Architects of Arizono

PERLMAN ARCHITECTS OF

ARIZONA, INC.

4808 N. 24th STREET

SUITE 100

PHOENIX, ARIZONA 85016

480.951.5900 480.951.3045 fax

KENNETH W.

POWERS

EXPIRES: 12-31-2018

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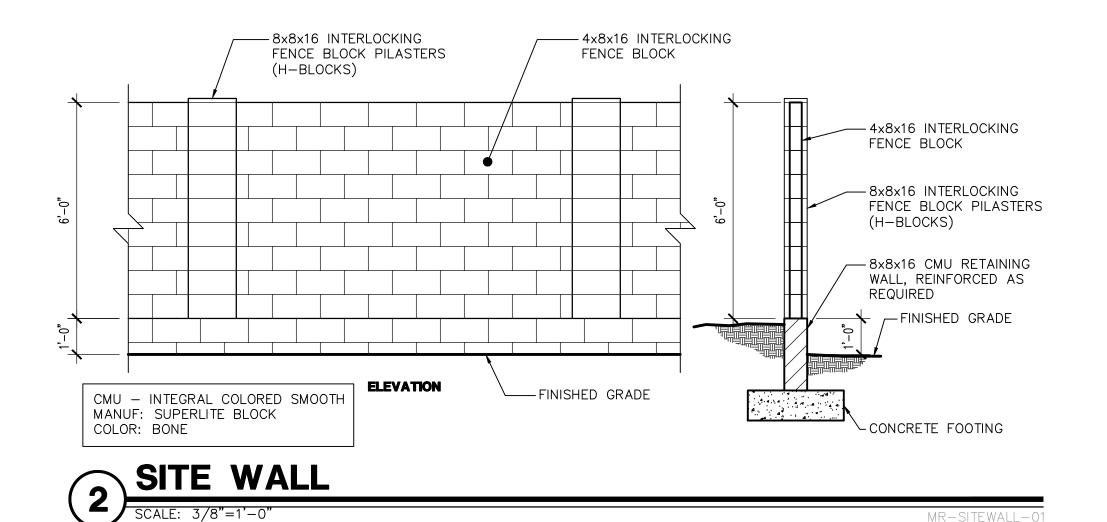
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SITE PLAN NOTES

"REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE AND SHALL BE AN ALL_WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (74,000 LBS/24,000 LBS PER AXLE) WHEN ROADS ARE WET. FOR EXAMPLE, A MINIMUM OF SIX (6) INCHES OF ABC COMPACTED TO 90% OVER AN APPROVED BASE WOULD MEET THE REQUIREMENT.

THE ACCESS ROAD SHALL BE EXTENDED TO WITHIN 200 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE JOBSITE WHERE ANY PERSON(S) SHALL BE WORKING FOR A MINIMUM OF FOUR (4) CONTINUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED "FIRE DEPARTMENT ACCESS". IN RED LETTERS. SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD.

ALL OPEN TRENCHES SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS PER THE MESA FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY. IFC CHAPTER 14."

"WATER SUPPLY FOR FIRE PROTECTION. AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1,500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.

IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF THE WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS AVAILABLE AT ALL TIMES. WHEN THE WORK IS COMPLETE, DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE AND THE VALVES ARE OPEN. IFC CHAPTER 14"

"COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IBC CHAPTER 33, SAFEGUARDS DURING CONSTRUCTION, AND; IFC CHAPTER 14 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION."

OWNER / DEVELOPER

CHICANOS POR LA CAUSA, INC 1008 E. BUCKEYE ROAD, STE 115 PHOENIX, AZ 85034 CONTACT:ALLISIA FIORINI PHONE: (602) 282-8512

DESIGN TEAM

ARCHITECT OF RECORD:
PERLMAN ARCHITECTS OF ARIZONA, INC.
4808 N. 24th STREET, SUITE 100
PHOENIX, AZ 85016

CONTACT: NATHANAEL MAKI
NATHANM@PERLMANARCHITECTS-AZ.COM

CIVIL ENGINEER: RCC DESIGN GROUP, L.L.C. 4505 E. CHANDLER BLVD. SUITE 265 PHOENIX, AZ 85048

480.598.0270

480.598.0273 (FAX)

480.951.5900 / 480.951.3045 FAX

CONTACT: JULIE RAYBURN
JULIE@RCCDESIGNGROUP.COM

LANDSCAPE ARCHITECT: THE McGOUGH GROUP 11110 N. TATUM BLVD. SUITE 100 PHOENIX, AZ 85028 602.997.9093

602.997.9031 (FAX)
CONTACT: TIM McGOUGH
TIMM@MG-AZ.COM

BUILDING CODES

ALL STRUCTURES SHALL COMPLY WITH THE FOLLOWING CODES AND MESA AMENDMENTS.

