRACKETS, FASCIA
MANUF: DUNN EDWARDS

COLOR: DE6226 FOGGY DAY

WAINSCOT STONE VENEER
MANUF: ELDORADO STONE
STYLE, COLOR: CLIFFSTONE, BARLEY

RAILING
MANUF: DUNN EDWARDS
COLOR: DE6226 FOGGY DAY

WINDOWS
MANUF: ANDERSON
MODEL, COLOR: VINYL, WHITE FRAME

MANUF: DUNN EDWARDS
COLOR: DE6226 FOGGY DAY

ASPHALT SHINGLE ROOFING
MANUF: OWENS CORNING
COLOR: ESTATE GRAY

GARAGE DOOR

FRONT DOOR OPTION 1
MANUF: DUNN EDWARDS
COLOR: DE5216 AUTUMN UMBER

FRONT DOOR OPTION 2
MANUF: DUNN EDWARDS
COLOR: DE5822 SILVER STORM

FRONT DOOR OPTION 3
MANUF: DUNN EDWARDS

COLOR: BRONZE

COLOR: DE6165 TOASTED MARSHMALLOW

LIGHT FIXTURES

KEYNOTES

1ST FLOOR T.O.P. 9' - 1 1/8"

FINISH FLOOR

1 6" HIGH WOOD TRIM.

2 ROUGH SAWN WOOD POST -PAINTED.
3 4" HIGH WOOD TRIM.

4 FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE TO DRAIN.

STUCCO FAUX PLANTER SHELF. SLOPE TO DRAIN.
ROUGH SAWN WOOD CORBEL AND KICKER-PAINTED.

MESA ROYALE

Periman

Architects of Arizona

4808 N. 24th Street Ste, 100

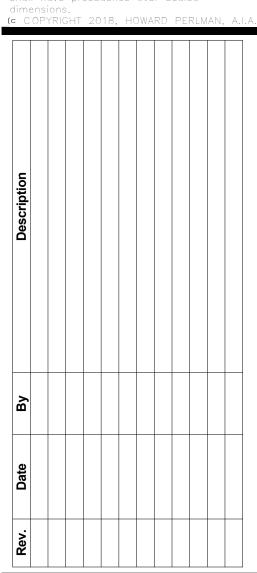
Phoenix, AZ 85016

480.951.5900 480.951.3045f



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WEST MAIN STREET
MESA, AZ 85201
ANOS POR LA CAUSA

CHICANOS P 1008 EAST BUCKE

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__/

Date **04/17/18**

Project Number 317032.1

Sheet Number
UNIT B BUILDING - EXTERIOR
ELEVATION B

A3.6



PEDESTRIAN ENTRANCE ELEVATION



REAR ELEVATION



STREET SIDE ELEVATION



VEHICULAR ENTRANCE ELEVATION

Architects of Arizona 1. INFORM THE ARCHITECT OF ANY DISCREPANCIES 4808 N. 24th Street Ste, 100 Phoenix, AZ 85016 480.951.5900 480.951.3045f 2. ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND

MESA ROYALE

Seal 25759 KENNETH W. **POWERS**

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Date

04/17/18

Project Number 317032.1

Sheet Number UNIT C BUILDING - EXTERIOR ELEVATION A



1 EXTERIOR ELEVATION A - VEHICULAR ENTRANCE SIDE



2 EXTERIOR ELEVATION A - PEDESTRIAN ENTRANCE SIDE 3/16" = 1'-0"

COLOR: DE6208 TUSCAN MOSAIC PAINTED STUCCO - ALTERNATE COLOR

MANUF: JAMES HARDIE

MANUF: DUNN EDWARDS

BEFORE BEGINNING WORK.

MATERIALS.

TO START OF WORK.

3. PROVIDE CONTINUOUS CAULK MATCHED

COLORING AT TRANSITION OF ALL DISSIMILAR

4. CONTRACTOR SHALL CONFIRM AND MARK ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR

PAINTED STUCCO - PRIMARY COLOR

MANUF: DUNN EDWARDS COLOR: DE6192 NOMADIC TAUPE LAP SIDING

STYLE: HARDIEPLANK LAP SIDING

COLOR: DE6208 TUSCAN MOSAIC TRIM, COLUMNS, BRACKETS, FASCIA MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY

MANUF: ELDORADO STONE STYLE, COLOR: CLIFFSTONE, BOARDWALK

WAINSCOT STONE VENEER

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY WINDOWS

MANUF: ANDERSON MODEL, COLOR: VINYL, WHITE FRAME GARAGE DOOR

MANUF: DUNN EDWARDS

COLOR: DE6226 FOGGY DAY ASPHALT SHINGLE ROOFING MANUF: OWENS CORNING COLOR: DRIFTWOOD

FRONT DOOR OPTION 1 MANUF: DUNN EDWARDS COLOR: DE5216 AUTUMN UMBER FRONT DOOR OPTION 2

MANUF: DUNN EDWARDS COLOR: DE5822 SILVER STORM FRONT DOOR OPTION 3 MANUF: DUNN EDWARDS

COLOR: DE6165 TOASTED MARSHMALLOW LIGHT FIXTURES COLOR: BRONZE

KEYNOTES

6" HIGH WOOD TRIM.

4" HIGH WOOD TRIM. ROUGH SAWN WOOD POST -PAINTED. A/C SCREEN WALL. 6" MASONRY WITH STONE

VENEER AND 4" STUCCO CAP. ROUGH SAWN WOOD CORBEL AND KICKER

EXTERIOR WALL LIGHT - LIGHTS ALONG THE PRIVATE DRIVE SHALL AUTOMATICALLY TURN OFF AND ON AT DUSK TO DAWN. 4"X4" FOAM POP-OUT/TRIM W/ STUCCO OVER,

SLOPE TO DRAIN. SECTIONAL GARAGE DOOR. FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE TO DRAIN.

2 EXTERIOR ELEVATION A - STREET SIDE

8



1 EXTERIOR ELEVATION A - REAR
3/16" = 1'-0"

MESA ROYALE

Architects of Arizona

4808 N. 24th Street Ste, 100

Phoenix, AZ 85016 480.951.5900 480.951.3045f

GENERAL NOTES

- 1. INFORM THE ARCHITECT OF ANY DISCREPANCIES
- BEFORE BEGINNING WORK. 2. ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND 3. PROVIDE CONTINUOUS CAULK MATCHED
- COLORING AT TRANSITION OF ALL DISSIMILAR MATERIALS.
- CONTRACTOR SHALL CONFIRM AND MARK ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO START OF WORK.

MATERIAL LEGEND

COLOR: DE6208 TUSCAN MOSAIC

COLOR: DE6192 NOMADIC TAUPE

TRIM, COLUMNS, BRACKETS, FASCIA

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY WAINSCOT STONE VENEER

RAILING MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY

WINDOWS MANUF: ANDERSON

MANUF: DUNN EDWARDS COLOR: DE6226 FOGGY DAY ASPHALT SHINGLE ROOFING MANUF: OWENS CORNING

GARAGE DOOR

FRONT DOOR OPTION 1 MANUF: DUNN EDWARDS COLOR: DE5216 AUTUMN UMBER

MANUF: DUNN EDWARDS COLOR: DE5822 SILVER STORM FRONT DOOR OPTION 3

MANUF: DUNN EDWARDS COLOR: DE6165 TOASTED MARSHMALLOW

FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE TO DRAIN.
 GENERAL REQUIREMENTS

PAINTED STUCCO - PRIMARY COLOR MANUF: DUNN EDWARDS

PAINTED STUCCO - ALTERNATE COLOR MANUF: DUNN EDWARDS

LAP SIDING MANUF: JAMES HARDIE STYLE: HARDIEPLANK LAP SIDING COLOR: DE6208 TUSCAN MOSAIC

MANUF: ELDORADO STONE STYLE, COLOR: CLIFFSTONE, BOARDWALK

MODEL, COLOR: VINYL, WHITE FRAME

COLOR: DRIFTWOOD

FRONT DOOR OPTION 2

LIGHT FIXTURES COLOR: BRONZE

KEYNOTES

4"X4" FOAM POP-OUT/TRIM W/ STUCCO OVER, SLOPE TO DRAIN. ROUGH SAWN WOOD POST -PAINTED.

4" HIGH WOOD TRIM.6" HIGH WOOD TRIM. STUCCO FAUX PLANTER SHELF. SLOPE TO

6 ROUGH SAWN WOOD CORBEL AND KICKER -PAINTED.

Seal **POWERS**

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04/17/18 Project Number

317032.1 Sheet Number UNIT C BUILDING - EXTERIOR ELEVATION A

A3.10



PEDESTRIAN ENTRANCE ELEVATION



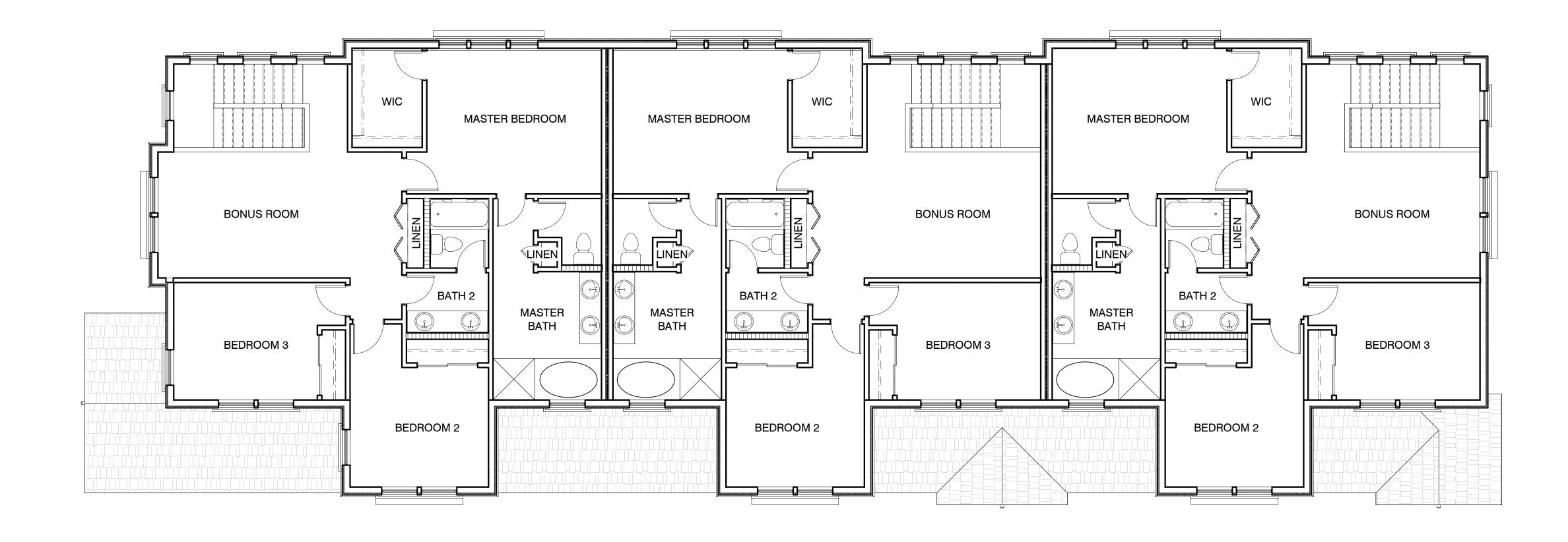




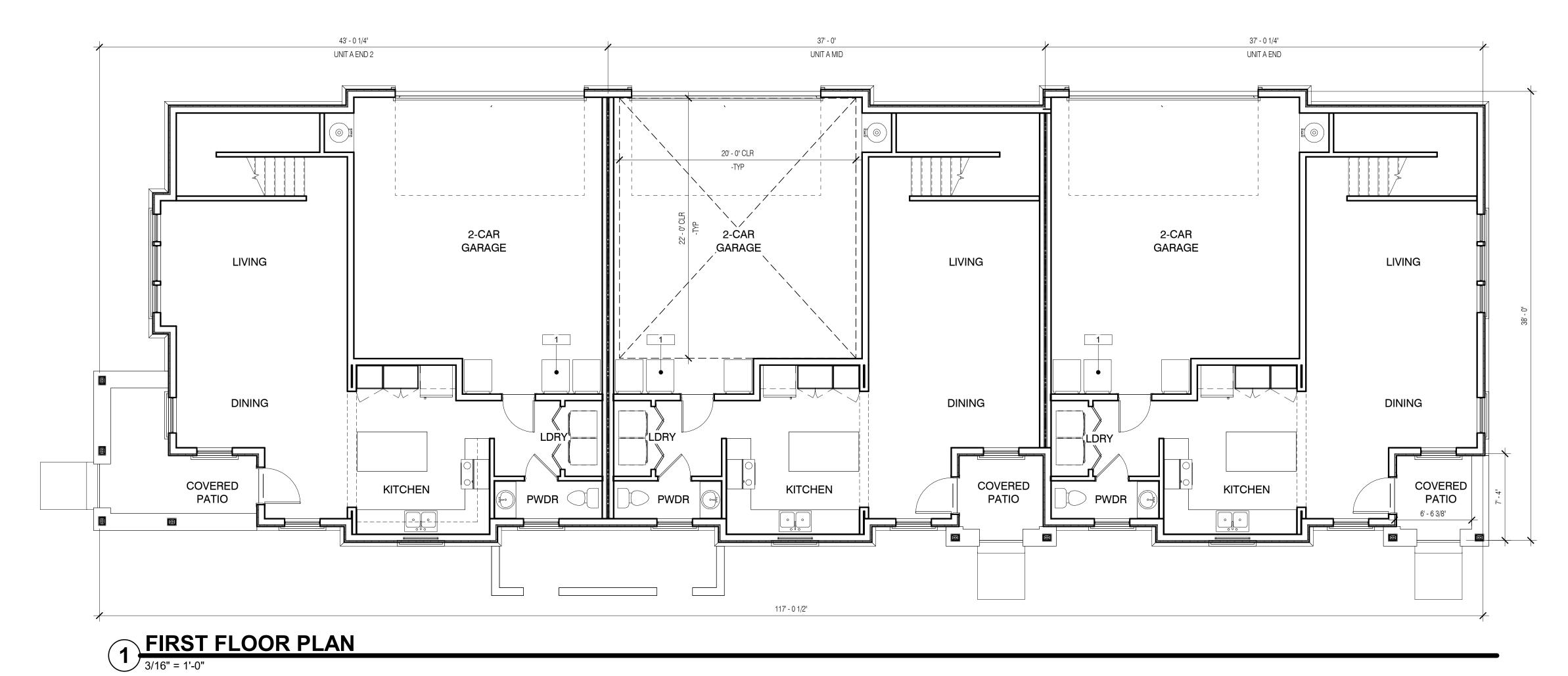
STREET SIDE ELEVATION



VEHICULAR ENTRANCE ELEVATION



2 SECOND FLOOR PLAN 3/16" = 1'-0"



FLOOR PLAN NOTES

FRONT EDGE OF CONCRETE U.N.O.

