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Project	MESA ROYALE 644 WEST MAIN STREET MESA, AZ 85201
Owner	CHICANOS POR LA CAUSA 1008 EAST BUCKEYE ROAD, STE 115 Phoenix, AZ 85034

Project

Owner

JR/NM

8/7/2018

317032.1

ARCHITECTURAL SITE PLAN

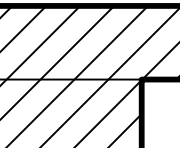
A1.1

THE McGOUGH GROUP
11110 N. TATUM BLVD. SUITE 100
PHOENIX, AZ 85028
602.997.9093
602.997.9031 (FAX)
CONTACT: TIM McGOUGH
TIMM@MG-AZ.COM

CONSTRUCTION TYPE:		V-B	
OCCUPANCY:		R-2	
FIRE SPRINKLER:		NFPA 13D	
AREA CALCULATIONS:			
UNIT A - 3 PLEX			
2-STORY		END	END2
LIVABLE:	1,885 S.F.	1,884 S.F.	1,916 S.F.
GARAGE:	546 S.F.	546 S.F.	546 S.F.
PORCH:	55 S.F.	55 S.F.	119 S.F.
TOTAL:	2,486 S.F.	2,485 S.F.	2,581 S.F.
UNIT A BUILDING HEIGHT:		26'-0"	
(40'-0" MAX HEIGHT ALLOWED)			
UNIT B - 5 PLEX			
3-STORY		END	END2
LIVABLE:	1,843 S.F.	1,798 S.F.	1,851 S.F.
GARAGE:	546 S.F.	545 S.F.	546 S.F.
COVD PATIO:	209 S.F.	118 S.F.	120 S.F.
TOTAL:	2,598 S.F.	2,463 S.F.	2,517 S.F.
TOTAL BUILDING: 12,504 S.F.			
UNIT B BUILDING HEIGHT:		39'-10"	
(40'-0" MAX HEIGHT ALLOWED)			
UNIT C - 4 PLEX			
3-STORY		END	END2
LIVABLE:	1,843 S.F.	1,802 S.F.	1,851 S.F.
GARAGE:	546 S.F.	545 S.F.	546 S.F.
COVD PATIO:	209 S.F.	120 S.F.	120 S.F.
TOTAL:	2,598 S.F.	2,467 S.F.	2,517 S.F.
TOTAL BUILDING: 10,949 S.F.			
UNIT C BUILDING HEIGHT:		39'-10"	
(40'-0" MAX HEIGHT ALLOWED)			

2 EXISTING DRIVEWAY.
3 EXISTING SIDEWALK TO BE REMOVED.
4 EXISTING SIDEWALK TO REMAIN.
5 EXISTING BUILDING
6 EXISTING STREET LIGHT TO REMAIN.
7 EXISTING STREET LIGHT TO BE RELOCATED.
8 EXISTING OVERHEAD OVERHEAD UTILITY LINES.
9 EXISTING FIRE HYDRANT.
10 EXISTING FIRE HYDRANT TO BE RELOCATED.
11 WATER BOX AND BACKFLOW PREVENTER - SEE CIVIL
12 ENGINEER'S UTILITY TRANSFORMER (4X4 PAD).
13 NEW 6 HIGH INTEGRAL COLOR CONCRETE MASONRY
14 WALL. SEE DETAIL 2 ON THIS SHEET.
15 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS,
16 LINE OF 3RD STORY ABOVE.
17 LINE OF WALL ABOVE.
18 NEW 4 WIDE CONCRETE SIDEWALK.
19 NEW 5 WIDE CONCRETE SIDEWALK TO REPLACE
20 EXISTING 4 WIDE CONCRETE SIDEWALK ALONG
21 PEPPER PLACE.
22 NEW 24 WIDE DRIVEWAY PER CITY OF MESA DETAIL
23 M-40-01.
24 SIGHT VISIBILITY TRIANGLE FOR 2 LANES UNDIVIDED
25 AT 25 MPH; SIGHT DISTANCE OF 331'.
26 4.5X4.0 BARREL COLLECTION LOCATION AREA
27 (UNMARK) PER CITY OF MESA DETAIL M-62-08
28 PROVIDE A LOCATION IDENTIFIER PER CITY OF MESA
29 DETAIL M-62-09.
30 LINE OF BARREL PATH FROM UNIT TO FIRST BARREL.
31 COURTYARD LIGHT POLE LIGHT TO
32 AUTOMATICALLY TURN OFF/ON AT DUSK TO DAWN
33 RT-2 12"X18" NO PARKING SIGN BEGIN OR END SIGN
34 PER CITY OF MESA DETAIL M-62-08.
35 CLUSTER MAIL BOXES.
36 SCREEN WALL FOR AIR CONDITIONING UNITS.
37 AIR CONDITIONING UNITS
38 IMAGINARY PROPERTY LINE.
39 THE NEW SIDEWALK INTO EXISTING SIDEWALK.
40 COLOR ACCENT CONCRETE BORDER.
41 PAINTED LETTERS ON CONCRETE "NO PARKING"
42 BBO GRILL
43 LINE OF FUTURE SIDEWALK AND GATE TO
44 CONNECT TO FUTURE DEVELOPMENT
45 CONCRETE PAVING AT PRIVATE DRIVEWAYS.
46 TOT LOT WITH BUILT IN COVER - SEE LANDSCAPE PLAN