CODES AND MESA AMENDMENTS.

2006 INTERNATIONAL RESIDENTIAL CODE

2006 INTERNATIONAL FIRE CODE

2006 INTERNATIONAL FIRE CODE
2006 INTERNATIONAL PLUMBING CODE
2005 NATIONAL ELECTRICAL CODE

2006 INTERNATIONAL MECHANICAL CODE 2006 INTERNATIONAL FUEL GAS CODE

2009 INTERNATIONAL ENERGY CONSERVATION CODE

BUILDING INFORMATION

CONSTRUCTION TYPE: V-B
OCCUPANCY: R-2
FIRE SPRINKLER: NFPA 13D
AREA CALCULATIONS:
UNIT A - 3 PLEX
2-STORY END MID END:

 LIVABLE:
 1,885 S.F.
 1,884 S.F.
 1,916 S.F.

 GARAGE:
 546 S.F.
 546 S.F.
 546 S.F.

 PORCH:
 55 S.F.
 55 S.F.
 119 S.F.

 TOTAL:
 2,486 S.F.
 2,485 S.F.
 2,581 S.F.

 TOTAL BUILDING:
 7,552 S.F.

TOTAL BUILDING: 7,552 S.F.

UNIT A BUILDING HEIGHT: 26'-0"

(40'-0" MAX HEIGHT ALLOWED)

UNIT B - 5 PLEX

3-STORY END MID END2

LIVABLE: 1,843 S.F. 1,798 S.F. 1,851 S.F.

GARAGE: 546 S.F. 545 S.F. 546 S.F.

COV'D PATIO: 209 S.F. 118 S.F. 120 S.F.

TOTAL: 2,598 S.F. 2,463 S.F. 2,517 S.F.

TOTAL BUILDING: 12,504 S.F.
UNIT B BUILDING HEIGHT: 39'-10"
(40'-0" MAX HEIGHT ALLOWED)

UNIT C - 4 PLEX

3-STORY END MID END2

LIVABLE: 1,843 S.F. 1,802 S.F. 1,851 S.F.

GARAGE: 546 S.F. 545 S.F. 546 S.F.

COV'D PATIO: 209 S.F. 120 S.F. 120 S.F.

TOTAL: 2,598 S.F. 2,467 S.F. 2,517 S.F.

TOTAL BUILDING: 10,049 S.F.

UNIT B BUILDING HEIGHT: 39'-10" (40'-0" MAX HEIGHT ALLOWED)

KEYNOTES

XXX DESCRIPTION

EXISTING DRIVEWAY.
EXISTING DRIVEWAY TO BE REMOVED.
EXISTING SIDEWALK TO REMAIN.

EXISTING FIRE HYDRANT

EXISTING BUILDING.
EXISTING STREET LIGHT TO REMAIN.
EXISTING STREET LIGHT TO BE RELOCATED.
EXISTING OVERHEAD OVERHEAD UTILITY LINES.

EXISTING FIRE HYDRANT TO BE RELOCATED.
WATER BOX AND BACKFLOW PREVENTER -SEE CIVIL
PROPOSED UTILITY TRANSFORMER (4'X4' PAD).
NEW 6' HIGH INTEGRAL COLOR CONCRETE MASONRY
WALL, SEE DETAIL 2 ON THIS SHEET.

LANDSCAPE AREA -SEE LANDSCAPE DRAWINGS.
LINE OF 3RD STORY ABOVE.
LINE OF WALL ABOVE.
NEW 4' WIDE CONCRETE SIDEWALK.

NEW 5' WIDE CONCRETE SIDEWALK TO REPLACE EXISTING 4' WIDE CONCRETE SIDEWALK ALONG PEPPER PLACE. NEW 24' WIDE DRIVEWAY PER CITY OF MESA DETAIL

M-40.01.
SIGHT VISIBILITY TRIANGLE FOR 2 LANES UNDIVIDED
AT 25 MPH; SIGHT DISTANCE OF 331'.
4.5X4.0 BARREL COLLECTION LOCATION AREA
(UNMARK) PER CITY OF MESA DETAIL M-62.08

PROVIDE A LOCATION IDENTIFIER PER CITY OF MESA DETAIL M-62.09.