1. SLOPE GARAGE FLOOR 1% MIN FROM BACK TO

2. SLOPE PORCH & PATIO FLOORS 1/8": 12" AWAY FROM

2x6 WALLS - EXTERIOR & PLUMBING WALLS

1. AT WATER CLOSETS, PROVIED 15" (MIN.) ON EACH

ALL EXTERIOR DOORS SHALL BE SOLID CORE

 DOOR LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING, SELF LATCHING AND

SHALL BE A 20 MINUTE RATED DOOR.

1. PROVIDE 1/2" GYP. BD. AT GARAGE WALLS AND CEILING, ADJACENT TO LIVING AREAS & BEARING

ALL INTERIOR DOORS SHALL BE HOLLOW CORE

SIDE AND 24" (MIN.) CLEAR SPACE IN FRONT.

2x4 WALLS - INTERIOR WALLS U.N.O.

FOUNDATION

HOUSE. FRAMING

PLUMBING

MILLWORK DOOR:

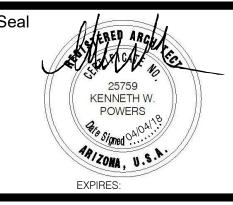
FINISHES

1. WALL FRAMING:

U.N.O.

Phoenix, AZ 85016 480.951.5900 480.951.3045f

MESA ROYALE



TIGHT-FITTING WITH GASKET AND SWEEP AND

WALLS U.N.O. 2. PROVIDE MOISTURE RESISTANT GYP. BD. ON WALLS AT SHOWER/TUB/W.C. COMPARTMENT TO A MIN. HEIGHT FO 72" A.F.F. 3. PROVIDE 1/2" MOISTURE RESISTANT GYP. BD. AT ALL

PORCH AND PAITO CEILINGS. **ACCESSORIES** 1. ALL MIRRORS IN BATHROOM SHALL BE 42" HIGH AND

RUN THE ENTIRE LENGTH OF VANITY

2-HR FIRE PARTITION

KEYNOTES

BARREL COLLECTION STORAGE AREA FOR (3) 90 GALLON BLACK, BLUE, & GREEN BARRELS

UNIT AREA UNIT A - MID LIVABLE AREA 1,884 SF 546 SF 55 SF GARAGE COVERED PATIO 2,485 SF UNIT A - END 2 LIVABLE AREA 1,916 SF 546 SF 119 SF GARAGE COVERED PATIO 2,581 SF UNIT A - END LIVABLE AREA 546 SF 55 SF GARAGE COVERED PATIO 2,486 SF

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NM/NM

04/17/18

Project Number 317032.1

Sheet Number

UNIT A - FLOOR PLANS

FOUNDATION

HOUSE. FRAMING

PLUMBING

MILLWORK DOOR:

FINISHES

1. WALL FRAMING:

U.N.O.

U.N.O.

U.N.O.

WALLS U.N.O.

KEYNOTES

ACCESSORIES

HEIGHT FO 72" A.F.F.

PORCH AND PAITO CEILINGS.

RUN THE ENTIRE LENGTH OF VANITY

2-HR FIRE PARTITION

FRONT EDGE OF CONCRETE U.N.O.

2x6 WALLS - EXTERIOR & PLUMBING WALLS

1. AT WATER CLOSETS, PROVIED 15" (MIN.) ON EACH SIDE AND 24" (MIN.) CLEAR SPACE IN FRONT.

ALL EXTERIOR DOORS SHALL BE SOLID CORE

 DOOR LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING, SELF LATCHING AND TIGHT-FITTING WITH GASKET AND SWEEP AND

SHALL BE A 20 MINUTE RATED DOOR.

1. PROVIDE 1/2" GYP. BD. AT GARAGE WALLS AND CEILING, ADJACENT TO LIVING AREAS & BEARING

2. PROVIDE MOISTURE RESISTANT GYP. BD. ON WALLS AT SHOWER/TUB/W.C. COMPARTMENT TO A MIN.

3. PROVIDE 1/2" MOISTURE RESISTANT GYP. BD. AT ALL

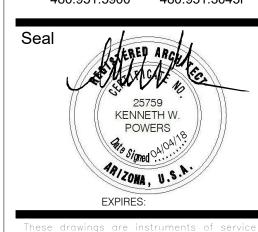
1. ALL MIRRORS IN BATHROOM SHALL BE 42" HIGH AND

BARREL COLLECTION STORAGE AREA FOR (3) 90 GALLON BLACK, BLUE, & GREEN BARRELS

ALL INTERIOR DOORS SHALL BE HOLLOW CORE

• 2x4 WALLS - INTERIOR WALLS U.N.O.

1. SLOPE GARAGE FLOOR 1% MIN FROM BACK TO Phoenix, AZ 85016 480.951.5900 480.951.3045f 2. SLOPE PORCH & PATIO FLOORS 1/8": 12" AWAY FROM



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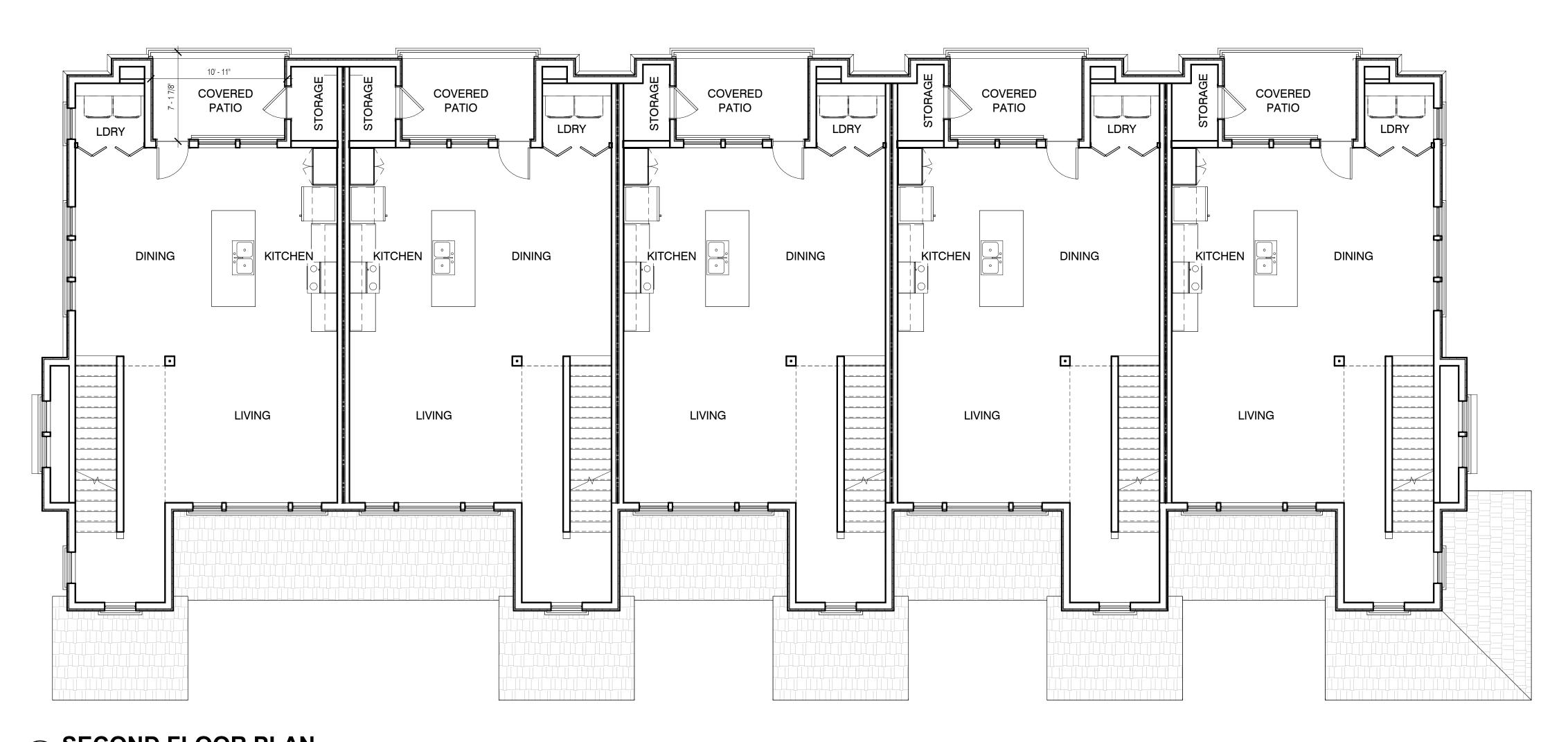
Date

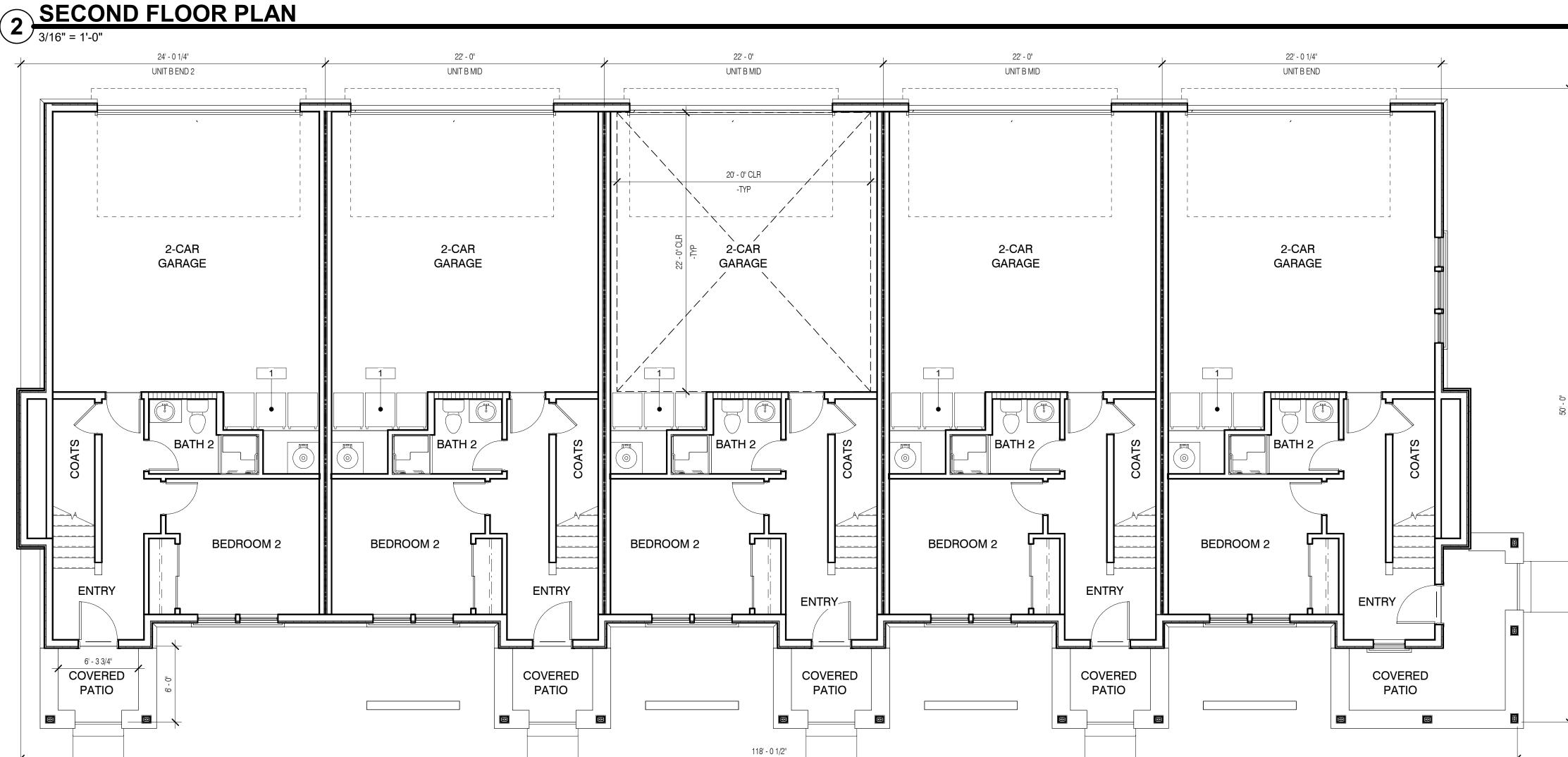
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Project Number 317032.1

Sheet Number

UNIT B - FLOOR PLANS





UNIT AREA

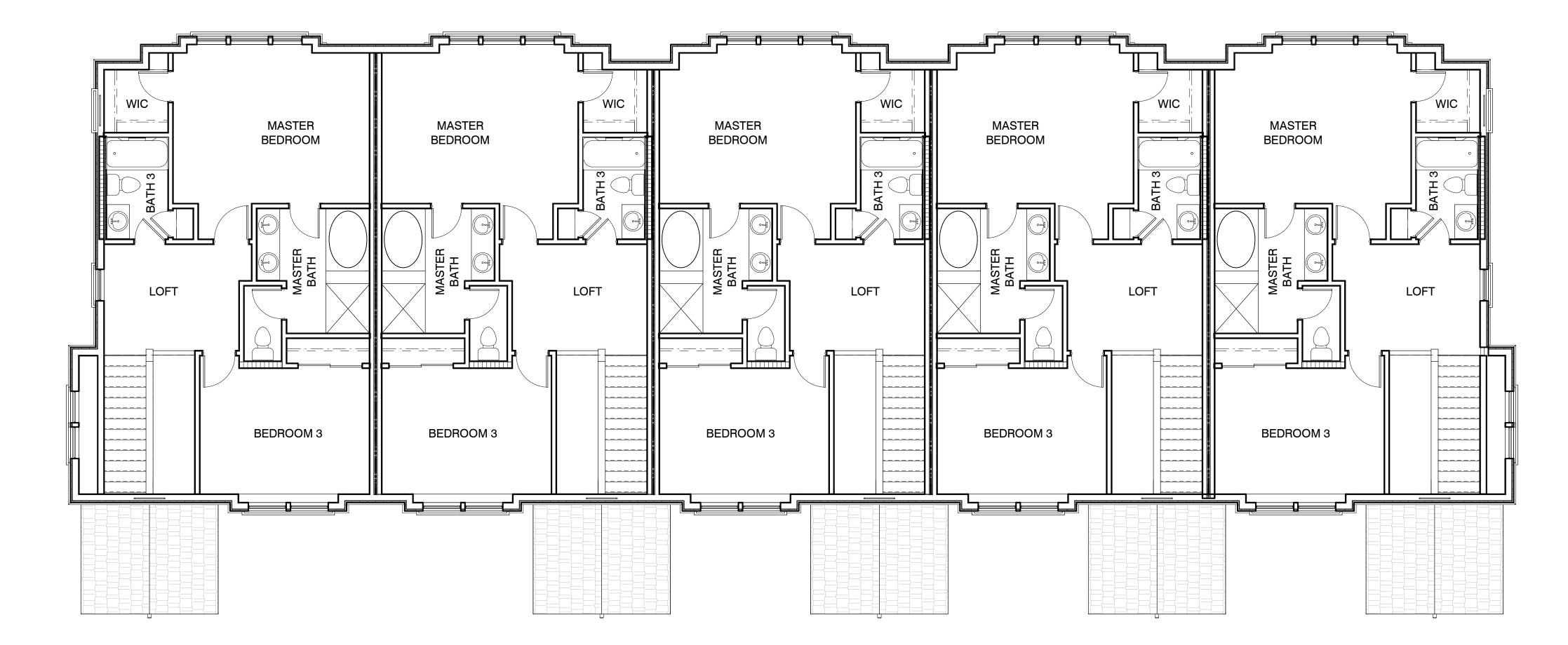
UNIT B - MID LIVABLE 1,798 SF GARAGE 545 SF COVERED PATIO 120 SF 2,463 SF UNIT B - END 2

LIVABLE 1,851 SF 546 SF COVERED PATIO 120 SF

2,517 SF UNIT B - END LIVABLE 1,843 SF GARAGE 546 SF 209 SF COVERED PATIO

2,598 SF

FIRST FLOOR PLAN
3/16" = 1'-0"



FLOOR PLAN NOTES

FOUNDATION 1. SLOPE GARAGE FLOOR 1% MIN FROM BACK TO

FRONT EDGE OF CONCRETE U.N.O. 2. SLOPE PORCH & PATIO FLOORS 1/8": 12" AWAY FROM HOUSE.