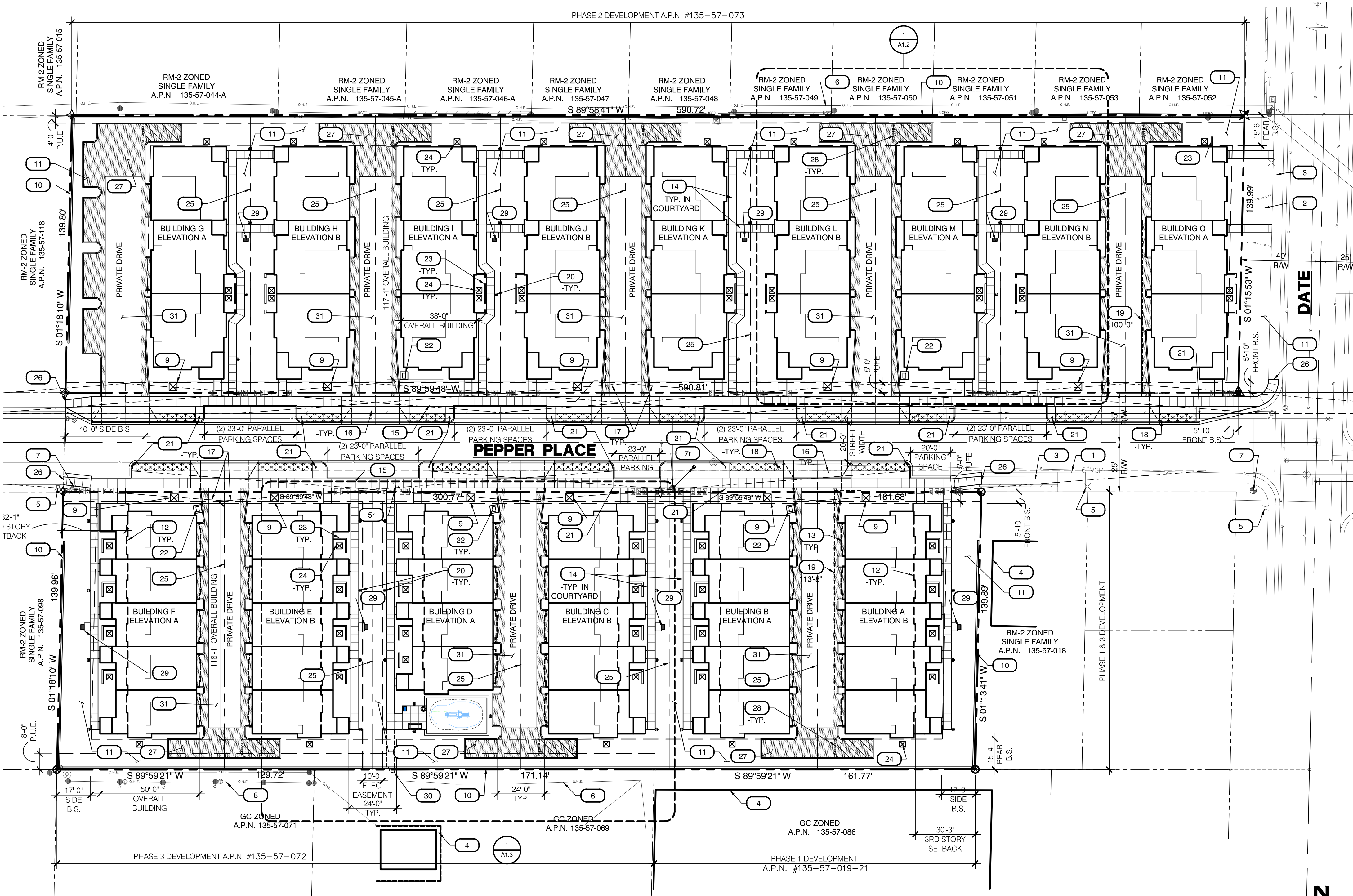
N.T.S.