LINE OF BARREL PATH FROM UNIT TO FIRST BARREL.

13' HIGH COURTYARD LIGHT POLE. LIGHT TO AUTOMATICALLY TURN OFF/ON AT DUSK TO DAWN.

21 R7-2 12"X18" NO PARKING SIGN BEGIN OR END SIGN PER CITY OF MESA DETAIL M-62.08.
22 CLUSTER MAIL BOXES.

CLUSTER MAIL BOXES.
 SCREEN WALL FOR AIR CONDITIONING UNITS.
 AIR CONDITIONING UNITS.

IMAGINARY PROPERTY LINE.
TIE NEW SIDEWALK INTO EXISTING SIDEWALK.
COLOR ACCENT CONCRETE BORDER.
PAINTED LETTERS ON CONCRETE "NO PARKING"

LOCATION OF FUTURE SIDEWALK AND GATE TO CONNECT TO FUTURE DEVELOPMENT.
CONCRETE PAVING AT PRIVATE DRIVEWAYS.
TOT LOT WITH BUILT IN COVER -SEE LANDSCAPE PLAN

PROJECT DESCRIPTION

THIS SITE IS APPROXIMATELY 3.35 ACRES (NET) AND WILL BE DEVELOPED THROUGHOUT THREE PHASES.
PHASE 1 & 3 IS APPROXIMATELY 1.47 ACRES LOCATED AT THE SOUTH/WEST OF PEPPER PLACE AND DATE. THIS DEVELOPMENT WILL INCLUDE 3-STORY TOWNHOMES AND SITE IMPROVEMENTS NECESSARY FOR THE ACCESS TO THE SITE.

PHASE 2 IS APPROXIMATELY 1.88 ACRES LOCATED AT THE

THE SITE.

PHASE 2 IS APPROXIMATELY 1.88 ACRES LOCATED AT THE NORTH/WEST CORNER OF PEPPER PLACE AND DATE. THIS DEVELOPMENT WILL INCLUDE 2-STORY TOWNHOMES AND SITE IMPROVEMENTS NECESSARY FOR THE ACCESS TO

THE SITE.
THE TOWNHOMES WILL BE SOLD AS CONDOMINIUM PROPERTIES.

PROPERTIES.

SITE IMPROVEMENTS INCLUDE PERIMETER FENCING,
PRIVATE DRIVES, SIDEWALKS AND LANDSCAPING.

AS PART OF THIS DEVELOPMENT WE ARE PROPOSING A
ZONING CHANGE OF THESE PARCELS FROM RM-2 TO
RM-3, PAD. AS PART OF THE PAD, WE ARE REQUESTING
THE FOLLOWING DEVIATIONS FROM RM-3 ZONING:
SETBACKS AT STREET FROM 20' REQUIRED TO 5'-10"; SIDE
AND REAR SETBACKS FROM 15' PER STORY REQUIRED TO
SIDE SETBACKS AT 17'-0" AT THE FIRST AND SECOND
FLOOR AND 30' AT THE THIRD FLOOR AND REAR
SETBACKS AT 15'-4"; MINIMUM SEPARATION BETWEEN
BUILDINGS ON THE SAME LOT FOR 2 AND 3 STORIES AT
30'/35' REQUIRED TO 24'

LEGAL DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER OF THE SECTION 21, TOWNSHIP 1 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SITE INFORMATION

SITE ADDRESS: 644 W. MAIN STREET MESA, AZ 85201 A.P.N. #'s: PHASE 1: 135-57-019

PHASE 1: 135-57-019-2 PHASE 2: 135-57-073 PHASE 3: 135-57-072

ZONING: CURRENT: RM-2

PHASE 1 & 3 (3-STORY TOWNHOMES)

PROPOSED: RM-3, PAD

NET: 64,033.2 SF. (1.47 ACRES) GROSS: 76,266.9 SF. (1.75 ACRES)

PROPOSED PERIMETER SETBACKS: FRONT:5'-10" SIDE:17'-0" REAR:15'-4"

LOT COVERAGE: 29,378.45/64,033.2 = 45.8% (MAX 50% ALLOWED)

PARKING:
REQUIRED: 1.2 SPACES PER 29 DU = 35
PROVIDED: 2-CAR GARAGE X 29 UNITS = 58 SPACES
ONSITE VISITOR PARKING SPACES = 3
OFF SITE PARKING = 4

OPEN SPACE:

REQUIRED: 175 S.F. x 29 UNITS = 5,075 S.F.