FRAMING

MILLWORK

1. WALL FRAMING: 2x6 WALLS - EXTERIOR & PLUMBING WALLS U.N.O.

2x4 WALLS - INTERIOR WALLS U.N.O.

PLUMBING 1. AT WATER CLOSETS, PROVIED 15" (MIN.) ON EACH SIDE AND 24" (MIN.) CLEAR SPACE IN FRONT.

- DOOR: ALL EXTERIOR DOORS SHALL BE SOLID CORE
- U.N.O. ALL INTERIOR DOORS SHALL BE HOLLOW CORE
- U.N.O. DOOR LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING, SELF LATCHING AND TIGHT-FITTING WITH GASKET AND SWEEP AND SHALL BE A 20 MINUTE RATED DOOR.

FINISHES 1. PROVIDE 1/2" GYP. BD. AT GARAGE WALLS AND CEILING, ADJACENT TO LIVING AREAS & BEARING

2. PROVIDE MOISTURE RESISTANT GYP. BD. ON WALLS AT SHOWER/TUB/W.C. COMPARTMENT TO A MIN. HEIGHT FO 72" A.F.F. 3. PROVIDE 1/2" MOISTURE RESISTANT GYP. BD. AT ALL

ACCESSORIES 1. ALL MIRRORS IN BATHROOM SHALL BE 42" HIGH AND RUN THE ENTIRE LENGTH OF VANITY

2-HR FIRE PARTITION

PORCH AND PAITO CEILINGS.

KEYNOTES

UNIT AREA

UNIT B - MID LIVABLE GARAGE

COVERED PATIO

UNIT B - END 2

COVERED PATIO

UNIT B - END LIVABLE

COVERED PATIO

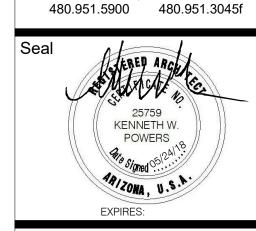
GARAGE

LIVABLE

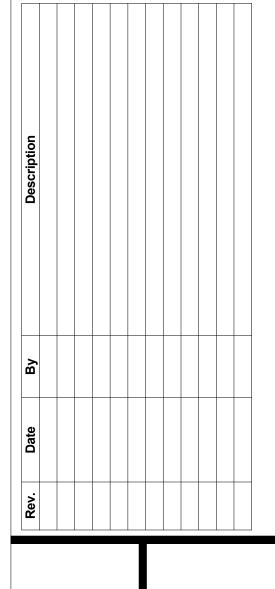
GARAGE

WALLS U.N.O.

MESA ROYALE Architects of Arizona 4808 N. 24th Street Ste, 100 Phoenix, AZ 85016



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MS/NM

1,798 SF 545 SF 120 SF 04/17/18

> Project Number 317032.1

2,463 SF

1,851 SF 546 SF

120 SF

2,517 SF

1,843 SF 546 SF 209 SF

2,598 SF

Sheet Number

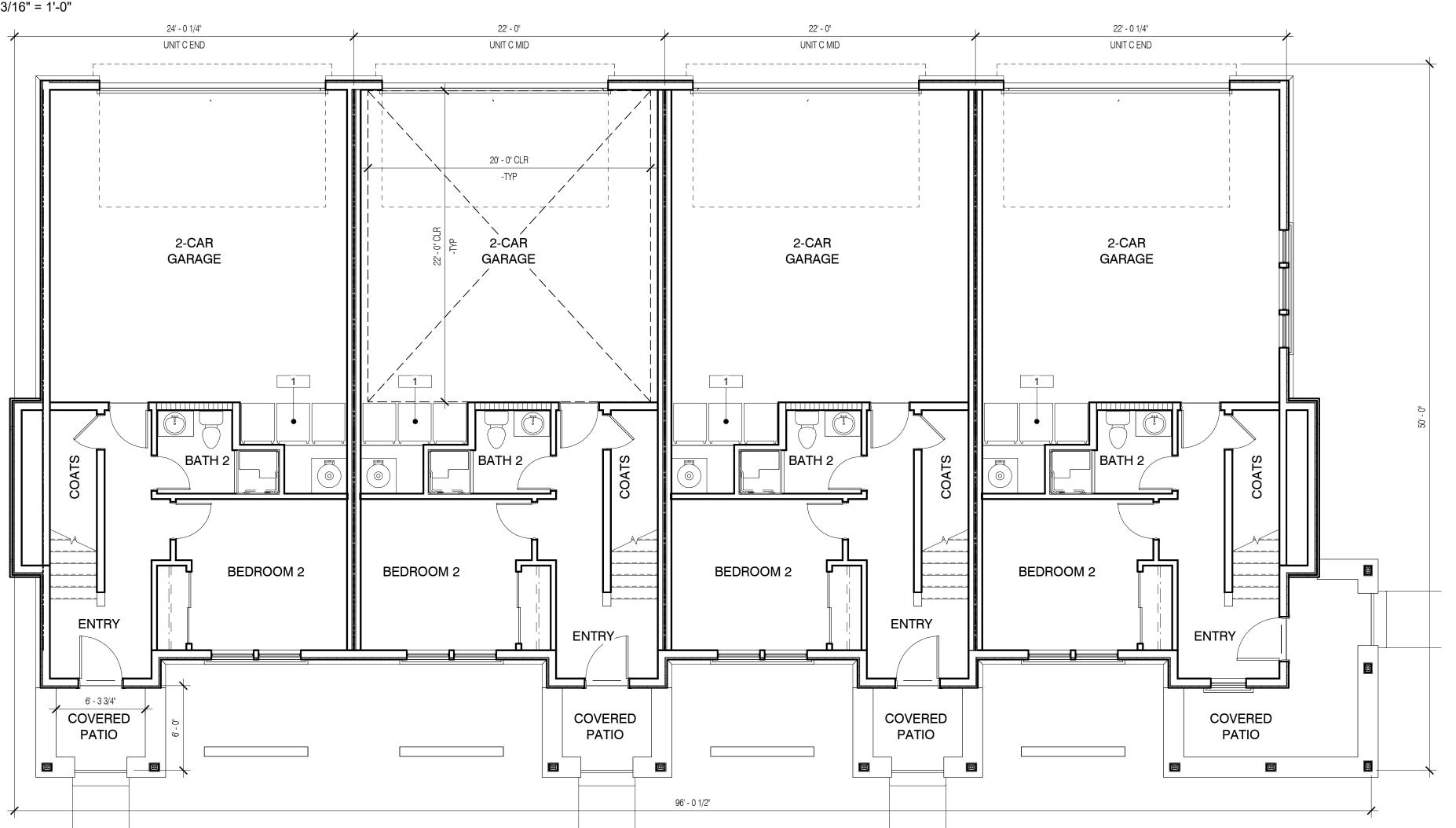
UNIT B - FLOOR PLANS

THIRD FLOOR PLAN

3/16" = 1'-0"



1 FIRST FLOOR PLAN
3/16" = 1'-0"



FLOOR PLAN NOTES

FOLINDATIO

FOUNDATION1. SLOPE GARAGE FLOOR 1% MIN FROM BACK TO

FRONT EDGE OF CONCRETE U.N.O.
2. SLOPE PORCH & PATIO FLOORS 1/8": 12" AWAY FROM HOUSE.

FRAMING

1. WALL FRAMING:2x6 WALLS - EXTERIOR & PLUMBING WALLS

U.N.O.2x4 WALLS - INTERIOR WALLS U.N.O.

PLUMBING 1. AT WATER CLOSETS, PROVIED 15" (MIN.) ON EACH SIDE AND 24" (MIN.) CLEAR SPACE IN FRONT.

MILLWORK 1. DOOR:

- ALL EXTERIOR DOORS SHALL BE SOLID CORE U.N.O.
 ALL INTERIOR DOORS SHALL BE HOLLOW CORE
- U.N.O.DOOR LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING, SELF LATCHING AND

TIGHT-FITTING WITH GASKET AND SWEEP AND SHALL BE A 20 MINUTE RATED DOOR. FINISHES

1. PROVIDE 1/2" GYP. BD. AT GARAGE WALLS AND CEILING, ADJACENT TO LIVING AREAS & BEARING WALLS U.N.O.

 PROVIDE MOISTURE RESISTANT GYP. BD. ON WALLS AT SHOWER/TUB/W.C. COMPARTMENT TO A MIN. HEIGHT FO 72" A.F.F.
 PROVIDE 1/2" MOISTURE RESISTANT GYP. BD. AT ALL

PORCH AND PAITO CEILINGS.

ACCESSORIES

1. ALL MIRRORS IN BATHROOM SHALL BE 42" HIGH AND

2-HR FIRE PARTITION

RUN THE ENTIRE LENGTH OF VANITY

KEYNOTES

UNIT AREA

UNIT C - MID LIVABLE GARAGE

COVERED PATIO

UNIT C - END 2

COVERED PATIO

UNIT C - END LIVABLE

COVERED PATIO

GARAGE

LIVABLE

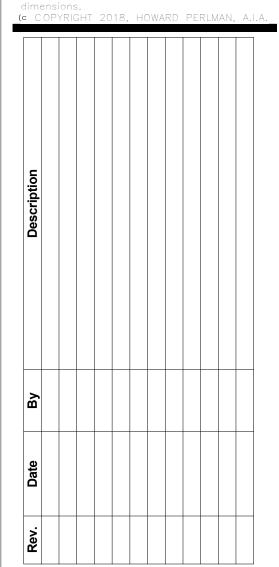
BARREL COLLECTION STORAGE AREA FOR (3) 90 GALLON BLACK, BLUE, & GREEN BARRELS

Perlman
Architects of Arizon
4808 N. 24th Street Ste, 100
Phoenix, AZ 85016

MESA ROYALE



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WEST MAIN STREET
MESA, AZ 85201

Project

1,802 SF

545 SF

120 SF

2,467 SF

1,851 SF 546 SF

120 SF

2,517 SF

1,843 SF

2,598 SF

546 SF 209 SF ഉ Drawn/Checked

NM/ NM

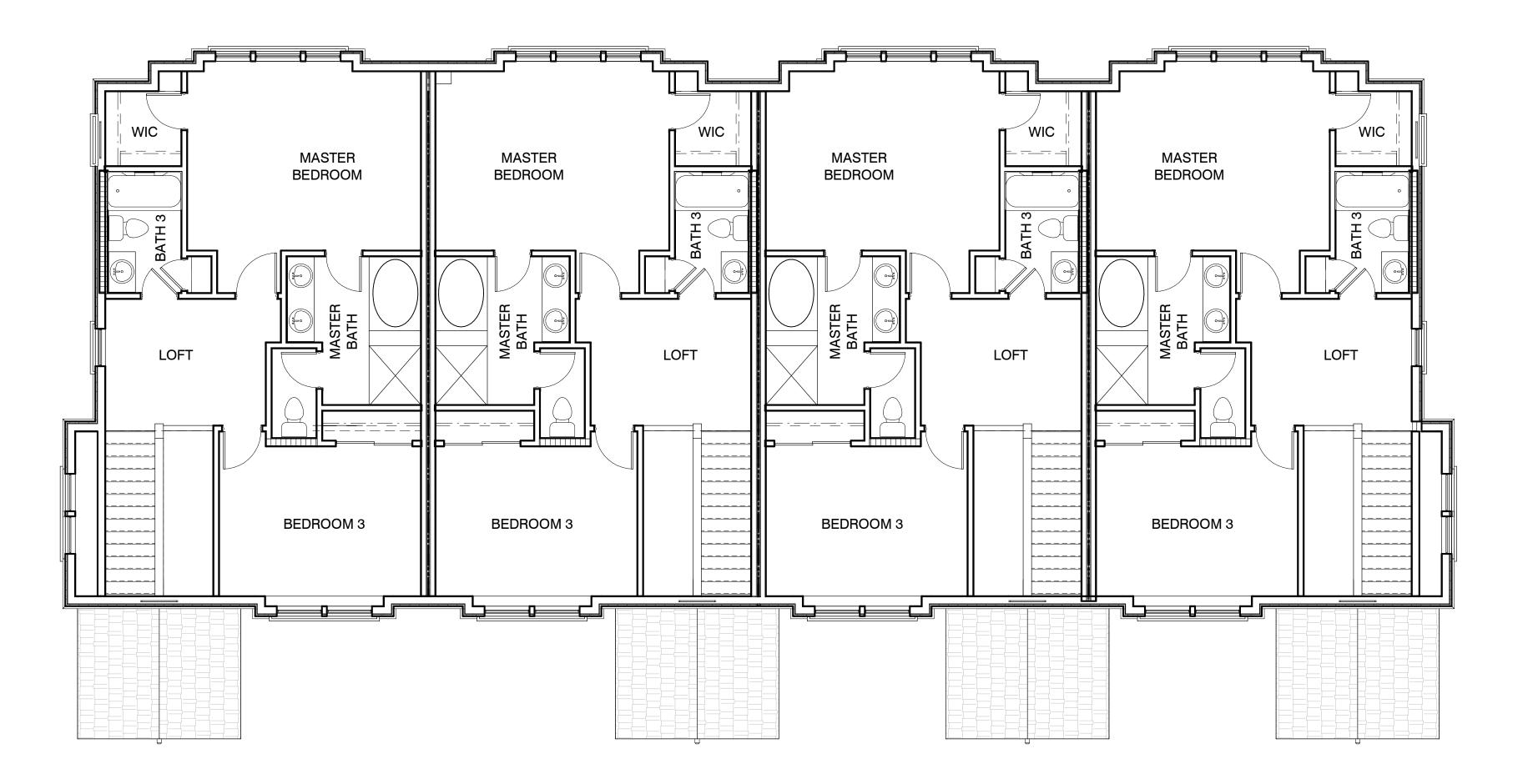
Date **04/17/18**

Project Number **317032.1**

Sheet Number

UNIT C - FLOOR PLANS

A3.7



THIRD FLOOR PLAN
3/16" = 1'-0"

MESA ROYALE

FLOOR PLAN NOTES

FOUNDATION 1. SLOPE GARAGE FLOOR 1% MIN FROM BACK TO

FRONT EDGE OF CONCRETE U.N.O. 2. SLOPE PORCH & PATIO FLOORS 1/8": 12" AWAY FROM HOUSE.