INCHERY	W 1ST ST	W 1ST ST	
SITE 2		W PEPPER PL	
		N DATE	
SITE 1		W MAIN ST	
	S DATE	W MAHONEY AVE	
		W 1ST AVE	S VINEYARD

2 SITE WALL

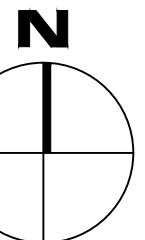
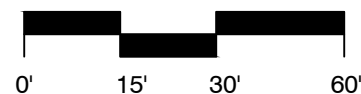
SCALE: 3/8"=1'-0"

MR-SITWALL-01



PRELIMINARY SITE PLAN

SCALE: 1" = 30'-0"



Seal



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Description

By

Date

Rev

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644 WEST MAIN STREET
MESA, AZ 85201

CHICANOS POR LA CAUSA
1008 EAST BUCKEYE ROAD, STE 115
Phoenix, AZ 85034

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Drawn/Checked By

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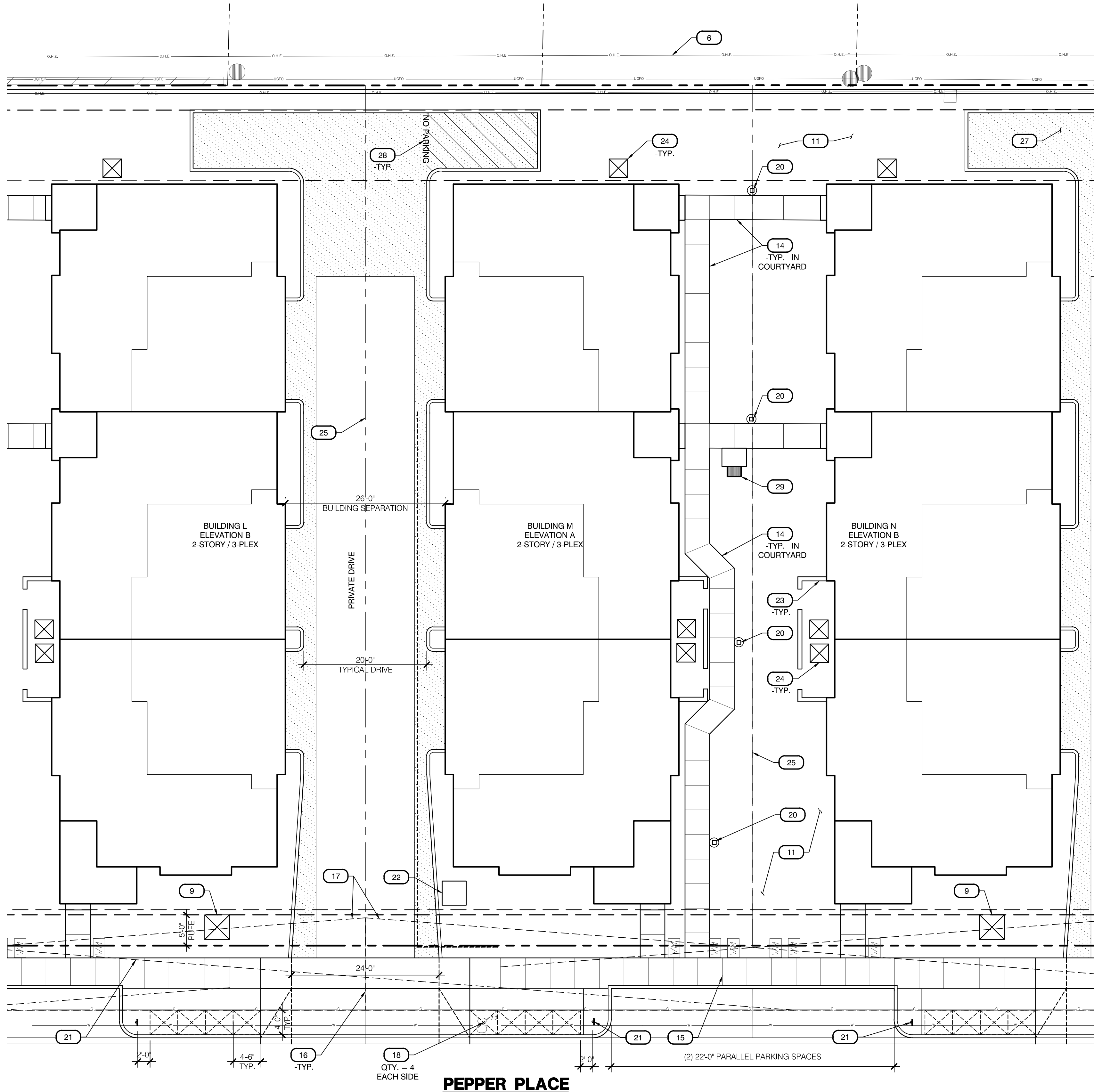
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ENLARGED SITE PLAN