PROVIDED: PRIVATE OPEN SPACE = 3,503.48 S.F.

COMMON OPEN SPACE = 4,555 S.F.

PROPOSED DENSITY FOR PHASE 1&3: 29/1.47=19.73 DU/ACRE

= 8,058.48 S.F.

PHASE 2 (2-STORY TOWNHOMES)

SITE AREA NET: 81,892.8 SF. (1.88 ACRES) GROSS: 103,994.9 SF. (2.38 ACRES)

PROPOSED PERIMETER SETBACKS: FRONT (PEPPER PLACE AND DATE): 5'-10" SIDE: 40'-0" REAR:15'-6"

TOTAL OPEN SPACE

LOT COVERAGE: 37,569.06/81,892.8 = 46% (MAX 50% ALLOWED)

PARKING: REQUIRED: 1.2 SPACES PER 27 DU = 32.4

PROVIDED: 2-CAR GARAGE X 27 UNITS = 54 SPACES

ONSITE VISITOR PARKING SPACES = 8

OFF SITE PARKING = 8

OPEN SPACE:
REQUIRED: 175 S.F. X 27 UNITS = 4,725 S.F.
PROVIDED: PRIVATE OPEN SPACE = 1,710 S.F.
COMMON OPEN SPACE = 5,228 S.F.
TOTAL OPEN SPACE = 6,938 S.F.