FRAMING 1. WALL FRAMING:

MILLWORK

 2x6 WALLS - EXTERIOR & PLUMBING WALLS U.N.O.

PLUMBING

 2x4 WALLS - INTERIOR WALLS U.N.O. 1. AT WATER CLOSETS, PROVIED 15" (MIN.) ON EACH SIDE AND 24" (MIN.) CLEAR SPACE IN FRONT.

- DOOR: ALL EXTERIOR DOORS SHALL BE SOLID CORE
- U.N.O. ALL INTERIOR DOORS SHALL BE HOLLOW CORE
- U.N.O. DOOR LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING, SELF LATCHING AND TIGHT-FITTING WITH GASKET AND SWEEP AND SHALL BE A 20 MINUTE RATED DOOR.

FINISHES 1. PROVIDE 1/2" GYP. BD. AT GARAGE WALLS AND CEILING, ADJACENT TO LIVING AREAS & BEARING

WALLS U.N.O. 2. PROVIDE MOISTURE RESISTANT GYP. BD. ON WALLS AT SHOWER/TUB/W.C. COMPARTMENT TO A MIN. HEIGHT FO 72" A.F.F.

3. PROVIDE 1/2" MOISTURE RESISTANT GYP. BD. AT ALL

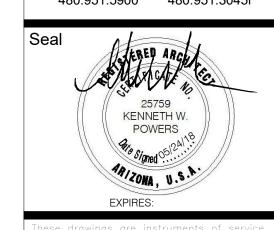
ACCESSORIES 1. ALL MIRRORS IN BATHROOM SHALL BE 42" HIGH AND RUN THE ENTIRE LENGTH OF VANITY

2-HR FIRE PARTITION

PORCH AND PAITO CEILINGS.

KEYNOTES

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UNIT AREA UNIT C - MID LIVABLE GARAGE 1,802 SF 545 SF 120 SF COVERED PATIO

2,467 SF UNIT C - END 2 1,851 SF 546 SF 120 SF LIVABLE GARAGE COVERED PATIO 2,517 SF

UNIT C - END LIVABLE 1,843 SF 546 SF 209 SF 2,598 SF GARAGE COVERED PATIO

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MS/NM

04/17/18

Project Number 317032.1

Sheet Number

UNIT C - FLOOR PLANS

<u>Introduction</u>

Chicanos Por La Causa ("CPLC"), a non-profit social services and community development organization, recently purchased the Mesa Royale Mobile Home Park ("Park"), as well as three single-family parcels, and intends to redevelop the Park in phases. As the first phase of redevelopment, CPLC proposes to rezone approximately 3.4 acres of the Park as depicted on the <u>Aerial Map</u> below from RM-2 to RM-3 with a PAD Overlay. The property abuts W. Pepper Place and N. Date Road within the City of Mesa ("City") and includes the following five (5) Maricopa County Assessor Parcels: 135-57-019; -020; -021; -072; and -073 ("Property").

This Citizen Participation Plan is submitted concurrently with an application for a Rezone, Preliminary Plat, and Site Plan Review ("Application").



Aerial Map

Contact List

Parties affected by the Application may include: (1) Property owners within the required public hearing notice area (500 feet) for a Rezone; (2) Residents, registered neighborhoods, and homeowners associations

that may be impacted as a result of the Application and other neighborhood entities identified by the City; (3) Interested parties which have requested that they be placed on a contact list of this Application; and (4) Interested parties that have been identified by the City, collectively "Affected Parties".

Notification

Affected Parties will be notified of the Application through an informational notification mailing that will include a general description of the Application and an invitation to a neighborhood meeting. The informational notification mailing will be sent a minimum 7 days before the neighborhood meeting by first-class mail to Affected Parties.

Response Procedures

CPLC will respond to Affected Parties and Citizens who express interest. Individual meetings may be conducted upon specific request. The City will be available to answer questions regarding the review and public hearing process.

Status Procedures

CPLC will keep the City informed of the status of its citizen participation efforts, including providing the City with copies of notices prior to meetings with Affected Parties and/or Citizens and contact lists used to notify Affected Parties. A copy of the Application containing the complete details of the request shall be kept on file with the City.

Inquiries

Inquiries will be documented in the Citizen Participation Report.

Schedule for Implementation

Pre-Application Meeting: May 21, 2018 Application Filed: May 29, 2018

Amended Application Filed: TBD Informational Mailing: TBD

Public Hearing Notification for

Planning and Zoning Board: TBD
Citizen Participation Report Submitted: TBD
Planning and Zoning Board: TBD
City Council: TBD

Introduction

Chicanos Por La Causa ("CPLC"), a non-profit social services and community development organization, intends to redevelop approximately 3.4 acres of land as depicted on the <u>Aerial Map</u> below (the "Site") as a residential condominium community. This application is submitted to request a Rezone of the Site from RM-2 to RM-3 with a Planned Area Development (PAD) Overlay concurrent with Site Plan Review approval and Preliminary Plat approval to entitle the proposed Mesa Royale Condominium community (collectively the "Applications").

The Site abuts W. Pepper Place and N. Date Road within the City of Mesa ("City") and includes the following five (5) Maricopa County Assessor Parcels: 135-57-019; -020; -021; -072; and -073 ("Property"). The Light Rail Transit (LRT) line follows the W. Main Street alignment south of the Site.

This Citizen Participation Report is submitted for the concurrent review of a Rezone, Preliminary Plat (condominium), and Site Plan Review.



Aerial Map

Contact List

Parties affected by the Applications included: (1) Property owners within the required public hearing notice area (1,000 feet) for a Rezone (See *Exhibit A Radius Map*); (2) Residents, registered neighborhoods, and homeowners associations that may be impacted as a result of the Application and other neighborhood entities identified by the City; (3) Interested parties which have requested that they be placed on a contact list of this Application; (4) Schools; and (5) Interested parties that have been identified by the City, collectively the "Affected Parties". (See *Exhibit B Mailing Notification List*)

Notification

Affected Parties were notified of the Applications through an informational notification mailing that included a general description of the Applications and an invitation to a neighborhood meeting. (See *Exhibit C Neighborhood Meeting Notification*) The informational notification mailing was mailed by first-class mail to the Affected Parties on June 18, 2018.

Neighborhood Meeting

A Neighborhood Meeting was held on June 27, 2018, at 6:00 PM at the First Evangelical Lutheran Church located at 142 N. Date Road in Mesa. Twenty-nine (29) individuals signed the Sign-In Sheet. (See *Exhibit D Sign-In Sheet*) The development team representing the proposed Rezone included the following:

CPLC: Allisia Fiorini, Evelyn Guerrero, and Prince

Gammage & Burnham: Lindsay Schube and Jo Ryan

Perlman Architecture: Nate Maki

Summary of Neighborhood Meeting

Lindsay Schube introduced the development team, most importantly Chicanos Por La Causa, which is a non-profit social services and community development organization serving the Phoenix area since 1969. Ms. Schube provided an overview of the Property to the attendees and explained the proposed Rezone, including a description of how the building heights would step down from 3 stories on the south (adjacent GC), to 2 stories on the north (adjacent RM-2) to provide for buffer and transition. Ms. Schube went on to list the benefits that redevelopment of the Property will bring to the surrounding community, including economic development, home ownership opportunities, improved walkability, landscaping, shade, and enhanced streetscape. Ms. Schube assured those in attendance that the residential units would be for sale and that an HOA with CC&R's would be established for ongoing maintenance of the condominium development.

Ms. Schube then introduced Nate Maki, the architect project manager. Mr. Maki described the building features, site layout, and building orientation. He described prominent elements of the proposal that include landscaped courtyards, a tot lot, parking for residents and guests that exceed the standard requirement, and a design for the units facing W. Pepper Place and N. Date Road that includes front doors and porches facing the street to promote and engage interaction at the street level.

Ms. Schube ended the formal presentation by explaining the process and schedule for City review of the Applications, including public hearings before the Planning & Zoning Board and City Council. A question and answer session followed the presentation. Contact information was shared with the community members, who were assured that they would be notified of upcoming public hearings.

Comments

Comments were generally supportive of proposed redevelopment. Questions and comments were related to (a) selling price of units, (b) proposed deviations from the standards [density and height], (c) how to prevent the units from becoming rental units, (d) when will parcels along Main Street be redeveloped, (e) architectural style, and (f) schedule to begin construction.

As of July 2, 2018, no formal inquiries, letters, petitions, or other written comments have been received.

Schedule for Implementation

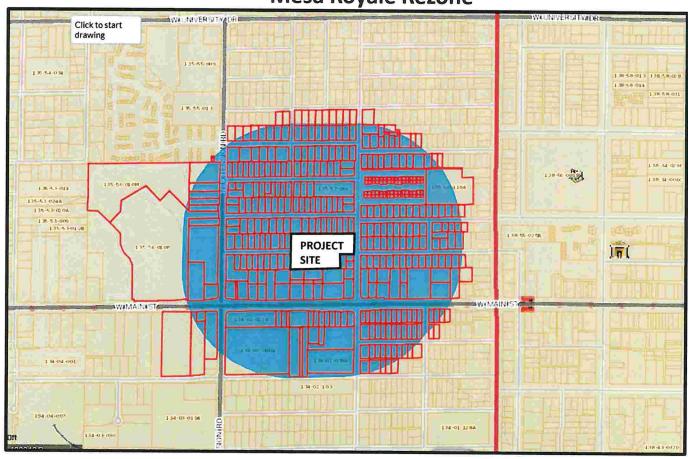
Pre-Application Meeting: May 21, 2018
Application Filed: May 29, 2018
Informational Mailing: June 18, 2018
Neighborhood Meeting: June 27, 2018
Amended Application Filed: July 2, 2018
Citizen Participation Report Submitted: July 3, 2018

Public Hearing Notification for

Planning and Zoning Board: TBD
Planning and Zoning Board: TBD
City Council: TBD

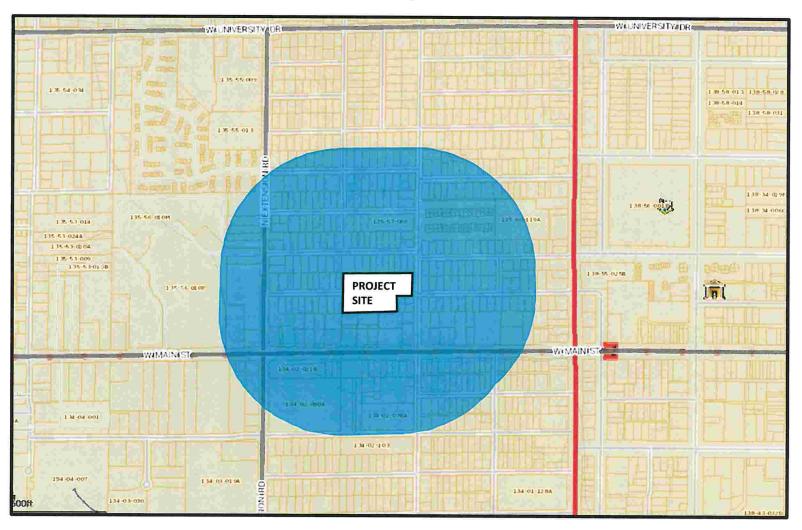
EXHIBIT A Radius Map – Property Owners within 1,000 Feet

Mesa Royale Rezone



1,000-Foot Radius Properties

Mesa Royale Rezone



1,000-Foot Radius Properties

EXHIBIT B Mailing Notification List

Fiesta Pointe Condominiums 16625 S Desert Foothills Parkway Phoenix, AZ 85048

Mesa Madrid Townhouses
42 S. Hamilton Place, #101
Gilbert, AZ 85233

Santa Fe Villas of Mesa 4135 S. Power Road, #122 Mesa, AZ 85212

Westbrook Townhouses 150 E. Alamo, Suite 3 Gilbert, AZ 85225 Chelsea Condominiums 3706 Thunderbird Drive Hays, KS 67601

Palm Fountains Townhouses 4135 S. Power Road, #122 Mesa, AZ 85212

Sarkis Gardens Townhouses 7500 N. Dobson Road, Suite 150 Scottsdale, AZ 85256 Discovery at Continental Orchard 42 S. Hamilton Place, #101 Gilbert, AZ 85233