A1.2

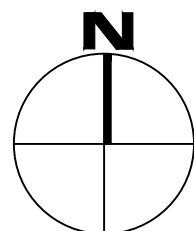
KEYNOTES

XXX	DESCRIPTION
1	EXISTING DRIVEWAY.
2	EXISTING DRIVEWAY TO BE REMOVED.
3	EXISTING SIDEWALK TO REMAIN.
4	EXISTING BUILDING.
5	EXISTING STREET LIGHT TO REMAIN.
5r	EXISTING STREET LIGHT TO BE RELOCATED.
6	EXISTING OVERHEAD OVERHEAD UTILITY LINES.
7	EXISTING FIRE HYDRANT.
7r	EXISTING FIRE HYDRANT TO BE RELOCATED.
8	WATER BOX AND BACKFLOW PREVENTER -SEE CIVIL
9	PROPOSED UTILITY TRANSFORMER.
10	NEW 6" HIGH INTEGRAL COLOR CONCRETE MASONRY WALL. SEE DETAIL 2 ON THIS SHEET.
11	LANDSCAPE AREA -SEE LANDSCAPE DRAWINGS.
12	LINE OF 3RD STORY ABOVE.
13	LINE OF WALL ABOVE.
14	NEW 4" WIDE CONCRETE SIDEWALK.
15	NEW 5" WIDE CONCRETE SIDEWALK TO REPLACE EXISTING 4" WIDE CONCRETE SIDEWALK ALONG PEPPER PLACE.
16	NEW 24" WIDE DRIVEWAY PER CITY OF MESA DETAIL M-40.01.
17	SIGHT VISIBILITY TRIANGLE FOR 2 LANES UNDIVIDED AT 25 MPH; SIGHT DISTANCE OF 331'.
18	4.5X4.0 BARREL COLLECTION LOCATION AREA (UNMARK) PER CITY OF MESA DETAIL M-62.08 PROVIDE A LOCATION IDENTIFIER PER CITY OF MESA DETAIL M-62.09.
19	LINE OF BARREL PATH FROM UNIT TO FIRST BARREL.
20	13" HIGH COURTYARD LIGHT POLE. LIGHT TO AUTOMATICALLY TURN OFF/ON AT DUSK TO DAWN.
21	R7-2 12"X18" NO PARKING SIGN BEGIN OR END SIGN PER CITY OF MESA DETAIL M-62.08.
22	CLUSTER MAIL BOXES.
23	SCREEN WALL FOR AIR CONDITIONING UNITS.
24	AIR CONDITIONING UNITS.
25	IMAGINARY PROPERTY LINE.
26	TIE NEW SIDEWALK INTO EXISTING SIDEWALK.
27	COLOR ACCENT CONCRETE BORDER.
28	PAINTED LETTERS ON CONCRETE "NO PARKING"
29	BBQ GRILL
30	LOCATION OF FUTURE SIDEWALK AND GATE TO CONNECT TO FUTURE DEVELOPMENT.
31	CONCRETE PAVING AT PRIVATE DRIVEWAYS.
32	TOT LOT WITH BUILT IN COVER -SEE LANDSCAPE PLAN