PROPOSED DENSITY FOR PHASE 2: 27/1.88=14.36 DU/ACRE

VICINITY MAP N.T.S. W 1ST ST W 1ST ST

SITE 2

W PEPPER PL

W PEPPER PL

W MAIN ST

W MAIN ST

W MAHONEY AVE

W 1ST AVE

Drawn/Checked By

CHIC

TRE

Date 8/7/2018

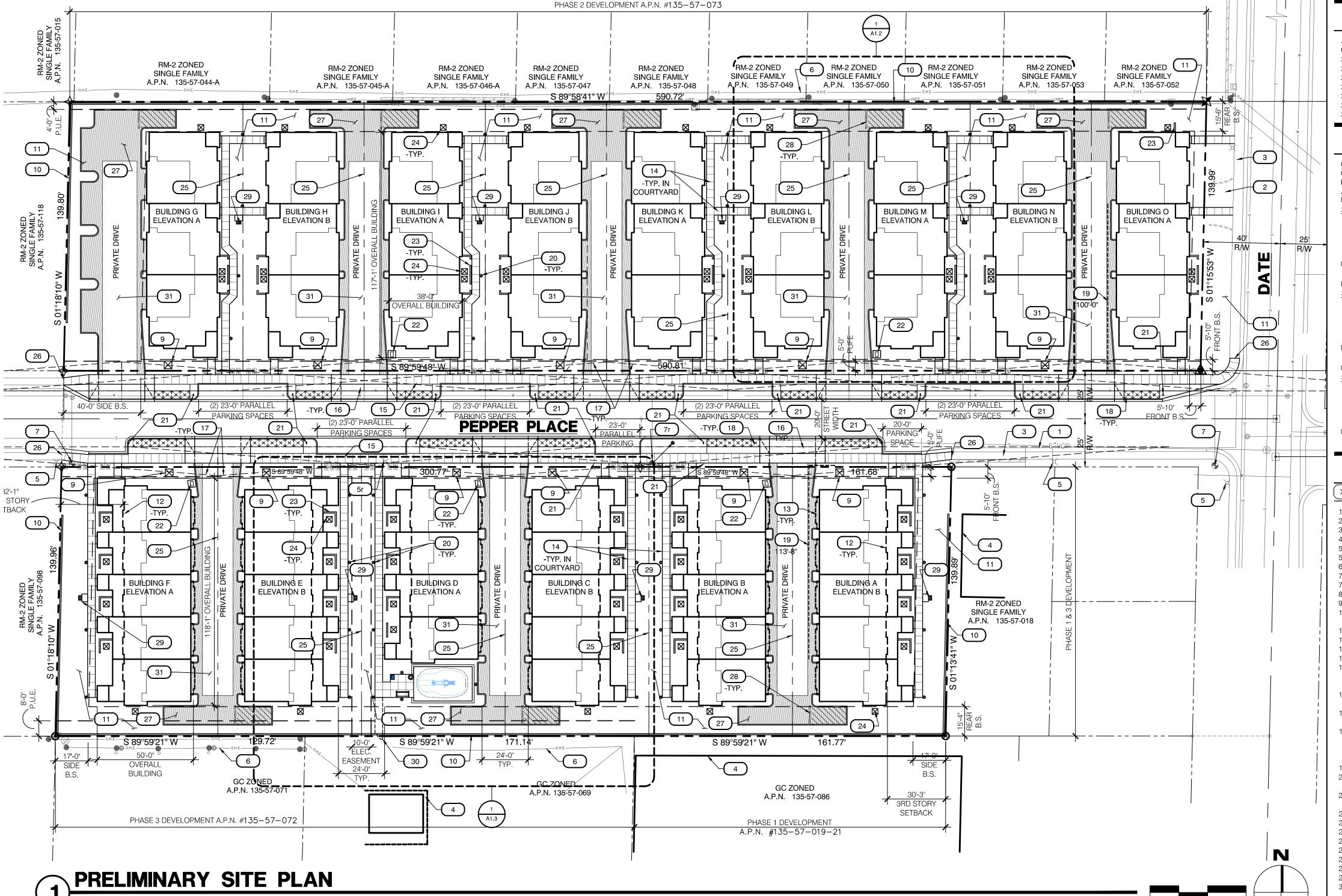
JR/NM

Project Number 317032.1

Sheet Number

ARCHITECTURAL SITE PLAN

A1.1



KEYNOTES

(XXX) DESCRIPTION

EXISTING DRIVEWAY.

EXISTING BUILDING.

EXISTING STREET LIGHT TO BE RELOCATED.

EXISTING FIRE HYDRANT TO BE RELOCATED.

LANDSCAPE AREA -SEE LANDSCAPE DRAWINGS.

LINE OF 3RD STORY ABOVE. LINE OF WALL ABOVE.

NEW 4' WIDE CONCRETE SIDEWALK. NEW 5' WIDE CONCRETE SIDEWALK TO REPLACE

SIGHT VISIBILITY TRIANGLE FOR 2 LANES UNDIVIDED

LINE OF BARREL PATH FROM UNIT TO FIRST BARREL 13' HIGH COURTYARD LIGHT POLE. LIGHT TO

AUTOMATICALLY TURN OFF/ON AT DUSK TO DAWN.

CLUSTER MAIL BOXES. SCREEN WALL FOR AIR CONDITIONING UNITS.

AIR CONDITIONING UNITS.

TIE NEW SIDEWALK INTO EXISTING SIDEWALK.

COLOR ACCENT CONCRETE BORDER. PAINTED LETTERS ON CONCRETE "NO PARKING"

LOCATION OF FUTURE SIDEWALK AND GATE TO

CONCRETE PAVING AT PRIVATE DRIVEWAYS. TOT LOT WITH BUILT IN COVER -SEE LANDSCAPE PLAN

EXISTING DRIVEWAY TO BE REMOVED. EXISTING SIDEWALK TO REMAIN.

EXISTING STREET LIGHT TO REMAIN.

EXISTING OVERHEAD OVERHEAD UTILITY LINES. EXISTING FIRE HYDRANT.

WATER BOX AND BACKFLOW PREVENTER -SEE CIVIL PROPOSED UTILITY TRANSFORMER.

NEW 6' HIGH INTEGRAL COLOR CONCRETE MASONRY WALL, SEE DETAIL 2 ON THIS SHEET.

EXISTING 4' WIDE CONCRETE SIDEWALK ALONG PEPPER PLACE. 16 NEW 24' WIDE DRIVEWAY PER CITY OF MESA DETAIL

M-40.01.

AT 25 MPH; SIGHT DISTANCE OF 331'. 18 4.5X4.0 BARREL COLLECTION LOCATION AREA (UNMARK) PER CITY OF MESA DETAIL M-62.08 PROVIDE A LOCATION IDENTIFIER PER CITY OF MESA

DETAIL M-62.09.