Robson Street Villas Condominiums 225 W. 1st Street, Unit 232 Mesa, AZ 85201

Colonial Manor Mesa 2487 S. Gilbert Road #106-622 Gilbert, AZ 85295

WEST MAIN PROPERTIES LLC	COURY CARMEN C TR	ROGERSON MICHAEL A
1425 S LINDSAY RD NO 63	2451 E BASELINE RD STE B	PO BOX 1599
MESA, AZ 85204	GILBERT, AZ 85234	KAMUELA, HI 96743
ANTOINETTE CHUCRI TRUST	CARMEN C COURY TRUST	GUERRERO F/A C/JAIMES M T
1604 E FAIRFIELD ST	640 N ORANGE	TRUSTEES/KGMB LLC
MESA, AZ 85203	MESA, AZ 85201	531 W MAIN ST
		MESA, AZ 85201
SHURTZ KEN L/CORA L	MESA CITY OF	WAGON WHEEL INVESTMENT LLC
1138 E EMERALD	20 E MAIN STE 500	3690 E AQUARIUS PL
MESA, AZ 85204	MESA, AZ 85201	CHANDLER, AZ 85249
BUCK THOMAS C SR/YVONNE	MESA AUTO BODY LLC	CALHOUN MARK/TERRI
964 E STOTTLER CT	704 N STEWART	704 N STEWART ST
GILBERT, AZ 85296	MESA, AZ 85201	MESA, AZ 85201
HERNANDEZ ERIK D MANDUJANO	RAMIREZ RENE F/ROWE LORRIE A	MACHINE AGE LLC
2617 N 82ND ST	547 W MAHONEY AVE	8117 E DEL TIBURON DR
MESA, AZ 85207	MESA, AZ 85210	SCOTTSDALE, AZ 85258
DATE LLC	SILKWOOD RITA OLVERA	ECHO REI LLC
7165 E UNIVERSITY DR SUITE 171	542 W 1ST AVE	6530 E PRESIDIO RD
MESA, AZ 85207-6414	MESA, AZ 85210	SCOTTSDALE, AZ 85254
MACIAS ELISA C TR	TRAYLEON HOLDINGS LLC	ALMEIDA ANTHONY
103 E 8TH AVE	73-1222 KAUILANIAKEA DR	7767 LADY BANKS LOOP
MESA, AZ 85201	KAILUA-KONA, HI 96740	CORONA, CA 92883
STARWEST ASSOCIATES LLC	RB4 665 W MAIN LLC	JMMA VENTURES LLC
1501 W FOUNTAINHEAD PKWY STE 650	4835 E CACTUS RD NO 320	703 W MAIN ST
TEMPE, AZ 85282	SCOTTSDALE, AZ 85254	MESA, AZ 85201
DON DAN & DAVE SMITH LLC	STARWEST ASSOCIATES L L C	MAIN AND EXTENSION LLC
208 S COUNTRY CLUB	1501 W FOUNTAINHEAD PKWY STE 650	208 S COUNTRY CLUB DR
MESA, AZ 85210	TEMPE, AZ 85282-1864	MESA, AZ 85210
GABRIELSEN BRENT L/DENISE C	ON OCCASIONS PREMIER AND SPECIAL	RAUSCHENBACH MARIANNE
1177 E TONTO ST	EVENT CO	920 E MAIN ST
APACHE JUNCTION, AZ 85219	3841 W ALAMEDA RD	MESA, AZ 85203
	GLENDALE, AZ 85310	

GLENDALE, AZ 85310

WATKINS JAMES R/SANDRA J	PROPERTY ONE MANAGEMENT LLC	MIRANDA LORENZO/ROMAN LAURA
921 W UNIVERSITY NO 1070	6929 N HAYDEN RD STE C4-486	736 S ROSE ST
MESA, AZ 85201	SCOTTSDALE, AZ 85250-7986	MESA, AZ 85204
RODELAS JESUS	EXTENSIONCOKE LLC	LEGACY PARTNERS II LP
632 N ROBSON	417 W CLARK ST	3 CHARTER OAK PL
MESA, AZ 85201	MESA, AZ 85201	HARTFORD, CT 6106
TIMMER LLC	RIDDHI ENTERPRISE LLC	COPPERSTATE INDUSTRIAL INC
PO BOX 8072	836 W MAIN ST	10324 E JUANITA AVE
SCOTTSDALE, AZ 85252	MESA, AZ 85201	MESA, AZ 85209
EPERNAY VENTURES LP	STANDAGE ROD/BOHLKEN MITZI	EVANS MICHAEL DENNIS/DENNIS BRIAN
6211 CAMINO DE LA COSTA	457 W CLARK	107 E PALO VERDE
LA JOLLA, CA 92037	MESA, AZ 85201	GILBERT, AZ 85296
RELTSO LLC	DIAZ ROSALIA	LAKINS LONNIE/VIRGINIA G
567 E UNIVERSITY	1630 E LEHI	710 W 1ST ST
MESA, AZ 85203	MESA, AZ 85203	MESA, AZ 85201
MARIE M LONG LIVING TRUST	MARSHALL DAVID	GIBSON PATTY J TR
716 W 1ST ST	728 W 1ST ST	734 W 1ST ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
MORALES JOSE	CISNEROS NATY	LEMIEUX MEGAN/ROBERTA
738 W 1ST ST	746 W 1ST ST	743 W 1ST ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
KLEINSCHMIDT PEGGY L	MANDICH CHARLES H	SOUTHWEST FINANCIAL LLC
735 W 1ST ST	729 W 1ST ST	PO BOX 32173
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85275
715 W 1ST ST LLC/HATCH PHELECIA 3962 E STANFORD AVENUE	CARPENTER 2015 REV TR/TOMALAVAGE A/WALLACE C	WILLIAMS INTER VIVOS TR/GOKE EVELYN V TR
GILBERT, AZ 85234	1007 W MOUNTAIN VIEW DR	924 PROVIDENCE WY
SIEDENT, NE ODEOT	MESA, AZ 85201-3127	MODESTO, CA 95355
		w .

BURKETT LARRY

3091 E SAN PEDRO CT

GILBERT, AZ 85234

VARELA VERTINA/VERDUGO CARLOS 1605 E CROWN UNIT A1

MESA, AZ 85203

THS PROPERTIES

3961 E CHANDLER BLVD STE 111-232

PHOENIX, AZ 85048

NUEVAS VISTAS ON MAIN LLC	FIREFLY GRAPHICS INC	IRON SHAMROCK LLC
1112 E BUCKEYE RD	734 W MAIN ST	PO BOX 3514
PHOENIX, AZ 85034	MESA, AZ 85201	GILBERT, AZ 85299
LIHOSIT JEFF	GIFFORD CORY LUCAS/CHANEY M	CASTANARES TRUST
720 W MAIN ST	704 W MAIN ST	55 E I ST
MESA, AZ 85201	MESA, AZ 85201	CHULA VISTA, CA 91910
PATEL MITESH	PRO AZ PROPERTIES LLC	VMS HOSPITALITY LLC
668 W MAIN ST	2875 W RAY RD 6-444	4192 S PHEASANT RUN DR
MESA, AZ 85201	CHANDLER, AZ 85224	FLAGSTAFF, AZ 86001
DARKHAN GABRIAL/PARTRIDGE HELEN	CRUMMEY DAVID/HUERTA-CRUMMEY	TIZIO GINA MARIE
724 W MAIN ST	ARIANNA	654 W 1ST ST
MESA, AZ 85201	658 W 1ST ST	MESA, AZ 85201
	MESA, AZ 85201	
AMADOR MARIA F FRAGOSO	SCHMIDT RICHARD A/RHONDA LEE	FLAKE JUDDSON
5501 E JUSTINE RD	417 E IVY CIR	3091 E SAN PEDRO CT
SCOTTSDALE, AZ 85283	MESA, AZ 85203	GILBERT, AZ 85234
PANKRATZ SARA & HOWARD S	MONROY HUGO MELO/ELIZALDE	TAYLOR DALE
630 W 1ST ST	ANGELES FRANCO	851 W 11TH ST
MESA, AZ 85201	624 W 1ST ST	MESA, AZ 85201
,	MESA, AZ 85201	
BRITISH INVASION LLC	JDMD LLC INVESTMENTS	CAMPOS MARY MARTINEZ
7000 N 16TH ST UNIT 120-618	1545 E IVYGLEN ST	649 W 1ST ST
PHOENIX, AZ 85020	MESA, AZ 85203	MESA, AZ 85201
CHANDLER HOLDINGS CO LLC	BUMP FRANK KENNETH/MICHELLE	SCHAFFER LOIS JEAN TR
2251 E INDIGO DR	ANTOINETTE	2051 E LAGUNA DR
CHANDLER, AZ 85286	637 W 1ST ST	TEMPE, AZ 85282
	MESA, AZ 85201	
ORANGE COVE PROPERTIES LLC	VILLA DAVID	WHEAT LARRY D/DEBORAH D
737 N ORANGE CIR	617 W 1ST ST	2106 W MESQUITE ST
MESA, AZ 85201	MESA, AZ 85201	CHANDLER, AZ 85224
MAYS JANET	FIRST EVANGELICAL LUTHERAN	630 WEST 1ST PLACE L L C
2515 N HORNE	CHURCH	630 W FIRST PL
MESA, AZ 85202	142 N DATE ST	MESA, AZ 85201
	MESA, AZ 85201	

HALL TERRY/JESSE L	ANDRADE LORENZO/IRENE R	BERMUDEZ CIRILO
632 W 1ST PL	646 W 1ST PL	650 W 1ST PL
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
MORNINGSIDE FUNDING LLC	KAMPURD MARK B & DYNELL F	RUBIO NUNEZ HUGO/VIVIENNE
2370 RICE BLVD STE 200	657 W 1ST PL	651 W 1ST PL
HOUSTON, TX 77005	MESA, AZ 85201	MESA, AZ 85201
FIRST EVANGELICAL LUTH CH OF MESA	1ST EVANGELICAL LUTH CH OF MESA	DURAN GALE J F/JULIE A WILLIAMS
AZ	142 N DATE	740 W FIRST PL
142 N DATE ST	MESA, AZ 85201	MESA, AZ 85201
MESA, AZ 85201		
ORTA EVA	HINDOCHA TRIPTI	LEBARON ANDREW THOMAS/CHELSEA SHUMWAY
95 N EXTENSION RD	PO BOX 23914	727 W 1ST PL
MESA, AZ 85201	TEMPE, AZ 85285	MESA, AZ 85201
BEALS MARK AARON/JODIE RENEE	CORNIC TRUST	HEYWOOD PAUL/JANET
119 N EXTENSION RD	441 N BRISTOL CT	255 E LEHI RD
MESA, AZ 85201	ALPINE, UT 84004	MESA, AZ 85201
WESN, NE 03201	, (E) 1142, G1 G4004	11123/11, 712 33231
MIRL FAMILY TRUST	TURNER KITTY	CAMPOS RAUL
3754 E DRAGOON AVE	755 W 1ST ST	841 E 6TH AVE
MESA, AZ 85206	MESA, AZ 85201	MESA, AZ 85204
ROMERO ANGEL L	BIGGS BRITTANY A/CLUFF CHAD E	CLYBURN LARRY J/TAMARA A/SUDANO
702 W 1ST PL	733 E UNIVERSITY DR STE 3	CHARLES J
MESA, AZ 85201	MESA, AZ 85203	201 E MINTON DR
WESA, AZ 65261	WESA, AL 65265	TEMPE, AZ 85282
VEGA EMIGDIO SOTO/JAIME BEATRIZ GONZALEZ	ESPARZA ESTEBAN/CLAUDIA	HERRERA SEFERINO
755 W 1ST PL	6820 S 68TH LN	741 W 1ST PL
MESA, AZ 85201	LAVEEN, AZ 85339	MESA, AZ 85201
SACKNOFF MICHAEL/MARIA	CLYBURN LARRY J/CAVE-CLYBURN TAMARA A	YOUNG NICHOLAS J III
14041 N EDGEWORTH DR	201 E MINTON DR	728 W 1ST PL
FOUNTAIN HILLS, AZ 85268	TEMPE, AZ 85282	MESA, AZ 85201
BORGERSEN TRENT L/MADDOX SHANA	HICKS WAVERLY/EMETERIA	TRINITY INVESTMENTS ASSOCIATES LLC
D	1065 W 10TH ST	2600 E SPRINGFIELD PL NO 82
750 W 1ST PL	MESA, AZ 85201	CHANDLER, AZ 85249
MESA, AZ 85201	WEST, AZ 03201	CHANDLEN, AZ 03243

HETRICK LEROY W/STEVEN M	GONZALEZ CELEDONIO	GARCIA REYNALDO PINEDA/VASQUEZ ESPERANZA M
748 W 1ST PL	725 W PEPPER PL	6197 S RURAL ROAD NO 103
MESA, AZ 85201	MESA, AZ 85201	TEMPE, AZ 85283
SANCHEZ MIGUEL/HINOJOSA MOISES	MERCY M PROPERTIES LLC	NGUYEN PHIEU
744 W 1ST PL	393 W WARNER RD SUITE 110	714 W PEPPER PL
MESA, AZ 85201	CHANDLER, AZ 85225	MESA, AZ 85201
MONTOYA ROBERT A & THERESE C	JOHNSON TYLER K/GRIZELDA TR	HOLTZ BERNADINE L/GRAY WALTER W
716 W 1ST PL	713 N 1ST PL	738 W 1ST PL
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
ALLEN WINSTON/MILDRED B TR	ORTA EVA	WHITE JEROME N & YOSHIKO
123 N EXTENSION RD	1043 W 5TH ST	3264 E CALYPSO AVE
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85204
AGUILAR GREGORIO	SCHWARY ENTERPRISES LLC/SUTTLE	MESA LUIS AARON ORTEGA
715 W PEPPER PLACE	ROCKIE	702 W PEPPER PL
MESA, AZ 85201	1913 E FLORIAN AVE MESA, AZ 85204	MESA, AZ 85201
CARDENAS MIRELLA	JONATHAN V HARRIS SEP IRA 17-14831	PISCOPO JAMES P/DONNA T
12771 W ALVARADO RD	701 W 1ST PL	4142 N 86 PL
AVONDALE, AZ 85392	MESA, AZ 85201	SCOTTSDALE, AZ 85251
RODRIGUEZ JESUS R	BARRAZA MARGARITA M	PAGSOLINGAN KEVIN/SABERON CLEO
709 W PEPPER PL	750 W PEPPER PL	726 W PEPPER PL
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
ROSE ERIC	VILLAGRAN ALEJANDRO	BUSHWAY DAVID W/EILEEN M
3104 E CAMELBACK RD NO 731	712 W 1ST PL	9151 E VISCO PL
PHOENIX, AZ 85016	MESA, AZ 85201	TUCSON, AZ 85710
VILLA LUPE S	TEUBERT KYLE J/KAMP-WHITTAKER	2013-1 IH BORROWER LP
705 W 2ND PL	APRIL E	901 MAIN ST SUITE 4700
MESA, AZ 85204	607 W 2ND PL	DALLAS, TX 75202
	MESA, AZ 85201	
SUNDERMANN ROLAND/VALERIE F		LILL CED CCOTT M
	CORONADO RAMON/MARIA	HILGER SCOTT M
613 W 2ND PL	CORONADO RAMON/MARIA 7081 W HUNT HWY	645 W 2ND PL