1 ENLARGED SITE PLAN

SCALE: 1" = 10'-0"



Seal



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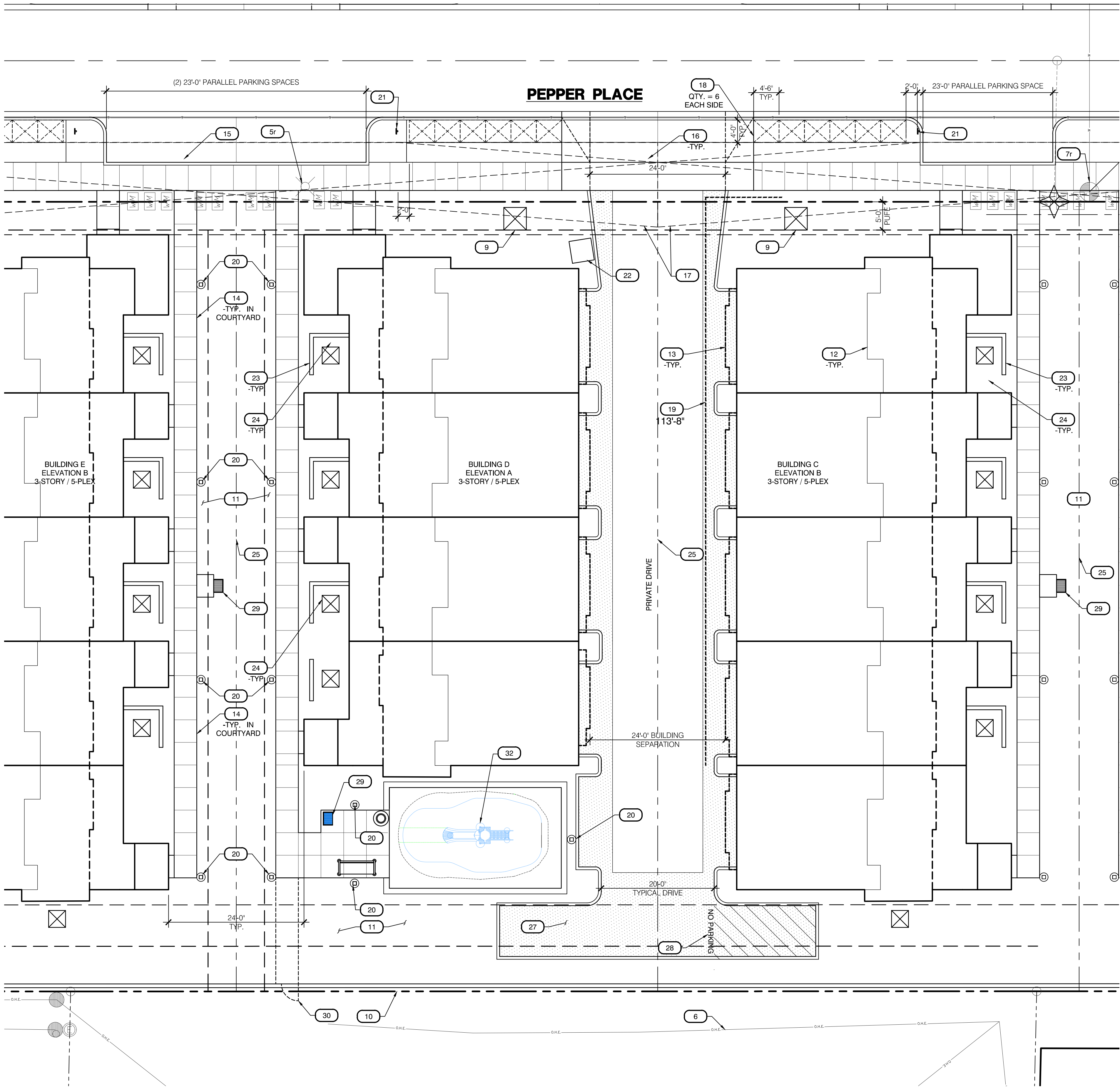
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Sheet Number

ENLARGED SITE PLAN

A1.3



1 ENLARGED SITE PLAN
SCALE: 1" = 10'-0"