R7-2 12"X18" NO PARKING SIGN BEGIN OR END SIGN PER CITY OF MESA DETAIL M-62.08.

IMAGINARY PROPERTY LINE.

BBQ GRILL

CONNECT TO FUTURE DEVELOPMENT.

644 W MAIN STREET Architects of Arizona PERLMAN ARCHITECTS OF

ARIZONA, INC. 4808 N. 24th STREET SUITE 100 PHOENIX, ARIZONA 85016

480.951.5900 480.951.3045 fax Seal KENNETH W. **POWERS**

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EXPIRES: 12-31-2018

Drawn/Checked By

JR/NM

8/7/2018 Project Number

317032.1 Sheet Number

ENLARGED SITE PLAN

1 ENLARGED SITE PLAN

PEPPER PLACE

KEYNOTES

(XXX) DESCRIPTION

- EXISTING DRIVEWAY.
- 2 EXISTING DRIVEWAY TO BE REMOVED. 3 EXISTING SIDEWALK TO REMAIN.
- EXISTING BUILDING. EXISTING STREET LIGHT TO REMAIN.
- EXISTING STREET LIGHT TO BE RELOCATED. EXISTING OVERHEAD OVERHEAD UTILITY LINES.
- EXISTING FIRE HYDRANT.
 EXISTING FIRE HYDRANT TO BE RELOCATED.
 WATER BOX AND BACKFLOW PREVENTER -SEE CIVIL
- PROPOSED UTILITY TRANSFORMER.

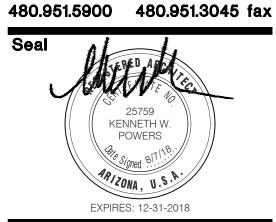
 NEW 6' HIGH INTEGRAL COLOR CONCRETE MASONRY
- WALL, SEE DETAIL 2 ON THIS SHEET.
- LANDSCAPE AREA -SEE LANDSCAPE DRAWINGS.
- LINE OF 3RD STORY ABOVE. LINE OF WALL ABOVE.
- NEW 4' WIDE CONCRETE SIDEWALK.
 NEW 5' WIDE CONCRETE SIDEWALK TO REPLACE
- EXISTING 4' WIDE CONCRETE SIDEWALK TO REPLACE
 EXISTING 4' WIDE CONCRETE SIDEWALK ALONG
 PEPPER PLACE.
- NEW 24' WIDE DRIVEWAY PER CITY OF MESA DETAIL M-40.01.
- SIGHT VISIBILITY TRIANGLE FOR 2 LANES UNDIVIDED
 AT 25 MPH; SIGHT DISTANCE OF 331'.
 4.5X4.0 BARREL COLLECTION LOCATION AREA
- (UNMARK) PER CITY OF MESA DETAIL M-62.08 PROVIDE A LOCATION IDENTIFIER PER CITY OF MESA DETAIL M-62.09.
- 19 LINE OF BARREL PATH FROM UNIT TO FIRST BARREL.
 20 13' HIGH COURTYARD LIGHT POLE. LIGHT TO
 AUTOMATICALLY TURN OFF/ON AT DUSK TO DAWN.
 21 R7-2 12"X18" NO PARKING SIGN BEGIN OR END SIGN
- PER CITY OF MESA DETAIL M-62.08.

 CLUSTER MAIL BOXES.
- 23 SCREEN WALL FOR AIR CONDITIONING UNITS.24 AIR CONDITIONING UNITS.
- 25 IMAGINARY PROPERTY LINE.26 TIE NEW SIDEWALK INTO EXISTING SIDEWALK.
- 27 COLOR ACCENT CONCRETE BORDER.
 28 PAINTED LETTERS ON CONCRETE "NO PARKING"
- 29 BBQ GRILL
 30 LOCATION OF FUTURE SIDEWALK AND GATE TO
- CONNECT TO FUTURE DEVELOPMENT.
 31 CONCRETE PAVING AT PRIVATE DRIVEWAYS.
 32 TOT LOT WITH BUILT IN COVER -SEE LANDSCAPE PLAN



644 W MAIN STREET

ARIZONA, INC.
4808 N. 24th STREET
SUITE 100
PHOENIX, ARIZONA 85016



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Rev Date By Description

VEST MAIN STREET
IESA, AZ 85201

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Drawn/Checked By

JI

8/7/2018

Project Number

317032.1

Sheet Number

ENLARGED SITE PLAN

A1.3