DON W MCBRIDE JR TRUST 655 W 2ND PL MESA, AZ 85201	BAUCH DAVID ARTHUR/JACQUELINE JEANINE 661 W 2ND PL MESA, AZ 85201	CARPENTER LAURA J 671 W 2ND PL MESA, AZ 85201
MCGREGOR VIRGINIA JEAN BURNS PO BOX 17092	BATES JOHN 852 E LOWELL AVE	DIAZ XOCHITL/MOON ISABEL 670 W 2ND ST
FOUNTAIN HILLS, AZ 85269	GILBERT, AZ 85295	MESA, AZ 85201
BROWN NADEAN 660 W 2ND ST	YU LI ZHEN 2070 W 6TH ST	OLIVAS ANDREA CORRAL 640 W 2ND ST
MESA, AZ 85201	BROOKLYN, NY 11223	MESA, AZ 85201
ARNETT JOSEPH W/JAMIE L 814 W 4TH PL MESA, AZ 85201	MUNOZ GERARDO APARICIO/APARICIO SHEILA 620 W 2ND ST MESA, AZ 85201	GUEVARA EMILIO/ADELA R 610 W 2ND ST MESA, AZ 85201
CASTRO REJINEL/MARIA SOFIA 600 W 2ND ST	KRAUS RUSSELL/PAULA 1 TANGLEWOOD	ITAAEHAU STEVEN/MOALA/SHEPHERD MARIAM H 25509 S LIME DR
MESA, AZ 85201	POMONA, CA 91766	QUEEN CREEK, AZ 85142
GUENTZEL ALLYSON	BYRNES NANCY MARGARET	GARCIA GENARO M/ROSIE B
625 W 2ND ST	635 W 2ND ST	645 W 2ND ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
DRAKE MARK	ANTHONY P WELLS TRUST	CLARK675COKE LLC
655 W 2ND ST	640 N HALL ST	417 W CLARK ST
MESA, AZ 85201	MESA, AZ 85203	MESA, AZ 85201
ORDUNG RAMON H/MARTHA E	FLORES JOSE	BRENNAN THOMAS J/KELLY M
685 W 2ND ST	706 W 2ND ST	1852 E BRUCE AVE
MESA, AZ 85201	MESA, AZ 85201	GILBERT, AZ 85234
WORST MARTY J	GREER TERRANCE A	CHRISTENSEN GARY RAY
720 W 2ND ST	728 W 2ND ST	736 W 2ND ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
BURATOVICH NICK D	RITKO DAVID/TANIA	BALLESTEROS ALDRIN J
742 W 2ND ST	750 W 2ND ST	756 W 2ND ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201

EDWARD C HARRIS TRUST	ROCKIE LEE SUTTLE LIVING TRUST ETAL	MODLIN BRENDA E
755 W 2ND ST	445 E HUBER ST	733 W 2ND ST
MESA, AZ 85201	MESA, AZ 85203	MESA, AZ 85201
HINOJOS BERTA	FLORES STEPHEN/EVELYN	HARMON JAMES D/ALANE
725 W 2ND ST	719 W 2ND ST	703 W 2ND ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
WASILEWSKI MICHAEL	HARPER DOUGLAS ISAAC	WALSH WILLIAM P
554 W CLARK ST	546 W CLARK ST	540 W CLARK ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
NORA T GATICA LIVING TRUST	CLARK530COKE L L C	NORA LLC
538 W CLARK ST	417 W CLARK ST	2812 N NORWALK NO 103
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85215
CLOSE CHRISTINE H	PYKE RAYMOND R	FRANKS DANIEL/JESSICA
508 W CLARK ST	502 W CLARK	551 W 2ND PL
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
MESA RENTALS LLC	MANDUJANO JAY STEWART	NOVAK COLLETTE
2717 N STEVES BLVD STE 2-1	227 N DATE	428 W 1ST ST
FLAGSTAFF, AZ 86004	MESA, AZ 85201	MESA, AZ 85201
LOGAN JOHN E/KIMBERLY	ANDREWS SANDRA GAYLE SUTTON	ERICKSON JENNIFER GALE
432 W 1ST ST	440 W 1ST	448 W 1ST ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
MARIAN SAMANTHA	LINDVALL JANET M TR	GALE JAIME L
452 W 1ST ST	456 W 1ST ST	504 W 1ST ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
CUMMARD L BLAIN/GERALDINE H	JAURIGUI FAMILY LIVING TRUST	LOPEZ JULIO C
TR/ETAL	514 W 1ST ST	516 W 1ST ST
413 N ORANGE	MESA, AZ 85201	MESA, AZ 85201
MESA, AZ 85201		
2015-3 IH2 BORROWER LP	PARKER CLAUDIA LOUISE	PATRICIA HENDERSON SUENOS LIVING TRUST
and the second second second	FOALM ACT CT	

534 W 1ST ST

MESA, AZ 85201

1325 N LOMA VISTA ST

MESA, AZ 85213

901 MAIN ST STE 4700

DALLAS, TX 75202

THS PROPERTIES LLC	KILBER MARY ELIZABETH	RYAN SPENCER
3961 E CHANDLER BLVD STE 111-232	552 W 1ST ST	558 W 1ST ST
PHOENIX, AZ 85048	MESA, AZ 85201	MESA, AZ 85201
CRAWFORD BOBBY L & DORIS M	GARDEA JUSTA	MAY KELLY D/MARTOS FRANK V
425 W 1ST ST	429 W 1ST ST	3548 E DOVER ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85213-7071
BURTON BARBARA	2017-2 IH BORROWER LP	MILLICAN TAMBREY
445 W 1ST ST	1717 MAIN ST STE 2000	503 W 1ST ST
MESA, AZ 85201	DALLAS, TX 75201	MESA, AZ 85201
VILLALOBOS JOSE J/MARIA CRUZ ANDRADE	BPM-2G LLC	PURE CAPITAL INVESTMENTS LLC
510 W 1ST ST	3514 N POWER RD STE 132	521 W FIRST ST
MESA, AZ 85201	MESA, AZ 85215	MESA, AZ 85201
SWH 2017-1 BORROWER LP	STINOCHER BRADLEY S/JENNIFER	JDMD LLC INVESTMENTS
8665 E HARTFORD DR SUITE 200	533 W 1ST ST	1545 E IVYGLEN ST
SCOTTSDALE, AZ 85255	MESA, AZ 85201	MESA, AZ 85203-3332
SPJUT CHAD D	TANG ZHIZHONG/ZHANG SUSHU	HINKLE JOHN/MARGE
6833 S 16TH WAY	21 MADERA AVE	1225 W MAIN ST STE 101
PHOENIX, AZ 85042	SAN CARLOS, CA 94070	MESA, AZ 85201
AZIMUTH PROPERTY 1 LLC	TW2 PROPERTIES LLC	JACOME LEONIDES
2023 E UNIVERSITY UNIT 3	3531 N SONORAN HEIGHTS	PO BOX 4081
TEMPE, AZ 85281	MESA, AZ 85207	MESA, AZ 85211
RAMIREZ MARIANO	JAUREGUI JAVIER/CARMEN	REECE MARY JANE
534 W PEPPER PL	19499 N LELAND RD	522 W PEPPER PL
MESA, AZ 85201	MARICOPA, AZ 85138	MESA, AZ 85201
RUBIO ANNA K	VARGAS ZULMA Y	RODRIGUEZ JUAN/ESTEFANA
3753 E ROUSAY DR	510 W PEPPER PL	504 W PEPPER PLACE
QUEEN CREEK, AZ 85242	MESA, AZ 85201	MESA, AZ 85201
PALM COURT INVESTMENTS LLC	BIDWELL BENJAMIN D	MARCOS & SECILIAS TRUST
456 W MAIN ST STE Q	515 W PEPPER PL	521 W PEPPER PL

MESA, AZ 85201

MESA, AZ 85201

MESA, AZ 85201

RAMON ALMA	WHITENER STEPHEN/SHARON	CANTURK OKAN
529 W PEPPER PL	459 N MILLER ST	4523 E OXFORD LN
MESA, AZ 85201	MESA, AZ 85203	GILBERT, AZ 85295
	*	·
MORENO YESENIA	SALCIDO SARAH/OLIVAS JOSE	BALTIERRA MARY DOLORES
545 W PEPPER PL	551 W PEPPER PL	557 W PEPPER
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
KAST HOMES LLC	MESA CITY OF	FULLER RICHARD L
3091 E SAN PEDRO CT	PO BOX 1466	55 N MEADOW LN
GILBERT, AZ 85234	MESA, AZ 85211	MESA, AZ 85201
WIECHERT ROBERT C JR/LISA R	LOPEZ ROBERT RAYMOND & SUSAN E	WALTON JULIE
10612 W TURNEY AVE	448 W PEPPER PL	456 W PEPPER PL
PHOENIX, AZ 85037	MESA, AZ 85201	MESA, AZ 85201
WRIGHT R L/K L TR/FORTUNE B A/J K	LASEE RICHARD B/CAROL A TR	BOHLKEN MITZI D/STANDAGE MITZI D
TR	661 S ARROYA RD	447 W CLARK ST
14646 S 4TH DR	APACHE JUNCTION, AZ 85219	MESA, AZ 85201
PHOENIX, AZ 85045		
DAVIS DANIEL H/ RUTHANN S	STANDAGE RODNEY KENT	LANCASTER JEFFRY R/JENNIFER R
451 W CLARK	457 W CLARK ST	461 W CLARK ST
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
MARTINEZ GABRIEL MARTIN	ANDERSON DAWN E W	ASATO STEFANI R
509 W CLARK ST	515 W CLARK ST	523 W CLARK
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
LYNCH DARYL	ROMERO ARNOLD G & MAGDALENE G	TATALAJSKI KEVIN E
531 W CLARK ST	541 W CLARK ST	PO BOX 563
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85211
THOMAS HAILEE	DE LOS SANTOS IVAN/JIMENEZ	MESA CITY OF
553 W CLARK ST	TOMASA	20 E MAIN ST STE 650
MESA, AZ 85201	2015 E UNIVERSITY NO 20	MESA, AZ 85211
	TEMPE, AZ 85201	
WESTWORLD PAINTBALL GAMES INC	BHAKTA DINESH V/LALITABEN D	PALM COURT INVESTMENTS LLC
140 N COUNTRY CLUB DR	524 W MAIN ST	456 W MAIN ST STE-Q
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201

CPLC MAIN AND COUNTRY CLUB LLC	CLARK LEIGH W	BASILE YOLANDA TR
1112 E BUCKEYE RD	1912 S MARYLAND PKWY	141 N DATE NO 1
PHOENIX, AZ 85034	LAS VEGAS, NV 89104	MESA, AZ 85201
SCHMUKI STEPHEN J/LARIME BILLIE K	HEESE DAMIEN B/BARBARA M	C & R REALTY II LLC
26 S QUINN CIR UNIT 22	1226 W RIVIERA DR	1325 E WHITTEN PL
MESA, AZ 85206	GILBERT, AZ 85233	CHANDLER, AZ 85225
BOLIG MARY N	CRASE AMBER	LYONS MELISSA
2059 E BROWN RD #75	141 N DATE ST UNIT 6	141 N DATE ST UNIT 7
MESA, AZ 85213	MESA, AZ 85201	MESA, AZ 85201
SHORT JASON	CASTO DAVID/CELIA	LUBIS RISMADJAJA/INDRAJATI A
141 N DATE ST - 8	141 N DATE ST NO 9	141 N DATE APT 10
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201-6441
WOHLHART PAUL A/ROBERT A/JERRY	STARDOM REAL ESTATE LLC	RAMOS CRISTINA
M/DISENSO S M	3506 N 24TH ST	141 N DATE UNIT 14
141 N DATE UNIT 12	PHOENIX, AZ 85016	MESA, AZ 85201
MESA, AZ 85201		
PRS PROPERTIES LLC	STEPHENS LULA B TR	COOK MARLENE E
PO BOX 628	PO BOX 349	141 N DATE 17
GILBERT, AZ 85299	MESA, AZ 85211	MESA, AZ 85201
KLINE KATHRYN	RICKY LEE ROMAY TRUST	JORDAN JUDY
926 WYNFIELD CIR	8641 E PAMPA AVE	2322 S ROGERS UNIT 51
ST AUGUSTINE, FL 32092-0421	MESA, AZ 85212	MESA, AZ 85201
GINSBERG GABRIEL	BOGASH JAMES	QUINTERO ERNESTO/VICTORIA
141 N DATE ST NO 21	745 W LONGHORN DR	MUNGUIA
MESA, AZ 85201	CHANDLER, AZ 85286	613 N DREW STW
		MESA, AZ 85201
OCHOA LUIS R/MARIA	OLSON ROBERT D/SIMONA D	LAMB DAWN
141 N DATE ST	931 W DIAMOND DR	141 N DATE NO 26
MESA, AZ 85201	TEMPE, AZ 85283	MESA, AZ 85201
STEVENS CATHEY	TURLEY THAD B/ANNA MARIE	WEBER NAOMI
PO BOX 5004	141 NORTH DATE 29	215 N POWER RD NO28
MESA, AZ 85211	MESA, AZ 85201	MESA, AZ 85205

FLANAGAN CONZIE III	STEPP ROY LOUIS/BLAIR DIANA	FEENEY ALLYSON
141 N DATE APT 31	141 N DATE #32	141 N DATE APT 33
MESA, AZ 85201-6444	MESA, AZ 85201	MESA, AZ 85201
WHITTACKER RICHARD/ASHLEY	KOPP KELSEY L	REVELES ROSA SANTOYO
141 N DATE APT 34	141 N DATE APT 35	141 N DATE UNIT 36
MESA, AZ 85201-6445	MESA, AZ 85201	MESA, AZ 85201
SEARS DAVID V/RHONDA J	SHEILA COLLEEN BYRON REVOCABLE	CROCKETT CLINTON J/ERIN E
141 N DATE NO 37	TRUST	141 N DATE ST UNIT 39
MESA, AZ 85201	1507 W 6TH ST	MESA, AZ 85201
	TEMPE, AZ 85281	
GILLETTE MICHEL R	GILLETTE MICHEL RAE	JOINER ROSEMARY
141 N DATE NO 41	141 N DATE ST UNIT 41	141 N DATE 42
MESA, AZ 85201	MESA, AZ 85201	MESA, AZ 85201
BAKER JAMES E/ROWLAND SANDRA	FIRST FINANCIAL LLC	PLM INVESTMENTS LLC
141 N DATE UNIT 43	10632 N SCOTTSDALE RD STE B466	141 N DATE UNIT 45
MESA, AZ 85201	SCOTTSDALE, AZ 85254	MESA, AZ 85201
BUSH TRUDY D	ROSNOR INVESTMENTS LLC	SCHOLTEN LAURA J/JOHN C
141 N DATE	2613 S ORANGE	901 S COUNTRY CLUB DR
MESA, AZ 85201	MESA, AZ 85210	MESA, AZ 85210
RAYMOND MARY CATHERINE	COLE BENJAMIN STEWART JR	OSE FAMILY TRUST
1913 ROBERT ST	1225 W BUFFALO	1379 W 14TH AVE
LODI, CA 95242	HOLBROOK, AZ 86025	APACHE JUNCTION, AZ 85120
LUPERCITO FRANCISCO J	ANBAR ARIEL/MARNI	HIGGINS DANIEL K
LOPEZ/SALAZAR MA R	9317 S JUNIPER ST	5359 E ELENA AVE
141 N DATE APT 52	TEMPE, AZ 85284	MESA, AZ 85206
MESA, AZ 85201-6448		
MATTISON KEITH A/TARA L/JOSHUA A	SCHMUCKER RUTH A TR	COLEMAN JOANNE/BRICE W
141 N DATE ST NO 55	141 N DATE UNIT 56	350 N TEWKSBURY BLVD
MESA, AZ 85201	MESA, AZ 85201	YOUNG, AZ 85554
MATHEWS GERALD R SR TR	DATE STREET HOLDINGS LLC	ORTEGA MIKEL A
141 N DATE UNIT 58	843 N DATE PALM DR	241 W LANE CIR
MESA, AZ 85201	GILBERT, AZ 85234	LAKESIDE, AZ 85929

HUNTER GLEEN/GARRIDO MARIA CECILIA

> 141 N DATE UNIT 63 MESA, AZ 85201

Allisia Fiorini Chicanos Por La Causa, Inc. 1008 East Buckeye Rd. Ste 115 Phoenix, AZ 85034 GARRIDO ENRIQUE R JR/MARIA CECILIA 141 N DATE UNIT 64 MESA, AZ 85201

> Mesa Unified School District 63 East Main Street Mesa, AZ 85201

GAMMAGE & BURNHAM, PLC ATTN: JO M. RYAN 2 N. CENTRAL AVE., 15TH FLOOR PHOENIX, AZ 85004 Mesa Grande Community Alliance Attn: Stephanie Wright 660 N Date Mesa, AZ 85201-5608

Kleinman Park Neighborhood Association Attn: Karl Kleinman 717 W 6th Drive Mesa, AZ 85210

> Alma Meadows Attn: Gloria Valles 535 S Alma School Mesa, AZ 85210

Washington Escobedo Attn: Charlie Hemphill 528 N Pima Mesa, AZ 85201

Washington Escobedo Attn: Maria Juarez 528 N Sirrine Mesa, AZ 85201

Comite de Familias en Accion Attn: Carmen Guerrero 551 N Alma School Road Mesa, AZ 85201

> Westwood Park Linda Spy Mesa, AZ 85201

Guerrero Park Attn: Irene Pine 744 S Morris Circle, Unit A Mesa, AZ 85210

> Guerrero Park Attn: Shorty Morton 455 S MacDonald Mesa, AZ 85204

Pepper Place Attn: Cathy Shepherd 1558 W 1st Street Mesa, AZ 85201 Mesa Grande Community Alliance Attn: Dave Richins 833 W 11th Place Mesa, AZ 85201

Kleinman Park Neighborhood Association Attn: Scott Seufert 1132 W Drummer Mesa, AZ 85210

> Alma Meadows Attn: Renell Watt 535 S Alma School Mesa, AZ 85210

Washington Escobedo Attn: Maria Mancinas 542 N Lewis Mesa, AZ 85201

Washington Escobedo Attn: Nancy Thompson 417 N Sirrine Mesa, AZ 85201

Westwood Park Attn: Nathaniel Layton 1124 W 2nd Place Mesa, AZ 85201

Westwood Park Attn: Colleen Byron 241 N Westwood Mesa, AZ 85201

Guerrero Park Attn: Sue Douglas 221 W 6th Avenue, Unit 8 Mesa, AZ 85210

Alma Gardens Trailer Park Attn: Carolyn Jagla 530 S Alma School Mesa, AZ 85210

Pepper Place Attn: Debbie Anderson 1418 W Pepper Place Mesa, AZ 85201 Mesa Grande Community Alliance Attn: Tanya Collins 864 W 10th Street Mesa, AZ 85201

Kleinman Park Neighborhood Association Attn: Ellen Rees 754 W 6th Avenue Mesa, AZ 85210

> Robson Historic District Attn: Sean Lopez 236 N Robson Mesa, AZ 85201

Washington Escobedo Attn: Eileen Smith 424 N Sirrine Mesa, AZ 85201

West Second Street Historic District Attn: Jen Duff 146 W 2nd Street Mesa, AZ 85201

> Westwood Park Attn: Lynette Kenney 249 N Westwood Mesa, AZ 85201

C.A.N.D.O. Attn: Joe Arnett 315 N Cherry Street Mesa, AZ 85201

Guerrero Park Attn: Julian Sanchez 931 E Morningstar Lane Tempe, AZ 85283

Pepper Place Attn: Caroline Lamoreaux 1317 W Pepper Place Mesa, AZ 85201

Pepper Place Attn: Rex Pettingill 1326 W Pepper Place Mesa, AZ 85201 Pepper Place Attn: Jennifer Mott 1609 W Bentley Street Mesa, AZ 85201

North Garden Grove Attn: Monica Randez 1505 W 5th Street Mesa, AZ 85201

North Garden Grove Attn: Steve Wylie 701 N Standage Mesa, AZ 85201

Devonshire Estates & Maricopa Manor Attn: Tom O'Brien 615N Elm Mesa, AZ 85201

> Passey Place Attn: Mike Wright 629 W Caballero Street Mesa, AZ 85201

Emerson Manor Attn: Jenny Burnham 1062 W 4th Place Mesa, AZ 85201

Emerson Manor Attn: Betty Butler 1117 W 7th Street Mesa, AZ 85201

Hot Date Attn: Alma Pesqueira 634 N Date Mesa, AZ 85201

La Cruz Attn: Teresa Salazar 450 N Drew East Street Mesa, AZ 85201

West Side Clark Addition Historic
District
Attn: Jennifer Erickson
448 W 1st Street
Mesa, AZ 85201

Palm Fountains Townhouse Association Attn: Michel Gillette 141 N Date Street, Unit 54 Mesa, AZ 85201

> North Garden Grove Attn: Francisco Leon 1420 W 4th Place Mesa, AZ 85201

Devonshire Estates & Maricopa Manor Attn: Jerry Lewis 1303 W 7th Street Mesa, AZ 85201

> Passey Place Attn: Alan Parker 636 W Caballero Street Mesa, AZ 85201

Clement Place Attn: Dave Clement 439 N Clement Mesa, AZ 85201

Emerson Manor Attn: Laverne Krauel 1014 W 5th Street Mesa, AZ 85201

> Emerson Manor Attn: Tim Boyle 450 N Emerson Mesa, AZ 85201

Hot Date Attn: Jared Huish 632 N Hosick Circle Mesa, AZ 85201

La Cruz Attn: Jaime Martinez 535 N Drew Street West Mesa, AZ 85201

West Side Clark Addition Historic
District
Attn: Sandy Sutton Andrews
440 W 1st Street
Mesa, AZ 85201

North Garden Grove Attn: Gilbert Rollier 533 N Standage Mesa, AZ 85201

North Garden Grove Attn: Jacqueline Williams 1431 W 7th Place Mesa, AZ 85201

Devonshire Estates & Maricopa Manor Attn: Gerald Burr 1311 W Devonshire Street Mesa, AZ 85201

> Passey Place Attn: Dea Montague 553 N Orange Mesa, AZ 85201

Clement Place Attn: Courtney Davis 849 W 4th Place Mesa, AZ 85201

Emerson Manor Attn: Carolyn Crandell 1035 W 4th Place Mesa, AZ 85201

Hot Date Attn: Sue Barker 712 N Date Mesa, AZ 85201-4800

Robson Street Villas Attn: Sophia Fire 225 W 1st Street Mesa, AZ 85201

La Cruz Attn: Alma Avila 48 1/2 W Univeristy Drive Mesa, AZ 85210

West Side Clark Addition Historic
District
Attn: Barbara Burton
445 W 1st Street
Mesa, AZ 85201

Evergreen Historic District Attn: Victor Linoff 820 N Robson Mesa, AZ 85201

Adams Estate Neighborhood Attn: Sarvia Ortiz 506 S Sycamore Mesa, AZ 85202

Adams Estate Neighborhood Attn: Ian Bennett 1609 W Capri Avenue Mesa, AZ 85202

RAILmesa (Retail; Arts; Innovation & Livibility)
Attn: Amy Del Castillo
675 E 1st Place
Mesa, AZ 85201

Evergreen Historic District Attn: Heather Scantlebury 120 W University Drive Mesa, AZ 85201

Adams Estate Neighborhood Attn: Jan Neely 1729 W Crescent Avenue Mesa, AZ 85202

Adams Estate Neighborhood Attn: Jackie Castro 1508 W 6th Avenue Mesa, AZ 85202

RAILmesa (Retail; Arts; Innovation & Livibility)
Attn: David Crummey
658 W 1st Street
Mesa, AZ 85201

Evergreen Historic District Attn: Donna Difrancesco 463 N MacDonald Mesa, AZ 85201

Adams Estate Neighborhood Attn: Rick Jackson 1645 W Carol Avenue Mesa, AZ 85202

RAILmesa (Retail; Arts; Innovation & Livibility) Attn: Jen Duff 146 W 2nd Street Mesa, AZ 85201

EXHIBIT C Neighborhood Meeting Notification



NEIGHBORHOOD MEETING NOTIFICATION

A PROMISE OF OPPORTUNITY

June 18, 2018

Dear Property Owner, Resident, or Interested Citizen:

Chicanos Por La Causa ("CPLC"), a non-profit social services and community development organization, recently purchased the Mesa Royale Mobile Home Park, as well as three adjacent single-family parcels, and intends to redevelop the land. CPLC proposes to rezone approximately 3.4 acres of the land ("Property") as shown on the <u>Aerial Map</u> below. CPLC recently filed applications with the City of Mesa to entitle the proposed Mesa Royale Condominium community ("Project"). (City of Mesa Record ID #ZON18-00446) Specifically, CPLC is requesting a Rezone of the Property from RM-2 to RM-3 with a PAD Overlay concurrent with Preliminary Site Plan Review and Preliminary Plat Review.

CPLC proposes a 57-unit attached single-residence community comprised of craftsman two- and three-story buildings that front onto shared open space courtyards; 30 units on the south side of W. Pepper Place, and 27 units on the north side, as depicted on the Landscape Plan below. The Project has been thoughtfully designed to promote a sense of community and encourage resident interaction within the well-designed greenway courtyards that will provide lush landscaping and sidewalks to access the fronts of individual units. The site perimeter will be landscaped with trees, shrubs, and groundcover while providing storage basins for storm water retention. Additionally, each unit will include a private covered patio, porch, and/orbalcony as well as an attached, private two-car garage. A Homeowners Association will be established to ensure ongoing maintenance and upkeep of the community.

The development team has put much thought and care into the site design, landscaping, and architecture of the Project to afford future residents with a fulfilling lifestyle in a modern urban neighborhood with easy access to transit and major urban commercial, retail, and employment opportunities. Building heights have been stepped down as the Property transitions away from the General Commercial district (south) to the RM-2 district (north). Specifically, three-story buildings are proposed on the south side of W. Pepper Place, and two-story buildings are proposed on the north side of W. Pepper Place to buffer the existing single-family residential properties to the north. Building heights are consistent with the zoning in the area. Pepper Place will be planted with a pedestrian friendly urban landscape, lined with a canopy of trees along both sides of the street to provide shade and screening, as well as beautiful accent trees creating visual interest.

As part of our community outreach, we are hosting a neighborhood meeting where you will have an opportunity to meet the development team and learn about the Project. This meeting will be held:

June 27, 2018 at 6:00 PM

First Evangelical Lutheran Church, Great Room 142 N Date, Mesa, AZ 85201

If you are unable to attend the neighborhood meeting or if you have any questions regarding this proposal, please contact me at (602) 282-8512 or allisia.fiorini@cplc.org. Thank you.

Sincerely

Allisia Fiorini

Project Manager, Real Estate Operations

Aerial Map



Landscape Plan



EXHIBIT DSign-In Sheet



Name	Address	Telephone	E-mail
DardeR	130116 (400 -CW 1-000	
ì	639 W. Contessa Cir.	480-518-6900	f. A. W W.
Benjamin Biduell	515 W. Pepper P1 (2106 W. Mesquite St.	480-984-4131	bidual 780coxinet
Debarah 11)hat	601 W. Ist St, Mesa	1100-821 532V	dd'aboto anol.
		7802 821-332	ddiwheat@gmail.com
Tyler Markant	534Nosage	602-717-3518	timontague egmail. (con
Tyler Markane HerrerA D Seperino	THINGIPL MESA	60261821905	12/1 11/15T pl MOSA
	529 N. Ovange, Wesa	480.227-6135	, ,
Johns Acharasore	SER IN OVERVICE, WIESE	700.221.6122	Jehnyrichardson az Co
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Name	Address	Telephone	E-mail
Cabe Parkhan	724 WMain St MesaAZ8S201	480 340-9545	lord-Parkhay
Lyndu Maraky	503 N. Balboa Mesa, AZ85205 Mesa, AZ85201	206-579-1889	Lynda Hirster hitheran con
Gibsons	Mesa, Az 85201 734 W. Ist. St.	480-969-9224	
Alan	709 W 19T	509 916-44735	Alantbird EXX. Com
Amber Crase	141 H Dete massy	450 332 8747	Amber. Crose mail.
Ar ranna Huera-Cn	LOSSWISTS.	480-430-8312	ari80 hverta. Q.
	62649W1st	+480333330	
Larry Wheat	601 w. 1st st	480 821.5324	11dwheat agna, 1200
ROBLAT SCANTLEBURS	120 W. UNIVANS176	(602) X2-4/97	ROBERT SCALTLE in 17 Q ROB FORM & SA. COLL
Tim Bale	450 N Emen	917 526 0323	tim @ fin bayle ran
Mike Allen	703 W. Ist pl-	480 294 6779	
in san a Chavez	142 W DAF 1424, A7	430-969-7221	cassand-acfirster Lutheran,



Name	Address	Telephone	E-mail
Susan Lopez	448 W. Pepperf		Susanesther Sutyaho
TANYA COCLINS	1 0 1		
Kahin Christen	en 923 N. Reven	85 201	
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Marcia Montag		<i>(\ \</i>	i. (
Maney Thomps	on 417 N SirrineSt	60257656688	priceless Inzagoli
Mattiener	737 Norage Cir	4803139652	
DJ. Starley	505 N. Date	480-634-7467	Stapleyds@gmail.com
tath Er Rang	605 N Grand	480-461-0592	kathleenefirslevluthe
Chonle Limie	1609 W. Tolly		Centolonnav Damail



Name	Address	Telephone	E-mail
Margaret. Roush Meier	Concardia Charter Sd 142 N. Date St.	1480-461-0555	mroushmerer (or concord acharter org
	_		
-			
			:
		,	

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

TWO NORTH CENTRAL AVENUE

FIFTEENTH FLOOR

PHOENIX, ARIZONA 85004-4470

TELEPHONE (602) 256-0566 FACSIMILE (602) 256-4475

WRITERS DIRECT LINE

September 5, 2018

Jo M. Ryan, AICP (602) 256-4448 jryan@gblaw.com

Lisa David, Planner II City of Mesa 55 North Center Street, First Floor Mesa, Arizona 85201

Re: ZON18-00446 – Supplement to Citizen Participation Report

Dear Lisa,

We represent Chicanos Por La Causa, the owner of the property located along W. Pepper Place ("Property"). The purpose of this correspondence is to supplement the Citizen Participation Report for ZON18-00446 that was submitted to the City of Mesa on July 2, 2018. Since the date the Report was submitted, we have corresponded with the following individuals:

- 1) Rob Scantlebury. Rob attended the neighborhood meeting on June 27th and expressed a few concerns that he had about the proposal. On July 12, 2018, Lindsay Schube addressed his concerns and questions in an email. That email is attached as an addendum to our Citizen Participation Report. Lindsay did not receive a response from Mr. Scantlebury.
- 2) Debora Wheat. On August 1st and August 2nd, Deborah emailed you with some concerns and questions that she had regarding this proposal. Lindsay Schube addressed her concerns in an email sent September 4, 2018. That correspondence is also attached to supplement the Citizen Participation Report.

As of this writing, we have received no other telephone calls, emails, letters, or other correspondence pertaining to this case. Please do not hesitate to contact me should you have any questions. Thank you.

Sincerely, GAMMAGE & BURNHAM, P.L.C.

40 M. Myan

Jo M. Ryan, AICP

Enclosures

Jo M. Ryan, AICP

From:

Lindsay C. Schube

Sent:

Friday, August 24, 2018 10:47 AM

To:

Jo M. Ryan, AICP

Subject:

FW: Response from Mesa Royale Neighborhood Meeting

Lindsay C. Schube

Gammage & Burnham | Profile 602.256.4471 Direct | 480.225.4400 Mobile

From: Lindsay C. Schube

Sent: Thursday, July 12, 2018 2:41 PM

To: 'robertscantlebury@robformesa.com' <robertscantlebury@robformesa.com>

Subject: Response from Mesa Royale Neighborhood Meeting

Rob -

Great meeting you at our neighborhood meeting for the Mesa Royale project. You had some specific questions at that meeting that I could not answer on the spot.

We have done some additional research and have answers for you. If you have additional questions or need additional clarification feel free to write me back or call my cell phone!

- 1. The Mesa Royale Condominium development will be enclosed with a 6-foot high integral color concrete masonry wall along the perimeter property boundaries.
- 2. Owners of adjacent properties will benefit from the 6-foot high wall constructed on their shared property lines, i.e. to increase security, ensure privacy, impede trespass, and prevent future encroachments.
- 3. <u>Approval of setback reductions</u> because of the PAD request on the Mesa Royale site will have zero impact on neighboring property owners' development rights.
- 4. Neighboring property owners will have no limitations or restrictions from developing or constructing on their property as a result of the approved project, and will be held to the development standards of the underlying RM-2 zoning district.
 - a. The current required rear yard setback for adjacent property owners within the RM-2 zoning district is 15 feet, which is consistent with the rear yard setback proposed for the Mesa Royale 2-story buildings (15 feet).
 - b. The current side yard setback for adjacent property owners within the RM-2 zoning district is 5 feet. Mesa Royale proposes 17-foot side yard setbacks, which exceeds the standard side yard setback for singleresidence detached units.
- 5. The 2-story units on the north are at a height consistent with the existing RM-2 building height standards of less than 30 feet. No deviation to building height is being requested for the 2-story buildings on the north of Pepper Place as a part of the proposed Rezone to RM-3 / PAD.

Let me know if you have questions.

Thanks, Lindsay

Lindsay C. Schube

602.256.4471 Direct | 480.225.4400 Mobile <u>Ischube@gblaw.com</u> | <u>Profile</u> | <u>www.gblaw.com</u>

GAMMAGE & BURNHAM

2 North Central Ave., 15th Floor | Phoenix, AZ 85004

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Jo M. Ryan, AICP

From:

Lindsay C. Schube

Sent:

Tuesday, September 4, 2018 4:45 PM

To:

ddiwheat@gmail.com

Cc:

Lisa Davis; Jo M. Ryan, AICP

Subject:

Response to your concerns

Hello Deborah,

Lisa Davis with the City of Mesa has forwarded your written comments and concerns to me in regards to the proposed Mesa Royale project. I appreciate your continued interest in this redevelopment project and would encourage you to attend the upcoming public hearings before the Planning & Zoning Commission and City Council.

I have addressed each of your comments below in red. I am happy to discuss any of these concerns with you in greater detail. Feel free to call or e-mail me. My contact information is listed below.

Thanks again, and I am confident that the completed Mesa Royale redevelopment will be an improvement to your neighborhood and to the greater community.

Lindsay C. Schube

602.256.4471 Direct | 480.225.4400 Mobile lschube@gblaw.com | Profile | www.gblaw.com

GAMMAGE & BURNHAM

2 North Central Ave., 15th Floor | Phoenix, AZ 85004

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Just was wondering if a hearing/meeting has been set yet for case ZON18-00446? We went to the neighborhood meeting presented by Chicano Por La Cause and their architect and lawyer. I am not sure if they listened to our concerns or not, but some of them were:

A hearing before the Planning & Zoning Commission has been scheduled for September 19th. You should be receiving a formal notification of the hearing in the mail very soon.

-Not having the end of buildings that faced existing properties that reside along 1st street to have windows facing those properties as it would take the privacy of those living on 1st Street away from them.

In response to comments received at the neighborhood meeting, the architect has modified the building plans and elevations to reduce the size and number of windows facing the single-family residences to the north. Keep in mind that two-story residential structures are permitted under current code.

-Not having guest parking along the back walls that abut the existing homes on 1st Street, which according to the original plans you sent me they weren't supposed to have parking there and there was signage on the plans to that effect. The architect mentioned that the City required parking for Guests and it was the owners/architects decision to make that area that the City said could not be parking (appears to be turn around areas for those condos garages that are in that area due to inadequate driveway width in order to exit the garages to go out onto the main streets) to now become guest parking. This would be additional noise for the existing property owners to have to contend with, day or night.

We understand your concerns regarding the proposed vehicle turnaround/guest parking spaces proposed at the end of the private drive aisles. Chicanos Por La Causa has decided to remove the vehicle turnaround/guest parking spaces from the site plan. We think this is a positive change and that it addresses your concerns.

-At the meeting they discussed the possibility of making a driveway behind the condos for the guests as well as residents which is not acceptable to those who reside in the existing properties along 1st Street as that could/would lead to "druggies" and "hookers" in the area to be able to use those areas for their business since it is not going to be a gaited community. As a property owner of a residence along 1st Street, I already have to contend with those incidences along Date Street and do not wish to have to contend with more of those activities directly behind my property either as a driveway nor as an alley.

As discussed above, CPLC has decided to remove the vehicle turnaround/guest parking spaces from the site plan. To ensure safety, security, and privacy, the side and rear property boundaries of the Mesa Royale community will be enclosed with a 6-foot high block concrete wall to prohibit trespassers from leaving or entering the property.

-Most if none of those area residents in attendance were in favor of the set backs they are trying to push for as it takes away from the privacy of the existing homes, especially since now instead of one story homes or trailers behind the existing properties, we will now have to contend with the encroachment of many more people in two and three story condos/townhouses.

The Mesa Royale redevelopment proposal will not create any encroachments onto adjacent properties. Two-story residential units, as proposed, are permitted adjacent to the residential zoning district to the north. The reduced setbacks allow for the project to meet the City's density goals for this area, and is offset by an increase in open space and landscaping.

-Lack of trees, shrubs to have it blend more with the neighborhood.

The Landscape Plans have been modified since the neighborhood meeting to provide for more plantings around the perimeter and within the interior courtyards, and street trees will be planted along Pepper Place and Date Road to provide shade for pedestrians.

-Block wall height to be higher than proposed would help slightly as would no windows facing the existing properties. It seems that folks on a 2nd story with uncovered windows could bother the existing neighbors/residents by being able to look out onto their properties which is a privacy issue.

Six-foot concrete block walls are proposed around the perimeter of the project site, which is standard practice for private residential developments. In response to neighborhood comments, the number of windows on the second story, north-facing buildings has been reduced.

There are other issues that were mentioned such as:

- -Who is responsible for the removal of the feral cats. Their answer was the City.
- -Who is responsible for the removal of the huge rat population that is at the existing property they purchased. Their answer was the City.

The existing residents along 1st Street do not want to see the demolition of the existing trailer park cause a huge issue with an invasion of the feral cats and the rats into their properties. Will the City take care of this issue?

Any land disturbing activities on the property will be required to adhere to conditions of an approved Clearing & Grading Permit and/or Demolition Permit that will mitigate any potential adverse impacts to adjacent properties. The completed project will be an improvement to the existing conditions of the site.

During construction, existing fencing is removed in order for them to put up their block wall, what steps will be taken to make sure those existing 1st Street residents will have safe backyards to protect them from their animals escaping or unsavory people in the neighborhood from coming onto their properties? And if there are procedures, who will bear the costs and what would be the minimum time frame for such an inconvenience?

CPLC has met with the City's Crime Prevention team and intends to implement their recommendations, including measures to mitigate potential trespass during construction. Residents are encouraged to call 9-1-1 and report suspicious activities. We are committed to developing a safe a secure development.

These are just a few questions and comments I have right now, but I would appreciate some answers if possible. Also, have any new plans, etc been submitted for me to review? I would like to keep abreast of the plans for these parcels.

Updated application materials were submitted to the City of Mesa on July 3rd and again on August 7th.

I want to note that while at the meeting the question was asked if there were any comparable existing properties that could be viewed similar to this proposed one in the Mesa area and the reply by the folks giving the meeting said no, but a gentleman stood up and said yes, indeed there was. It is Main Street Station on Main Street between Alma School and Dobson Roads across from EVIT. I must say that we have toured that property and it is indeed done very well. As the City, I must applaud you as well as the property owners of that property for coming up with an excellent plan that not only is great for the folks who buy into that property, but also to the surrounding property owners. I only wish Chicano Por La Cause would tour it too as it is a showcase as to what should be done to blend more with the surrounding longtime, established community and its residents. I love that the set backs between the property and the existing properties two story unites appears to be 60 feet and in that 60 feet is a wonderful brick walking pathway with trees and shrubs and rock that makes it very eye appealing as well as functional. Also, the width between building fronts as well as between the garages on the backsides is vastly more than what is proposed in the Chicano Por La Cause plans for our neighborhood. Also I want to point out that NONE of the buildings in that complex have exterior windows facing any of the existing older properties which definitely gives more privacy to those older homes that were there first. They also have a designated Guest Parking area that is away from not only the older existing residences, but also to the south of their own townhouse complex so that residents aren't disturbed by guest vehicles day or night. I do not know the dimensions of the "small" area or parcel is that everyone mentions is too small to do anything with that is along Main Street at the Mesa Royal, but could this area become the designated Guest Parking area? I will point out however, that even though the Mesa Royal architect and lawyer and another woman mentioned that no garbage cans would be out of the garages except on garbage days, we noted that almost every occupied townhome in the Main Street Station townhomes had their garbage cans sitting outside of their garages instead of inside. Our guess was that they were using the extra space in their garages for other items instead of for their garbage cans.

The Mesa Royale Condominium community will have a Homeowners Association and will be governed by regulations and CC&Rs, which will require that garbage/recycling cans be stored in designated spaces within each 2-car garage.

It is amazing how that even though each of their units is a 3 bedroom/2 bath, they are only 1420 square feet and 1501 square feet. The proposed sizes of the Mesa Royal are much larger even though similar in rooms, etc. If Chicano Por La Causa would do a redesign to make the square footage smaller and similar to the Main Street Station property, they would more than likely not need to ask to have the set backs reduced. Since seeing the wonderful job that was done on the Main Street Station property, I know that it can indeed be done with this Mesa Royal property and I am hoping the

City will aide in helping to ensure that the redevelopment of this parcel will blend and be a plus to the existing residents and neighborhood.

The Main Street Station development site is considerably larger than the Mesa Royale site. The proposed unit sizes are based on market trends and demand. This proposal specifically responds to current redevelopment trends in the surrounding area.

I want you to understand that I have no issue with the Mesa Royal being redeveloped, but I would hope that the City would push for it to be done in an orderly and fair manner to the residents that surround it whose properties have been there for years and especially respect the privacy of each and every one of those existing property owners parcels. Looking forward to your reply.

Respectfully,

Deborah Wheat

On Tue, Jun 26, 2018 at 9:47 PM, Deborah Wheat < ddiwheat@gmail.com wrote: Thank you Lisa for sending these for me to review.

Deborah

On Tue, Jun 26, 2018 at 3:00 PM, Lisa Davis <Lisa.Davis@mesaaz.gov> wrote:

Deborah

Attached this time are the proposed preliminary plat, vil plan, building floor plans, preliminary landscape plan and a copy of the first review City Staff comments. You will see that we are asking for additional information and revisions to the plans.

Please feel free to reach out to me with any questions or to get information on public hearing dates for Planning and Zoning Board and for City Council.

Lisa Davis, AICP

Planner II

City of Mesa

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September 10, 2018

Jo M. Ryan, AICP (602) 256-4448 jryan@gblaw.com

Lisa David, Planner II City of Mesa 55 North Center Street, First Floor Mesa, Arizona 85201

Re: ZON18-00446 – Supplement No. 2 to Citizen Participation Report

Dear Lisa,

We represent Chicanos Por La Causa, the owner of the property located along W. Pepper Place ("Property"). The purpose of this correspondence is to supplement the Citizen Participation Report for ZON18-00446 that was submitted to the City of Mesa on July 2, 2018, and the Supplement that was submitted to the City on September 5, 2018. Since the date those Reports were submitted, we have had communications with the following individuals:

1) *Emma Hicks*. Emma called Lindsay Schube on September 7, 2018. She lives two doors down from the project site and wanted to ensure we were not redeveloping her property as well. As soon as Lindsay explained what we were doing she was fine.

As of this writing, we have received no other telephone calls, emails, letters, or other correspondence pertaining to this case. Please do not hesitate to contact me should you have any questions. Thank you.

Sincerely,

GAMMAGE & BURNHAM, P.L.C.

By

Jo M. Ryan, AICP